

# LOT 10 PARKER POINTE

LOT 10, PARKER POINTE FILING NO. 1  
 A PART SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## COVER SHEET

PAGE 1 OF 12



VICINITY MAP  
 SCALE: 1" = 500'



Remove from site plan,  
 administrative approval  
 only

### SITE DATA TABLE

GROSS SITE AREA	51,998 SF	100%
BUILDING FOOTPRINT	7,200 SF	13.8%
PARKING/DRIVES	24,512 SF	47.2%
SIDEWALKS AND LANDSCAPING	20,286 SF	39.0%
PARKING		
TOTAL PROVIDED	58	Need total required. Please ensure only on site parking has been included in the total provided.
HANDICAP REQUIRED	3	
HANDICAP PROVIDED	4	
BICYCLE PARKING		
TOTAL REQUIRED	3	(1/20 PARKING STALLS)
TOTAL PROVIDED	3	

please breakout  
 side walks, not  
 included as part of  
 overall landscape  
 requirement.

APPROVED BY:

TOWN OF PARKER PLANNING DIRECTOR

TOWN OF PARKER PUBLIC WORKS DIRECTOR

TOWN OF PARKER BUILDING DEPARTMENT

TOWN OF PARKER POLICE DEPARTMENT

SOUTH METRO FIRE AND RESCUE AUTHORITY

PARKER WATER AND SANITATION DISTRICT

### SITE ZONING

TOWN OF PARKER - C - Commercial

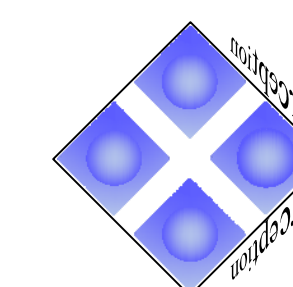
### DEVELOPER

PARKER & STROH, LLC  
 975 LINCOLN STREET, SUITE 204  
 DENVER, CO 80203  
 (303) 699-3368  
 CONTACT: DAN YACOVETTA

### SHEET INDEX

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SHEET 2	SITE PLAN
SHEET 3	GRADING PLAN
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SHEET 11	LUMINAIRE CUT SHEETS
SHEET 12	LUMINAIRE CUT SHEETS

OCTOBER 18, 2017



Perception  
 Design Group, Inc.

Consulting Civil Engineers

6901 South Pierce Street, Suite 315 Littleton, Colorado 80128  
 303-232-8088

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## SITE PLAN

PAGE 2 OF 12

General site plan submittal requirements  
 Need gross, lot and net acreage for proposed use/site.  
 Need building dimensions.  
 Add names of adjacent streets  
 Exterior lighting locations and fixture types are not shown as required.  
 Show direction of travel on for access aisles and driveways.  
 Identify adjacent lots.

Per CI&MF  
 Need sidewalk connection to Parker Rd sidewalk. May use a single connection for lots 9 and 10, but connection is required to ultimately tie into Lemon Gulch trail.

This area needs to be redesigned to include required street scape elements. (i.e. tree lawn sidewalk etc.) and to conform to a typical street frontage.

The area between the top of ramp and the patio support is very tight. The sidewalk width between the patio and the back of curb appears to be 5'. (Please provide dimensions.) 5' of sidewalk is typically required for building sidewalk, however, because of overhang resulting from head in parking, this sidewalk width must be a minimum of 7 feet. This minimum includes the distance from top of ramp to patio supports.

Is this scoring? If so, please provide additional detail. 24" squares, 18" etc.

Need a detail of the planter box complete with materials. If front are ground level beds, please clarify.

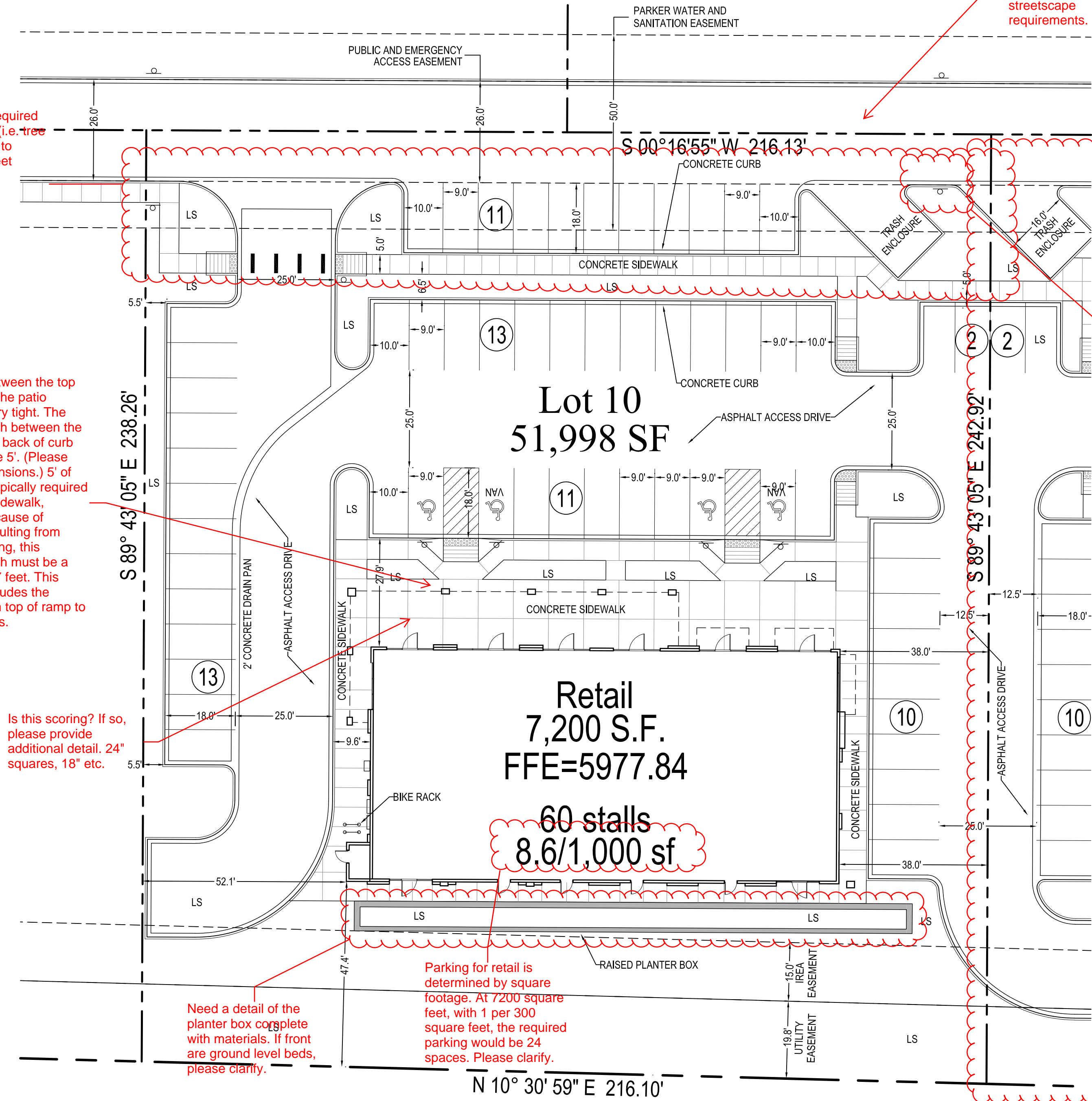
Parking for retail is determined by square footage. At 7,200 square feet, with 1 per 300 square feet, the required parking would be 24 spaces. Please clarify.

This access aisle needs to look and act like a roadway. Please name it and address streetscape requirements.

Not shown anywhere on the drawing. Please clarify or remove, all sheets.

Staff appreciates the inclusion of sign location, however, signage requires a separate permit and is not approved as a part of the site plan. To avoid confusion please include a note to clarify that the signage is not approved as part of this site plan.

Gray out, not a part of this approved site plan- all sheets. Please verify that this parking is not included on the stated spaces provided. 13.06.050(b) (6) Number of spaces. The total number of parking spaces required shall be the sum of spaces required for the applicable land uses individually, except if the shared parking plan and analysis clearly establish that the shared parking facility can satisfy the demands of all uses with a lesser number of parking spaces.

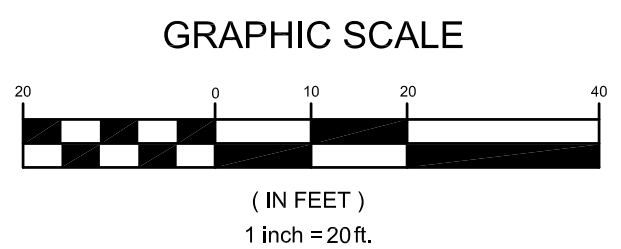
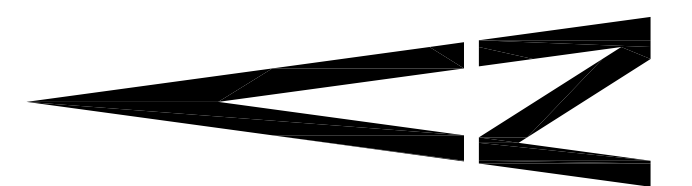


### LEGEND

	PROPERTY LINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED HANDICAP RAMP WITH DETECTABLE WARNING
	PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
	PROPOSED HANDICAP PARKING STALL
	PROPOSED PARKING COUNT PER ROW
	PROPOSED LANDSCAPED AREA
	FIRE HYDRANT
	PROPOSED SITE SIGNAGE
	PROPOSED SITE LIGHTING
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED TRANSFORMER

Not shown on site plan as required.

No proposed easement shown, please clarify or remove.



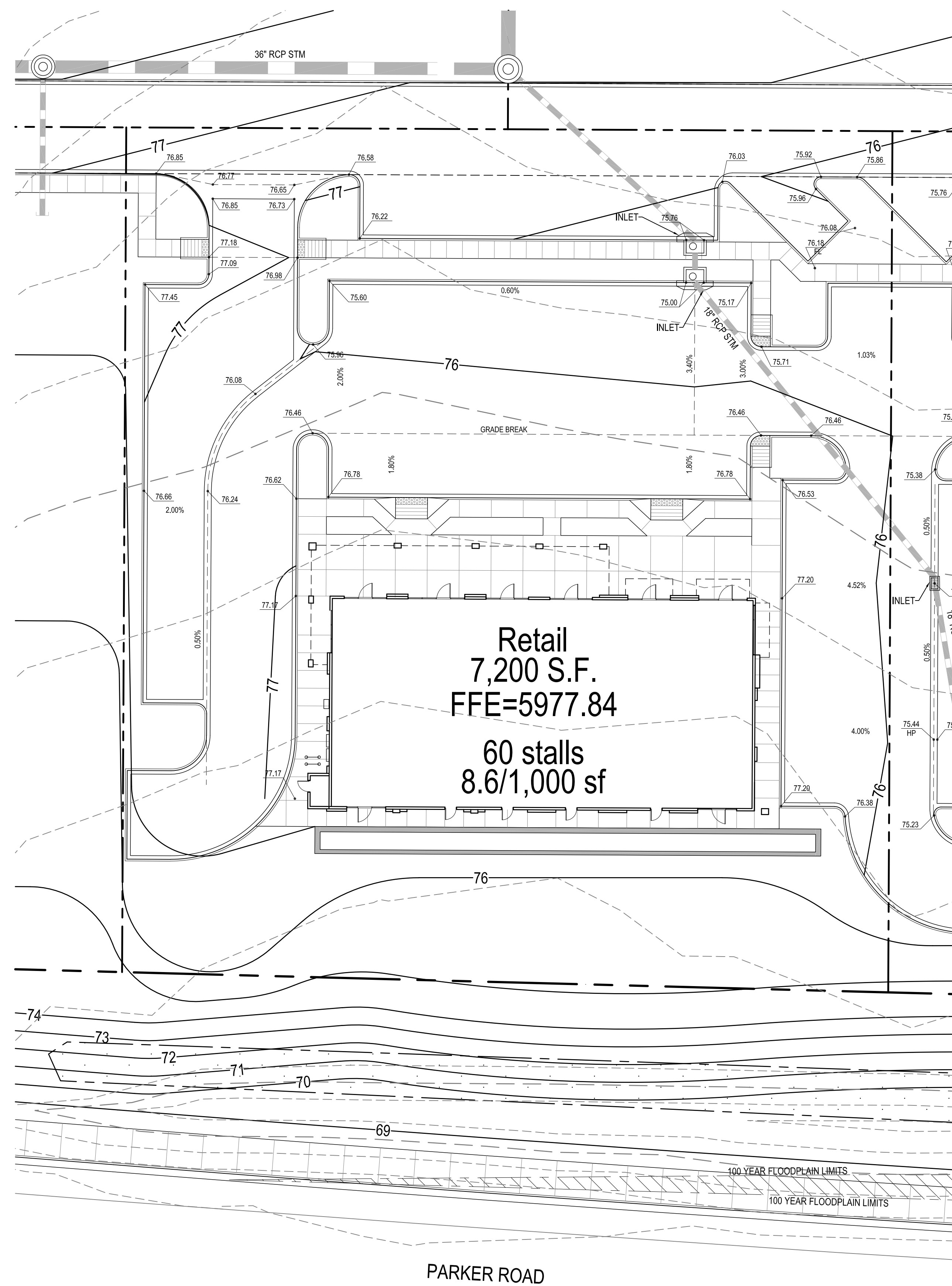
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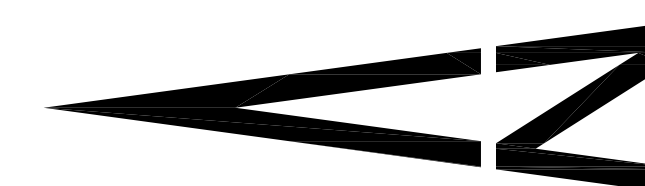
## GRADING PLAN

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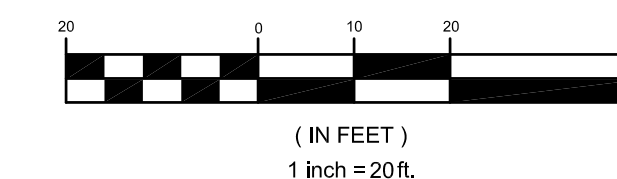


### LEGEND

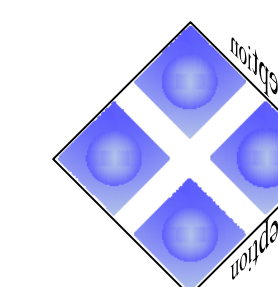
	PROPERTY LINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED HANDICAP RAMP
	PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED HIGH POINT
	PROPOSED LOW POINT
	PROPOSED SPOT ELEVATION
	PROPOSED RETAINING WALL
	PROPOSED FINISHED GRADE AT TOP OF WALL
	PROPOSED FINISHED GRADE AT BOTTOM OF WALL



GRAPHIC SCALE



OCTOBER 18, 2017



**Perception**  
Design Group, Inc.

Consulting Civil Engineers

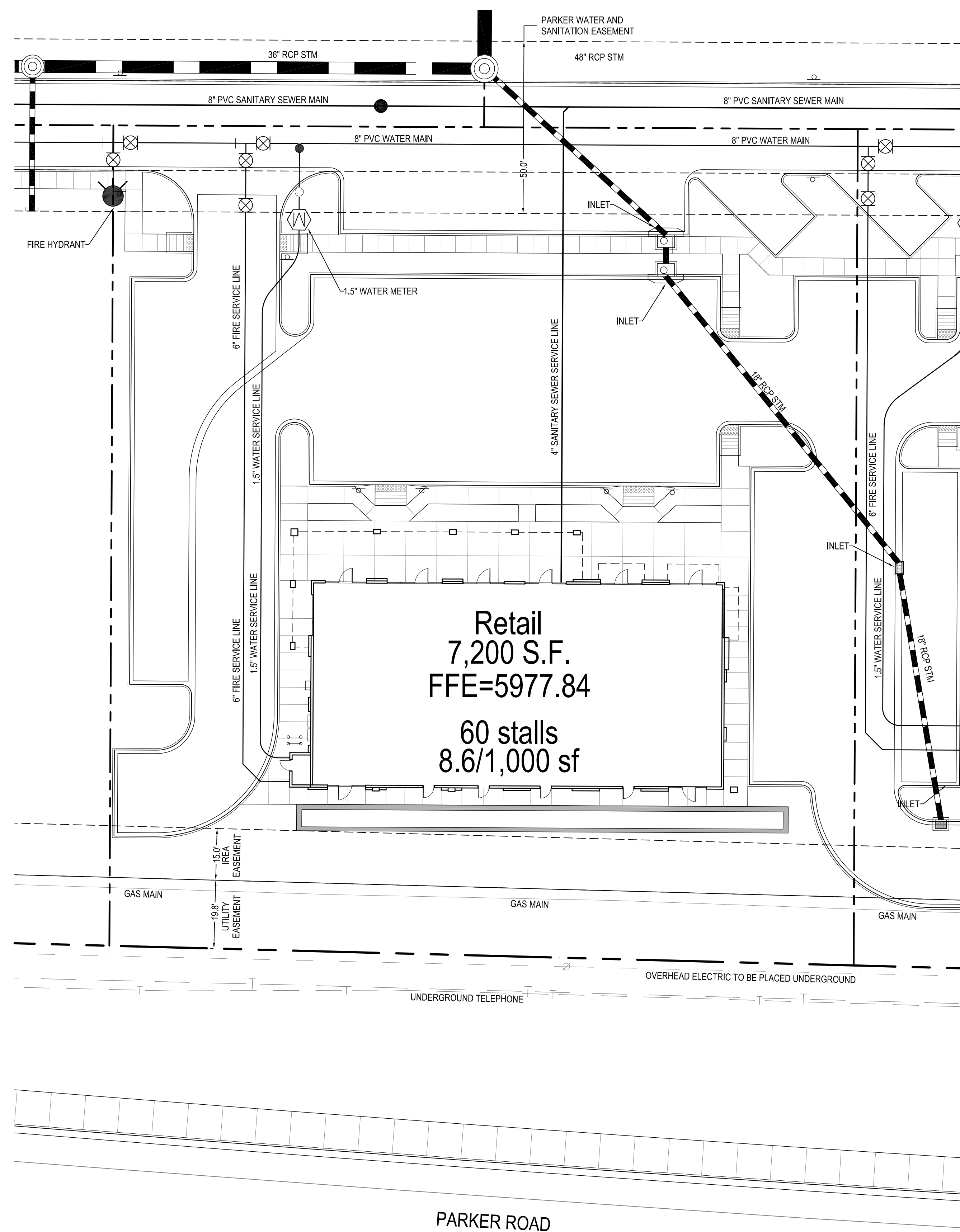
6901 South Pierce Street, Suite 315 • Littleton, Colorado 80128  
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## UTILITY PLAN

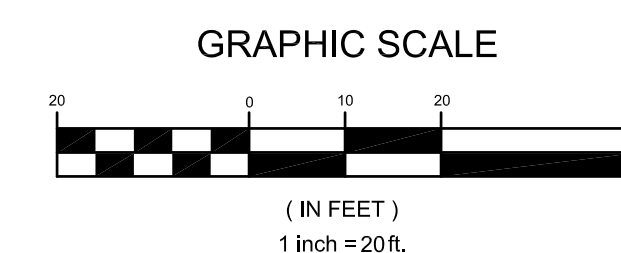
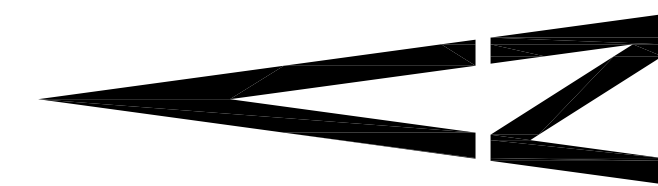
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### LEGEND

---	PROPERTY LINE
⊙	EXISTING SANITARY SEWER WITH MANHOLE
—W—	EXISTING WATERLINE W/ VALVE
●	PROPOSED SANITARY SEWER W/ MANHOLE AND CLEANOUT
←	PROPOSED WATERLINE W/ HYDRANT AND VALVE
---	PROPOSED STORM SEWER
---	EASEMENT
□	PROPOSED SITE LIGHTING
⊞	PROPOSED TRANSFORMER

No exterior lighting shown



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## LANDSCAPE PLAN

PAGE 5 OF 12

### PLANT LIST - LOT 10

SYMBOL	QTY	ABBR	COMMON/BOTANICAL NAME	SIZE	HT. X SPD.	HYDROZONE	REMARKS
<b>OVERSTORY TREES</b>							
3 SL			SHADEMASTER LOCUST <i>Gleditsia triacanthos inermis</i> 'Shademaster'	2.0" CAL. B&B	50' X 35'	LOW	FULL CROWN, STAKED, SPECIMEN QUALITY
5 SW			SWAMP WHITE OAK <i>Quercus bicolor</i>	2.0" CAL. B&B	50' X 40'	LOW / MEDIUM	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>ORNAMENTAL TREES</b>							
4 AB			AUTUMN BRILLIANCE SERVICEBERRY <i>Amerlanche x grandiflora</i> 'Autumn Brilliance'	1.5" CAL. B&B	18' X 10'	LOW / MEDIUM	FULL CROWN, STAKED, SPECIMEN QUALITY
3 GO			GAMBEL OAK <i>Quercus gambelii</i>	1.5" CAL. B&B	20' X 15'	LOW	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>EVERGREEN TREES</b>							
1 BS			COLORADO BLUE SPRUCE <i>Picea pungens</i> var. <i>glauca</i>	6" HT. B&B	60' X 30'	LOW / MEDIUM	FULL CROWN, STAKED, SPECIMEN QUALITY
2 AP			AUSTRIAN PINE <i>Pinus nigra</i>	6" HT. B&B	50' X 25'	LOW	FULL CROWN, STAKED, SPECIMEN QUALITY
2 PP			PONDEROSA PINE <i>Pinus ponderosa</i>	6" HT. B&B	50' X 30'	LOW	FULL CROWN, STAKED, SPECIMEN QUALITY
<b>DECIDUOUS SHRUBS</b>							
8 PB			CRIMSON PYGMY BARBERRY <i>Berberis thunbergii</i> 'Atropurpurea Nana' (12"-15" HT.)	#5	2' X 3'	LOW / MEDIUM	SPACING PER PLAN FULL FORM
27 BM			BLUE MIST SPIREA <i>Caryopteris x clandonensis</i> (18"-24" HT.)	#5	3' X 3'	LOW	SPACING PER PLAN FULL FORM
19 DR			DWARF RABBITBRUSH <i>Chrysothamnus nauseosus</i> 'Dwarf Blue' (18"-24" HT.)	#5	4' X 4'	LOW	SPACING PER PLAN FULL FORM
5 SH			SUNBURST HYPERICUM <i>Hypericum frondosum</i> 'Sunburst' (12"-15" HT.)	#5	3' X 3'	LOW	SPACING PER PLAN FULL FORM
16 RS			RUSSIAN SAGE <i>Rhus trilobata</i> (18"-24" HT.)	#5	4' X 4'	LOW	SPACING PER PLAN FULL FORM
13 DN			LITTLE DEVIL NINEBARK <i>Physocarpus opulifolius</i> 'Donna May' (12"-15" HT.)	#5	4' X 4'	LOW	SPACING PER PLAN FULL FORM
24 PS			PAWNEE BUTTES SAND CHERRY <i>Prunus besseyi</i> 'Pawnee Buttes' (18" HT.)	#5	1.5' X 5'	LOW	SPACING PER PLAN FULL FORM
4 SD			WESTERN SAND CHERRY <i>Prunus besseyi</i> 'Western' (18"-24" HT.)	#5	5' X 5'	LOW	SPACING PER PLAN FULL FORM
15 GS			GRO-LOW SUMAC <i>Rhus aromatica</i> 'Gro-low' (12"-15" HT.)	#5	2' X 6'	LOW	SPACING PER PLAN FULL FORM
3 TS			THREE LEAF SUMAC <i>Rhus trilobata</i> (18"-24" HT.)	#5	4' X 4'	LOW	SPACING PER PLAN FULL FORM
2 PL			COMMON PURPLE LILAC <i>Syringa vulgaris</i> (18"-24" HT.)	#5	15' X 8'	LOW	SPACING PER PLAN FULL FORM
<b>EVERGREEN SHRUBS</b>							
4 KK			KINKINICK <i>Arctostaphylos uva-ursi</i> (12"-15" HT.)	#5	1' X 5'	LOW	SPACING PER PLAN FULL FORM
16 SB			SPANISH GOLD BROOM <i>Cytisus purgans</i> 'Spanish Gold' (18"-24" SPD.)	#5	4' X 4'	LOW	SPACING PER PLAN FULL FORM
43 CJ			BLUE CHIP JUNIPER <i>Juniperus horizontalis</i> 'Blue Chip' (8"-12" SPD.)	#5	1' X 5'	LOW	SPACING PER PLAN FULL FORM
5 SJ			SEA GREEN JUNIPER <i>Juniperus x media</i> (18"-24" HT.)	#5	8' X 5'	LOW	SPACING PER PLAN FULL FORM
9 BJ			BUFFALO JUNIPER <i>Juniperus sabinna</i> 'Buffalo' (8"-12" SPD.)	#5	1' X 5'	LOW	SPACING PER PLAN FULL FORM
14 OG			COMPACT OREGON GRAPE HOLLY <i>Mahonia aquifolium compacta</i> (12"-15" HT.)	#5	3' X 5'	LOW	SPACING PER PLAN FULL FORM
<b>ORNAMENTAL GRASSES</b>							
169 FG			FEATHER REED GRASS <i>Calamagrostis acutiflora</i> 'Karl Foerster' (ESTABLISHED)	#1	4.5' X 2'	LOW	SPACING PER PLAN FULL FORM
43 BG			BLUE AVENA GRASS <i>Helictotrichon sempervirens</i> (ESTABLISHED)	#1	1.75' X 2.5'	LOW	SPACING PER PLAN FULL FORM
52 MG			MAIDEN GRASS <i>Miscanthus sinensis</i> (ESTABLISHED)	#1	5' X 3'	LOW	SPACING PER PLAN FULL FORM
73 RW			RED SWITCH GRASS <i>Panicum virgatum</i> 'Shanadoah' (ESTABLISHED)	#1	3.5' X 2.5'	LOW	SPACING PER PLAN FULL FORM
31 OF			ORIENTAL FOUNTAIN GRASS <i>Pennisetum orientale</i> 'Karley Rose' (ESTABLISHED)	#1	2.5' X 2'	LOW	SPACING PER PLAN FULL FORM
<b>PERENNIALS / GROUND COVER</b>							
17 WR			WHITE CONEFLOWER <i>Echinacea purpurea</i> 'Alba'	#1	2.5' X 1.5'	LOW	SPACING PER PLAN FULL FORM
14 CT			WALKER'S LOW CATMINT <i>Nepeta faassenii</i> 'Walker's Low'	#1	2' X 2'	LOW	SPACING PER PLAN FULL FORM
15 MS			MOJAVE SAGE <i>Salvia pachyphylla</i>	#1	3' X 3'	LOW	SPACING PER PLAN FULL FORM
20 AJ			AUTUMN JOY SEDUM <i>Sedum spectabile</i> 'Autumn Joy'	#1	2' X 1'	LOW	SPACING PER PLAN FULL FORM
<b>MULCH</b>							
			COLOR/MATERIAL: ROCK MULCH	AREA: 8,643 SF	TYPE: 1"-4" DIA. MULTI-COLOR ROCK MULCH WITH DOUBLE SHREDDED BARK MULCH RINGS (3" THICK). SEE LANDSCAPE NOTES.		2"-4" required
			COLOR/MATERIAL: WOOD MULCH	AREA: 699 SF	TYPE: 4" THICK OF DOUBLE SHREDDED BARK MULCH		
			STEEL EDGING - 375 LF				
			12 GRANITE BOULDERS 24"-48" DIA. SIZE				

SYMBOL	QTY	ABBR	COMMON/BOTANICAL NAME	SIZE	HT. X SPD.	HYDROZONE	REMARKS
<b>ANNUALS (PLANTER POTS AND OWNER SPECIFIED AREAS ONLY - MAY INCLUDE BUT NOT LIMITED TO)</b>							
699 SF			SNAP DRAGONS <i>Antirrhinum majus</i>	#1	3' X 1'	LOW	SPACING PER PLAN FULL FORM
			COSMOS <i>Cosmos bipinnatus</i>	#1	3' X 1'	LOW	SPACING PER PLAN FULL FORM
			GLOBE AMARANTH <i>Gomphrena globosa</i>	#1	1.5' X 1.5'	LOW	SPACING PER PLAN FULL FORM
			BLACK MONDO GRASS <i>Ophiopogon planiscapus</i> 'Nigrescens'	#1	1' X 1'	LOW	SPACING PER PLAN FULL FORM
			PURPLE FOUNTAIN GRASS <i>Pennisetum setaceum</i> 'Rubrum'	#1	3' X 2'	LOW	SPACING PER PLAN FULL FORM
			CLARY SAGE <i>Salvia sclarea</i>	#1	3' X 2'	LOW	SPACING PER PLAN FULL FORM
			NASTURTIUM <i>Tropaeolum majus</i> 'Alaska'	#1	1' X 1'	LOW	SPACING PER PLAN FULL FORM
<b>NATIVE SEED</b>							
3,560 SF			NATIVE SEED MIX				SEE SEED NOTES

### LANDSCAPE DATA - LOTS 10

ON-SITE	LOT AREA	LANDSCAPE AREA REQUIRED (MIN 15%)	TOTAL LANDSCAPE AREA PROPOSED:
	51,999 SF	7,800 SF (15.0%)	12,902 SF (24.8%)

VEGETATION REQUIRED:

DESCRIPTION	AREA	REQUIRED	PROVIDED
TREES	22,394*	15 (1/1,500)	20
SHRUBS	22,394*	75 (5/1,500)	224

\*51,999 LOT - 7,200 BLDG SF - 22,405 SF REQUIRED PARKING (PARKING STALLS & CIRCULATION AISLES WITH PARKING STALL ACCESS)

DESCRIPTION	EVERGREEN	DECIDUOUS	PROVIDED
EVERGREEN TREES:	5	15	25%

LANDSCAPE COVERAGE:  
 MINIMUM LANDSCAPE COVERAGE (MIN 75%) 9,676 SF (75.0%)  
 LANDSCAPE AREA COVERAGE PROPOSED: 11,186 SF (86.7%)  
 \*INCLUDES PLANTING BED SF, EVERGREEN TREES, UTILITY EQUIPMENT, BOULDERS AND OPEN ROCK MULCH AREAS

DESCRIPTION	AREA	REQUIRED	PROVIDED
<b>STREETSCAPE LANDSCAPING</b>			
EASTERN PRIVATE RD.	190 LF	5 TREES (1/40)	5 TREES
<b>SITE PERIMETER LANDSCAPING</b>			
SOUTH EDGE	50 LF	2 TREES (1/40), 7 SHRUBS (5/40)	2 TREES, 15 SHRUBS
WEST EDGE	216 LF	6 TREES (1/40), 27 SHRUBS (5/40)	6 TREES, 76 SHRUBS
NORTH EDGE	233 LF	6 TREES (1/40), 29 SHRUBS (5/40)	5 TREES, 39 SHRUBS

Perimeter landscape is in addition to streetscape required on the east property boundary. Please revise to include perimeter landscaping for the eastern edge.

### TOWN SIGNATURE BLOCK

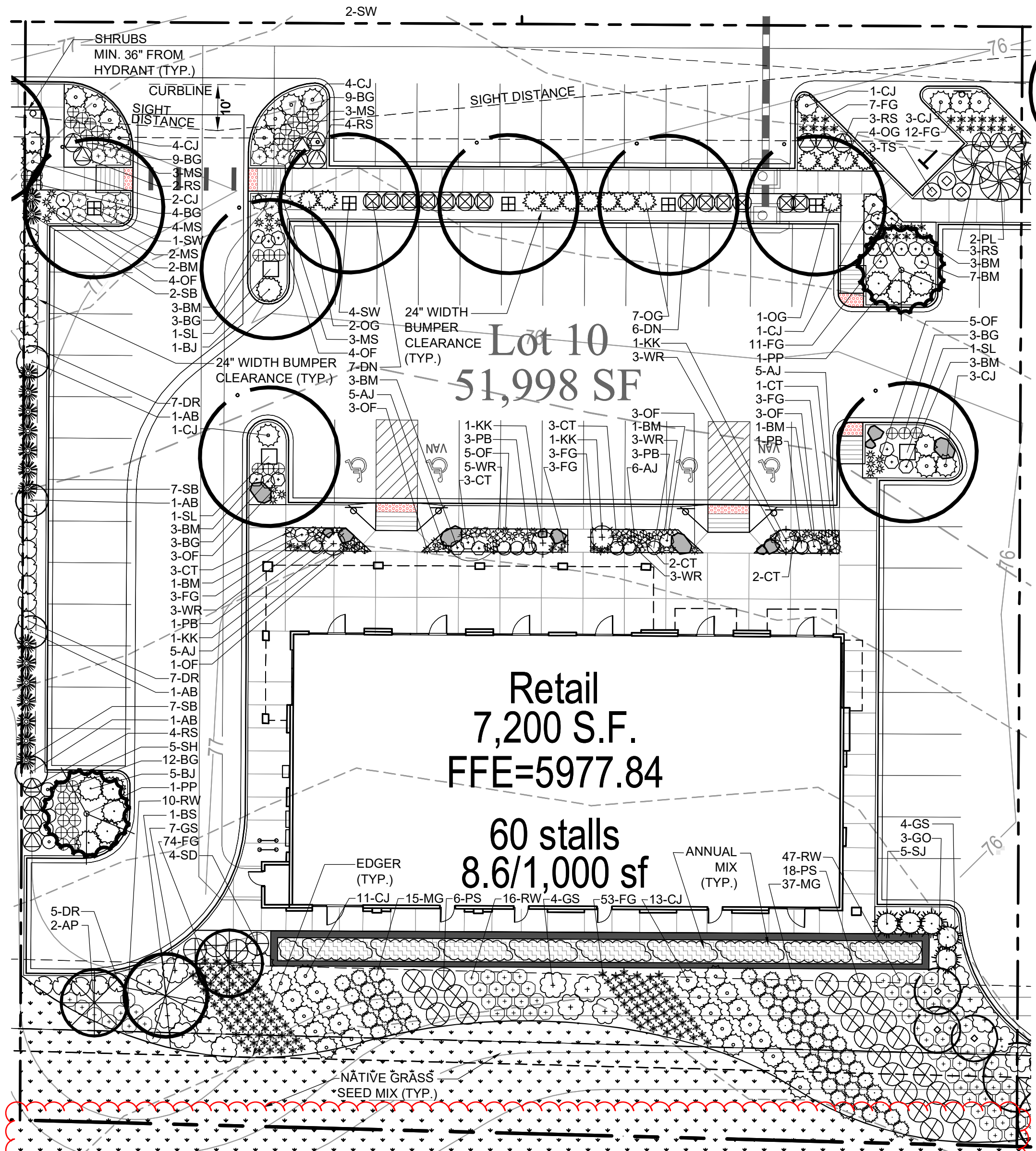
THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEER CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED, AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, PUBLIC WORKS DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

TOWN OF PARKER, PUBLIC WORKS MANAGER - STORMWATER \_\_\_\_\_ DATE \_\_\_\_\_

TOWN OF PARKER, PUBLIC WORKS MANAGER, TRANSPORTATION \_\_\_\_\_ DATE \_\_\_\_\_



### LANDSCAPING ACKNOWLEDGEMENT

NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.

APPLICANT AND/OR OWNER \_\_\_\_\_ DATE \_\_\_\_\_

### CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

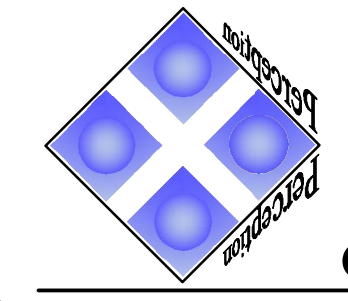
Landscaping within ROW may not be counted toward on site landscape requirements. Please verify that this area has not been included in calculations and provide a note that states such.



Know what's Below. Call before you dig.

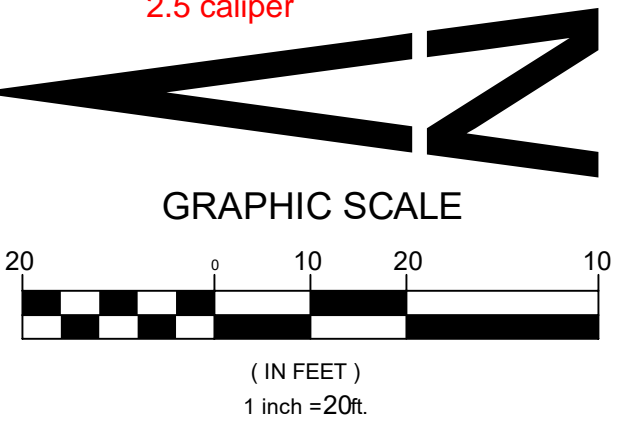
This signature block is not needed for the landscape plan as part of the site plan. Site Plans are administratively approved. This signature may be required as part of the CD's but should be removed from the site plan set.

**Sterling Design Associates, Inc**  
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS  
 2009 W. Littleton Blvd. #300  
 Littleton, CO 80120  
 303.794.4727 ph  
 www.SterlingDesignAssociates.com



**Perception Design Group, Inc.**  
 Consulting Civil Engineers  
 6901 South Pierce Street, Suite 315 Littleton, Colorado 80128  
 303-232-8088

PREPARED UNDER THE DIRECT SUPERVISION OF JOSEPH L. WILSON, C.D., P.E., COLORADO REGISTRATION LA-304 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC



OCTOBER 20, 2017

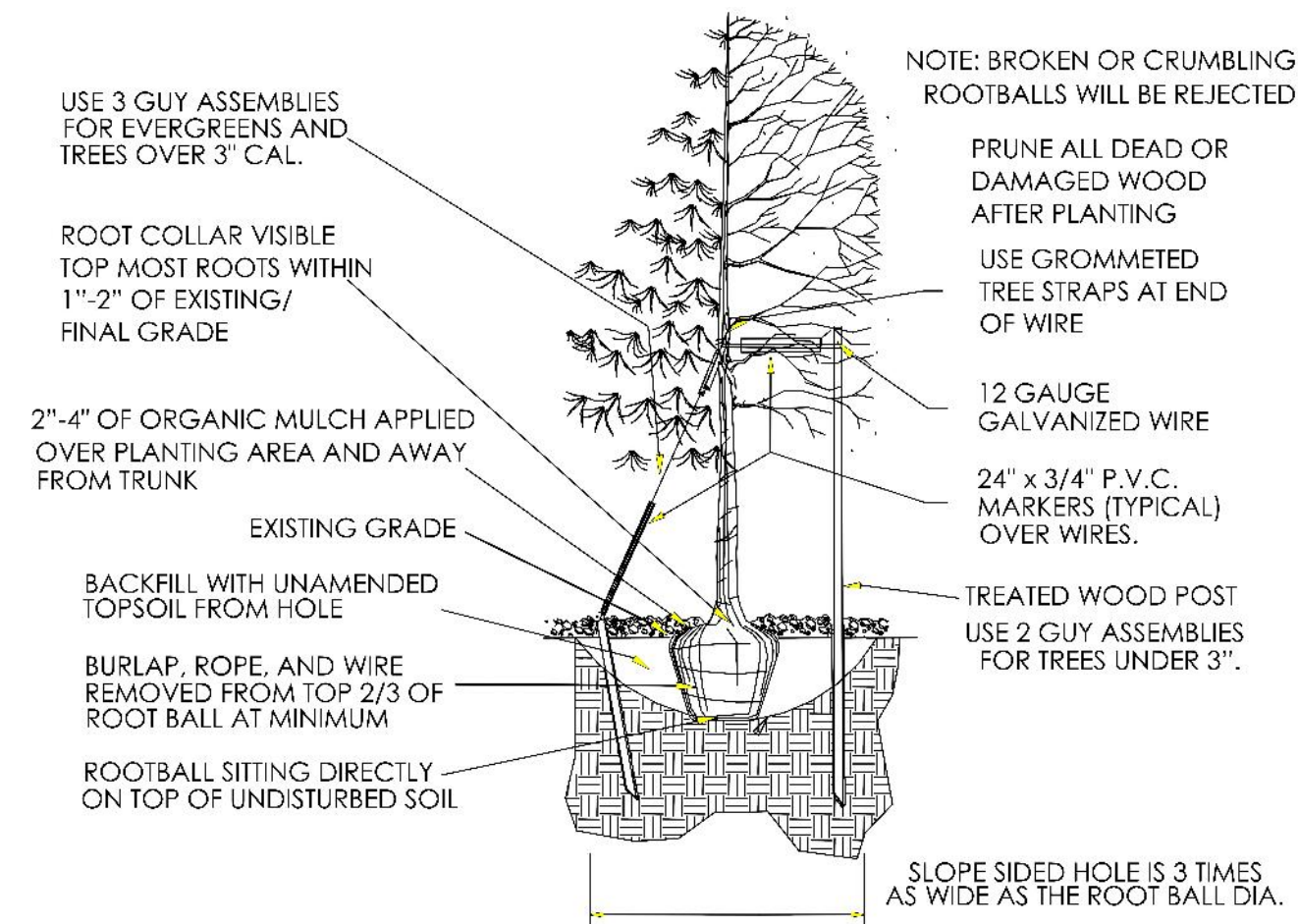
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## LANDSCAPE DETAILS

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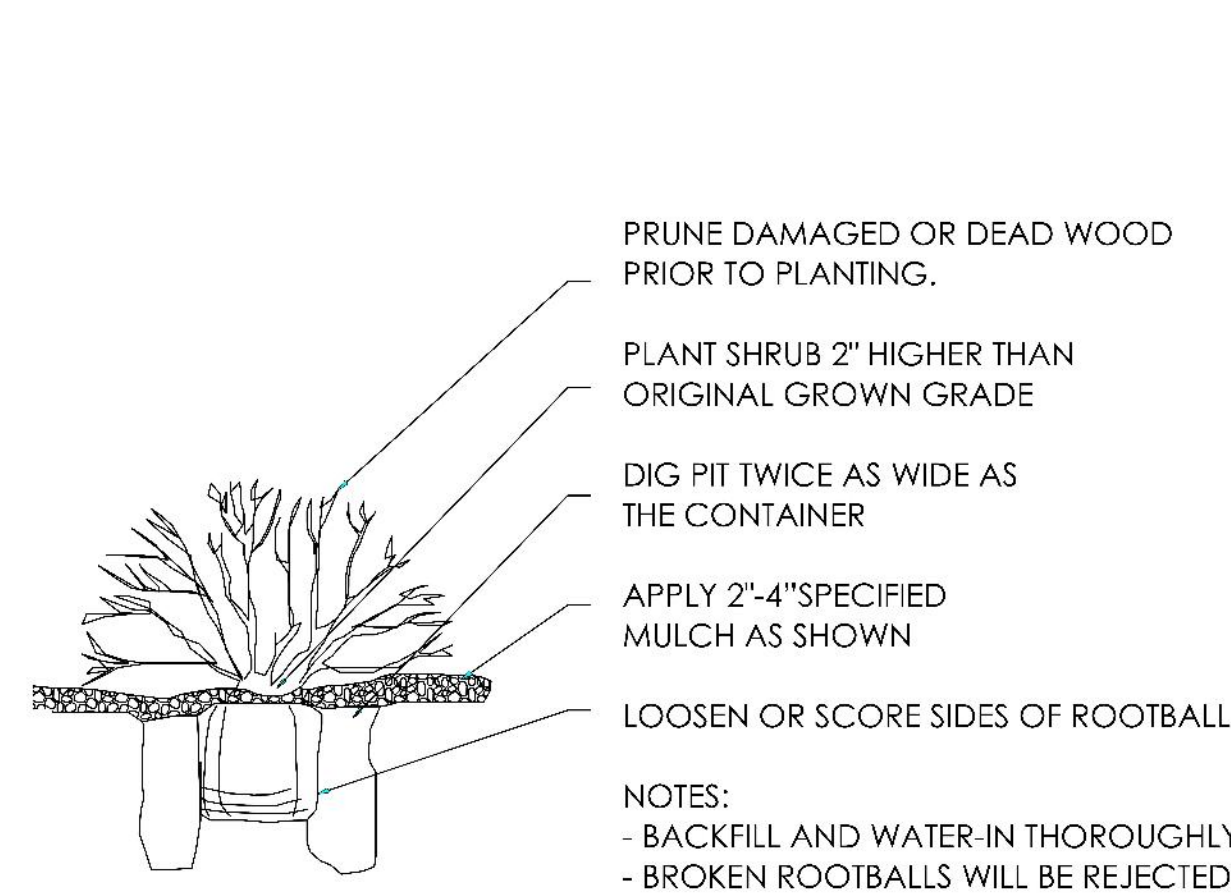
### TOWN OF PARKER PLANTING STANDARDS



- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/lane visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

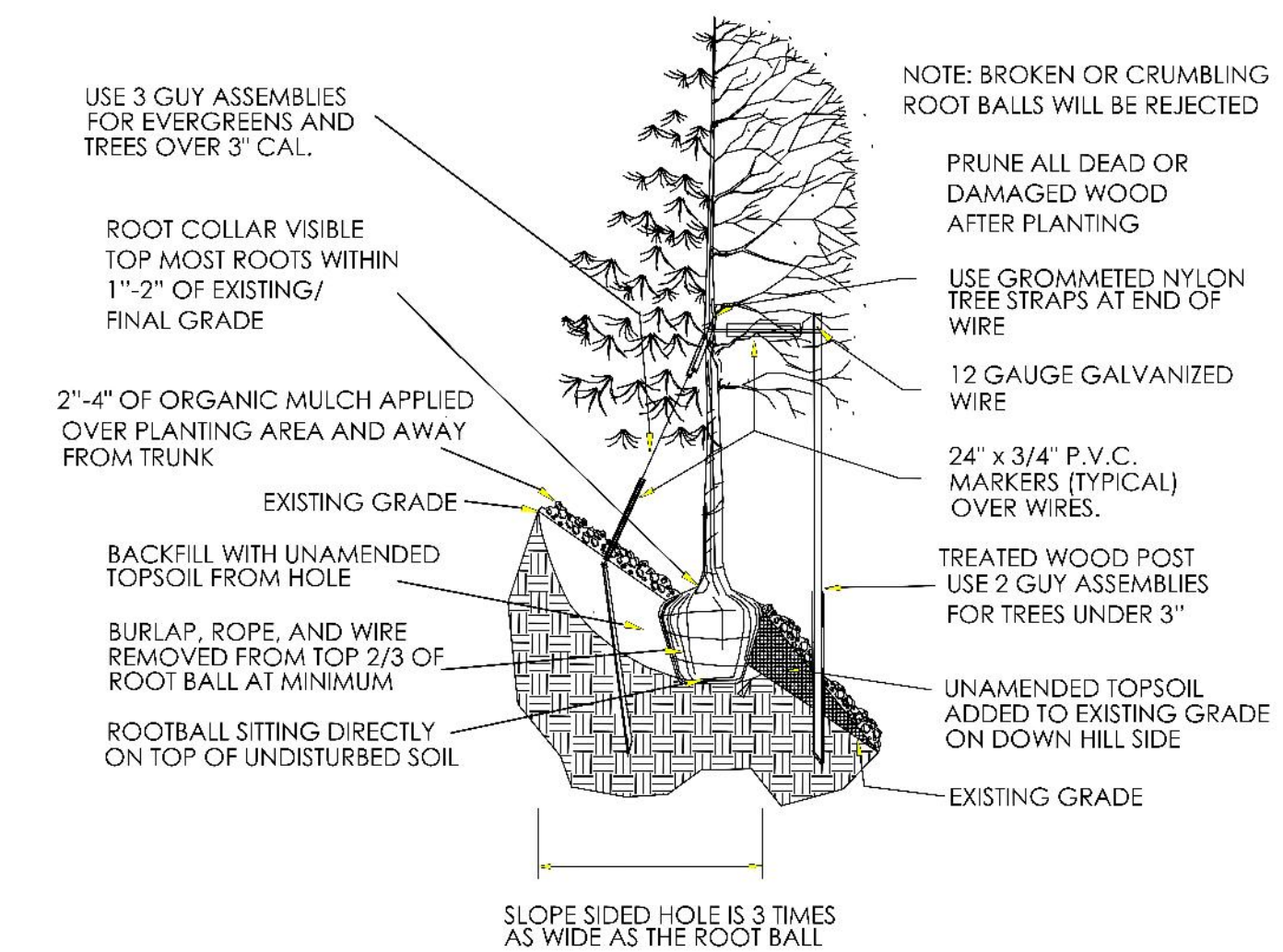
### TOWN OF PARKER PLANTING STANDARDS

#### TOWN OF PARKER PLANTING DETAIL - SHRUBS



### TOWN OF PARKER PLANTING STANDARDS

#### TOWN OF PARKER TREE PLANTING DETAIL - SLOPES



### TOWN OF PARKER WATER TAP WORKSHEET



#### Landscape/Irrigation Worksheet

Project Name: Parker and Stroh Site Lot 10

Landscape/Irrigation Tap address (physical location of tap) SE Corner of S. Parker and Stroh Road

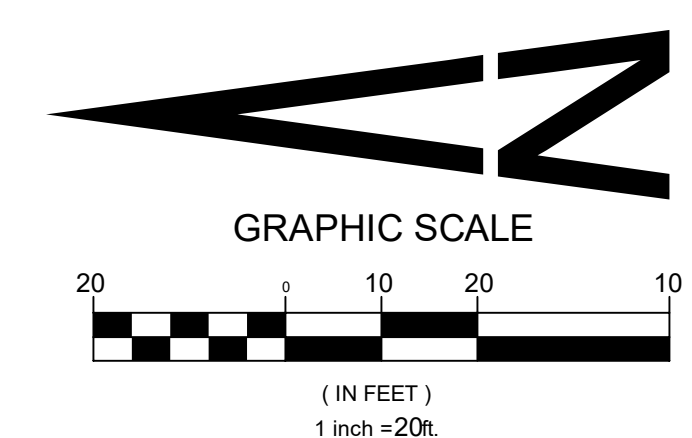
Landscape Area	High Water TURF (6,000sf = 1 SFE)	Low Water Native Grass and Spray Shrubs & Perennials (10,000sf = 1 SFE)	Drip Irrigated area (20,000sf = 1 SFE)	Sub-Total of Non-Irrigated area (calculated) Areas	PWSD one SFE per 6000	SFE Requirement (Sub-Total Calculation divided by 6000 = requirement)	
							Area #1
12,902 sf total							

Worksheet Completed by: Joseph L. Wilson, PLA, CID  
 Company: Sterling Design Associates, LLC  
 Address: 2009 W. Littleton Blvd. #300, Littleton, CO 80120  
 Phone #: 303-794-4727 ext 207

Owner/Developer: Dan Yacovetta  
 Attn: ----  
 Billing Address: ----  
 Phone #: ----

Manufacturer	ET Controller (with Rain Sensor)
Model number	HUNTER I-CORE W/ SOLAR-SYNC IC-4200-M/SOLAR-SYNC-SEN

Tap Size Requirements:  
 0 - 1 SFE's requires a 3/4-inch tap  
 1.1 - 2.0 SFE's requires a 1-inch tap  
 2.1 - 4.0 SFE's requires a 1 1/2-inch tap  
 4.1 - 7.0 SFE's requires a 2-inch tap  
 7.1 - 16.0 SFE's requires a 3-inch tap



OCTOBER 20, 2017



#### CAUTION - NOTICE TO CONTRACTOR

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PREPARED UNDER THE DIRECT SUPERVISION OF JOSEPH L. WILSON, CID, PLA, COLORADO REGISTRATION LA-304 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

# LOT 10 PARKER POINTE

LOT 10, PARKER POINTE FILING NO. 1

A PART SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## LANDSCAPE NOTES

PAGE 7 OF 12

### STANDARD LANDSCAPE NOTES

- COORDINATION**
  - THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL, AND IRRIGATION PLANS, STANDARDS AND SPECIFICATIONS, TO FORM COMPLETE INFORMATION REGARDING THIS SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY AND UP-TO-DATE ISSUE PLAN SETS.
  - ALL LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
  - MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR THE GOVERNING JURISDICTION CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS.
  - IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES.
- COMPLIANCE**
  - ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING ANY STANDARDS, AND SPECIFICATIONS.
  - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE STATE'S LANDSCAPE CONTRACTORS ASSOCIATION.
- GUARANTEE**
  - ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE AND REPAIR/REPLACE ANY PORTIONS OF THE IRRIGATION SYSTEM AS NECESSARY IN THAT TIME.
- COMPLETION AND MAINTENANCE**
  - FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
  - LANDSCAPE MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, RE-GRADING, REPLANTING, DISEASE AND INSECT PROTECTION. IF SITE IS TO OPEN DURING WINTER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE OWNER AND LANDSCAPE ARCHITECT ON TIMING FOR THE INSTALLATION OF PLANT MATERIAL. THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
  - GRADING MAINTENANCE: DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THESE NOTES, THE GRADING PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT.
  - IRRIGATION MAINTENANCE: DURING THE LANDSCAPE MAINTENANCE PERIOD, ALL IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- SITE CONDITIONS**
  - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED.
  - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
  - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
  - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
  - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
  - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS TO REMAIN. THE CONTRACTOR SHALL REPLACE ANY SUCH PLANTS DAMAGED DURING CONSTRUCTION/MAINTENANCE PERIODS WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- DAMAGE AND CLEANING**
  - CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION**
  - OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME.

- SOIL PREPARATION**
  - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT OR APPROVED EQUAL AT A RATE OF 4.0 CUBIC YARDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. AMENDMENT SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
  - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- PLANT MATERIAL**
  - ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
  - TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- PLANTING**
  - TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. NO 'T-STAKES' SHALL BE USED FOR TREES.
  - TREES INSTALLATION PROCEDURE: SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3" ABOVE FINISH GRADE. CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE ALL BURLAP FROM AROUND ROOTBALL. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. WHEN WRAPPING TREE, WRAP FROM TRUNK FLARE TO LOWEST MAJOR BRANCH. REMOVE ALL NURSERY STAKES AFTER PLANTING. FOR TREES OVER 3" CALIPER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
  - TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING.
  - BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED.
  - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
  - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
  - ALL PLANT BEDS SHALL BE CONTAINED WITH EDGE AS SPECIFIED IN THE LEGEND. EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. WHEN STEEL EDGING IS SPECIFIED, ALL STEEL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
- MULCH**
  - AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE SIZE OF THE OF SHRUB, PERENNIAL, AND ORNAMENTAL GRASS'S CONTAINER/ROOTBALL. TREE RING SIZE SHALL REFERENCE INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE STATE'S LANDSCAPE CONTRACTORS ASSOCIATION.
  - ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
  - INSTALL WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
  - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
  - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS OR APPROVED EQUAL. INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS.
- SODDING**
  - SOD SHALL BE CANADIAN BLUE FESCUE GRASS BY TURF MASTERS (970) 493-8311. SOIL PREP., INSTALL, AND WATER ACCORDING TO TURF MASTERS GUIDELINES.
- IRRIGATION**
  - THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

- ALL NON-TURF PLANTED AREAS WILL BE DRIP IRRIGATED. SODDED/SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE PER LOCAL, STATE, AND FEDERAL CODE.
- REFER TO THE IRRIGATION PLAN (AS APPLICABLE).

### TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNER'S ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OR THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

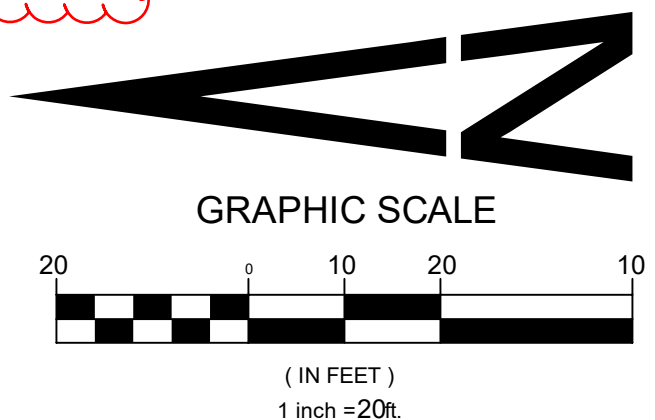
### SEED NOTES

ALL SEED MIXES AVAILABLE THROUGH: WESTERN NATIVE SEED COMPANY P.O. BOX 188 COALDALE, CO 81222 (719) 942-3935		'HIGH PLAINS / FOOTHILLS GRASS MIX' FOR ELEVATIONS BETWEEN 4,500' - 7,000' SEEDING RATE: 3 LBS/1000 SQ.FT.	
%	SCIENTIFIC NAME	COMMON NAME	
35	BOUTELOUA CURTIPENDULA	SIDE-OATS GRAMA	
15	PASCOPYRUM SMITHII	WESTERN WHEATGRASS	
10	ELYMUS ELYMOIDES	BOTTLEBRUSH SQUIRRELTAIL	
10	ELYMUS TRACHYCAULUS	SLENDER WHEATGRASS	
5	ANDROPOGON GERARDII	BIG BLUESTEM	
5	BOUTELOUA GRACILIS	BLUE GRAMA	
5	ORYZOPSIS HYMENOIDES	INDIAN RICEGRASS	
5	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	
5	SPOROBOIUS CRYPTANDRUS	SAND DROPSOED	
5	STIPA VIRIDULA	GREEN NEEDLEGRASS	

### SEED ESTABLISHMENT NOTES

- INSTALL PER SEED PROVEYOR'S AND/OR MANUFACTURE'S RECOMMENDATIONS.
- THE LANDSCAPE CONTRACTOR SHALL SEED ALL NATIVE SEED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS. SOIL PREPARATION MEASURES IN AREAS TO BE SEEDED SHALL BE COMPLETED PRIOR TO SEEDING.
- FOR PROPER ESTABLISHMENT, SEED SHALL BE INSTALLED WHEN AT LEAST THREE MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN THREE MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES, AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS AND ENSURE TIMELY CLOSEOUT. THESE MEASURES MAY INCLUDE, AT THE OWNER'S OPTION, RESEEDING OF SPARSELY GERMINATED AREAS AND/OR INSTALLATION OF SOD IN ALL SEEDED AREAS.

Seed mix specified does not correspond with any of the native seed mixes in the construction specifications and design considerations for parks trails and streetscapes manual.



OCTOBER 20, 2017



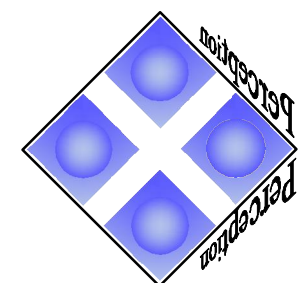
Know what's Below.  
Call before you dig.

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PREPARED UNDER THE DIRECT SUPERVISION OF JOSEPH L. WILSON, C.D. P.L.A. COLORADO REGISTRATION LA-304 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC



Perception  
Design Group, Inc.

Consulting Civil Engineers

6901 South Pierce Street, Suite 315 Littleton, Colorado 80128  
303-232-8088

# LOT 10 PARKER POINTE

LOT 10, PARKER POINTE FILING NO. 1  
 A PART SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## EXTERIOR ELEVATIONS

PAGE 8 OF 12

Need detail of planter box shown on west elevation.

Please call out all transparency on building and add to material table.

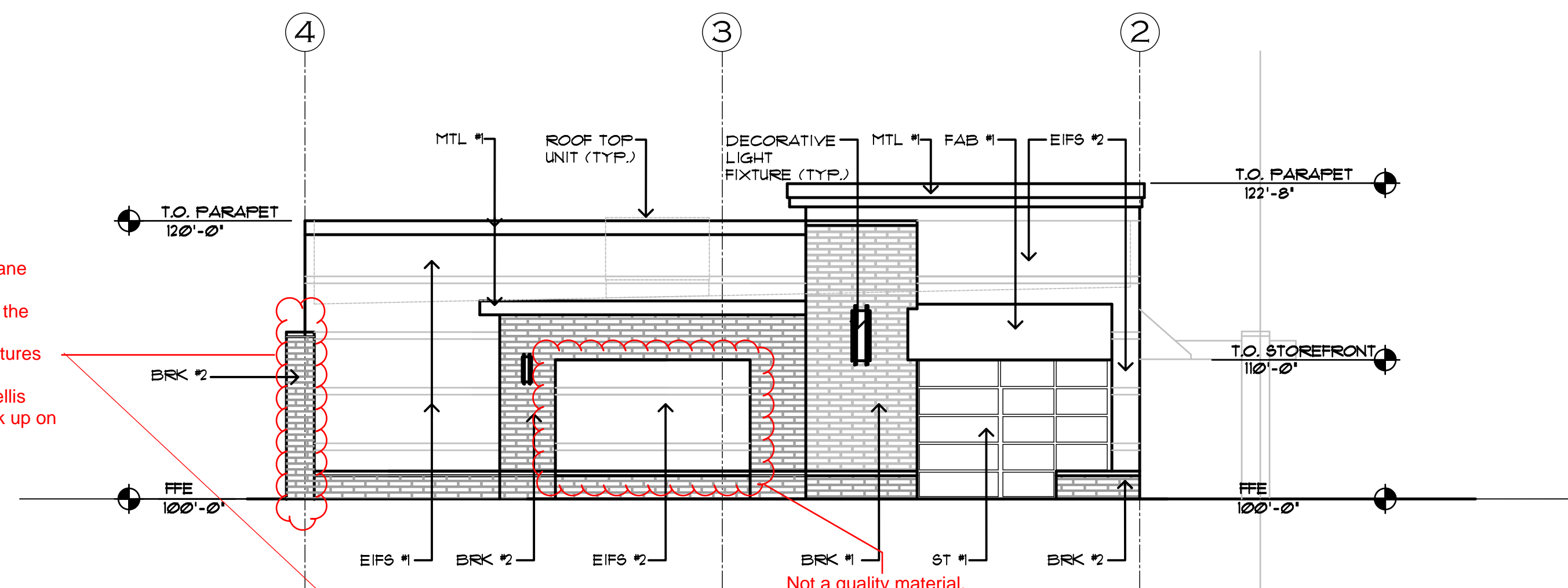
Need detail of cornice

Need detail of trellis. Also material proposed, not shown in materials table. Need a physical material sample of trellis material.

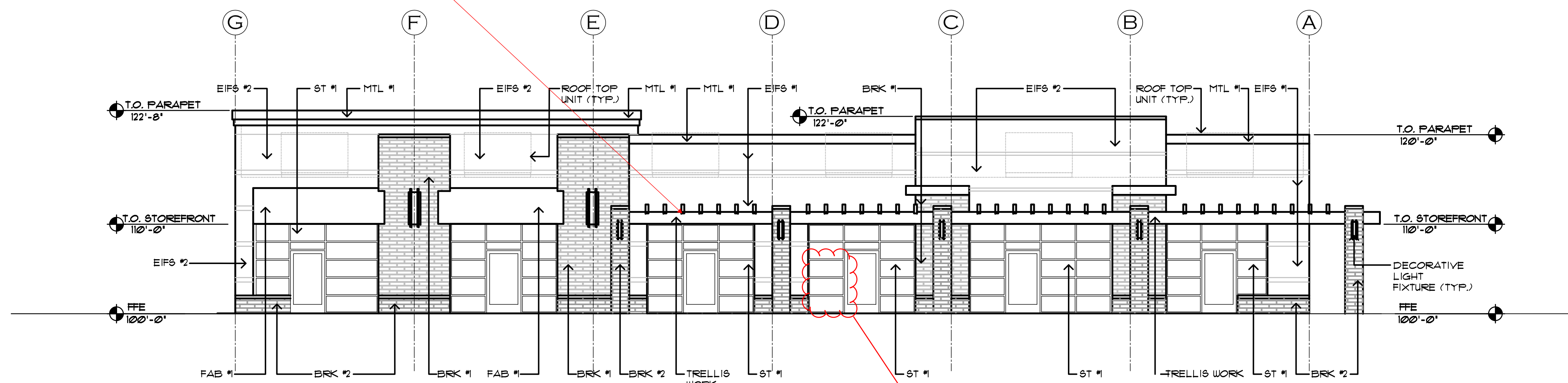
Need greater plane change. West elevation needs the addition of architectural features similar to east elevation, i.e. trellis detail. See mock up on 9 of 12.

Not a quality material. Consider other decorative treatment, base colored brick for instance.

Please clarify, transparent material?





**02 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**01 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"

### EXTERIOR MATERIAL LEGEND

AWNING (FAB #1)	MANUFACTURE, SUNBRELLA - COLOR 'FLAGSHIP ROUGE'
AWNING (FAB #2)	MANUFACTURE, SUNBRELLA - COLOR 'FLAGSHIP IVY'
MTL FLASHING (MTL #1)	MANUFACTURE, BERRIDGE - COLOR 'DARK BRONZE'
EIFS/STUCCO (EIFS #1)	MANUFACTURE, DRYVIT - COLOR 'PARCHMENT'
EIFS/STUCCO (EIFS #2)	MANUFACTURE, DRYVIT - COLOR 'GULL GRAY'
ALUMINUM STOREFRONT (ST #1)	MANUFACTURE, KAUNEER - COLOR 'ANODIZED'
 BRICK VENEER (BRK #1)	MANUFACTURE, SUMMIT BRICK - COLOR 'SUNSET RED'
 BRICK VENEER (BRK #2)	MANUFACTURE, SUMMIT BRICK - COLOR 'CHARCOAL IRONSPOT'

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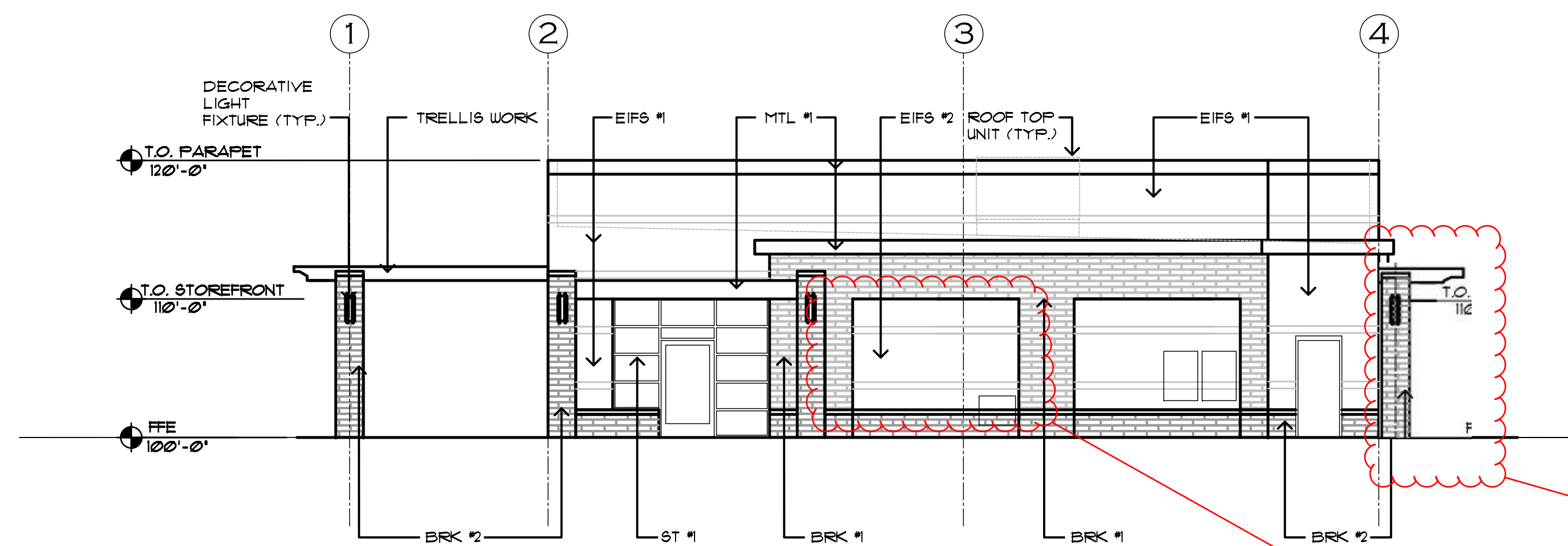
Architecture - Planning  
 425 Wilcox Street, Ste. 120  
 Castle Rock, Co 80104  
 720-878-6534

# LOT 10 PARKER POINTE

LOT 10, PARKER POINTE FILING NO. 1  
 A PART SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## EXTERIOR ELEVATIONS

PAGE 9 OF 12



**02 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

West elevation architecture reflects "back of house". Needs to reflect front or east elevation elements more closely. Faux trellis may be one way. Addition of exterior lighting may be another. Please review mock up below. Tower is not shown

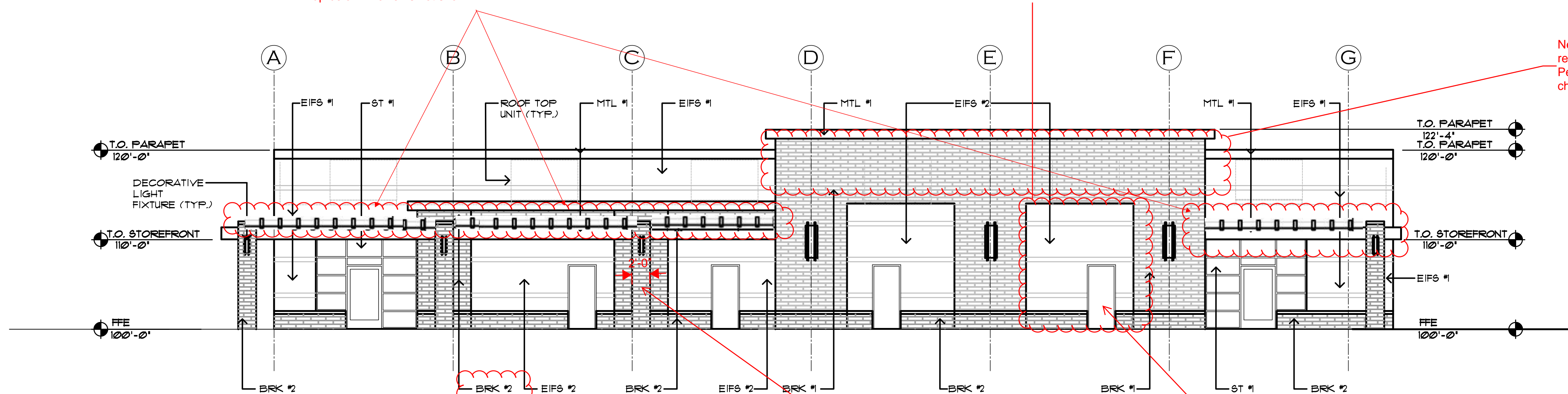
**Mock up**

EIFS is not a quality material. Consider other decorative treatment for areas where EIFS is shown, particularly at base and mid level.

Improve plane change per note on sheet 8 of 12.

### EXTERIOR MATERIAL LEGEND

AWNING (FAB #1)	MANUFACTURE, SUNBRELLA - COLOR 'FLAGSHIP ROUGE'
AWNING (FAB #2)	MANUFACTURE, SUNBRELLA - COLOR 'FLAGSHIP IVY'
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BRICK VENEER (BRK #1)	MANUFACTURE, SUMMIT BRICK - COLOR 'SUNSET RED'
BRICK VENEER (BRK #2)	MANUFACTURE, SUMMIT BRICK - COLOR 'CHARCOAL IRONSPOT'



**01 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

Should this be brick 1?

Proposed projections do not meet the requirements in the Architectural Concepts of the design guidelines submitted for this shopping center relative to plane changes under architectural massing and scale. Please see highlighted design guidelines. Additionally, no timbers have been used in this design as is encouraged in the design guidelines, unless the patio trellis is constructed of timbers. No material is identified for the trellis in the exterior materials table.

Please clarify door material and detail. These doors face Parker Rd and should reflect "front of house" architectural detail.

Need some horizontal relief in this area. Perhaps a material change or

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## SITE PHOTOMETRIC PLAN

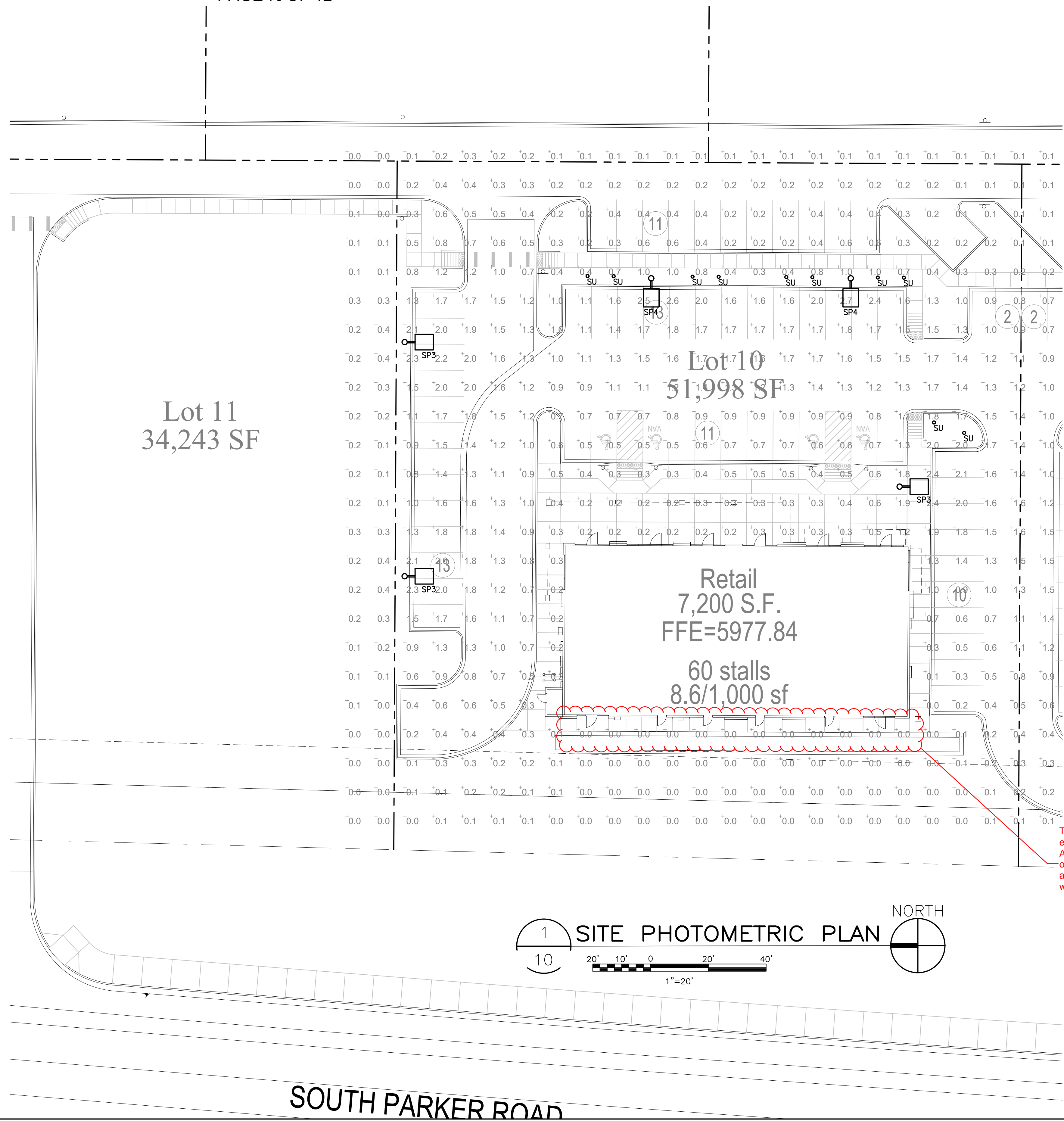
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- GENERAL NOTES:**
1. ALL EXTERIOR SITE LIGHTING FIXTURES SHALL BE CONTROLLED BY AN ASTRONOMICAL TIMECLOCK OR PHOTOCELL.
  2. PHOTOMETRIC CALCULATIONS HAVE BEEN DETERMINED USING A LIGHT LOSS FACTOR OF 1.0
  3. VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
  4. SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS WITH NO GLARE ONTO ADJACENT PROPERTIES.
  5. THERE WILL BE NO OFF-SITE GLARE ALLOWED.

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min Ratio
SITE CALCS	+	0.7 fc	2.8 fc	0.0 fc	N/A

Must use positive number, please recalculate.

Decorative wall lighting has not been shown and no cut sheet has been provided.



There are access doors on this elevation. Additional lighting is needed. Additional lighting has been suggested on the mock up on 9 of 12 though another idea that would meet the intent would be considered.

1 SITE PHOTOMETRIC PLAN 10

NORTH

20' 10' 0 20' 40'

1"=20'

OCTOBER 25, 2017

**GIVEN**  
 & ASSOCIATES INC  
 MECHANICAL & ELECTRICAL ENGINEERS  
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 Lakewood, Colorado 80228  
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 Project # 17133

SOUTH PARKER ROAD

# LOT 10 PARKER POINTE

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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

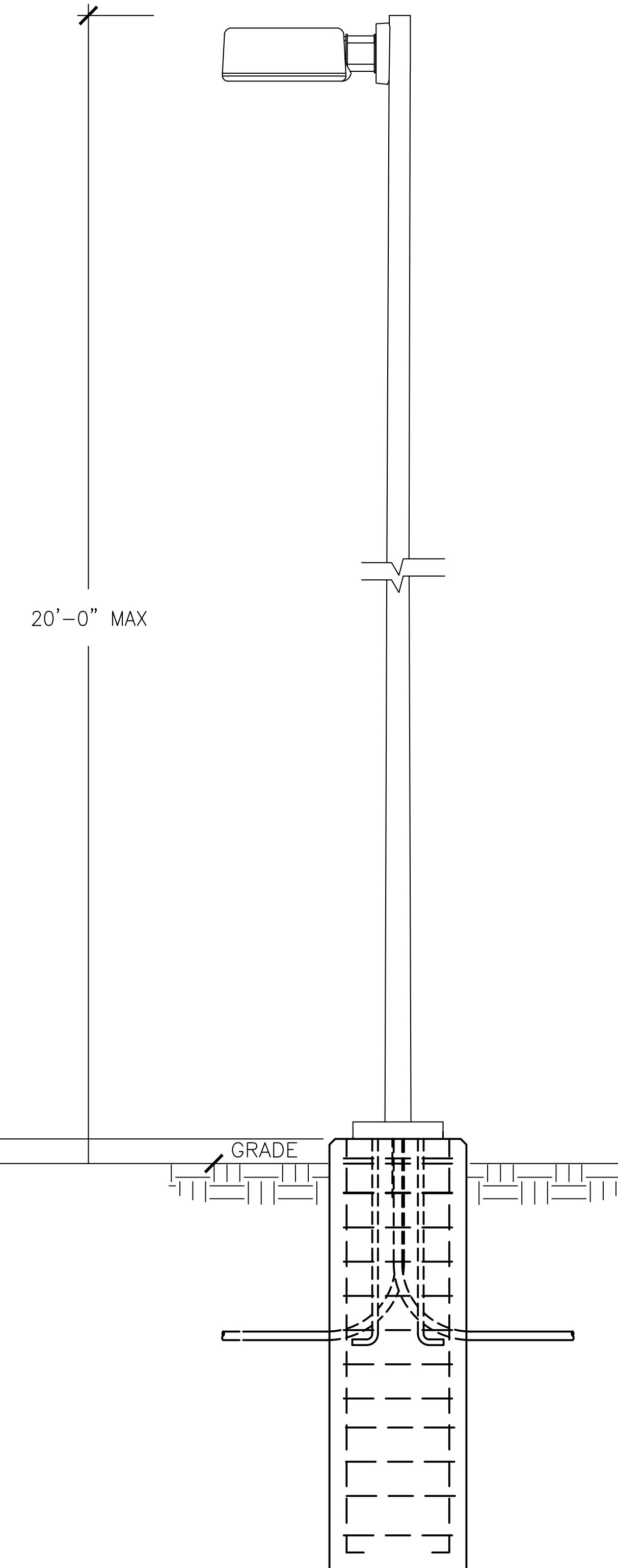
## SITE LIGHTING DETAILS

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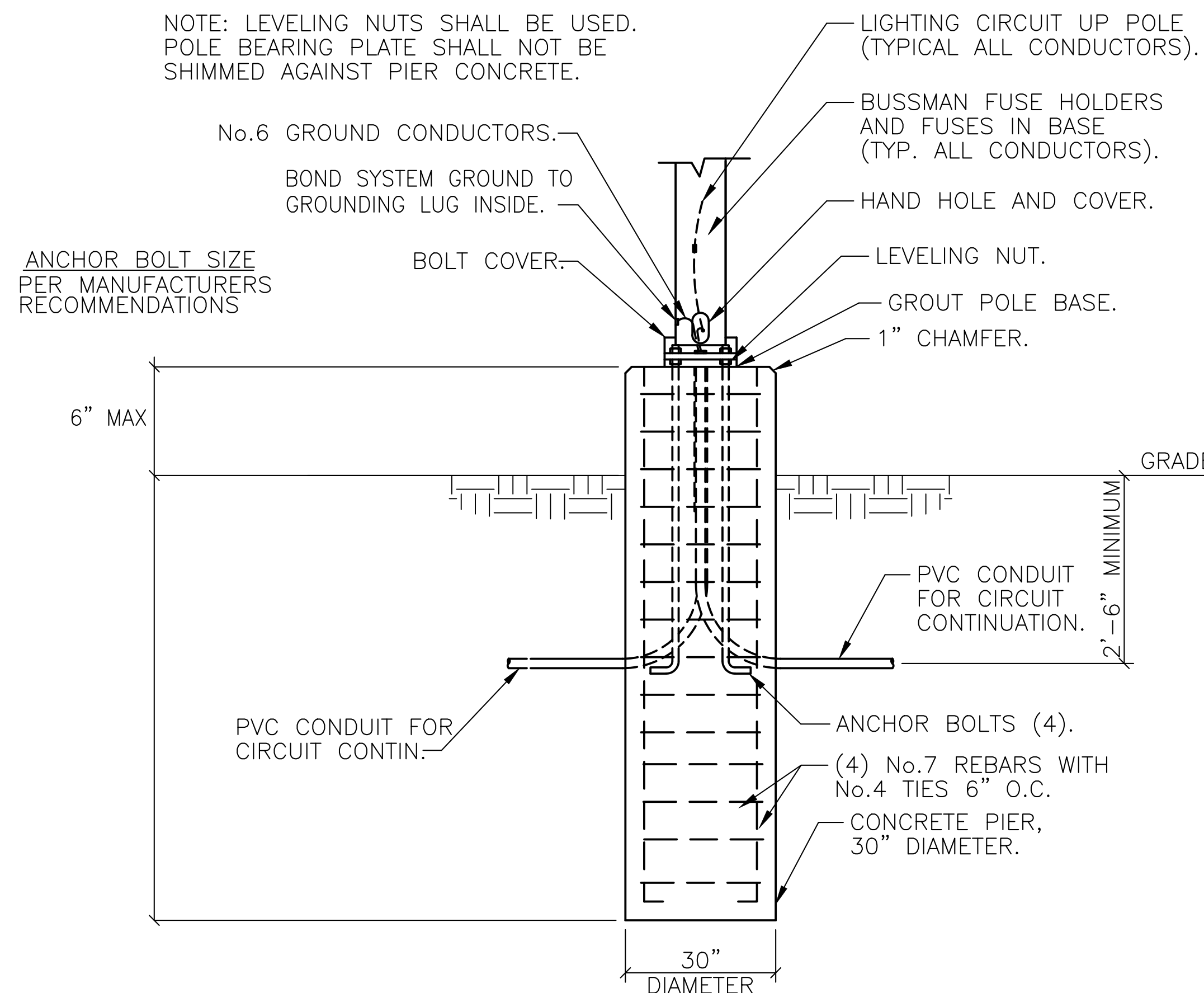
LUMINAIRE SCHEDULE							
PLAN MARK	MOUNTING	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	VOLTAGE	NO. OF LAMPS	LAMP TYPE	REMARKS
SP3	POLE	20' HEIGHT	LITHONIA KAD-LED-30C-700-30K-ER-MVOLT-HS	120/208	1	69W LED	TYPE III DISTRIBUTION W/ HOUSE SIDE SHIELDS
SP4	POLE	20' HEIGHT	LITHONIA KAD-LED-30C-700-30K-R4-MVOLT	120/208	1	69W LED	TYPE IV DISTRIBUTION
SU	IN-GRADE	TREE UPLIGHT	LITHONIA OLBF-8-30K-MVOLT-DDB	MVOLT	1	10.5W LED	

Missing fixtures and no quantities provided.

TYPE 'SD1/SD3/SD4/SD5' FIXTURES  
LOCATED IN LANDSCAPE



1 POLE DETAIL  
11 N.T.S.



2 POLE BASE DETAIL  
11 N.T.S.

NOTE: LEVELING NUTS SHALL BE USED.  
POLE BEARING PLATE SHALL NOT BE  
SHIMMED AGAINST PIER CONCRETE.

No.6 GROUND CONDUCTORS.

BOND SYSTEM GROUND TO  
GROUNDING LUG INSIDE.

ANCHOR BOLT SIZE  
PER MANUFACTURERS  
RECOMMENDATIONS

BOLT COVER.

LIGHTING CIRCUIT UP POLE  
(TYPICAL ALL CONDUCTORS).

BUSSMAN FUSE HOLDERS  
AND FUSES IN BASE  
(TYP. ALL CONDUCTORS).

HAND HOLE AND COVER.

LEVELING NUT.

GROUT POLE BASE.

1" CHAMFER.

GRADE

PVC CONDUIT  
FOR CIRCUIT  
CONTINUATION.

ANCHOR BOLTS (4).

(4) No.7 REBARS WITH  
No.4 TIES 6" O.C.

CONCRETE PIER,  
30" DIAMETER.

6" MAX

30"  
DIAMETER

GRADE

PVC CONDUIT  
FOR CIRCUIT  
CONTINUATION.

ANCHOR BOLTS (4).

(4) No.7 REBARS WITH  
No.4 TIES 6" O.C.

CONCRETE PIER,  
30" DIAMETER.

6" MAX

30"  
DIAMETER

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