

LOT 11 PARKER POINTE

LOT 11, PARKER POINTE FILING NO. 1
 A PART SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

COVER SHEET

PAGE 1 OF 12



VICINITY MAP
 SCALE: 1" = 500'



SITE DATA TABLE

GROSS SITE AREA	50,792 SF	100%
BUILDING FOOTPRINT	7,260 SF	14.3%
PARKING/DRIVES	24,806 SF	48.8%
SIDEWALKS	5,824 SF	11.5%
LANDSCAPING	12,901 SF	25.4%
PARKING REQUIRED		
RESTAURANT @ 1/100	4,000 SF	40
RETAIL @ 1/300	3,260 SF	11
TOTAL REQUIRED		51
TOTAL PROVIDED		56
BICYCLE PARKING		
TOTAL REQUIRED	3	(1/20 PARKING STALLS)
TOTAL PROVIDED	3	

SITE ZONING

TOWN OF PARKER - C - COMMERCIAL

Modified Commercial

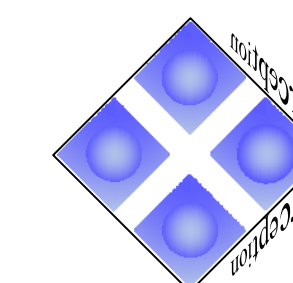
DEVELOPER

PARKER & STROH, LLC
 975 LINCOLN STREET, SUITE 204
 DENVER, CO 80203
 (303) 699-3368
 CONTACT: DAN YACOVETTA

SHEET INDEX

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SHEET 2	SITE PLAN
SHEET 3	GRADING PLAN
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SHEET 11	LUMINAIRE CUT SHEETS
SHEET 12	LUMINAIRE CUT SHEETS

FEBRUARY 28, 2018



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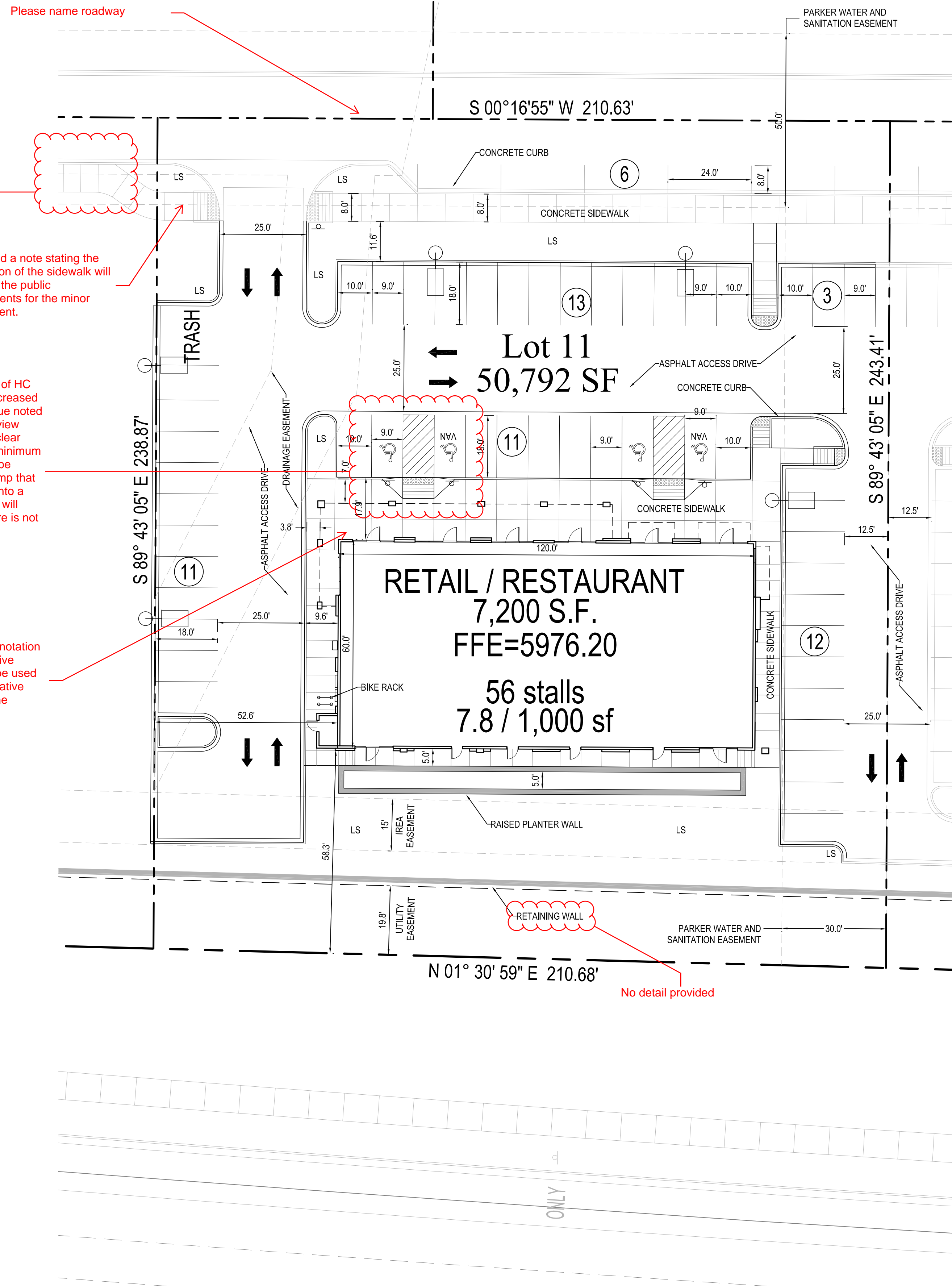
6901 South Pierce Street, Suite 315 Littleton, Colorado 80128
 303-232-8088

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SITE PLAN

PAGE 2 OF 12



LEGEND

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP WITH DETECTABLE WARNING
- PROPOSED HANDICAP PARKING STALL
- PROPOSED PARKING COUNT PER ROW
- PROPOSED LANDSCAPED AREA
- FIRE HYDRANT
- PROPOSED SITE SIGNAGE SHOWN FOR INFORMATION ONLY NOT APPROVED WITH THIS PLAN SEPARATE REVIEW AND PERMIT REQUIRED
- EXISTING EASEMENT
- PROPOSED TRANSFORMER
- PROPOSED SITE LIGHTING

General site plan submittal requirements

Add names of adjacent streets
 Exterior lighting locations and fixture types are not shown as required.
 Identify adjacent lots.

Per CI&MF
 Need sidewalk connection to Parker Rd sidewalk. May use a single connection for lots 10 and 11, but connection is required to ultimately tie into Lemon Gulch trail.

Staff has reviewed the response to this request. A sidewalk must be provided. Topography challenges could be overcome with steps. This access does not need to meet ADA as other ADA access is provided. Access to Sulpher Gulch will come from Parker Road, but pedestrian access to Parker Road must be provided from lots 10 and 11.

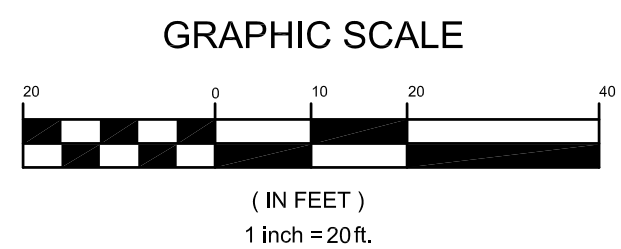
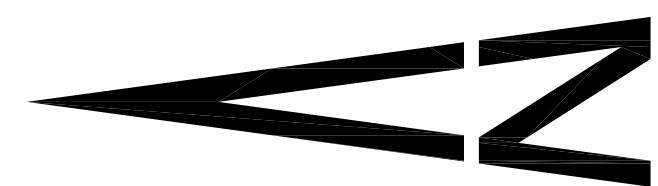
This is a comment more appropriate for the MD application but for consistency of message, street geometry, i.e. parallel parking, must be continued for the length of the roadway

Please add a note stating the construction of the sidewalk will be part of the public improvements for the minor development.

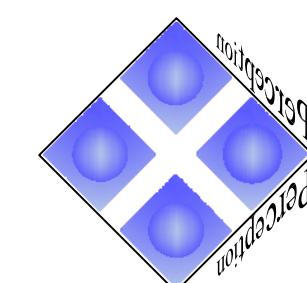
The relocation of HC parking has increased the access issue noted in the initial review comments. A clear walkway of a minimum of 7 feet must be provided. A ramp that leads directly into a patio area that will contain furniture is not accessible.

Please add a notation that a decorative concrete will be used or add "Decorative Concrete to the legend.

No detail provided



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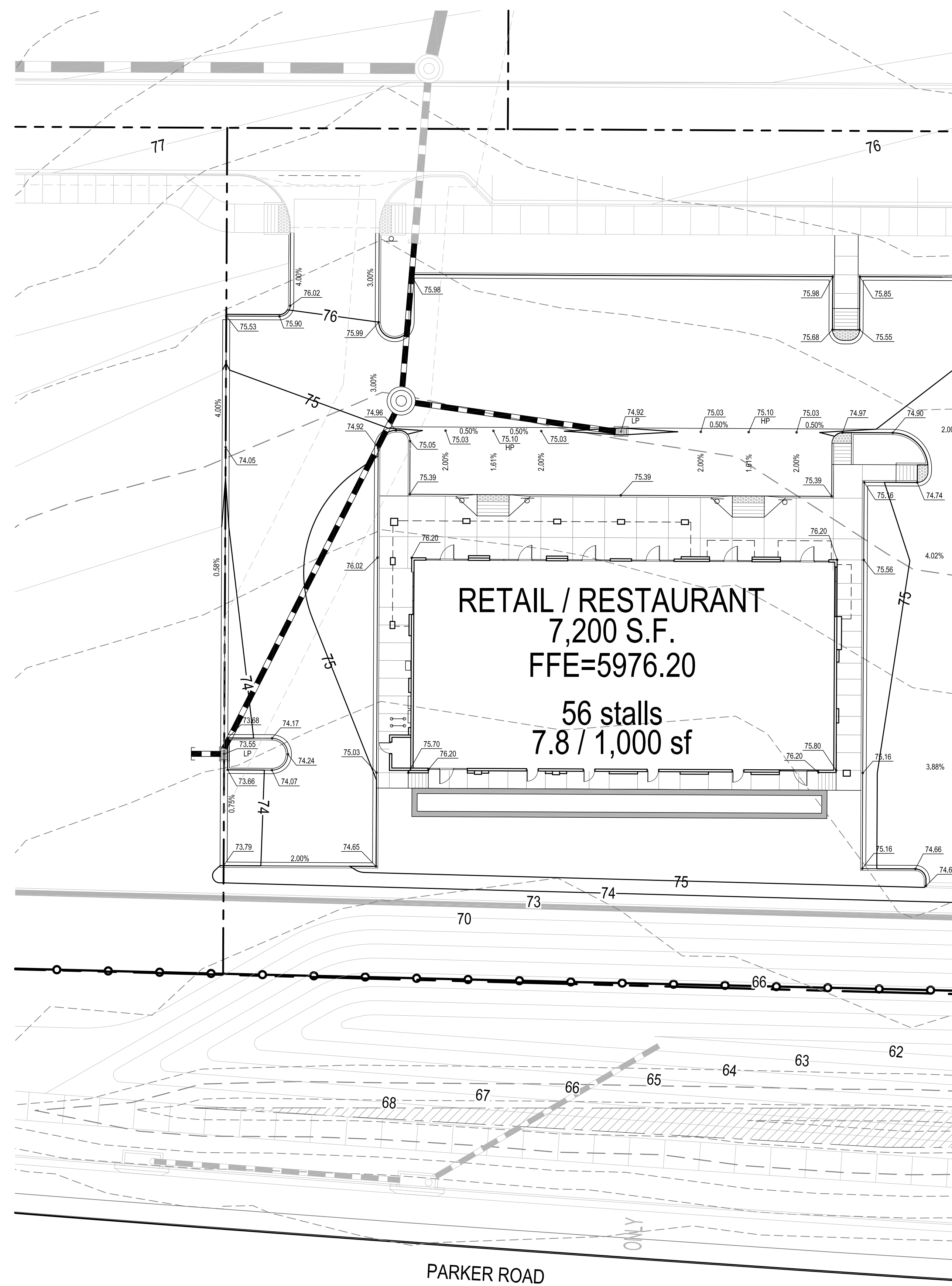
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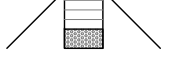

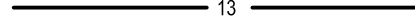


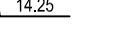



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GRADING PLAN

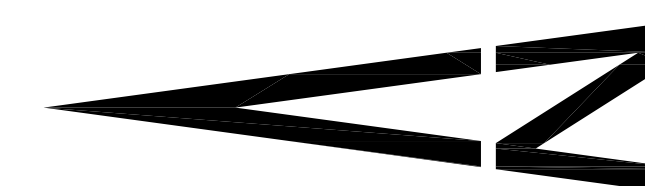
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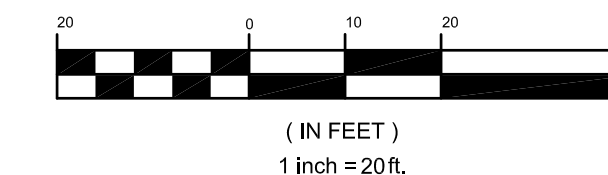
LEGEND

-  PROPERTY LINE
-  EXISTING CURB AND GUTTER
-  PROPOSED CURB AND GUTTER
-  PROPOSED SIDEWALK
-  PROPOSED HANDICAP RAMP
-  EXISTING CONTOUR
-  PROPOSED CONTOUR
-  PROPOSED HIGH POINT
-  PROPOSED LOW POINT
-  PROPOSED SPOT ELEVATION
-  PROPOSED RETAINING WALL
-  PROPOSED FINISHED GRADE AT TOP OF WALL
-  PROPOSED FINISHED GRADE AT BOTTOM OF WALL

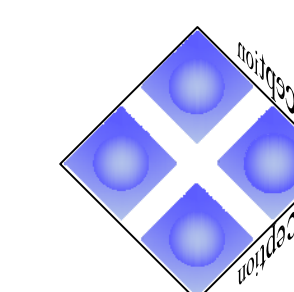
RETAIL / RESTAURANT
7,200 S.F.
FFE=5976.20
56 stalls
7.8 / 1,000 sf



GRAPHIC SCALE



FEBRUARY 28, 2018



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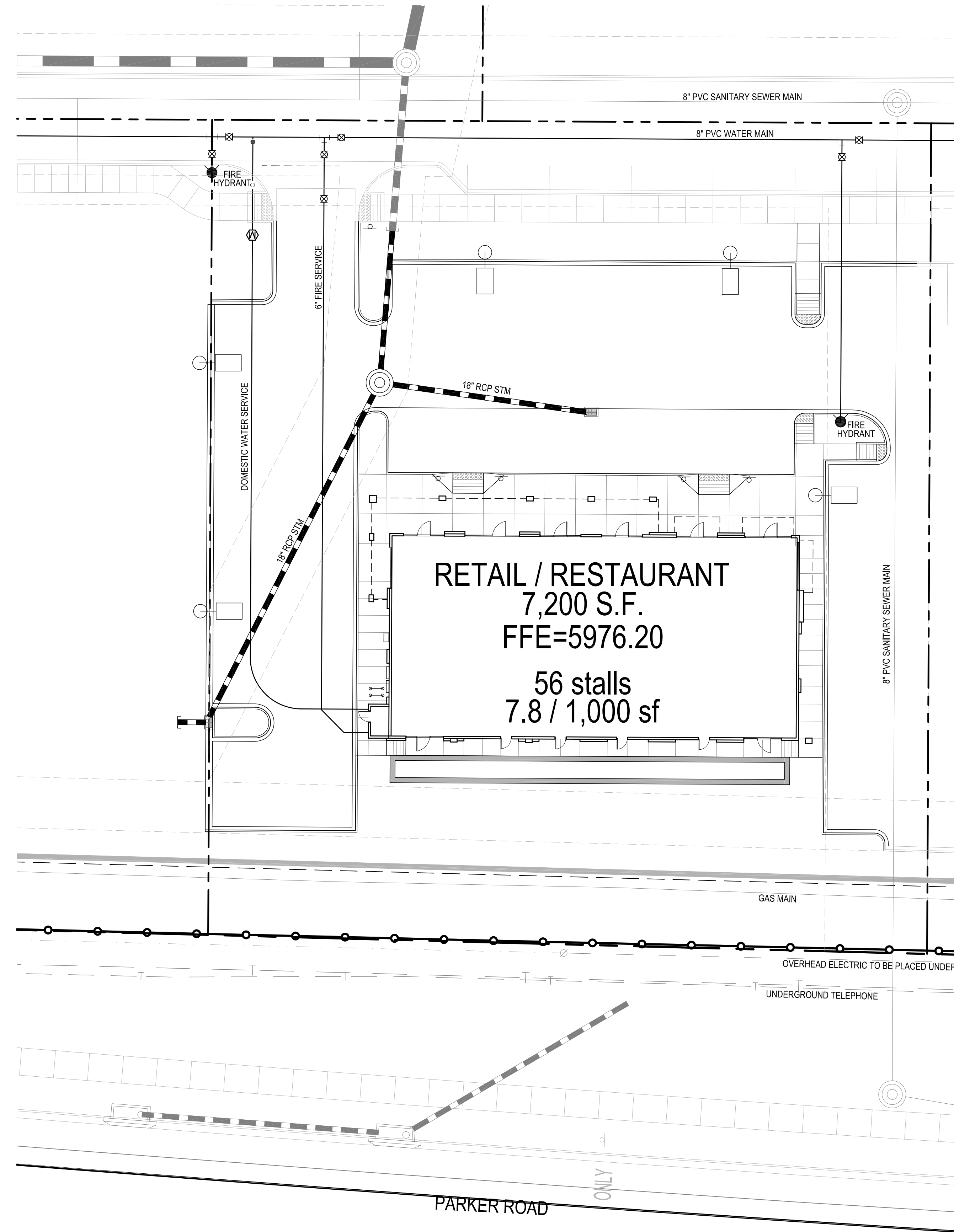
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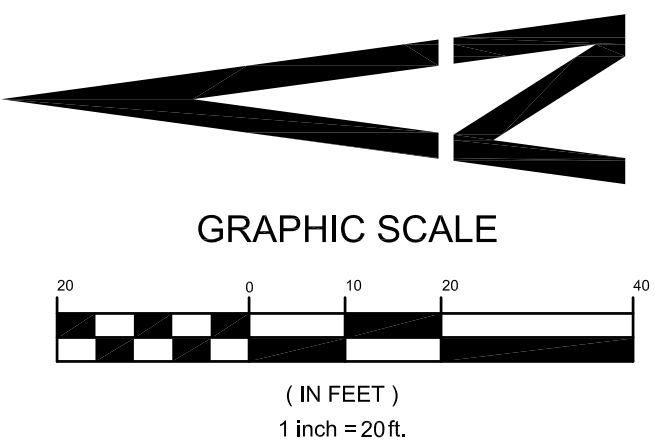
UTILITY PLAN

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LEGEND

---	PROPERTY LINE
⊙	EXISTING SANITARY SEWER WITH MANHOLE
—W—	EXISTING WATERLINE W/ VALVE
●	PROPOSED SANITARY SEWER W/ MANHOLE AND CLEANOUT
←8"WTR→	PROPOSED WATERLINE W/ HYDRANT AND VALVE
---	PROPOSED STORM SEWER
---	EASEMENT
⊠	PROPOSED TRANSFORMER
□	PROPOSED SITE LIGHTING



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LANDSCAPE PLAN

PAGE 5 OF 12

PLANT LIST - LOT 11

SYMBOL	QTY	ABBR	COMMON/BOTANICAL NAME	SIZE	MATURE HT. X SPD.	HYDROZONE	REMARKS
OVERSTORY TREES							
3 SL			SHADEMASTER LOCUST <i>Gleditsia triacanthos inermis</i> 'Shademaster'	2.5" CAL. B&B	50' X 35'	LOW	FULL CROWN, STAKED, SPECIMEN QUALITY
5 SW			SWAMP WHITE OAK <i>Quercus bicolor</i>	2.5" CAL. B&B	50' X 40'	LOW / MEDIUM	FULL CROWN, STAKED, SPECIMEN QUALITY
ORNAMENTAL TREES							
3 GO			GAMBEL OAK <i>Quercus gambellii</i>	1.5" CAL. B&B	20' X 15'	LOW	FULL CROWN, STAKED, SPECIMEN QUALITY
EVERGREEN TREES							
1 BS			COLORADO BLUE SPRUCE <i>Picea pungens</i> var. <i>glauca</i>	6" HT. B&B	60' X 30'	LOW / MEDIUM	FULL CROWN, STAKED, SPECIMEN QUALITY
1 AP			AUSTRIAN PINE <i>Pinus nigra</i>	6" HT. B&B	50' X 25'	LOW	FULL CROWN, STAKED, SPECIMEN QUALITY
2 PP			PONDEROSA PINE <i>Pinus ponderosa</i>	6" HT. B&B	50' X 30'	LOW	FULL CROWN, STAKED, SPECIMEN QUALITY
DECIDUOUS SHRUBS							
9 BM			BLUE MIST SPIREA <i>Caryopteris x clandonensis</i>	#5 (18"-24" HT.)	3' X 3'	LOW	SPACING PER PLAN FULL FORM
6 DR			DWARF RABBITBRUSH <i>Chrysothamnus nauseosus</i> 'Dwarf Blue'	#5 (18"-24" HT.)	4' X 4'	LOW	SPACING PER PLAN FULL FORM
8 SH			SUNBURST HYPERICUM <i>Hypericum frondosum</i> 'Sunburst'	#5 (12"-15" HT.)	3' X 3'	LOW	SPACING PER PLAN FULL FORM
20 RS			RUSSIAN SAGE <i>Rhus typhata</i>	#5 (18"-24" HT.)	4' X 4'	LOW	SPACING PER PLAN FULL FORM
12 DN			LITTLE DEVIL NINEBARK <i>Physocarpus opulifolius</i> 'Donna May'	#5 (12"-15" HT.)	4' X 4'	LOW	SPACING PER PLAN FULL FORM
36 PS			PAWNEE BUTTES SAND CHERRY <i>Prunus besseyi</i> 'Pawnee Buttes'	#5 (18" HT.)	2' X 5'	LOW	SPACING PER PLAN FULL FORM
31 GS			GRO-LOW SUMAC <i>Rhus aromatica</i> 'Gro-low'	#5 (12"-15" HT.)	2' X 6'	LOW	SPACING PER PLAN FULL FORM
EVERGREEN SHRUBS							
3 SB			SPANISH GOLD BROOM <i>Cytisus purgans</i> 'Spanish Gold'	#5 (18"-24" SPD.)	4' X 4'	LOW	SPACING PER PLAN FULL FORM
42 CJ			BLUE CHIP JUNIPER <i>Juniperus horizontalis</i> 'Blue Chip'	#5 (8"-12" SPD.)	1' X 5'	LOW	SPACING PER PLAN FULL FORM
6 SJ			SEA GREEN JUNIPER <i>Juniperus x media</i>	#5 (18"-24" HT.)	8' X 5'	LOW	SPACING PER PLAN FULL FORM
7 BJ			BUFFALO JUNIPER <i>Juniperus sabinna</i> 'Buffalo'	#5 (8"-12" SPD.)	1' X 5'	LOW	SPACING PER PLAN FULL FORM
23 OG			COMPACT OREGON GRAPE HOLLY <i>Mahonia aquifolium compacta</i>	#5 (12"-15" HT.)	3' X 5'	LOW	SPACING PER PLAN FULL FORM
ORNAMENTAL GRASSES							
191 FG			FEATHER REED GRASS <i>Calamagrostis acutiflora</i> 'Karl Foerster'	#1 (ESTABLISHED)	4.5' X 2'	LOW	SPACING PER PLAN FULL FORM
32 BG			BLUE AVENA GRASS <i>Helictotrichon sempervirens</i>	#1 (ESTABLISHED)	1.75' X 2.5'	LOW	SPACING PER PLAN FULL FORM
63 MG			MAIDEN GRASS <i>Miscanthus sinensis</i>	#1 (ESTABLISHED)	5' X 3'	LOW	SPACING PER PLAN FULL FORM
101 RW			RED SWITCH GRASS <i>Panicum virgatum</i> 'Shanadoah'	#1 (ESTABLISHED)	3.5' X 2.5'	LOW	SPACING PER PLAN FULL FORM
8 OF			ORIENTAL FOUNTAIN GRASS <i>Pennisetum orientale</i> 'Karley Rose'	#1 (ESTABLISHED)	2.5' X 2'	LOW	SPACING PER PLAN FULL FORM
PERENNIALS / GROUND COVER							
20 MS			MOJAVE SAGE <i>Salvia pachyphylla</i>	#1	3' X 3'	LOW	SPACING PER PLAN FULL FORM
MULCH							
			COLOR/MATERIAL: -ROCK MULCH AREA: -9,567 SF TYPE: -2"-4" DIA. MULTI-COLOR ROCK MULCH WITH DOUBLE SHREDDED BARK MULCH RINGS (4" THICK). SEE LANDSCAPE NOTES.				
			COLOR/MATERIAL: -WOOD MULCH AREA: -570 SF TYPE: -4" THICK OF DOUBLE SHREDDED BARK MULCH				
			STEEL EDGING - 247 LF				
			8 GRANITE BOULDERS 24"-48" DIA. SIZE				

ANNUALS (PLANTER POTS AND OWNER SPECIFIED AREAS ONLY - MAY INCLUDE BUT NOT LIMITED TO)							
570 SF			SNAP DRAGONS <i>Antirrhinum majus</i>	#1	3' X 1'	LOW	SPACING PER PLAN FULL FORM
			COSMOS <i>Cosmos bipinnatus</i>	#1	3' X 1'	LOW	SPACING PER PLAN FULL FORM
			GLOBE AMARANTH <i>Gomphrena globosa</i>	#1	1.5' X 1.5'	LOW	SPACING PER PLAN FULL FORM
			BLACK MONDO GRASS <i>Ophiopogon planiscapus</i> 'Nigrescens'	#1	1' X 1'	LOW	SPACING PER PLAN FULL FORM
			PURPLE FOUNTAIN GRASS <i>Pennisetum setaceum</i> 'Rubrum'	#1	3' X 2'	LOW	SPACING PER PLAN FULL FORM
			CLARY SAGE <i>Salvia sclarea</i>	#1	3' X 2'	LOW	SPACING PER PLAN FULL FORM
			NASTURTIUM <i>Tropaeolum majus</i> 'Alaska'	#1	1' X 1'	LOW	SPACING PER PLAN FULL FORM

NATIVE SEED			
2,040 SF		NATIVE/WILDFLOWERS SEED MIX	SEE SEED NOTES
		GRASS SEED	

LANDSCAPE DATA - LOTS 11

ONSITE
 LOT AREA: 50,792 SF
 LANDSCAPE AREA REQUIRED (MIN 15%): 7,619 SF (15.0%)
 TOTAL LANDSCAPE AREA PROPOSED: 12,178 SF (24.0%)
 (NOTE: THESE CALCULATIONS DO NOT INCLUDE ANNUAL AREAS)

VEGETATION REQUIRED:			
DESCRIPTION	AREA	REQUIRED	PROVIDED
TREES	21,035*	14 (1/1,500)	15
SHRUBS	21,035*	71 (5/1,500)	203

*50,792 LOT - 7,200 BLDG SF - 22,558 SF REQUIRED PARKING (PARKING STALLS & CIRCULATION AISLES WITH PARKING STALL ACCESS)

DIVERSITY:
 A MINIMUM OF TWENTY-FIVE PERCENT (25%) AND A MAXIMUM OF FIFTY PERCENT (50%) SHALL BE EVERGREEN TREES:

DESCRIPTION	EVERGREEN	DECIDUOUS	PROVIDED
TREES	4	11	26%

Please provide % of evergreen for site perimeter trees, must be 40-60% 13.06.070 (p) (3)
LANDSCAPE COVERAGE:
 MINIMUM LANDSCAPE COVERAGE (MIN 75%): 9,134 SF (75.0%)
 LANDSCAPE AREA COVERAGE PROPOSED: 10,181 SF (83.6%)
 *INCLUDES PLANTED BED SF, NATIVE SEED MIX AND EVERGREEN TREES.

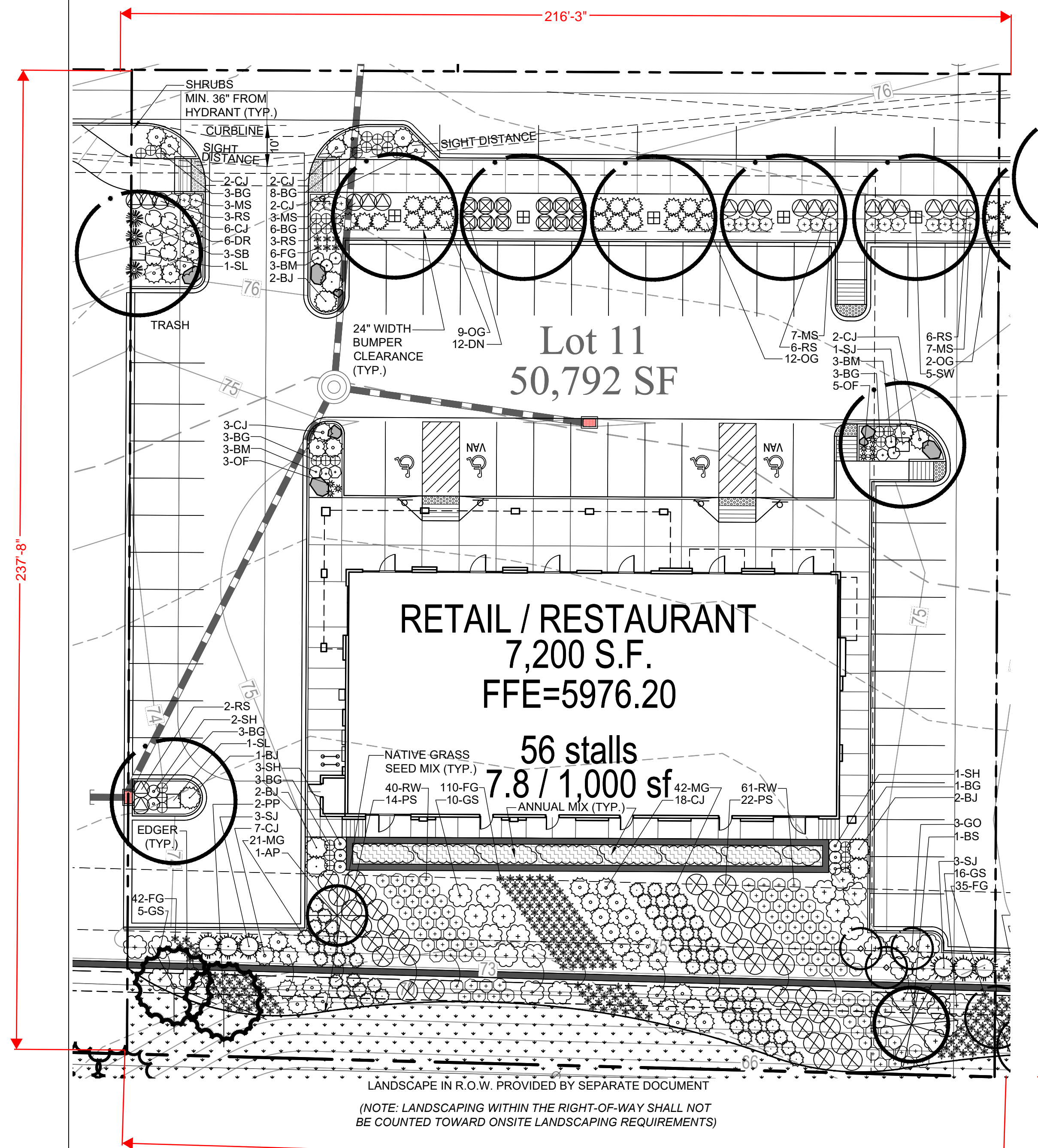
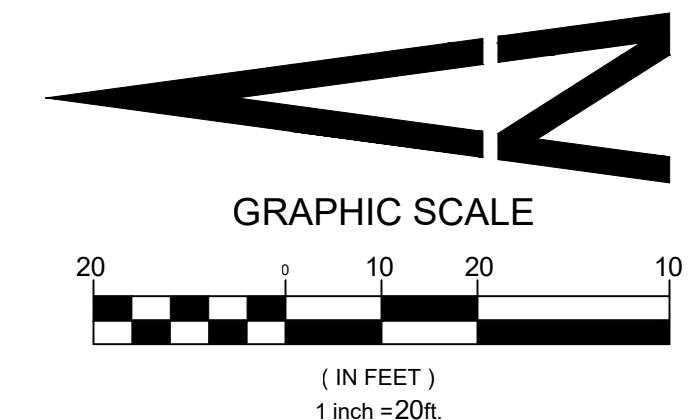
STREETSCAPE LANDSCAPING			
DESCRIPTION	AREA	REQUIRED	PROVIDED
EASTERN PRIVATE RD.	184 LF	5 TREES (1/40)	5 TREES

SITE PERIMETER LANDSCAPING			
DESCRIPTION	AREA	REQUIRED	PROVIDED
SOUTH EDGE	40 LF	1 TREES (1/40), 5 SHRUBS (5/40)	1 TREES, 8 SHRUBS
WEST EDGE	211 LF	6 TREES (1/40), 27 SHRUBS (5/40)	6 TREES, 105 SHRUBS
NORTH EDGE	62 LF	2 TREES (1/40), 8 SHRUBS (5/40)	2 TREES, 13 SHRUBS
EASTERN EDGE	184 LF	5 TREES (1/40), 23 SHRUBS (5/40)	0 TREES, 56 SHRUBS

NOTE: NO TURF GRASS IS PROPOSED WITHIN THE PROJECT LIMITS.

These calculations are not correct, Total boundaries are approx 783 feet

243' 5"	7 req
216' 3"	6 req
237' 8"	6 req
214' 0"	6 req
911' 4"	25 req



LANDSCAPING ACKNOWLEDGEMENT

NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.

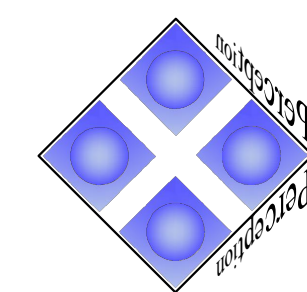
APPLICANT AND/OR OWNER _____ DATE _____

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's Below.
 Call before you dig.



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 Design Group, Inc.
 Consulting Civil Engineers
 6901 South Pierce Street, Suite 315 Littleton, Colorado 80128
 303-232-8088

PREPARED UNDER THE DIRECT SUPERVISION OF JOSEPH L. WILSON, CIB, P.L.A. COLORADO REGISTRATION LA-304 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

OCTOBER 20, 2017
 REV. FEBRUARY 28, 2018

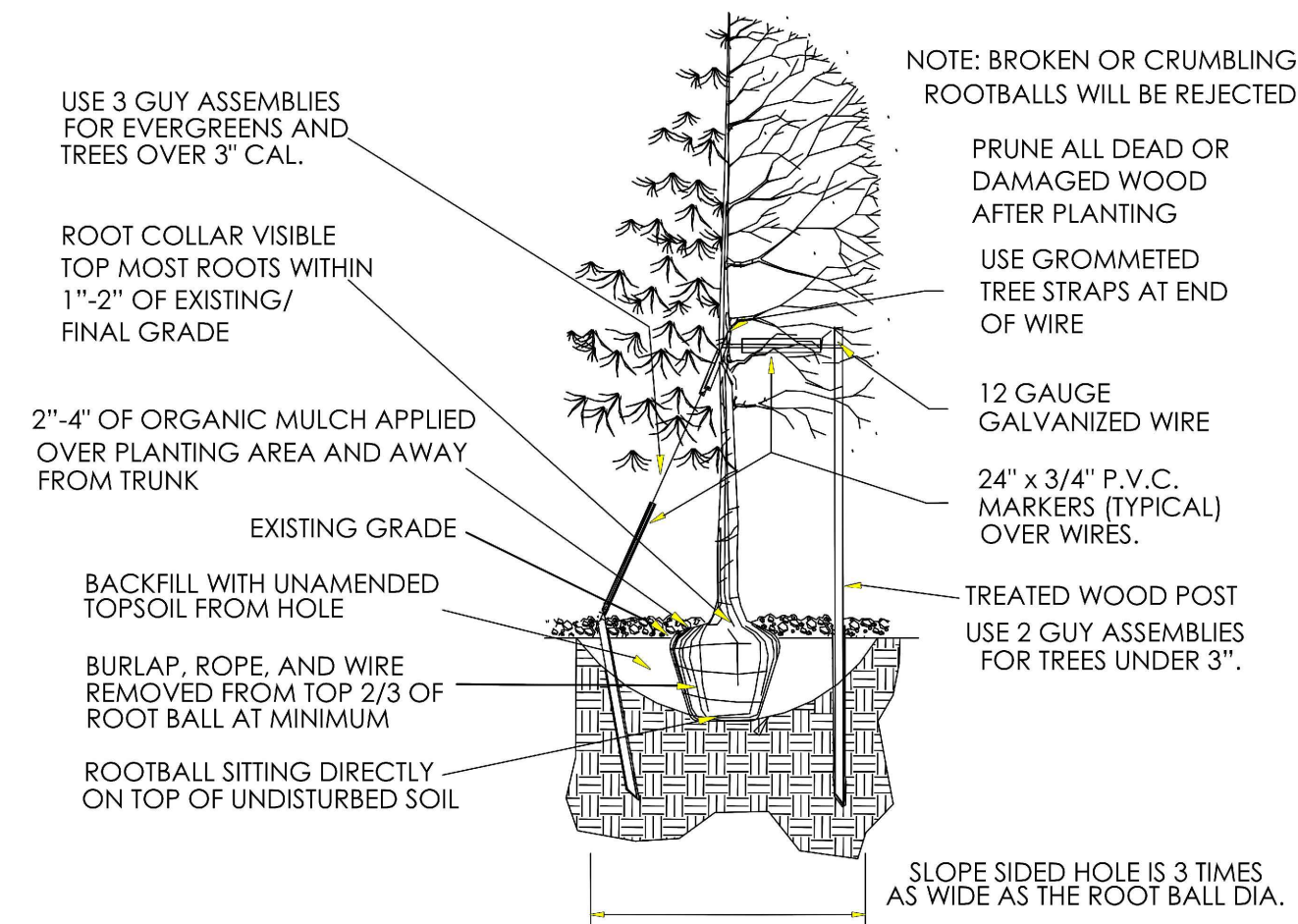
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LANDSCAPE DETAILS

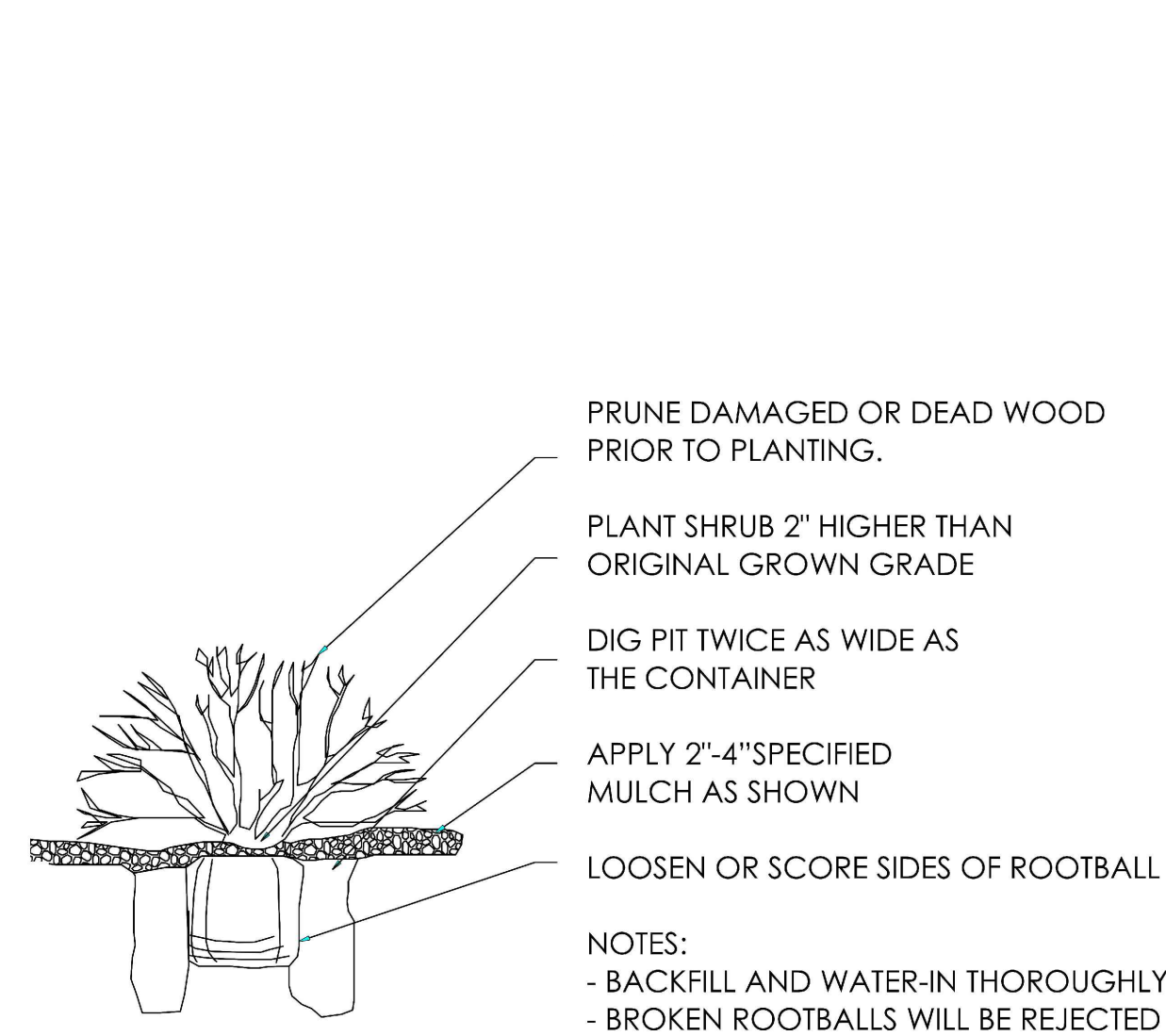
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TOWN OF PARKER PLANTING STANDARDS



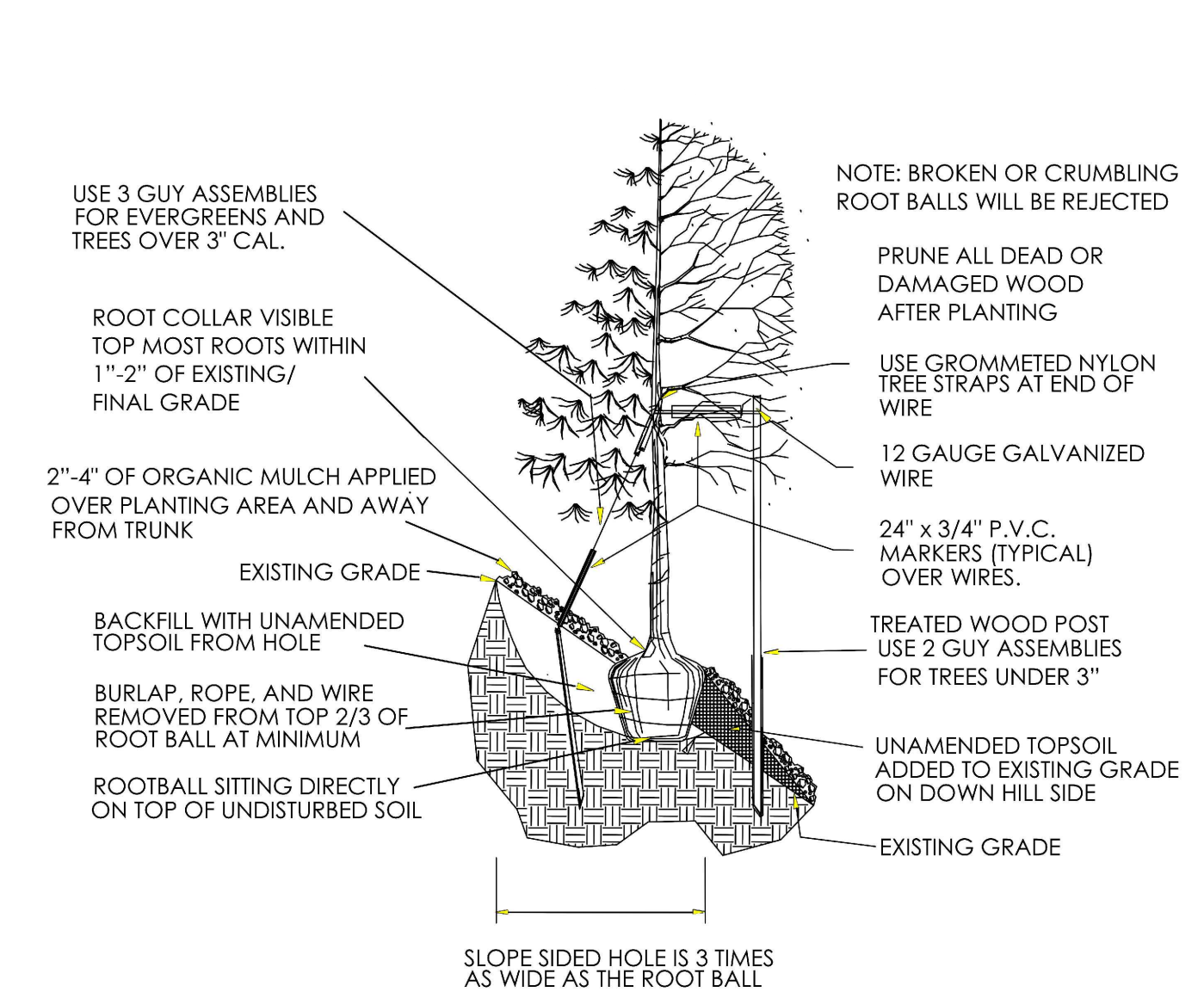
- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil – no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/lane visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

TOWN OF PARKER PLANTING STANDARDS



- NOTES:
 - BACKFILL AND WATER-IN THOROUGHLY
 - BROKEN ROOTBALLS WILL BE REJECTED

TOWN OF PARKER PLANTING STANDARDS



TOWN OF PARKER WATER TAP WORKSHEET



Landscape/Irrigation Worksheet

Project Name: Parker and Stroh Site Lot 11

Landscape/Irrigation Tap address (physical location of tap) SE Corner of S. Parker and Stroh Road

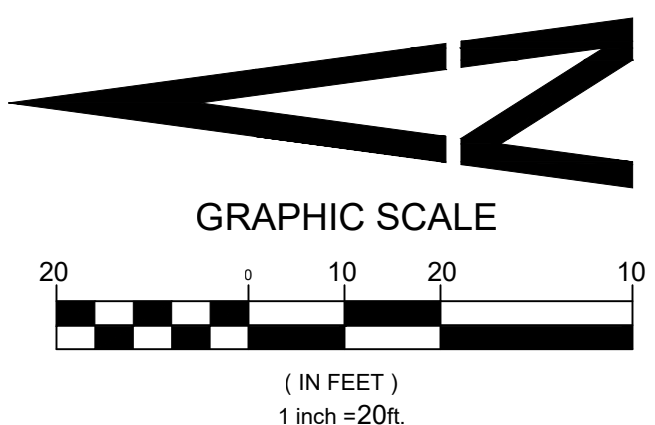
Landscape Area	High Water TURF (6,000sf = 1 SFE)	Perennials (10,000sf = 1 SFE)	Drip Irrigated area (20,000sf = 1 SFE)	Sub-Total of Non-Irrigated area (calculated) Areas	PWSD one SFE per 6000	SFE Requirement (Sub-Total Calculation divided by 6000 = requirement)
12,178 sf total						
Area #1	0 sf x 1 = 0	0 sf x .6 = 0	10,138 sf x .3 = 3,042	2,040 sf x 0 = 0	3,042 sf	6,000
						0.5 SFE's

Worksheet Completed by: Joseph L. Wilson, PLA, CID
 Company: Sterling Design Associates, LLC
 Address: 2009 W. Littleton Blvd. #300, Littleton, CO 80120
 Phone #: 303-794-4727 ext 207

Owner/Developer: Dan Yacovetta
 Attn: ----
 Billing Address: ----
 Phone #: ----

ET Controller (with Rain Sensor)	
Manufacturer	HUNTER-LORE W/ SOLAR-SYNC
Model number	IC-4200-M/SOLAR-SYNC-SEN

Tap Size Requirements:
 0 - 1 SFE's requires a 3/4-inch tap
 1.1 - 2.0 SFE's requires a 1-inch tap
 2.1 - 4.0 SFE's requires a 1 1/2-inch tap
 4.1 - 7.0 SFE's requires a 2-inch tap
 7.1 - 16.0 SFE's requires a 3-inch tap



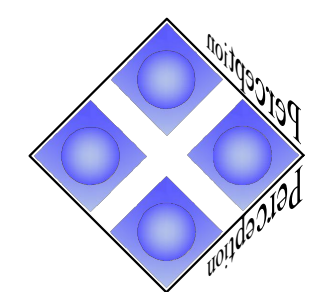
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Perception
 Design Group, Inc.

Consulting Civil Engineers

PREPARED UNDER THE DIRECT SUPERVISION OF JOSEPH L. WILSON, CID, PLA, COLORADO REGISTRATION LA-304 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

6901 South Pierce Street, Suite 315 Littleton, Colorado 80128
 303-232-8088

LOT 11 PARKER POINTE

LOT 10, PARKER POINTE FILING NO. 1

A PART SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE NOTES

PAGE 7 OF 12

STANDARD LANDSCAPE NOTES

- COORDINATION**
 - THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, STRUCTURAL, AND IRRIGATION PLANS, STANDARDS AND SPECIFICATIONS, TO FORM COMPLETE INFORMATION REGARDING THIS SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY AND UP-TO-DATE ISSUE PLAN SETS.
 - ALL LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
 - MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR THE GOVERNING JURISDICTION CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS.
 - IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES.
- COMPLIANCE**
 - ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING ANY STANDARDS, AND SPECIFICATIONS.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE STATE'S LANDSCAPE CONTRACTORS ASSOCIATION.
- GUARANTEE**
 - ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE AND REPAIR/REPLACE ANY PORTIONS OF THE IRRIGATION SYSTEM AS NECESSARY IN THAT TIME.
- COMPLETION AND MAINTENANCE**
 - FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
 - LANDSCAPE MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, RE-GRADING, REPLANTING, DISEASE AND INSECT PROTECTION. IF SITE IS TO OPEN DURING WINTER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE OWNER AND LANDSCAPE ARCHITECT ON TIMING FOR THE INSTALLATION OF PLANT MATERIAL. THE PROPERTY OWNER OF RECORD, THE OWNER'S AGENT OR TENANT SHALL KEEP ALL LANDSCAPING IN A WELL MAINTAINED AND HEALTHY GROWING CONDITION.
 - GRADING MAINTENANCE: DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THESE NOTES, THE GRADING PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT.
 - IRRIGATION MAINTENANCE: DURING THE LANDSCAPE MAINTENANCE PERIOD, ALL IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- SITE CONDITIONS**
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS TO REMAIN. THE CONTRACTOR SHALL REPLACE ANY SUCH PLANTS DAMAGED DURING CONSTRUCTION/MAINTENANCE PERIODS WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- DAMAGE AND CLEANING**
 - CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION**
 - OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME.

- SOIL PREPARATION**
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT OR APPROVED EQUAL AT A RATE OF 4.0 CUBIC YARDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. AMENDMENT SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- PLANT MATERIAL**
 - ALL PLANT MATERIAL SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1 AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
 - TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- PLANTING**
 - TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. STAKE AND GUY TREES PER DETAILS. NO T-STAKES SHALL BE USED FOR TREES.
 - TREES INSTALLATION PROCEDURE: SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3" ABOVE FINISH GRADE. CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE ALL BURLAP FROM AROUND ROOTBALL. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. WHEN WRAPPING TREE, WRAP FROM TRUNK FLARE TO LOWEST MAJOR BRANCH. REMOVE ALL NURSERY STAKES AFTER PLANTING. FOR TREES OVER 3" CALIPER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
 - TREE AND SHRUB BED LOCATIONS SHALL BE APPROVED PRIOR TO PLANTING.
 - BACKFILL WITH 1/3 SOIL AMENDMENT AND 2/3 SITE SOIL, THOROUGHLY MIXED.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH EDGE AS SPECIFIED IN THE LEGEND. EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. WHEN STEEL EDGING IS SPECIFIED, ALL STEEL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
- MULCH**
 - AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE SIZE OF THE OF SHRUB, PERENNIAL, AND ORNAMENTAL GRASS'S CONTAINER/ROOTBALL. TREE RING SIZE SHALL REFERENCE INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE STATE'S LANDSCAPE CONTRACTORS ASSOCIATION.
 - ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS OR APPROVED EQUAL. INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS.
- IRRIGATION**
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
 - ALL NON-TURF PLANTED AREAS WILL BE DRIP IRRIGATED. SODDED/SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
 - THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE

POTABLE SOURCE PER LOCAL, STATE, AND FEDERAL CODE.
REFER TO THE IRRIGATION PLAN (AS APPLICABLE).

TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES

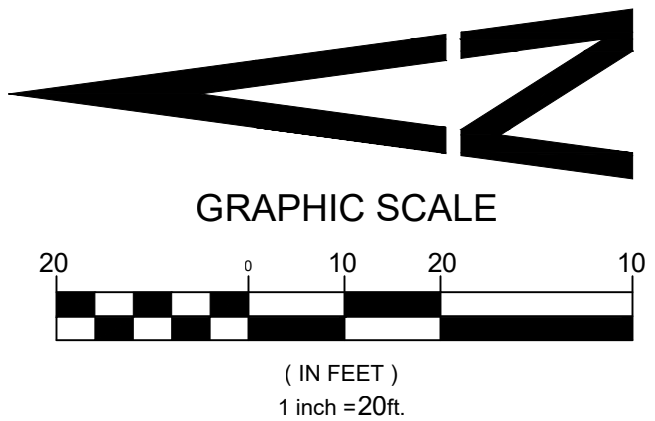
- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNER'S ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OR THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

SEED NOTES

TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)	
SEEDING RATE: 3 LBS/1000 SQ.FT.	
	% COMMON NAME
1. ALL SEED MIXES SUGGESTED THROUGH: WESTERN NATIVE SEED COMPANY P.O. BOX 188 COALDALE, CO 81222 (719) 942-3935	25% EPHRAIM CRESTED WHEATGRASS 23% SHEEP FESCUE 18% PERENNIAL RYEGRASS 13% CANADA BLUEGRASS
2. ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROSLURRY APPLIED OVER THE SEED BED AFTER SEEDING. THE SLURRY MIX SHALL CONTAIN THE FOLLOWING:	12% BARLEY OR OATS 9% BLUE FESCUE
LBS/1,000 SF	
WOOD FIBER MULCH	46
15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER	4

SEED ESTABLISHMENT NOTES

- INSTALL PER SEED PROVEYOR'S AND/OR MANUFACTURE'S RECOMMENDATIONS.
- THE LANDSCAPE CONTRACTOR SHALL SEED ALL NATIVE SEED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS. SOIL PREPARATION MEASURES IN AREAS TO BE SEEDED SHALL BE COMPLETED PRIOR TO SEEDING.
- FOR PROPER ESTABLISHMENT, SEED SHALL BE INSTALLED WHEN AT LEAST THREE MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN THREE MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES, AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS AND ENSURE TIMELY CLOSOUT. THESE MEASURES MAY INCLUDE, AT THE OWNER'S OPTION, RESEEDING OF SPARSELY GERMINATED AREAS AND/OR INSTALLATION OF SOD IN ALL SEEDED AREAS.



OCTOBER 20, 2017
REV. FEBRUARY 28, 2018



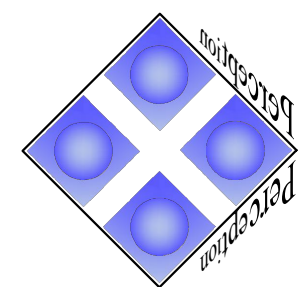
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PREPARED UNDER THE DIRECT SUPERVISION OF JOSEPH L. WILSON, C.D. P.L.A. COLORADO REGISTRATION LA-304 FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC



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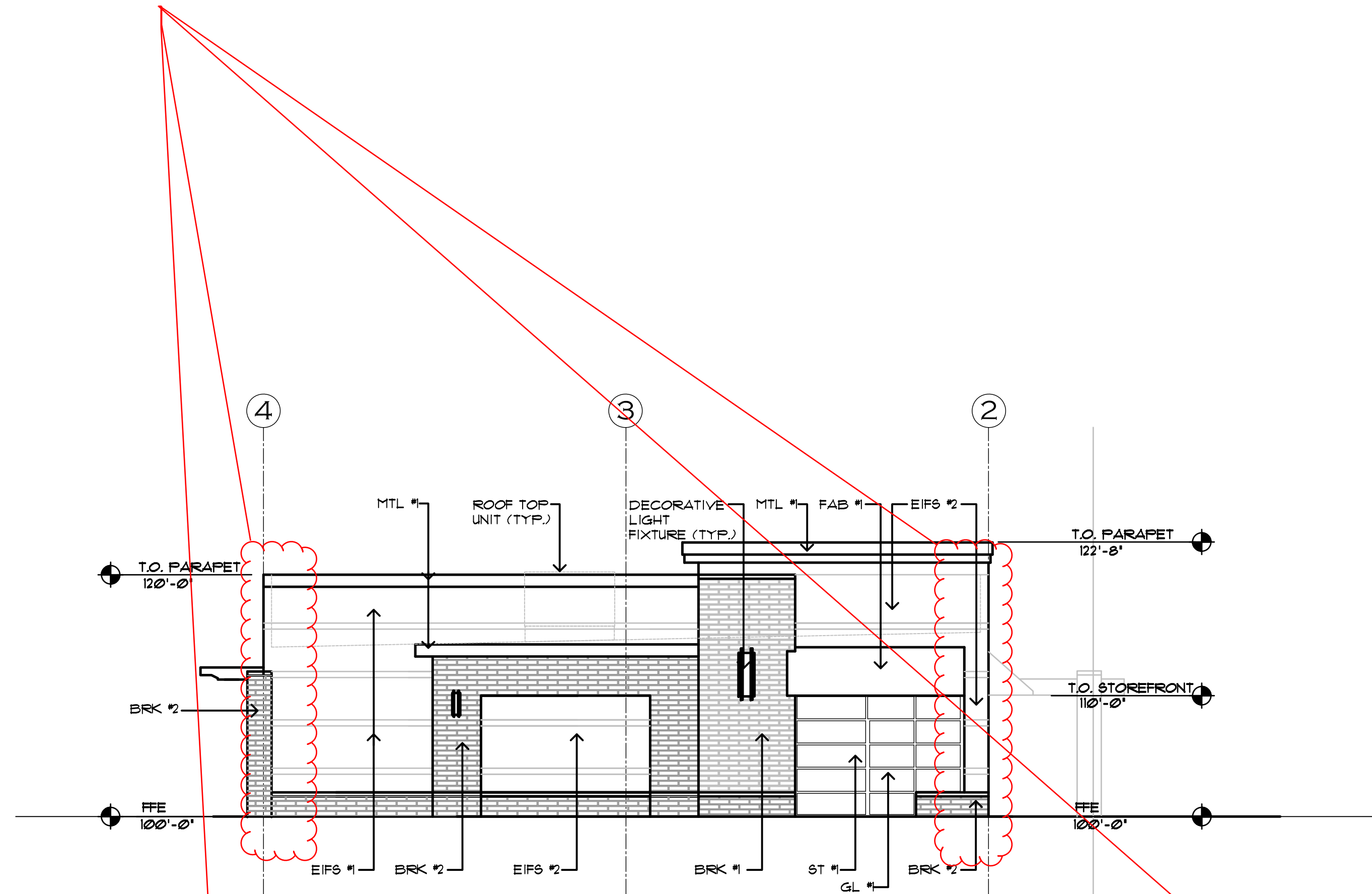
LOT 11 PARKER POINTE

LOT 11, PARKER POINTE FILING NO. 1
 A PART SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
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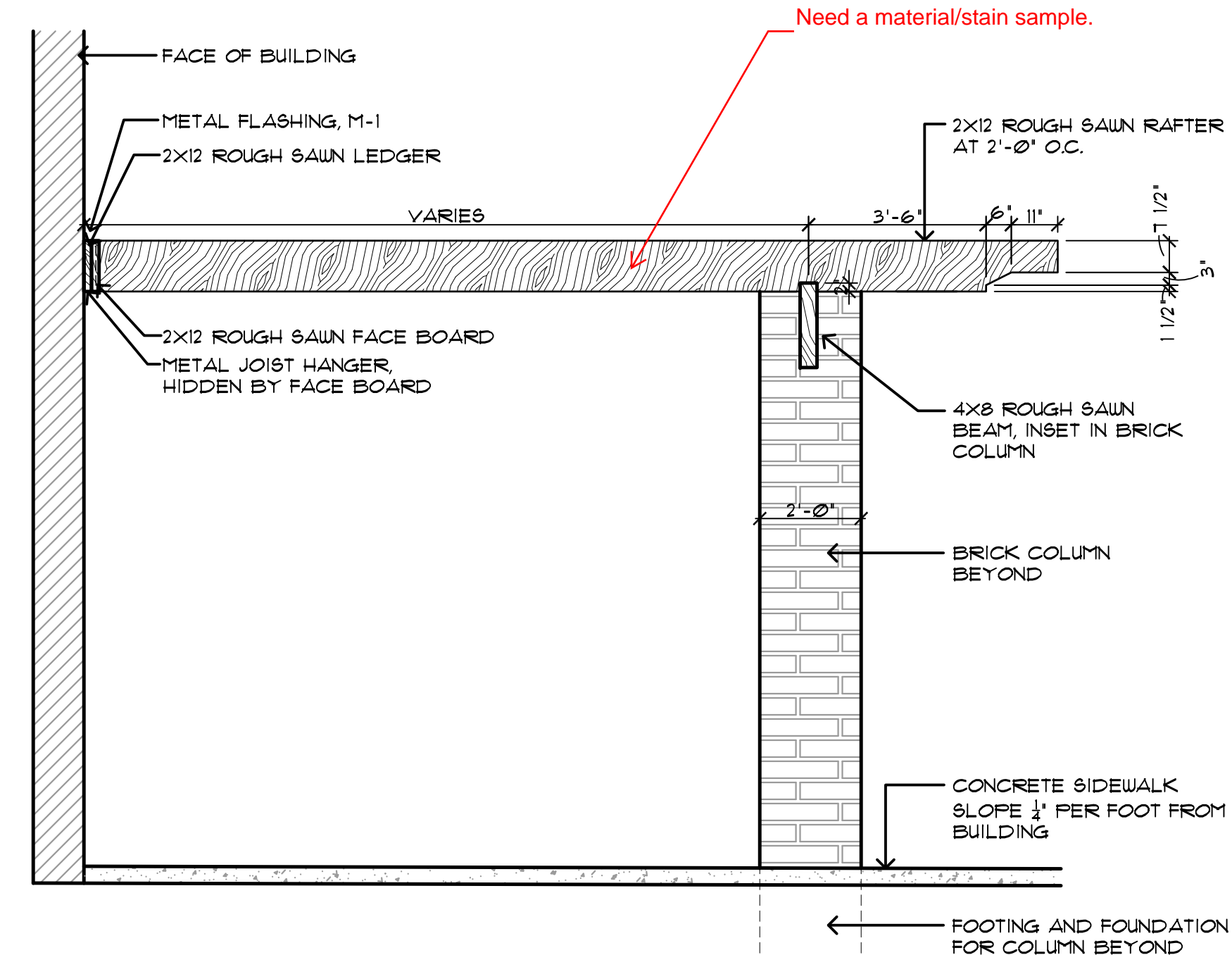
EXTERIOR ELEVATIONS

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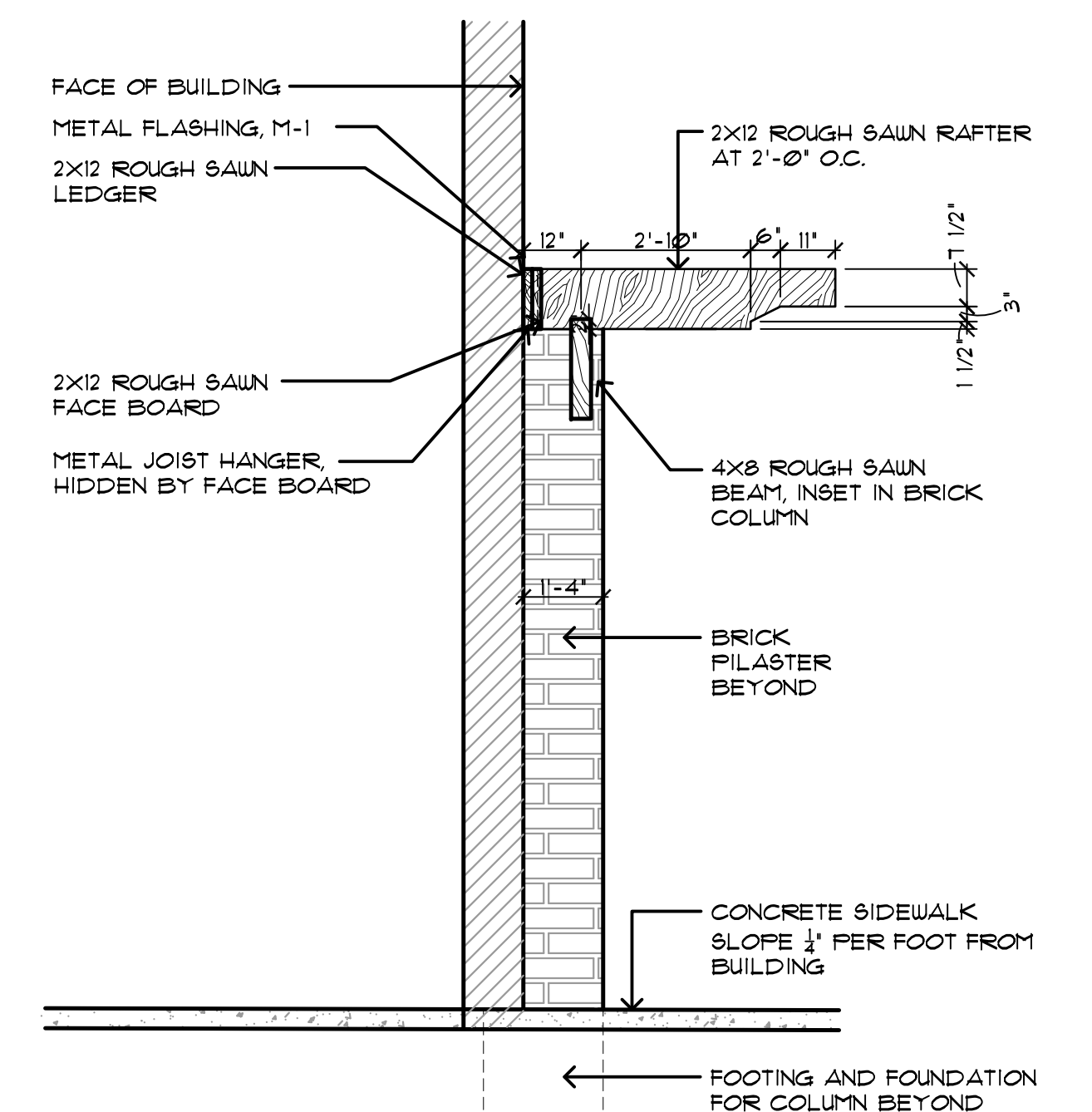
The overall articulation of this structure incorporates a variety of quality materials such as masonry, timber and a fair amount of transparency. The EIFS, however, is not a high quality material and should be minimized and used where it is less prominent, like at the top of the structure. The overall "quality" of the structure could be improved significantly by wrapping the EIFS corners with brick on all four elevations. This would also help this structure coordinate with staffs request for a similar treatment on lot 10.



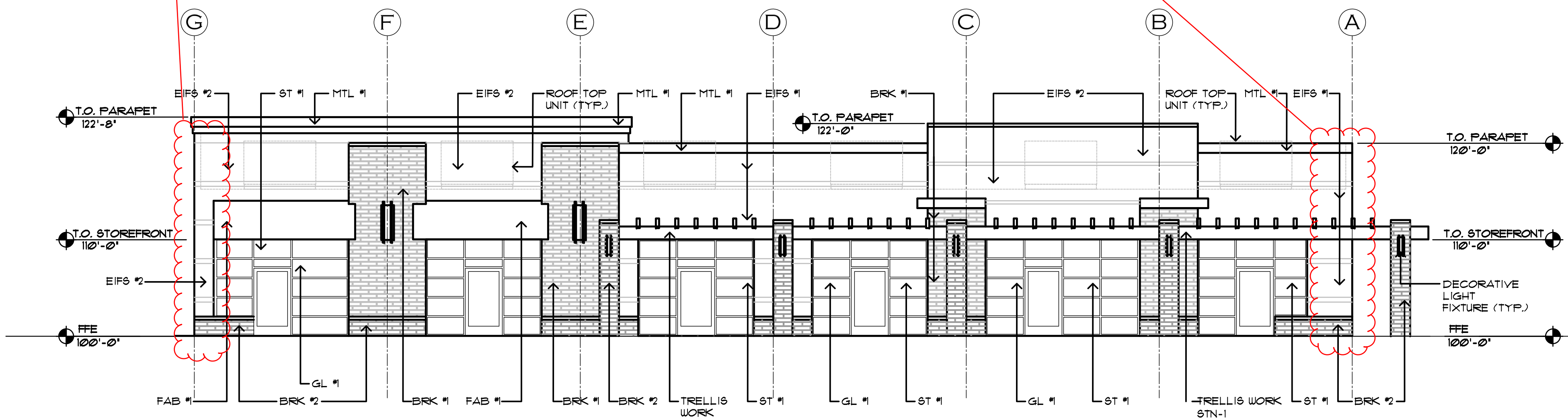
02 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



03 TRELLIS DETAIL @ COLUMN
 SCALE: 3/8" = 1'-0"



04 FAUX TRELLIS DETAIL
 SCALE: 3/8" = 1'-0"



01 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

AWNING (FAB #1)	MANUFACTURE, SUNBRELLA - COLOR 'FLAGSHIP ROUGE'
AWNING (FAB #2)	MANUFACTURE, SUNBRELLA - COLOR 'FLAGSHIP IVY'
MTL FLASHING (MTL #1)	MANUFACTURE, BERRIDGE - COLOR 'DARK BRONZE'
EIFS/STUCCO (EIFS #1)	MANUFACTURE, DRYVIT - COLOR 'PARCHMENT'
EIFS/STUCCO (EIFS #2)	MANUFACTURE, DRYVIT - COLOR 'GULL GRAY'
ALUMINUM STOREFRONT (ST #1)	MANUFACTURE, KAUNEER - COLOR 'ANODIZED'
CLEAR GLAZING (GL-1)	CLEAR GLAZING, DOUBLE PANE, LOW E
FROSTED GLAZING (GL-2)	DECORATIVE TRANSLUCENT GLAZING, BACK LIGHTING
WOOD TRELLIS, STAINED (STN-1)	SEMI TRANSPARENT STAIN 'PADRE BROIN'
HOLLOW METAL DOOR, PAINTED (PT-3)	SHERWIN WILLIAMS SWR100 'UMBER RUST'

	BRICK VENEER (BRK #1)
	BRICK VENEER (BRK #2)

	MANUFACTURE, SUMMIT BRICK - COLOR 'SUNSET RED'
	MANUFACTURE, SUMMIT BRICK - COLOR 'CHARCOAL IRONSPOT'

FEBRUARY 28, 2018



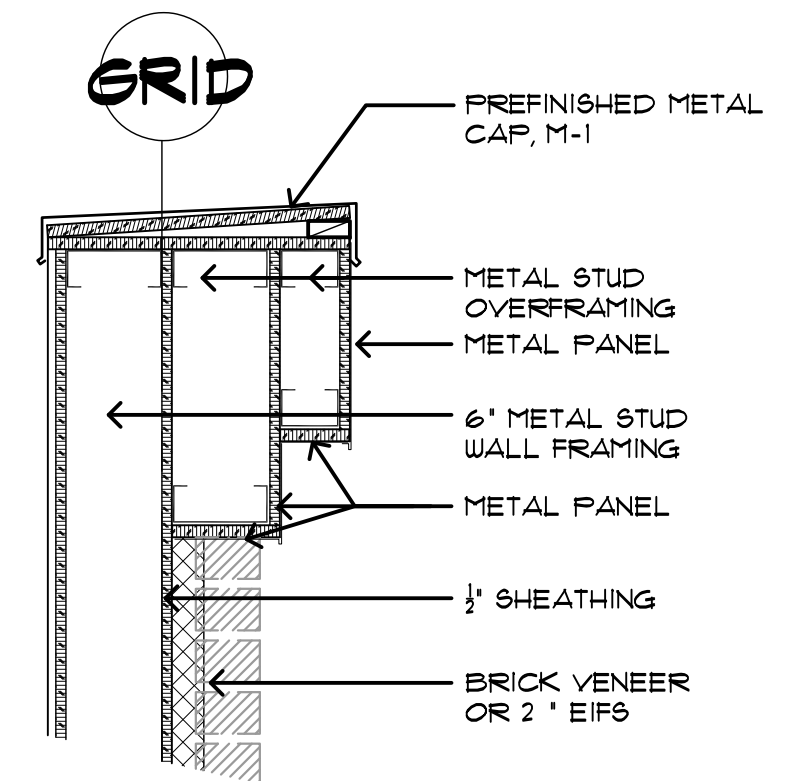
Architecture - Planning
 425 Wilcox Street, Ste. 120
 Castle Rock, Co 80104
 720-878-6534

LOT 11 PARKER POINTE

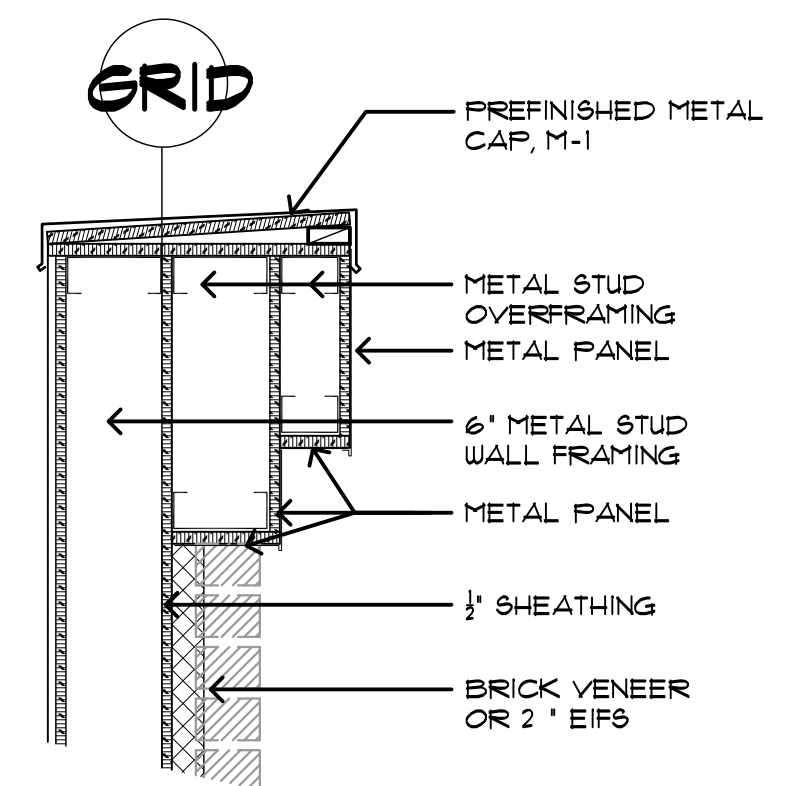
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EXTERIOR ELEVATIONS

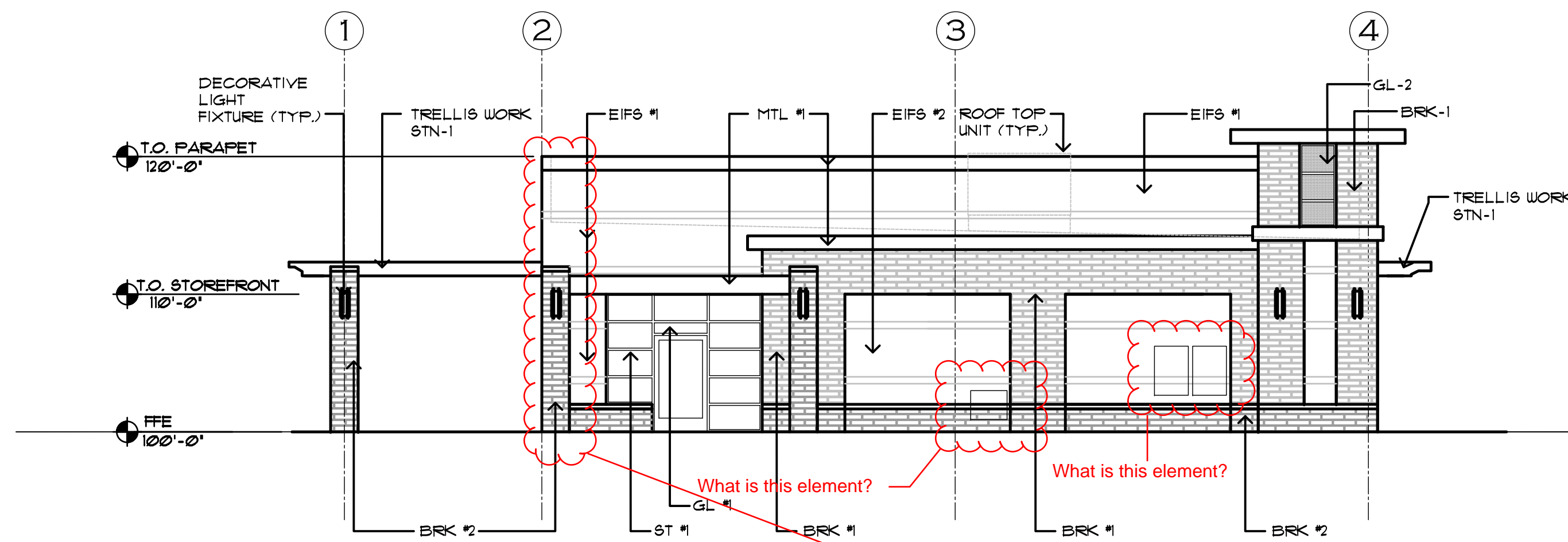
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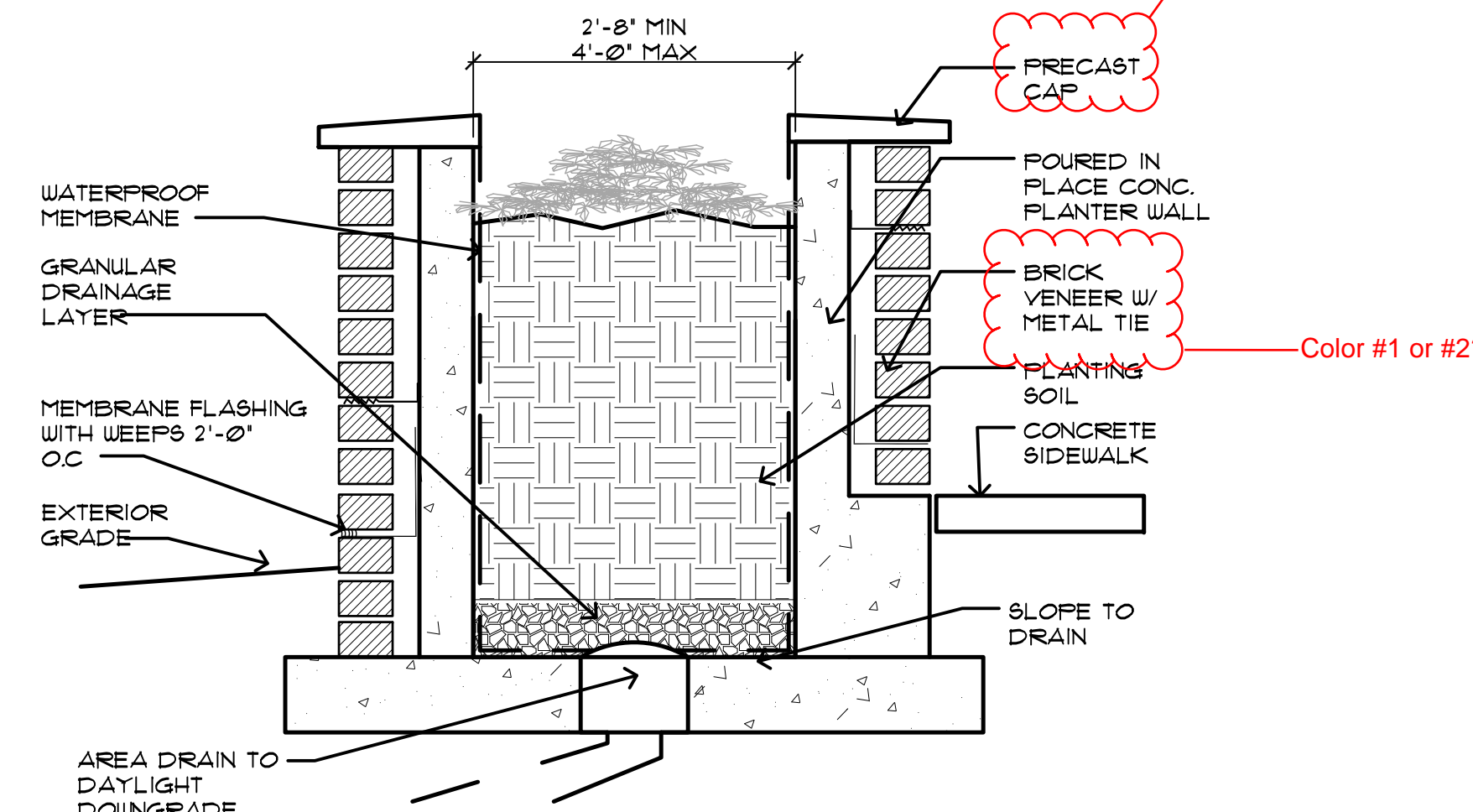
05 PARAPET DETAIL
 SCALE: 1" = 1'-0"



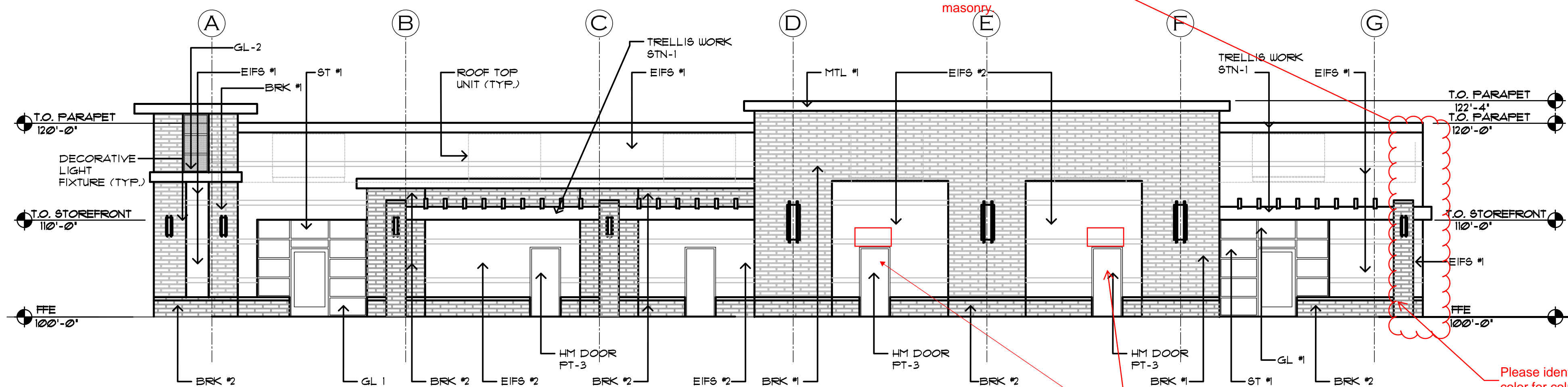
04 DECORATIVE PARAPET DETAIL
 SCALE: 1" = 1'-0"



02 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



03 PLANTER DETAIL
 SCALE: 1" = 1'-0"



01 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

AWNING (FAB #1)	MANUFACTURE, SUNBRELLA - COLOR 'FLAGSHIP ROUGE'
AWNING (FAB #2)	MANUFACTURE, SUNBRELLA - COLOR 'FLAGSHIP IVY'
MTL FLASHING (MTL #1)	MANUFACTURE, BERRIDGE - COLOR 'DARK BRONZE'
EIFS/STUCCO (EIFS #1)	MANUFACTURE, DRYVIT - COLOR 'PARCHMENT'
EIFS/STUCCO (EIFS #2)	MANUFACTURE, DRYVIT - COLOR 'GULL GRAY'
ALUMINUM STOREFRONT (ST #1)	MANUFACTURE, KAUNEER - COLOR 'ANODIZED'
CLEAR GLAZING (GL-1)	CLEAR GLAZING, DOUBLE PANE, LOW E
FROSTED GLAZING (GL-2)	DECORATIVE TRANSLUCENT GLAZING, BACK LIGHTING
WOOD TRELLIS, STAINED (STN-1)	SEMI TRANSPARENT STAIN 'PADRE BROWN'
HOLLOW METAL DOOR, PAINTED (PT-3)	SHERWIN WILLIAMS SWS100 'UMBER RUST'

Color rendering for Lot 11 (Previous submittal as lot 10) shows only one color of awning material. This is a smaller building, staff feels one color as opposed to two is better. The color on the sample board is much more red than the renditions. The burgundy color on the renditions is a better match with the brick colors. Please consider choosing a color that more closely resembles the color rendition.

This colors does not blend well with the awning colors or the bricks. It is called parchment but is actually quite a peachy tone. Consider an oyster or other neutral that has a gray base as opposed to a yellow/red base.

Please see note on previous page regarding wrapping the EIFS corners with masonry.

As noted in previous comments, these doors face Parker Rd and should reflect "front of house" architectural detail. One option to add articulation would be to add awnings that match the other awnings proposed.

	BRICK VENEER (BRK #1)		BRICK VENEER (BRK #2)
	MANUFACTURE, SUMMIT BRICK - COLOR 'SUNSET RED'		MANUFACTURE, SUMMIT BRICK - COLOR 'CHARCOAL IRONSPOT'

FEBRUARY 28, 2018



Architecture - Planning
 425 Wilcox Street, Ste. 120
 Castle Rock, Co 80104
 720-878-6534

LOT 11 PARKER POINTE

LOT 11, PARKER POINTE FILING NO. 1
 A PART SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

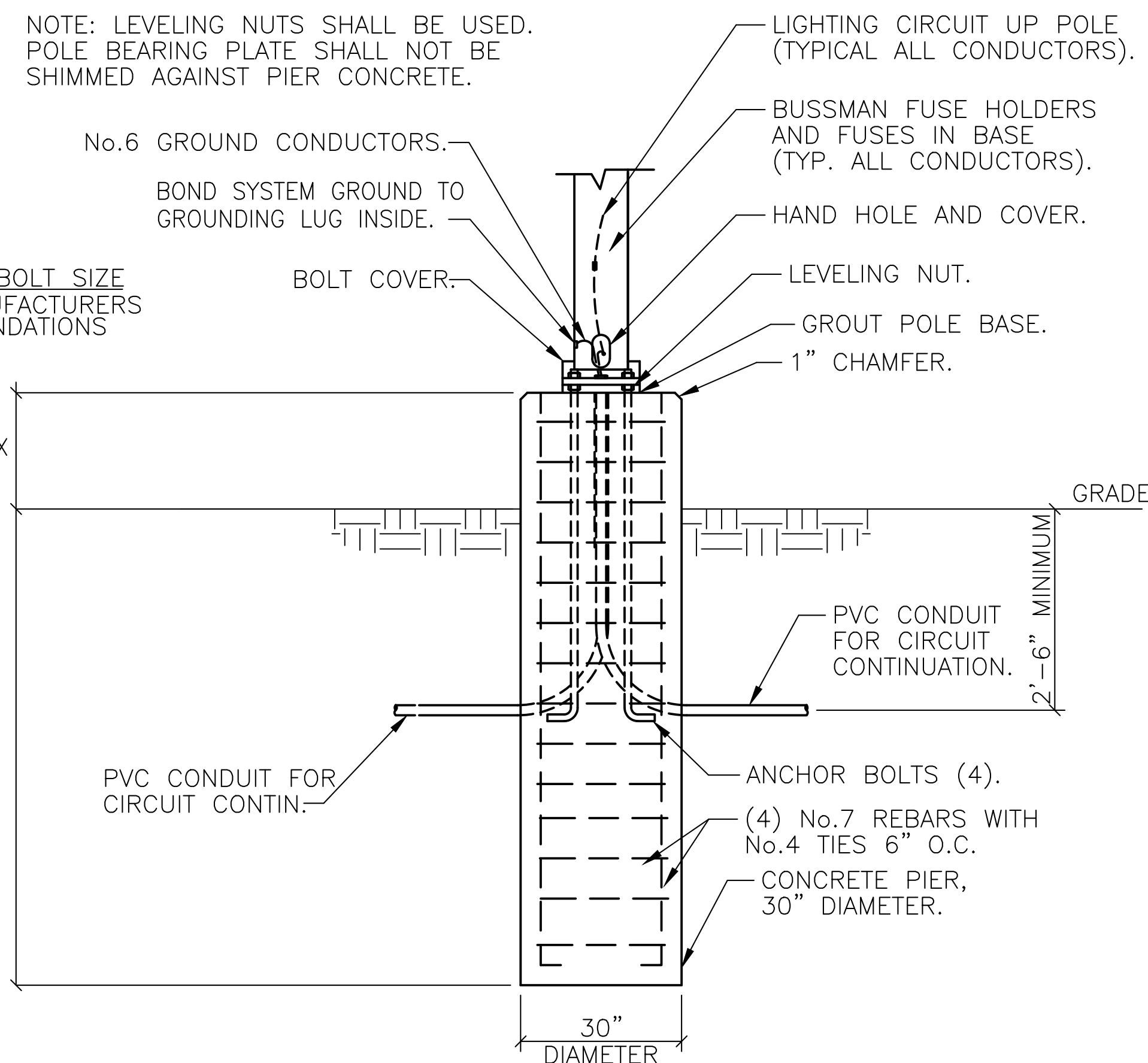
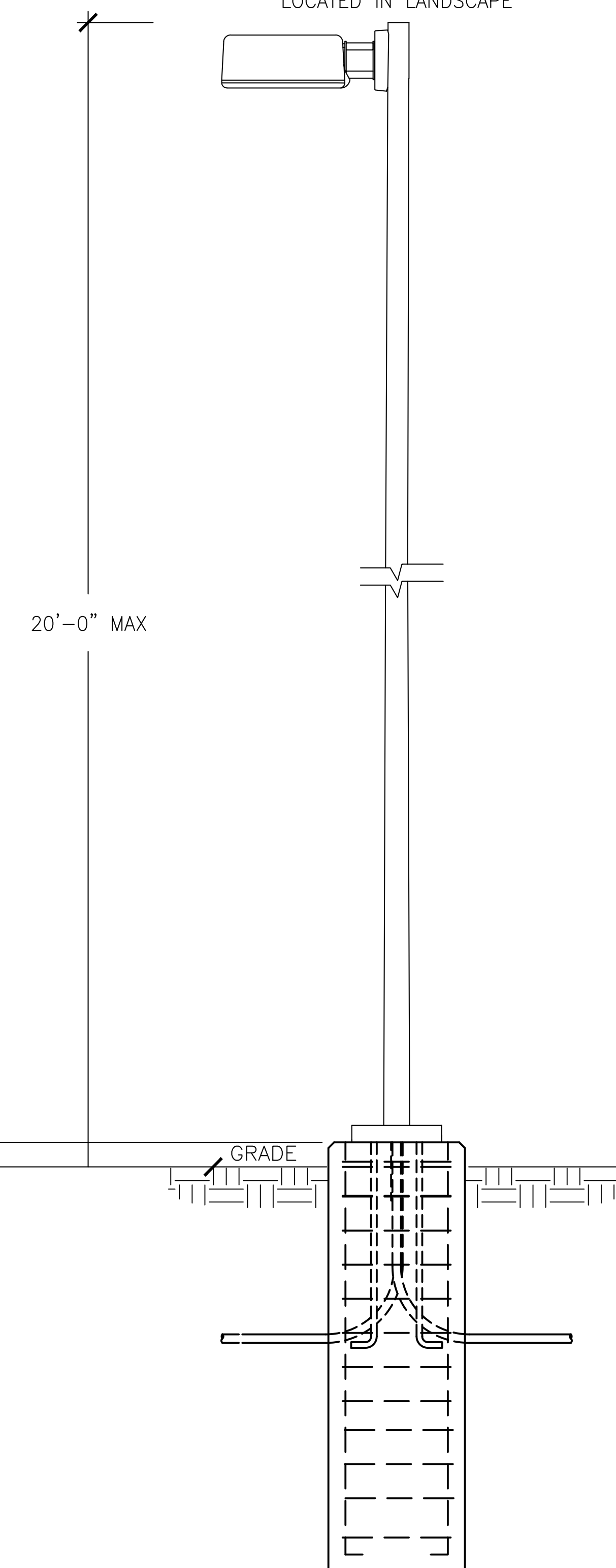
SITE LIGHTING DETAILS

No quantities provided
 - how many of each
 fixture?

LUMINAIRE SCHEDULE							
PLAN MARK	MOUNTING	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	VOLTAGE	NO. OF LAMPS	LAMP TYPE	REMARKS
SP3	POLE	20' HEIGHT	LITHONIA KAD-LED-30C-700-30K-ER-MVOLT-HS	120/208	1	69W LED	TYPE III DISTRIBUTION W/ HOUSE SIDE SHIELDS
SP4	POLE	20' HEIGHT	LITHONIA KAD-LED-30C-700-30K-R4-MVOLT	120/208	1	69W LED	TYPE IV DISTRIBUTION
SU	IN-GRADE	TREE UPLIGHT	LITHONIA DLBF-6-30K-MVOLT-DD6	MVOLT	1	10.5W LED	
SC3	SURFACE	WALL SCONCE	LITHONIA WSQ LED-1-10A700/40K-SR3-MVOLT-WLU	MVOLT	1	24W LED	

There are two sizes of these on the color renditions. Please add to Luminaire schedule.

TYPE 'SD1/SD3/SD4/SD5' FIXTURES
 LOCATED IN LANDSCAPE



2 POLE BASE DETAIL
 11 N.T.S.

1 POLE DETAIL
 11 N.T.S.

LOT 11 PARKER POINTE

LOT 11, PARKER POINTE FILING NO. 1


A PART SECTION 3, TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN

TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE LIGHTING DETAILS

PAGE 12 OF 12

KAD LED LED Area Luminaire



Specifications
EPA: 1.2 ft² (0.11 m²)
Length: 17.1/2" (43.8 cm)
Width: 17.1/2" (43.8 cm)
Height: 2.1/8" (5.4 cm)
Weight (max): 30 lbs (13.6 kg)

Capable Luminaire
 This luminaire is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL+ controls marked by a **shaded background**. DTL, DLL, equipped luminaires meet the A+ specification for luminaire to photocell interoperability!
- This luminaire is part of an A+ Certified solution for ROAM/2 or XPort™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**.

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM: Sold Separately. Link to Roam Link to DTL, DLL.

Ordering Information EXAMPLE: KAD LED 40C 1000 40K RS MVOLT SPD04 DDBX0


Series	LEDs	Substrate	CT	Distribution	Voltage	Mounting	Shipping	Finish
KAD LED	30C ¹ 30LEDs	510 510 mA	30K 3000K	R2 Type II	MVOLT 277V	277V	SPM400K ² Super pole universal mounting adapter ³	04 4" x 4" DDBX02
	30C ¹ 30LEDs	700 700 mA	40K 4000K	R3 Type II	100 ⁴ 100V	100V	SPM400K ² Super pole universal mounting adapter ³	06 6" x 6" DDBX02
	40C 40LEDs	1000 1000 mA	30K 3000K	R3 Type II	208 ⁵ 208V	208V	SPM400K ² Super pole universal mounting adapter ³	09 9" x 9" DDBX02
	40C 40LEDs	1000 1000 mA	30K 3000K	R5 Type II	240 ⁶ 240V	240V	SPM400K ² Super pole universal mounting adapter ³	12 12" x 12" DDBX02

Options

Option	Description	Code
PER1	PER1000: 1000mA LED	PER1000
PER2	PER2000: 2000mA LED	PER2000
PER3	PER3000: 3000mA LED	PER3000
PER4	PER4000: 4000mA LED	PER4000
PER5	PER5000: 5000mA LED	PER5000
PER6	PER6000: 6000mA LED	PER6000
PER7	PER7000: 7000mA LED	PER7000
PER8	PER8000: 8000mA LED	PER8000
PER9	PER9000: 9000mA LED	PER9000
PER10	PER10000: 10000mA LED	PER10000

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Drilling Template #5



Top of Pole

Tenon Mounting Slipfitter**

Series	LEDs	Substrate	CT	Distribution	Voltage	Mounting	Shipping	Finish
30C ¹	30LEDs	510 510 mA	30K 3000K	R2 Type II	MVOLT 277V	277V	SPM400K ² Super pole universal mounting adapter ³	04 4" x 4" DDBX02
30C ¹	30LEDs	700 700 mA	40K 4000K	R3 Type II	100 ⁴ 100V	100V	SPM400K ² Super pole universal mounting adapter ³	06 6" x 6" DDBX02
40C	40LEDs	1000 1000 mA	30K 3000K	R3 Type II	208 ⁵ 208V	208V	SPM400K ² Super pole universal mounting adapter ³	09 9" x 9" DDBX02
40C	40LEDs	1000 1000 mA	30K 3000K	R5 Type II	240 ⁶ 240V	240V	SPM400K ² Super pole universal mounting adapter ³	12 12" x 12" DDBX02

Performance Data

Lumen Output
 Lumen values are from photometric tests performed in accordance with IESNA LM-79-02. Data is considered to be representative of the configuration shown, with the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LED	Series	System	Wattage	LM-79-02	LM-79-02	LM-79-02	LM-79-02	LM-79-02	LM-79-02
30C	30W	30W	30W	3000	3000	3000	3000	3000	3000
40C	40W	40W	40W	4000	4000	4000	4000	4000	4000
50W	50W	50W	50W	5000	5000	5000	5000	5000	5000
60W	60W	60W	60W	6000	6000	6000	6000	6000	6000
70W	70W	70W	70W	7000	7000	7000	7000	7000	7000
80W	80W	80W	80W	8000	8000	8000	8000	8000	8000
90W	90W	90W	90W	9000	9000	9000	9000	9000	9000
100W	100W	100W	100W	10000	10000	10000	10000	10000	10000

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LITHONIA LIGHTING

FEATURES & SPECIFICATIONS
INTENDED USE
 The OLB LED Bullet Floodlight is a long-lasting energy-efficient landscape floodlight. Available with spot or flood optics making it ideal for many commercial and residential outdoor applications such as lighting of lawns, building details and fountains.

CONSTRUCTION
 Die-cast aluminum housing has integral heat sink for optimized thermal management through conduction and convective cooling. The LED driver is mounted in the rear housing providing a low operating temperature and long life. Housing is sealed against moisture and environmental contaminants (IP65). Finish: Exterior parts are protected by a fluoropolymer powder coat finish that provides superior resistance to oxidation and weathering. A highly controlled multi-stage process ensures a uniform finish thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS
 Optics are engineered for superior field-to-beam ratios, uniformity and coating. Available with 8W or 16W flood optics for illuminating larger objects or 3W or 2W spot optics for illuminating targets up to 50 feet away. Light engines are available in 3000K (80 CRI max.) or 5000K (94 CRI max.) configurations.

ELECTRICAL
 MDT driver operates on any line voltage from 120-277V (0/0-0V AC). Light engine consists of four 16W discrete LEDs directly mounted directly to the heat sink to maximize heat dissipation and provide long life (100,000 hrs at 40°C LED). Driver is thermally isolated to keep it cool to the touch. Operating temperature: -30°C to 40°C.

INSTALLATION
 Integral stake-in-hole design with 1/2"-14 NPT threaded pipe facilitates quick and easy installation in a variety of mounting methods.

LISTINGS
 UL Listed in U.S. and Canada safety standards for wet locations within four feet of the ground. Tested in accordance with IESNA LM-79-02 and IESNA LM-80 standards.

WARRANTY
 5-year limited warranty. Complete warranty terms located at www.lithonia.com/warranty. See www.lithonia.com/warranty for details. Actual performance may differ as a result of end-user environment and application. Note: Specifications subject to change without notice.

Ordering Information EXAMPLE: OLB 8 30K DDB

Series	Light Engine	Color Temperature (CT)	Voltage	Finish
OLBF	16W flood optics	30K 3000K	100V/120V	000 Dark Bronze
OLBS	2x2W spot optics	30K 3000K	100V/120V	000 Dark Bronze

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Lighting Facts

Light Output (Lumens) 592
Watts 10.5
Lumens per Watt (Efficacy) 56

Color Accuracy 84
 Color Rendering Index (CRI)

Light Color 3005 (Bright White)
 Color Temperature (CT)

Lighting Facts 839
Watts 11.3
Lumens per Watt (Efficacy) 74

Color Accuracy 66
 Color Rendering Index (CRI)

Light Color 4756 (Daylight)
 Color Temperature (CT)

Lighting Facts 638
Watts 11.2
Lumens per Watt (Efficacy) 56

Color Accuracy 83
 Color Rendering Index (CRI)

Light Color 3550 (Warm White)
 Color Temperature (CT)


Lighting Facts 832
Watts 10.9
Lumens per Watt (Efficacy) 76

Color Accuracy 66
 Color Rendering Index (CRI)

Light Color 4688 (Daylight)
 Color Temperature (CT)

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WSQ LED Architectural Wall Sconce



Specifications Luminaire
Height: 9.3/8" (23.8 cm)
Width: 1.5" (3.8 cm)
Depth: 9" (22.8 cm)
Weight: 17 lbs (7.7 kg)

Optional Back Box (BBW)
Height: 4" (10.2 cm)
Width: 5.1/2" (14.0 cm)
Depth: 1.1/2" (3.8 cm)

Ordering Information EXAMPLE: WSQ LED 2 10A700/40K SR3 MVOLT DDBTxD

Series	Light Engine	Estimate Package	Distribution	Package	Mounting	System	Finish
WSQ LED	1 One engine (10 LED)	700mA options: 10A700/40K 300K 300K	SR3 Type II	MVOLT ¹ 300 ² 300 ²	Shipped included: Blank Surface-mount	Shipped installed: Fluorescent ball ball type ³	0000 Dark bronze
					Shipped separately: Double (SR3, 2x1, 4091)		0002 Black aluminum
					Shipped separately: Back box		0003 White
					Shipped separately: Fluorescent ball ball type		0004 Bronze
					Shipped separately: Fluorescent ball ball type		0005 Natural bronze
					Shipped separately: Fluorescent ball ball type		0006 Textured black
					Shipped separately: Fluorescent ball ball type		0007 Textured white
					Shipped separately: Fluorescent ball ball type		0008 Textured bronze
					Shipped separately: Fluorescent ball ball type		0009 Textured silver
					Shipped separately: Fluorescent ball ball type		0010 Textured gold

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Performance Data

Lumen Output
 Lumen values are from photometric tests performed in accordance with IESNA LM-79-02. Data is considered to be representative of the configuration shown, with the tolerances allowed by Lighting Facts.

Light	Series	System	Wattage	LM-79-02	LM-79-02	LM-79-02	LM-79-02	LM-79-02
1	WSQ-X	2W	2W	200	200	200	200	200
2	WSQ-X	4W	4W	400	400	400	400	400

Lumen Ambient Temperature (LAT) Multipliers
 Use these factors to determine relative lumen output for average ambient temperatures.

Ambient Temp	Multiplier
65°F	1.00
70°F	0.95
75°F	0.90
80°F	0.85
85°F	0.80
90°F	0.75
95°F	0.70
100°F	0.65

Projected LED Lumen Maintenance
 Lumen maintenance is the percentage of light output after a specified number of hours of operation. WSQ LED 2 10A700/40K SR3 MVOLT DDBTxD is rated for 100,000 hours of operation at 25°C ambient temperature.

Hours	100,000	50,000	10,000
100,000	1.0	0.94	0.88
50,000	0.94	0.88	0.82
10,000	0.88	0.82	0.76

Electrical Load
 Higher voltage is due to electrical losses from step-down transformer.

Series	Wattage	120V	208V	277V	347V	480V
1	700	200V	0.34	0.14	0.11	0.08
2	700	470V	0.44	0.17	0.23	0.30

Photometric Diagrams
 To see complete photometric reports or download .IES files for this product, visit www.lithonia.com/lightingfacts.

FEATURES & SPECIFICATIONS
INTENDED USE
 The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity.

CONSTRUCTION
 Die-cast aluminum housing has integral heat sink for optimized thermal management through conduction and convective cooling. The LED driver is mounted in the rear housing providing a low operating temperature and long life. Housing is sealed against moisture and environmental contaminants (IP65). Finish: Exterior parts are protected by a fluoropolymer powder coat finish that provides superior resistance to oxidation and weathering. A highly controlled multi-stage process ensures a uniform finish thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS
 Optics are engineered for superior field-to-beam ratios, uniformity and coating. Available with 8W or 16W flood optics for illuminating larger objects or 3W or 2W spot optics for illuminating targets up to 50 feet away. Light engines are available in 3000K (80 CRI max.) or 5000K (94 CRI max.) configurations.

ELECTRICAL
 MDT driver operates on any line voltage from 120-277V (0/0-0V AC). Light engine consists of four 16W discrete LEDs directly mounted directly to the heat sink to maximize heat dissipation and provide long life (100,000 hrs at 40°C LED). Driver is thermally isolated to keep it cool to the touch. Operating temperature: -30°C to 40°C.

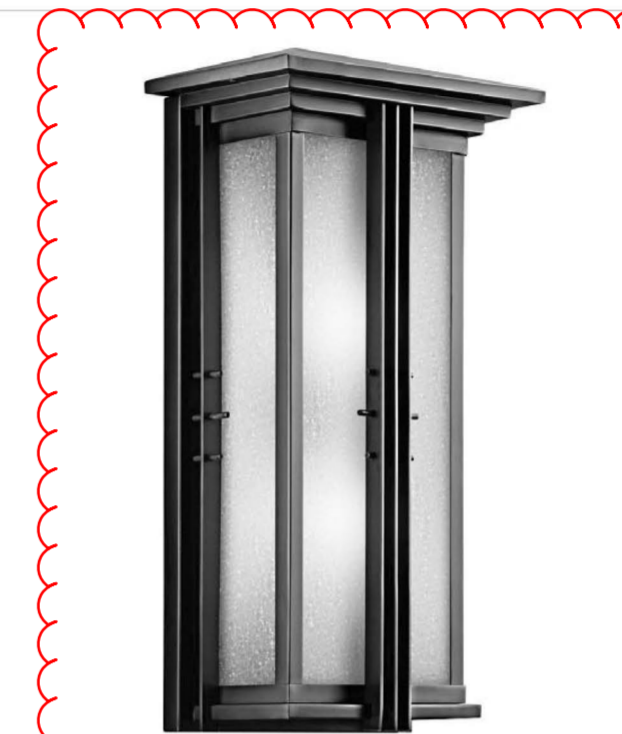
INSTALLATION
 Integral stake-in-hole design with 1/2"-14 NPT threaded pipe facilitates quick and easy installation in a variety of mounting methods.

LISTINGS
 UL Listed in U.S. and Canada safety standards for wet locations within four feet of the ground. Tested in accordance with IESNA LM-79-02 and IESNA LM-80 standards.

WARRANTY
 5-year limited warranty. Complete warranty terms located at www.lithonia.com/warranty. See www.lithonia.com/warranty for details. Actual performance may differ as a result of end-user environment and application. Note: Specifications subject to change without notice.

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Portman Square Collection Portman Square 2 Light Outdoor Wall Light - OZ 49160OZ (Old Bronze)



Dimensions
Height: 22.00"
Width: 11.00"

Ordering Information
Product ID: 49160OZ
Finish: Old Bronze
Available Finishes: OZ, OZ
Collection: Portman Square Collection

Dimensions
Extension: 6.25"
Height from center of Wall opening: 10.00"
Base Backplate: 20 X 9.5
Weight: 14.50 LBS

Specifications
Material: Brass
Diffuser Description: Etched Seeded

Electrical
Voltage: 120V

Qualifications
Safety Rated: Wet
Title 24: Yes
Expected Life Span: 10000 Hours
Warranty: www.kichler.com/warranty

Primary Luminaire
Light Source: Incandescent
Lamp Included: Not Included
of Bulb/LED Modules: 2
Initial Lumens: 1250
Max or Nominal Watt: 18W
Socket Type: 150
Socket Style: Medium
Lamp Type: A19
Bulb Product ID: 4044

Alternate Lamps

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Hybrid	CFL	23-30W		

There are two sizes of these shown on the color renditions. Please clarify and add other size to Luminaire table.

Kichler
 7711 East Pleasant Valley Road
 Cleveland, Ohio 44130-2919
 Toll free: 866.558.5766 or kichler.com

Notes:
 1) Information provided is subject to change without notice.
 2) Incandescent equivalent wattage is based on laboratory conditions.
 3) Incandescent equivalent wattage is based on laboratory conditions.
 4) Incandescent equivalent wattage is based on laboratory conditions.

KICHLER

FEBRUARY 28, 2018

GIVEN & ASSOCIATES INC.

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