

PARKER AND PINE RETAIL PINE LANE AND S. PARKER ROAD PRELIMINARY SITE PLAN

LOT 1 BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION

PARKER AUTO PLAZA FILING NO. 1 – LOT 1, BLOCK 3 COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW ¼ OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067F AND DATED SEPTEMBER 30, 2005 – SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.



VICINITY MAP
1"=2,000'

CONTACTS:

DEVELOPER:
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CONTACT: DICK ANSTETH

SURVEYOR:
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CONTACT: CHARLES BECKSTROM, PLS

TELEVISION:
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WATER/SANITARY SEWER:
PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN ROAD
PARKER, CO 80134
TEL: 303-841-4627
CONTACT: DRAYTON SANDERSON

FIRE DEPARTMENT:
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

TOWN OF PARKER PLAN REVIEW:
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA

SITE DATA TABLE

Parcel	LOT/TRACK GROSS AREA (SF)	LOT/TRACK GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 Max)	Anticipate d Use	Parking		Max. Building Height	Min. Building Setbacks			Build to Requirements (30% Min.)	
						Required (1 per 300 GSF)	Provided		Front	Rear	Side	SF	%
Lot 1	3.57	155,421	14,300	0.09	Retail	48	58	35'	25	25	25	4983.76	35
Lot 2	1.09	47,621	3,400	0.07	Fuel	11	30	35'	25	25	25	1770.2	52
Lot 3	0.87	37,898	2,085	0.06	Fast Food	7	36	35'	25	25	25	1738.6	83
Lot 4	1.78	77,461	6,855	0.09	Car Wash	23	33	35'	25	25	25	5819.1	85
Lot 5	0.87	38,080	2,042	0.05	Fast Food	7	26	35'	25	25	25	1342.9	66
Lot 7	5.44	236,918	37,000	0.16	Assemblage	123	416	35'	25	25	25	9020.7	24
PHASE 1 TOTAL	13.62	593,399	65,682	0.11		219	599						

Parcel	LOT/TRACK GROSS AREA (SF)	LOT/TRACK GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R.		Parking		Max. Building Height	Min. Building Setbacks*			Build to Requirements (30% Min.)	
						Required	Provided		Front	Rear	Side	SF	%
Lot 6	2.33	101,455	59,040	0.58	Hotel	197	117	35*	25	25	25	N/A	N/A
PHASE 2 TOTAL	2.33	101,455	59,040	0.58		197	117						
TOTAL	15.95	694,854	124,722	0.18		416	716						

SHEET INDEX

01 OF 11	COVER SHEET
02 OF 11	EXISTING CONDITIONS
03 OF 11	SITE PLAN
04 OF 11	UTILITY PLAN
05 OF 11	GRADING PLAN
06 OF 11	LANDSCAPE PLAN
07 OF 11	RETAIL ARCHITECTURAL ELEVATIONS
08 OF 11	RETAIL ARCHITECTURAL ELEVATIONS
09 OF 11	RETAIL ARCHITECTURAL RENDERING
10 OF 11	RETAIL ARCHITECTURAL RENDERING
10 OF 11	ASSEMBLY ARCHITECTURAL ELEVATIONS

Please include minimum lot widths in the site data table to ensure compliance with the minimum lot width stated in the PD of 150 ft.



EISENBERG COMPANY
2710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Adress:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:



Kimley»Horn

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Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description

Sheet Title:

COVER SHEET

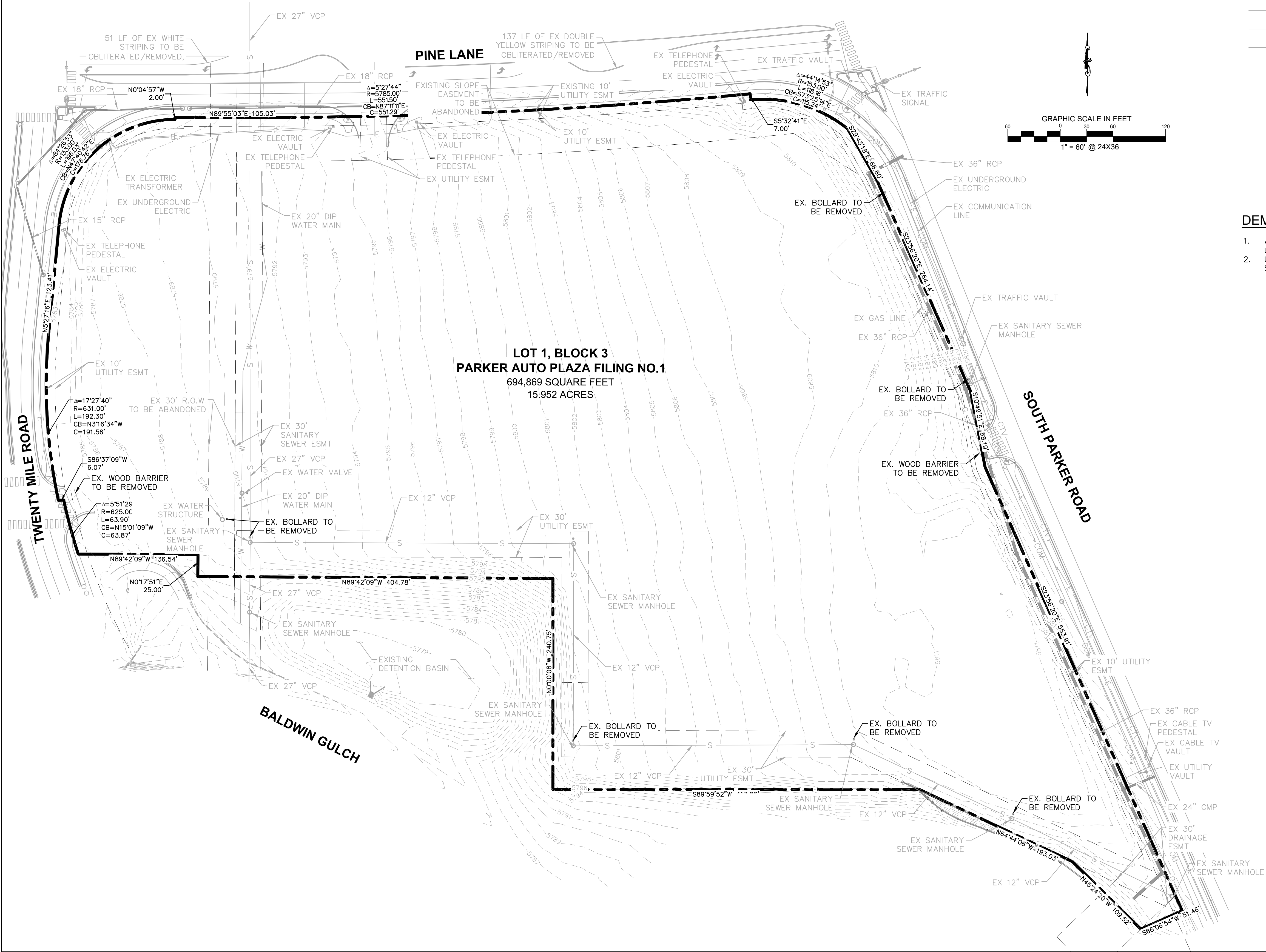
Date: 11/30/2018

Project Number: 096502001

Drawn By: STC

Sheet Number:

01 OF 11



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING EASEMENT LINE
 - EXISTING STORM SEWER LINE
 - E — EXISTING UNDERGROUND POWER LINE
 - G — EXISTING GAS LINE
 - T — EXISTING TELECOMM LINE
 - COM — EXISTING COMMUNICATIONS LINE
 - CTV — EXISTING CABLE LINE
 - S — EXISTING SANITARY SEWER LINE
 - — EXISTING SANITARY SEWER MANHOLE
 - — EXISTING STORM SEWER MANHOLE

- DEMOLITION NOTES**
- ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 - UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.

Eisenberg Company

Full service commercial real estate

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STATE OF COLORADO**

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**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description

Sheet Title: **EXISTING
CONDITIONS &
DEMOLITION PLAN**

Date: 11/30/2018

Project Number: 096502001

Drawn By: STC

Sheet Number:

Please add a line legend.

LEGEND

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	HEAVY DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	BUILDING AREA WITHIN 40' OF SETBACK
	COLORLED CONCRETE

KEY NOTES

- 1 PROPOSED 3' SCREEN WALL.
- 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING.
- 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
- 4 PROPOSED MONUMENT SIGN.
- 5 PROPOSED SIDEWALK STAIRS. WIDTH PER PLAN.
- 6 PROPOSED FIRE HYDRANT.
- 7 PROPOSED TRASH ENCLOSURE.
- 8 PROPOSED ADA PARKING STALLS.
- 9 PROPOSED 8' CONCRETE SIDEWALK.
- 10 PROPOSED 5' CONCRETE SIDEWALK.
- 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
- 12 PROPOSED HEAVY DUTY ASPHALT PAVING.
- 13 NOT USED.
- 14 PROPOSED 18" VERTICAL CURB.
- 15 PROPOSED BICYCLE PARKING.
- 16 PROPOSED RETAINING WALL.

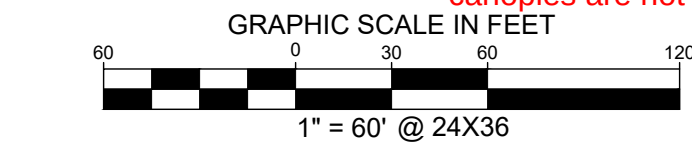
NOTES:

1. ALL EXISTING OR PROPOSED LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS UNDER SECTION 13.10.14.0.
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY. FINAL LOCATION AND SCREENING MEASURES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN UNDER CHAPTER 13.06 OF THIS TITLE.
3. LOCATION OF TRASH RECEPTACLES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN UNDER CHAPTER 13.06 OF THIS TITLE AND BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

This is identified as a retaining wall. Staff requested enhanced landscaping and/or decorative screening walls to screen the recreational path in comment III.1 Adjacent Sensitivity. This wall is called out, but is not depicted on the previous submittal. Please verify that this wall is a retaining wall and is not intended to address the afore mentioned comment.

Insufficient information to determine if this lot meets the requirement for three points touching the set back.

The setback requirements are intended to vary the footprint thru changes in plane and bring the building closer to the road. This is the building front, which as shown neither creates changes in plane nor brings the building closer to the roadway. The screening walls shown do not constitute the requirement for the building to 'touch the set back'. They are not part of the building, they do not connect to the building, or have a roof or other interior boundaries that make the area part of the building. Canvas canopies are not a roof.



Please show added monument sign/arch indicated in comment response.

Appears to be a screening wall, please identify.

Please identify, is this a structure, a landscape area?

Access between N/S access aisle and access entrance to lot 6 should be redesigned to align.

Only one point of the actual building touches set back. Without elevation, staff is unable to determine if this layout meets the requirement.

Insufficient information to determine if this lot meets the requirement for three points touching the set back.

Lot 4 does not show any bicycle parking. Requires 2 per 10,000 sf.

Pedestrian paths as requested by previous comments have not been provided. Noted 6 ft grade might require steps, but ADA access is provided elsewhere, so stairs are permitted. Pedestrian connectivity is required by both the Town of Parker Land Development Code and the Commercial Industrial and Multifamily Design Guidelines. The requested connection between the central drive aisle and the recreational path is required to provide adequate internal pedestrian access to the recreational path. Pedestrian access to the adjacent front entrances as shown are also required. Please add pedestrian paths as shown.

Staff counts two points of contact with set back, three are required.

This hatch does not appear in the legend. If this is concrete it will need to be broken up with planter beds etc.

A pedestrian connection is needed to provide adequate connection to E/W sidewalk.

Eisenberg Company
Full service commercial real estate

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PHOENIX, AZ 85016

Address:

**LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO**

Architect Information:



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Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description

Sheet Title:

**PRELIMINARY SITE
PLAN**

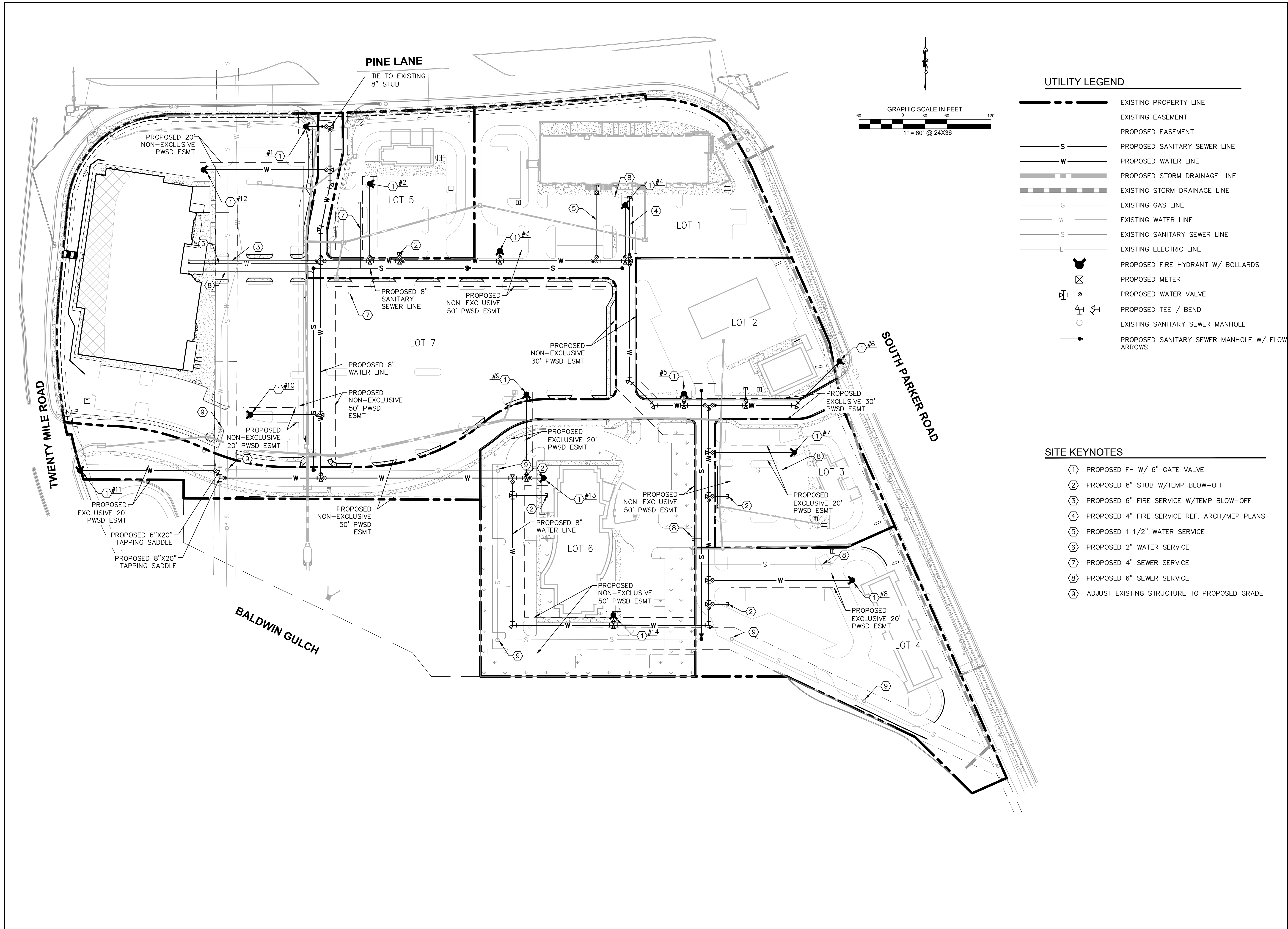
Date: 11/30/2018

Project Number: 096502001

Drawn By: STC

Sheet Number:

03 OF 11



UTILITY LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED STORM DRAINAGE LINE
- EXISTING STORM DRAINAGE LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING ELECTRIC LINE
- PROPOSED FIRE HYDRANT W/ BOLLARDS
- PROPOSED METER
- PROPOSED WATER VALVE
- PROPOSED TEE / BEND
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS

SITE KEYNOTES

- PROPOSED FH W/ 6" GATE VALVE
- PROPOSED 8" STUB W/TEMP BLOW-OFF
- PROPOSED 6" FIRE SERVICE W/TEMP BLOW-OFF
- PROPOSED 4" FIRE SERVICE REF. ARCH/MEP PLANS
- PROPOSED 1 1/2" WATER SERVICE
- PROPOSED 2" WATER SERVICE
- PROPOSED 4" SEWER SERVICE
- PROPOSED 6" SEWER SERVICE
- ADJUST EXISTING STRUCTURE TO PROPOSED GRADE

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**PRELIMINARY
SITE PLAN**

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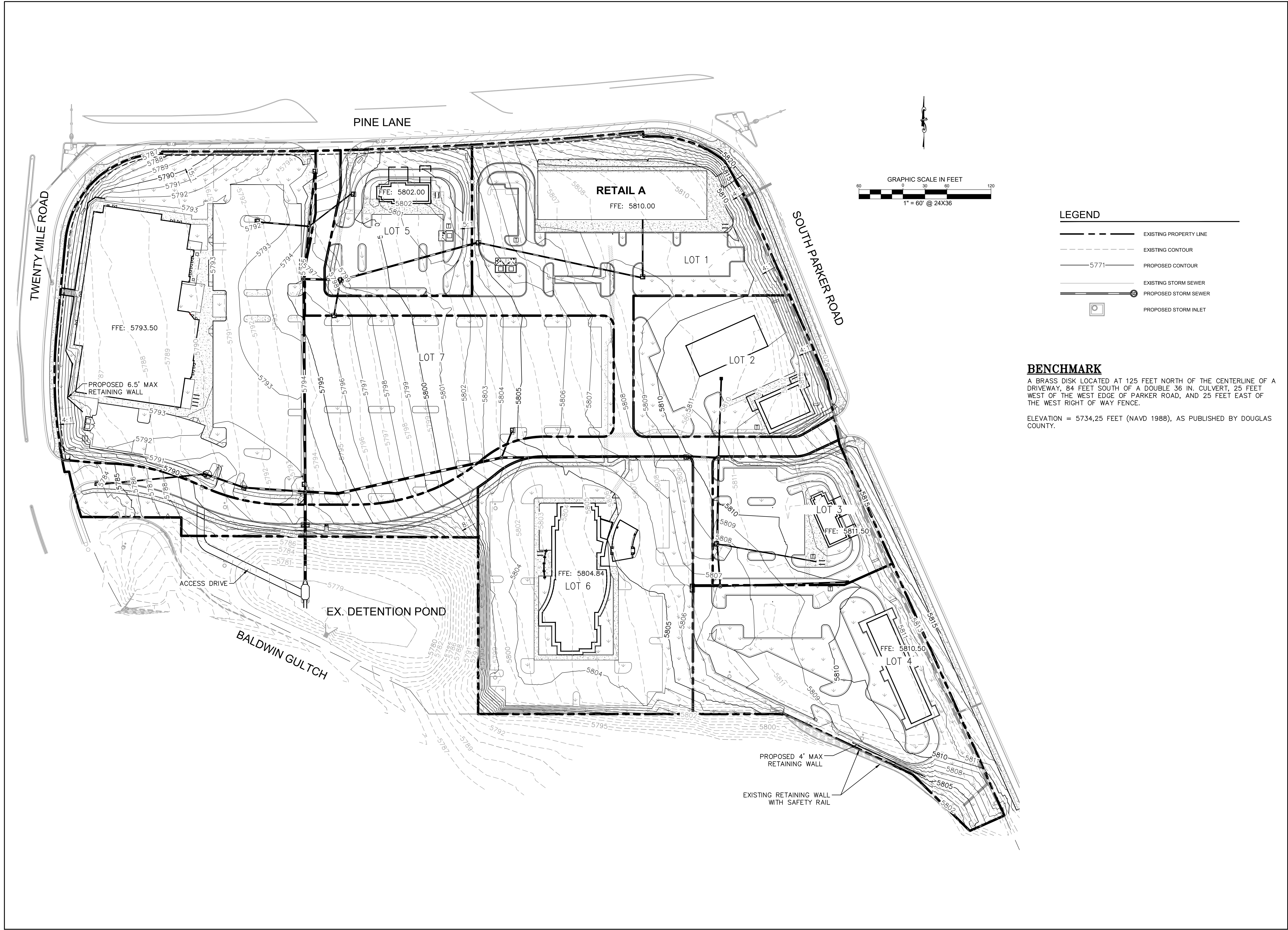
**PRELIMINARY
UTILITY PLAN**

Date: 11/30/2018

Project Number: 096502001

Drawn By: STC

Sheet Number:



LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING CONTOUR
- 5771— PROPOSED CONTOUR
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM INLET

BENCHMARK
A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

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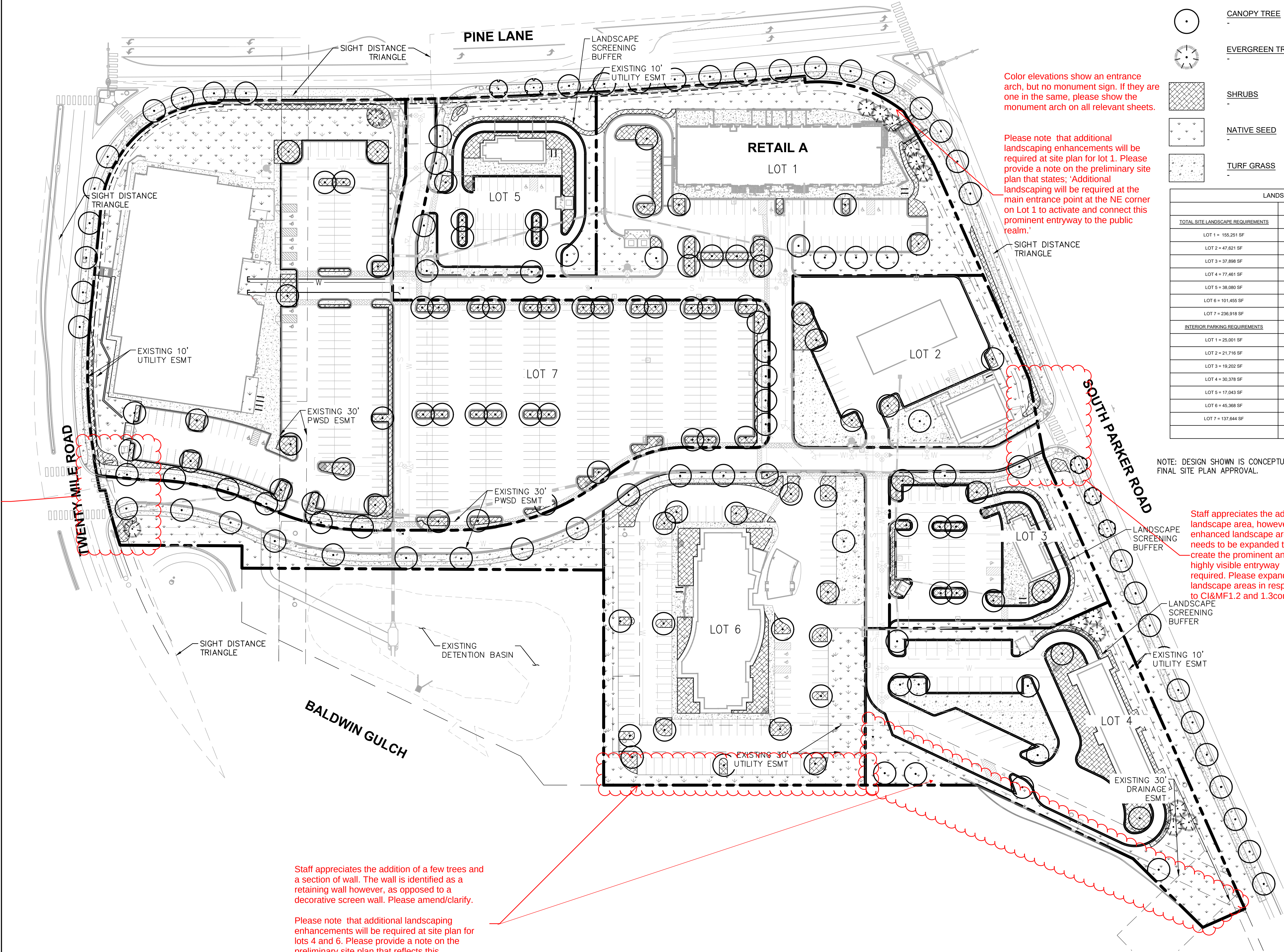
**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description

Sheet Title:
**PRELIMINARY
GRADING PLAN**

Date: 11/30/2018
Project Number: 096502001
Drawn By: STC



CONCEPT PLANT SCHEDULE

	CANOPY TREE	174
	EVERGREEN TREE	14
	SHRUBS	51,365 SF
	NATIVE SEED	119,509 SF
	TURF GRASS	50,118 SF

LANDSCAPE REQUIREMENTS		
TOTAL SITE LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDER
LOT 1 = 155,251 SF	15% (23,288 SF)	19% (29,498 SF)
LOT 2 = 47,621 SF	15% (7,143 SF)	24% (11,248 SF)
LOT 3 = 37,898 SF	15% (5,685 SF)	17% (6,573 SF)
LOT 4 = 77,461 SF	15% (11,619 SF)	72% (55,805 SF)
LOT 5 = 38,080 SF	15% (5,712 SF)	16% (6,245 SF)
LOT 6 = 101,455 SF	15% (15,218 SF)	30% (30,505 SF)
LOT 7 = 236,518 SF	15% (35,538 SF)	19% (44,947 SF)
INTERIOR PARKING REQUIREMENTS	REQUIRED	PROVIDER
LOT 1 = 25,001 SF	10% (2,500 SF)	19% (4,725 SF)
LOT 2 = 21,716 SF	10% (2,172 SF)	10% (2,150 SF)
LOT 3 = 19,202 SF	10% (1,920 SF)	16% (4,794 SF)
LOT 4 = 30,379 SF	10% (3,038 SF)	11% (3,469 SF)
LOT 5 = 17,043 SF	10% (1,704 SF)	19% (3,228 SF)
LOT 6 = 45,368 SF	10% (4,537 SF)	11% (4,940 SF)
LOT 7 = 137,844 SF	10% (13,784 SF)	10% (14,317 SF)

NOTE: DESIGN SHOWN IS CONCEPTUAL. FINAL DESIGN WILL BE DETERMINED AT TIME OF FINAL SITE PLAN APPROVAL.

Address:
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AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO**

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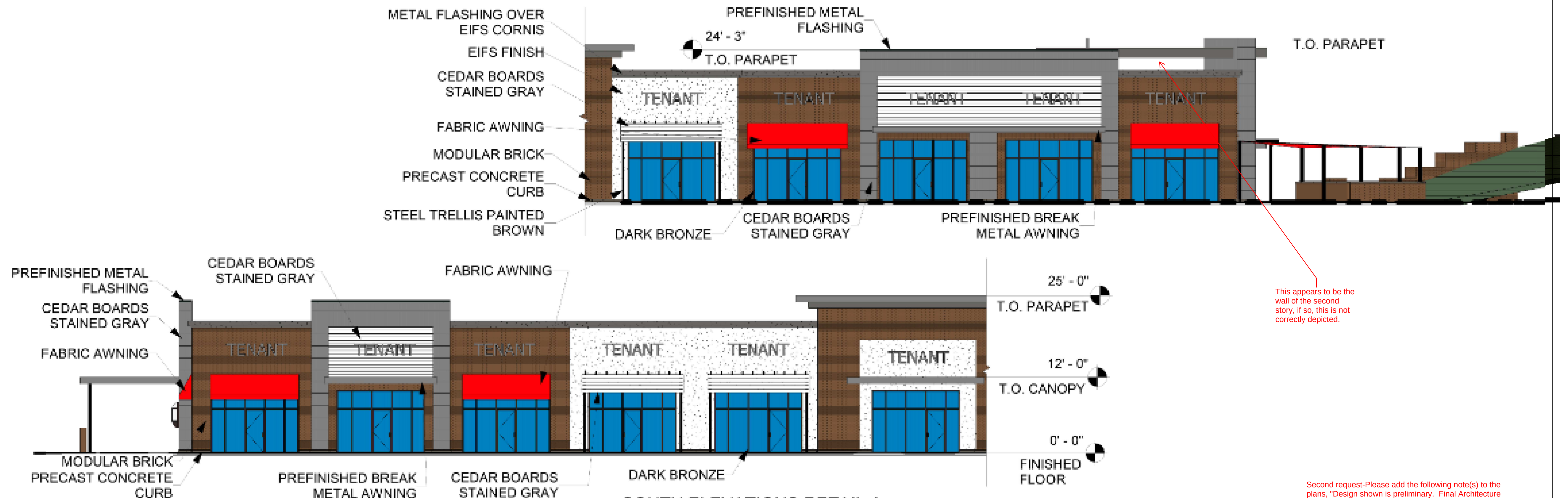
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**PRELIMINARY
SITE PLAN**

Revisions:		
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Sheet Title:
**PRELIMINARY
LANDSCAPE PLAN**

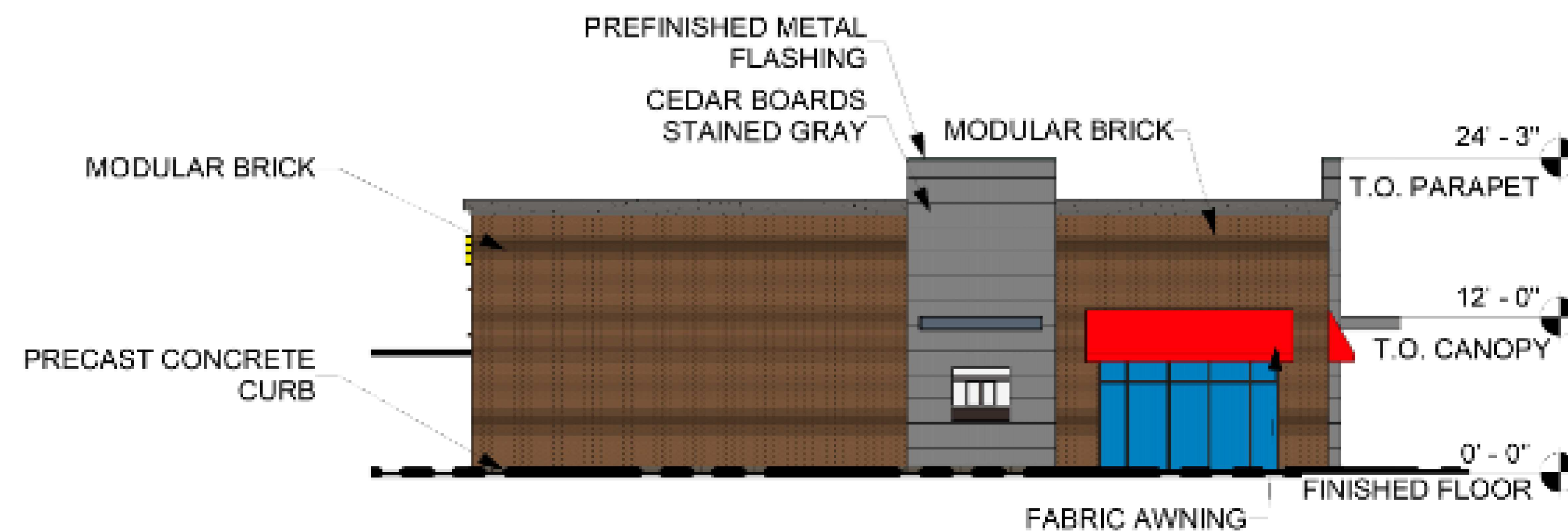
Date: 11/30/2018
Project Number: 096502001
Drawn By: STC



This appears to be the wall of the second story, if so, this is not correctly depicted.

Second request-Please add the following note(s) to the plans, "Design shown is preliminary. Final Architecture shall be approved at the time of final site plan approval."

1 SOUTH ELEVATIONS RETAIL A
1/16" = 1'-0"



2 WEST ELEVATION RETAIL A
1/16" = 1'-0"



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PARKER AND PINE RETAIL A

SWC PARKER ROAD AND PINE LANE

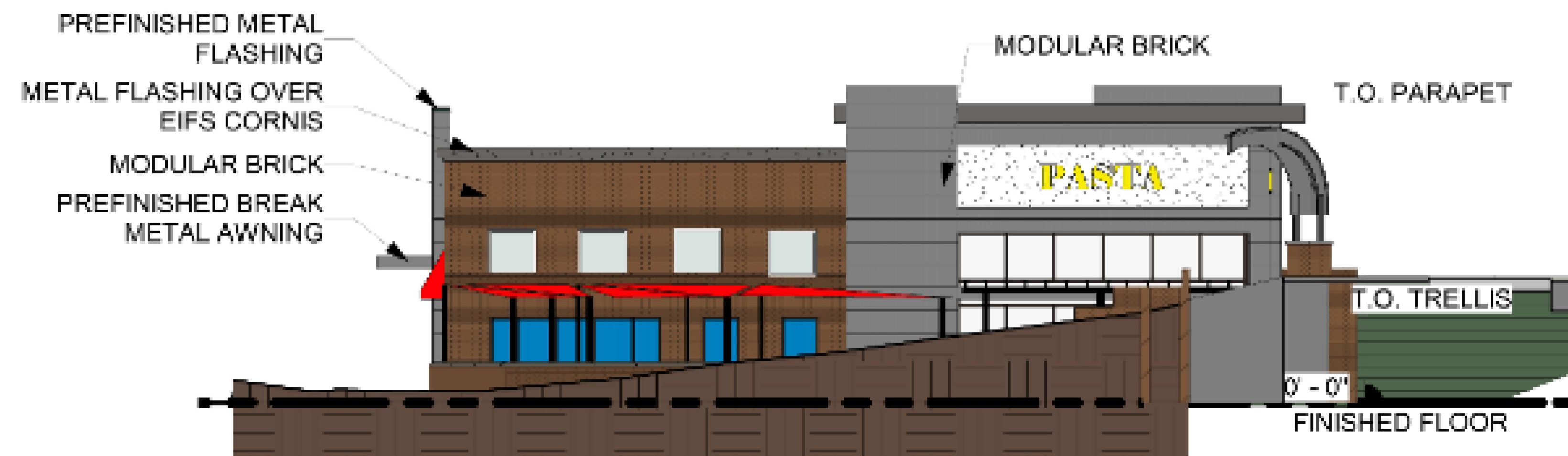
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ELEVATIONS 7 of 11

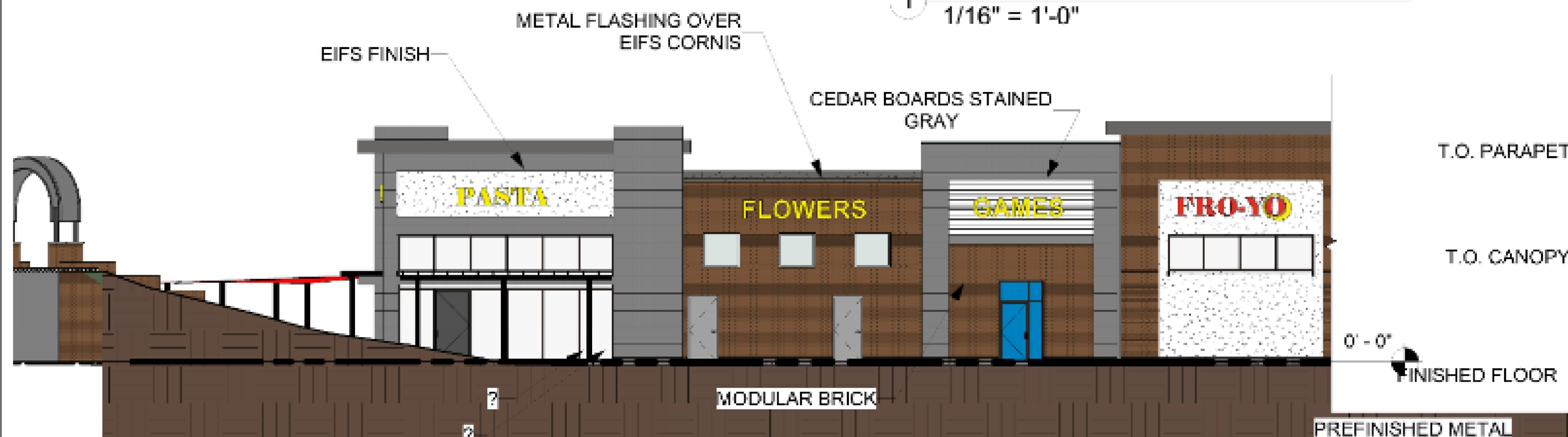
SCALE 1/16" = 1'-0" JOB #: 2017022 DATE: 11.30.2018

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1 EAST ELEVATION RETAIL A
1/16" = 1'-0"



2 NORTH ELEVATION RETAIL A
1/16" = 1'-0"



Second request-Please add the following note(s) to the plans, "Design shown is preliminary. Final Architecture shall be approved at the time of final site plan approval."

While staff appreciates the addition of the second story windows, the exclusion of the lower floor windows does not result in a net gain of transparent material as requested.



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PARKER AND PINE RETAIL A

SWC PARKER ROAD AND PINE LANE

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ELEVATIONS 8 of 11

SCALE 1/16" = 1'-0" JOB #: 2017022 DATE: 11.30.2018

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SOUTH WEST CORNER OF PARKER ROAD AND PINE LANE



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PARKER AND PINE RETAIL A

SWC PARKER ROAD AND PINE LANE

DESIGN SHOWN IS PRELIMINARY. FINAL ARCHITECTURE SHALL BE APPROVED AT THE TIME OF FINAL SITE PLAN APPROVAL.

RENDERING 9 of 11

SCALE NONE JOB #: 2017022 DATE: 11.30.2018

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OUTDOOR GATHERING AREA - CORNER OF PARKER & PINE



PARKER ROAD LOOKING NORTH TOWARD PINE LANE



Naos Design Group, LLC
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PARKER AND PINE RETAIL A

SWC PARKER ROAD AND PINE LANE

DESIGN SHOWN IS PRELIMINAY. FINAL ARCHITECTURE SHALL BE APPROVED AT THE TIME OF FINAL SITE PLAN APPROVAL.

RENDERING 10 of 11

SCALE NONE JOB #: 2017022 DATE: 11.30.2018

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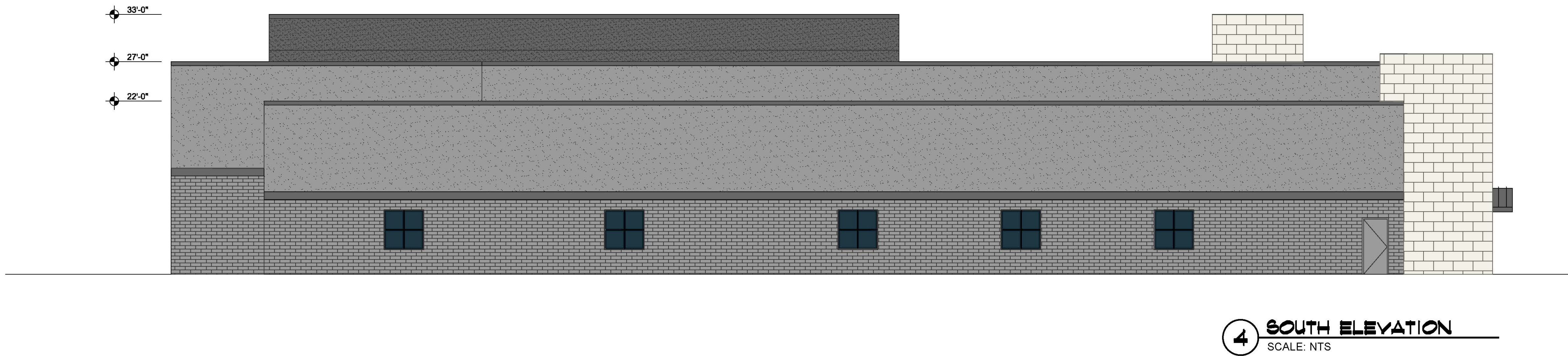
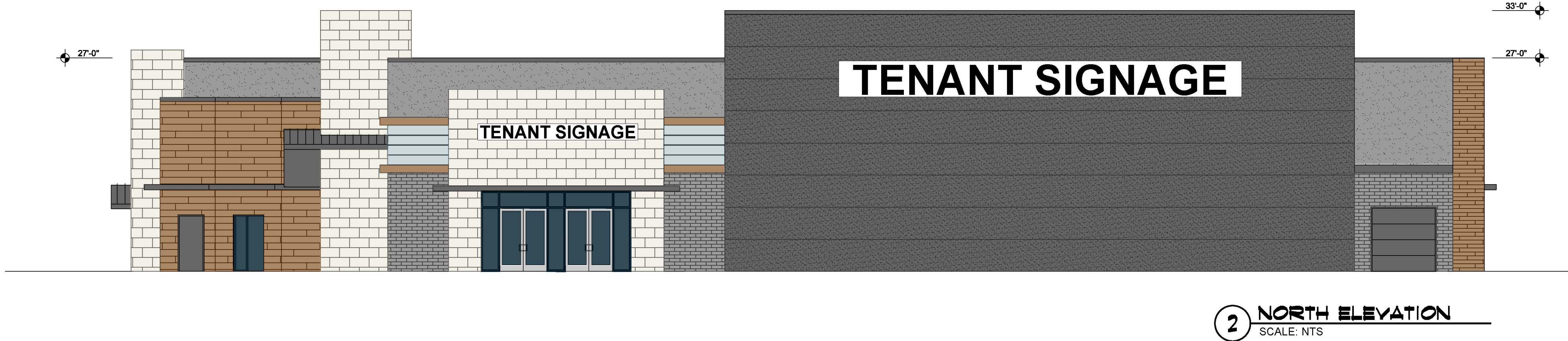
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Please add the following note(s) to the plans, "Design shown is preliminary. Final Architecture shall be approved at the time of final site plan approval."

General Comments
All of Section III of the Commercial Industrial and Multifamily Design Standards (CI&MF) apply to each lot within this development. These standards require 360 degree architecture, which is not reflected in the submitted elevations. This prominent corner will require special attention to this requirement. Currently the west and south elevations reflect 'back of house' architecture and articulation. Additional transparency, material changes, and articulation will be required. The west elevation must present to the street as a front. Front elevations have specific design and material requirements. Side facades that are visible have specific design and material requirements. Blank, featureless walls such as the south elevation and parts of the west are prohibited. Plane changes to address mass and scale are required for any facade exceeding 100 ft. Repeating pattern changes are required for all facades. Please review section III.2. for further detail regarding mass and scale requirements as well as required architectural elements and articulation.

The elevations as submitted are not eligible for approval as they do not meet the requirements of the Commercial Industrial and Multifamily Design Standards. While staff has made some broad comments, the applicant should expect additional comments at time of final site plan review.



NOTES

MATERIALS LEGEND

MODULAR BRICK VENEER

EIFS - COLOR 1

EIFS - COLOR 2

NATURAL WOOD RAINSCREEN

24"x12" MASONRY VENEER

KALWALL TRANSLUCENT PANELS

KEY PLAN

Revisions:

Date

Owner:

Civil Engineers:

MEP Engineers:

Structural Engineers:

Seal

Drawing Title

ASSEMBLY ARCHITECTURAL ELEVATIONS

Project Title

PARKER & PINE RETAIL

Date

NOV. 30, 2018

Submittal

Checked

Drawn

Location

PARKER, CO

DRAWING NO.

11 of 11