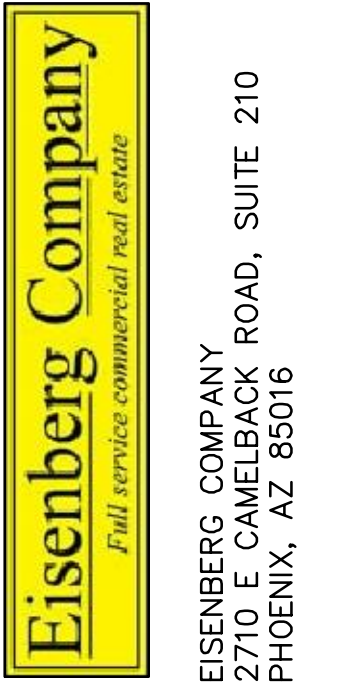


PARKER AND PINE RETAIL PRELIMINARY SITE PLAN

PARKER AND PINE MINOR DEVELOPMENT FILING NO. 1
A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Address:
**PARKER AND PINE
MINOR DEVELOPMENT
FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO**



PRELIMINARY
**FOR REVIEW ONLY
NOT FOR
CONSTRUCTION**
Kimley-Horn
Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:

| # | Date | Description |
|---|------------|--------------------|
| | 05/16/2018 | PLANNING SUBMITTAL |
| | 11/30/2018 | TOWN REVISION |
| | 11/20/2019 | TOWN REVISION |
| | 03/11/2020 | TOWN REVISION |

Sheet Title:
COVER SHEET

Date: 03/11/2020
Project Number: 096502001
Drawn By: STC

Sheet Number:
01 OF 06

LEGAL DESCRIPTION

PARKER AUTO PLAZA FILING NO. 1 – LOT 1, BLOCK 3 COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW ¼ OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

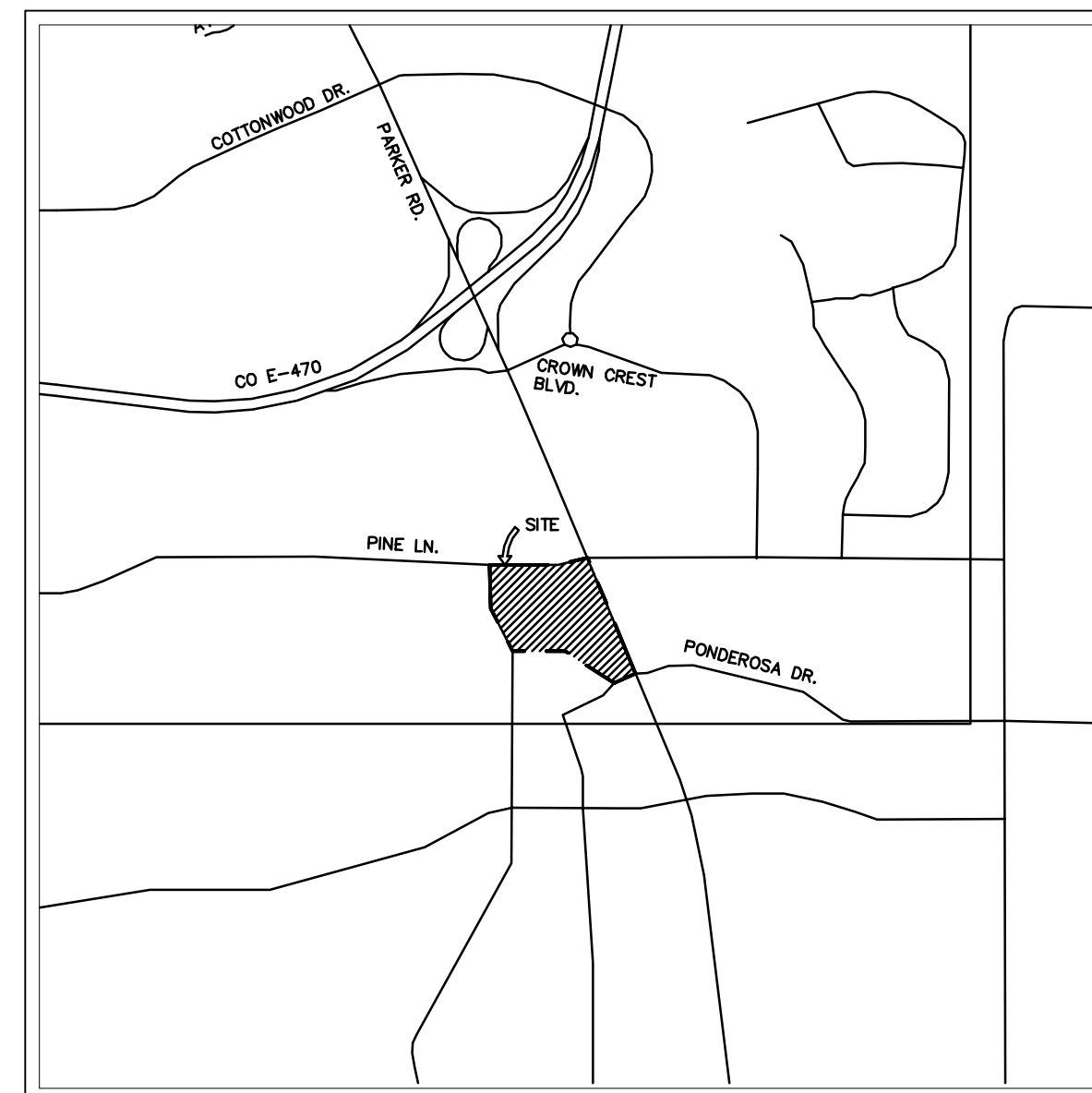
FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067F AND DATED SEPTEMBER 30, 2005 – SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE DATA TABLE

| PARCEL | LOT/TRACT GROSS AREA (AC) | LOT/TRACT GROSS AREA (SF) | BUILDING AREA (SF) | F.A.R. (0.35 MAX) | ANTICIPATED USE | PARKING | | MAX. BUILDING HEIGHT | MIN. BUILDING SETBACKS | | | LOT WIDTH (FT) | |
|--------------|---------------------------|---------------------------|--------------------|-------------------|-----------------|------------|------------|----------------------|------------------------|------|------|----------------|----------|
| | | | | | | REQUIRED | PROVIDED | | FRONT | REAR | SIDE | REQUIRED | PROVIDED |
| LOT 1 | 1.87 | 81,637 | 17,000 | 0.21 | RETAIL | 57 | 43 | 35' | 25 | 25 | 25 | 120 | 358 |
| LOT 2 | 1.09 | 47,544 | 2,830 | 0.06 | FUEL | 10 | 11 | 35' | 25 | 25 | 25 | 120 | 146 |
| LOT 3 | 0.87 | 37,998 | 3,480 | 0.09 | FAST FOOD | 42 | 42 | 35' | 25 | 25 | 25 | 120 | 170 |
| LOT 4 | 1.84 | 79,940 | 5,380 | 0.07 | CAR WASH | 5 | 41 | 35' | 25 | 25 | 25 | 120 | 375 |
| LOT 5 | 0.87 | 38,082 | 2,042 | 0.05 | FAST FOOD | 26 | 26 | 35' | 25 | 25 | 25 | 120 | 173 |
| LOT 6 | 1.38 | 60,131 | 12,723 | 0.21 | DAYCARE | 38 | 39 | 35' | 25 | 25 | 25 | 120 | 290 |
| LOT 7 | 8.02 | 349,536 | | | | | | | 25 | 25 | 25 | 120 | 301 |
| TOTAL | 15.95 | 694,868 | 43,455 | 0.06 | | 178 | 202 | | | | | | |

- NOTES:
1. REQUIRED PARKING FOR OFFICE/SHOPPING CENTER IS 1 PER 300 GSF
2. REQUIRED PARKING FOR FAST FOOD IS 1 PER 3 PERSON CAPACITY
3. REQUIRED PARKING FOR DAYCARE IS 1 PER 4 CHILDREN
4. REQUIRED PARKING FOR CARWASH IS 1 + 1 PER STAFF



VICINITY MAP
1"=2,000'

SHEET INDEX

| | |
|----------|---------------------|
| 01 OF 06 | COVER SHEET |
| 02 OF 06 | EXISTING CONDITIONS |
| 03 OF 06 | SITE PLAN |
| 04 OF 06 | UTILITY PLAN |
| 05 OF 06 | GRADING PLAN |
| 06 OF 06 | LANDSCAPE PLAN |

CONTACTS:

DEVELOPER:
EVT PARKER COLORADO, LLC
C/O: EISENBERG COMPANY, INC.
2710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016
TEL: (602) 468-6100
CONTACT: RYAN AMATO

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2318
CONTACT: DAN SKEEHAN

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2319
CONTACT: CHRIS HEPLER

TELEPHONE:
CENTURYLINK
1801 CALIFORNIA STREET, SUITE 240
DENVER, CO 80202
CONTACT: IZZY MILLER
EMAIL: IZZY.MILLER@CENTURYLINK.COM

GAS SERVICE:
XCEL ENERGY
1800 LARIMER STREET
DENVER, CO 80202
CONTACT: RON JOHNSON
EMAIL: RON.H.JOHNSON@XCELENERGY.COM

TOWN OF PARKER:
TOWN OF PARKER
20120 EAST MAINSTREET
PARKER, CO 80138-7334
TEL: (303) 805-3331
CONTACT: CAROLYN PARKINSON

ELECTRICAL SERVICE:
IREA
5496 US HWY 85
SEDALIA, CO 80135
TEL: (303) 688-7431
CONTACT: AMANDA STEINER

ARCHITECT:
NAOS DESIGN GROUP, LLC
4949 SOUTH SYRACUSE ST. SUITE 460
DENVER, CO 80012
TEL: 303-337-1393
CONTACT: JORDAN BONICELLI

SURVEYOR:
ENGINEERING SERVICE COMPANY
1300 SOUTH POTOMAC ST. SUITE 126
AURORA, CO 80012
TEL: 303-337-1393
CONTACT: CHARLES BECKSTROM, PLS

TELEVISION:
COMCAST
1601 MILE HIGH STADIUM CIRCLE
DENVER, CO 80204
CONTACT: DEAN FLENTHROPE
EMAIL: DEAN_FLENTHROPE@COMCAST.COM

WATER/SANITARY SEWER:
PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN ROAD
PARKER, CO 80134
TEL: 303-841-4627
CONTACT: DRAYTON SANDERSON

FIRE DEPARTMENT:
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

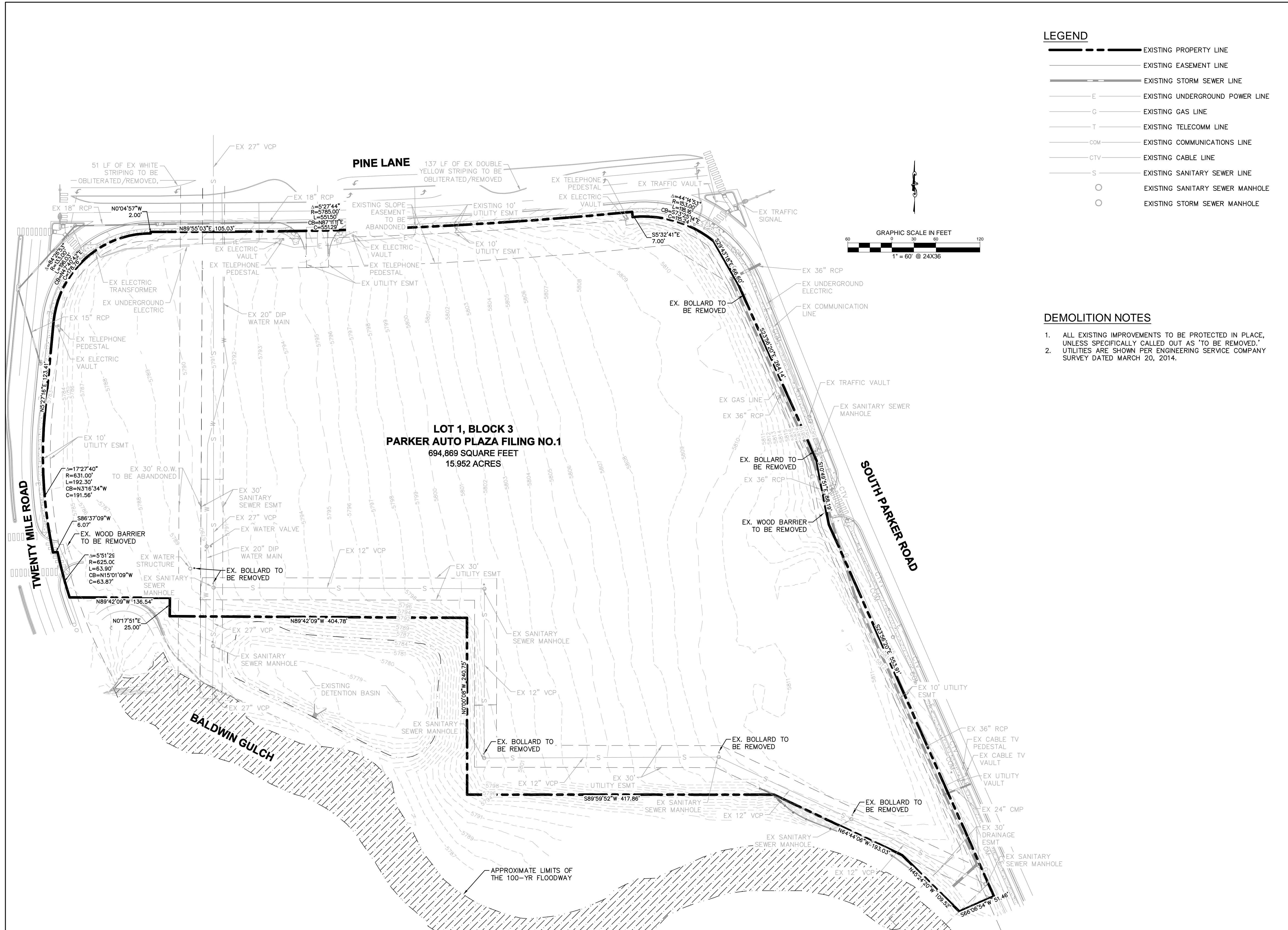
TOWN OF PARKER PLAN REVIEW:
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA

FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE _____ DATE _____

(NOTE – UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)



LEGEND

| | |
|-----|---------------------------------|
| --- | EXISTING PROPERTY LINE |
| --- | EXISTING EASEMENT LINE |
| --- | EXISTING STORM SEWER LINE |
| --- | EXISTING UNDERGROUND POWER LINE |
| --- | EXISTING GAS LINE |
| --- | EXISTING TELECOMM LINE |
| --- | EXISTING COMMUNICATIONS LINE |
| --- | EXISTING CABLE LINE |
| --- | EXISTING SANITARY SEWER LINE |
| ○ | EXISTING SANITARY SEWER MANHOLE |
| ○ | EXISTING STORM SEWER MANHOLE |

DEMOLITION NOTES

1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.

Eisenberg Company
Full service commercial real estate

EISENBERG COMPANY
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:
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STATE OF COLORADO**

Architect Information:
naos
Naos Design Group, LLC
4949 SOUTH SYRACUSE ST. SUITE 460
DENVER, COLORADO 80237
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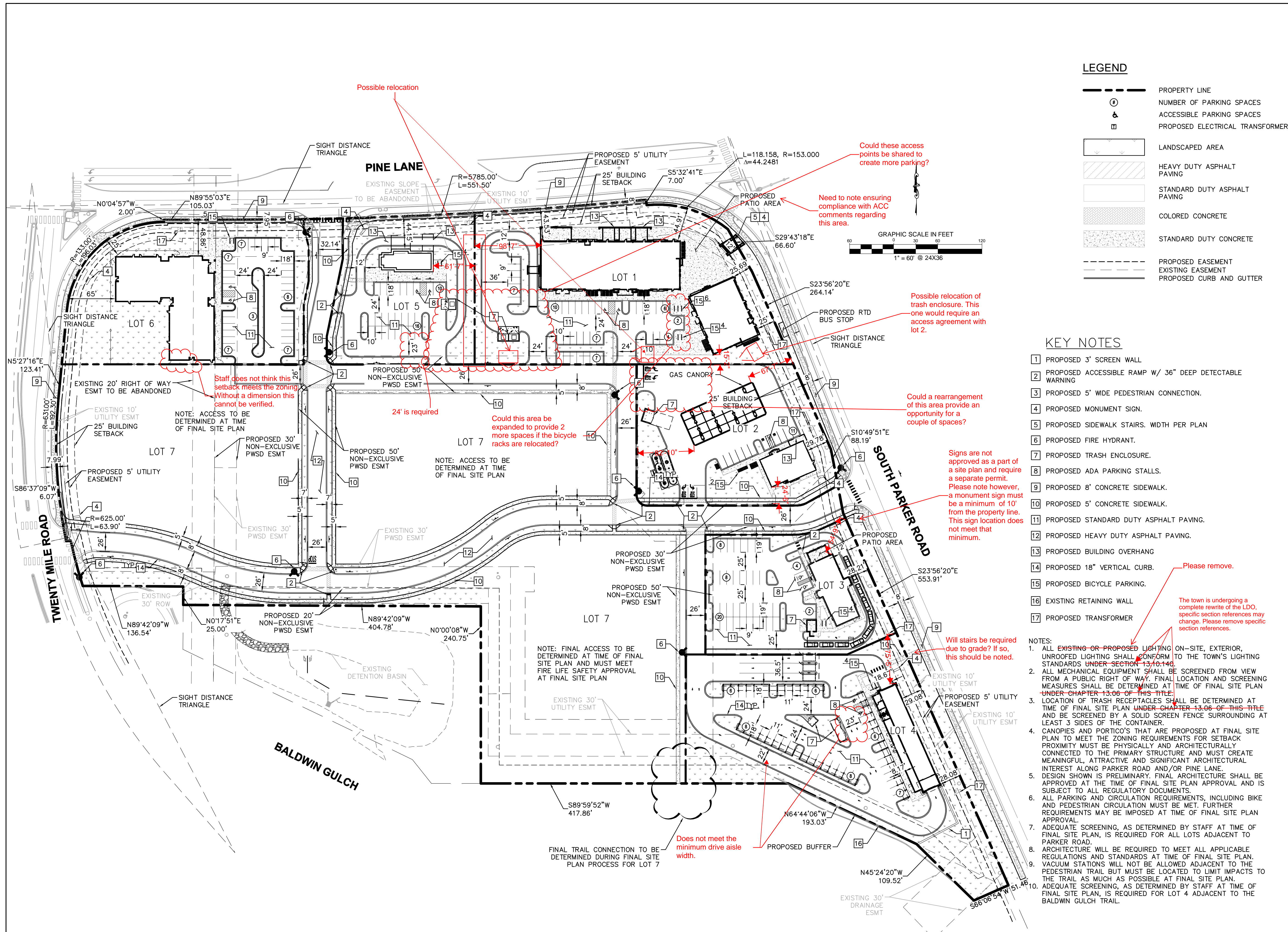
**PRELIMINARY
SITE PLAN**

Revisions:

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|------------|--------------------|-------------|
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| 11/20/2019 | TOWN REVISION | |
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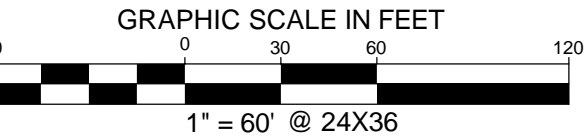
Sheet Title: **EXISTING
CONDITIONS &
DEMOLITION PLAN**
Date: 03/11/2020
Project Number: 096502001
Drawn By: STC

Sheet Number:
02 OF 06



LEGEND

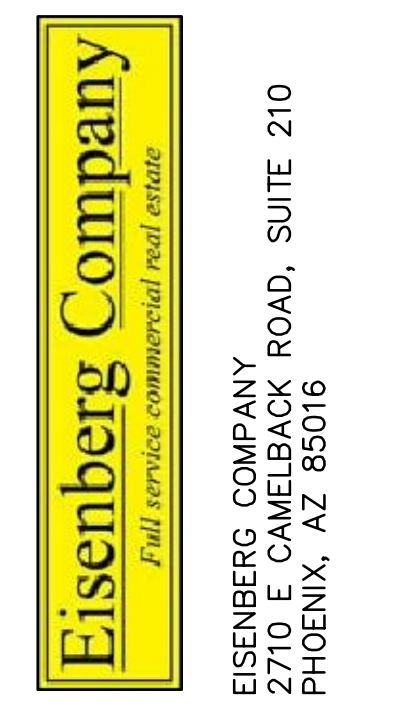
| | |
|--|---------------------------------|
| | PROPERTY LINE |
| | NUMBER OF PARKING SPACES |
| | ACCESSIBLE PARKING SPACES |
| | PROPOSED ELECTRICAL TRANSFORMER |
| | LANDSCAPED AREA |
| | HEAVY DUTY ASPHALT PAVING |
| | STANDARD DUTY ASPHALT PAVING |
| | COLORLED CONCRETE |
| | STANDARD DUTY CONCRETE |
| | PROPOSED EASEMENT |
| | EXISTING EASEMENT |
| | PROPOSED CURB AND GUTTER |



KEY NOTES

- PROPOSED 3' SCREEN WALL
- PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
- PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
- PROPOSED MONUMENT SIGN.
- PROPOSED SIDEWALK STAIRS. WIDTH PER PLAN
- PROPOSED FIRE HYDRANT.
- PROPOSED TRASH ENCLOSURE.
- PROPOSED ADA PARKING STALLS.
- PROPOSED 8' CONCRETE SIDEWALK.
- PROPOSED 5' CONCRETE SIDEWALK.
- PROPOSED STANDARD DUTY ASPHALT PAVING.
- PROPOSED HEAVY DUTY ASPHALT PAVING.
- PROPOSED BUILDING OVERHANG
- PROPOSED 18" VERTICAL CURB.
- PROPOSED BICYCLE PARKING.
- EXISTING RETAINING WALL
- PROPOSED TRANSFORMER

- NOTES:**
- ALL EXISTING OR PROPOSED LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS UNDER SECTION 13.10.140.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY. FINAL LOCATION AND SCREENING MEASURES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN UNDER CHAPTER 13.06 OF THIS TITLE.
 - LOCATION OF TRASH RECEPTACLES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN UNDER CHAPTER 13.06 OF THIS TITLE AND BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.
 - CANOPIES AND PORTICO'S THAT ARE PROPOSED AT FINAL SITE PLAN TO MEET THE ZONING REQUIREMENTS FOR SETBACK PROXIMITY MUST BE PHYSICALLY AND ARCHITECTURALLY CONNECTED TO THE PRIMARY STRUCTURE AND MUST CREATE MEANINGFUL, ATTRACTIVE AND SIGNIFICANT ARCHITECTURAL INTEREST ALONG PARKER ROAD AND/OR PINE LANE.
 - DESIGN SHOWN IS PRELIMINARY. FINAL ARCHITECTURE SHALL BE APPROVED AT THE TIME OF FINAL SITE PLAN APPROVAL AND IS SUBJECT TO ALL REGULATORY DOCUMENTS.
 - ALL PARKING AND CIRCULATION REQUIREMENTS, INCLUDING BIKE AND PEDESTRIAN CIRCULATION MUST BE MET. FURTHER REQUIREMENTS MAY BE IMPOSED AT TIME OF FINAL SITE PLAN APPROVAL.
 - ADEQUATE SCREENING, AS DETERMINED BY STAFF AT TIME OF FINAL SITE PLAN, IS REQUIRED FOR ALL LOTS ADJACENT TO PARKER ROAD.
 - ARCHITECTURE WILL BE REQUIRED TO MEET ALL APPLICABLE REGULATIONS AND STANDARDS AT TIME OF FINAL SITE PLAN. VACUUM STATIONS WILL NOT BE ALLOWED ADJACENT TO THE PEDESTRIAN TRAIL BUT MUST BE LOCATED TO LIMIT IMPACTS TO THE TRAIL AS MUCH AS POSSIBLE AT FINAL SITE PLAN.
 - ADEQUATE SCREENING, AS DETERMINED BY STAFF AT TIME OF FINAL SITE PLAN, IS REQUIRED FOR LOT 4 ADJACENT TO THE BALDWIN GULCH TRAIL.



Address:
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 MINOR DEVELOPMENT
 FILING NO. 1
 COUNTY OF DOUGLASS,
 STATE OF COLORADO**



Kimley»Horn
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 SUITE 1500
 DENVER, CO 80237
 PH: 303-228-2300

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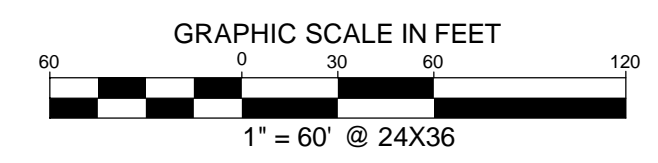
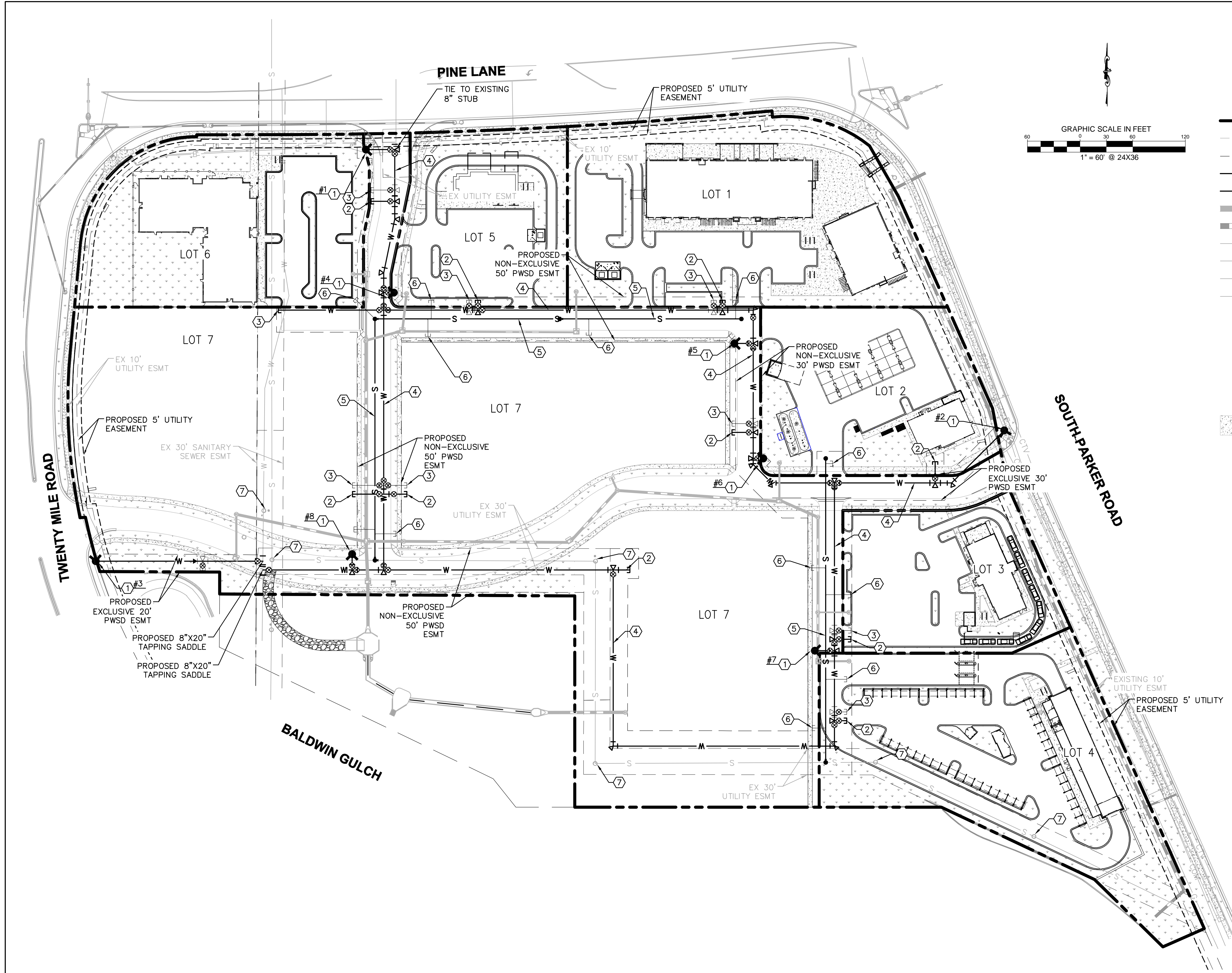
**PRELIMINARY
 SITE PLAN**

Revisions:

| # | Date | Description |
|---|------------|--------------------|
| | 05/16/2018 | PLANNING SUBMITTAL |
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Sheet Title:
**PRELIMINARY SITE
 PLAN**

Date: 03/11/2020
 Project Number: 096502001
 Drawn By: STC



- ### UTILITY LEGEND
- EXISTING PROPERTY LINE
 - - - EXISTING EASEMENT
 - - - PROPOSED EASEMENT
 - S- PROPOSED SANITARY SEWER LINE
 - W- PROPOSED WATER LINE
 - - - PROPOSED STORM DRAINAGE LINE
 - - - EXISTING STORM DRAINAGE LINE
 - G- EXISTING GAS LINE
 - W- EXISTING WATER LINE
 - S- EXISTING SANITARY SEWER LINE
 - E- EXISTING ELECTRIC LINE
 - PROPOSED FIRE HYDRANT W/ BOLLARDS
 - ⊠ PROPOSED METER
 - ⊕ PROPOSED WATER VALVE
 - ⊕ ⊕ PROPOSED TEE / BEND
 - EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS
 - PROPOSED CONCRETE

- ### SITE KEYNOTES
- ① PROPOSED FH W/ 6" GATE VALVE
 - ② PROPOSED 8" STUB W/TEMP BLOW-OFF
 - ③ PROPOSED 6" FIRE SERVICE W/TEMP BLOW-OFF
 - ④ PROPOSED 8" WATER MAIN
 - ⑤ PROPOSED 8" SEWER MAIN
 - ⑥ PROPOSED 6" SEWER SERVICE
 - ⑦ ADJUST EXISTING STRUCTURE TO PROPOSED GRADE

FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE _____ DATE _____

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EISENBERG COMPANY
 2770 E CAMELBACK ROAD, SUITE 210
 PHOENIX, AZ 85016

Address:
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 MINOR DEVELOPMENT
 FILING NO. 1
 COUNTY OF DOUGLASS,
 STATE OF COLORADO**

Architect Information:

Naos Design Group, LLC
 4949 SOUTH SYRACUSE ST. SUITE 400
 DENVER, COLORADO 80237
 (303) 750-6777
 www.naosdg.com

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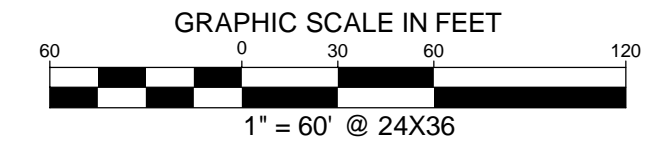
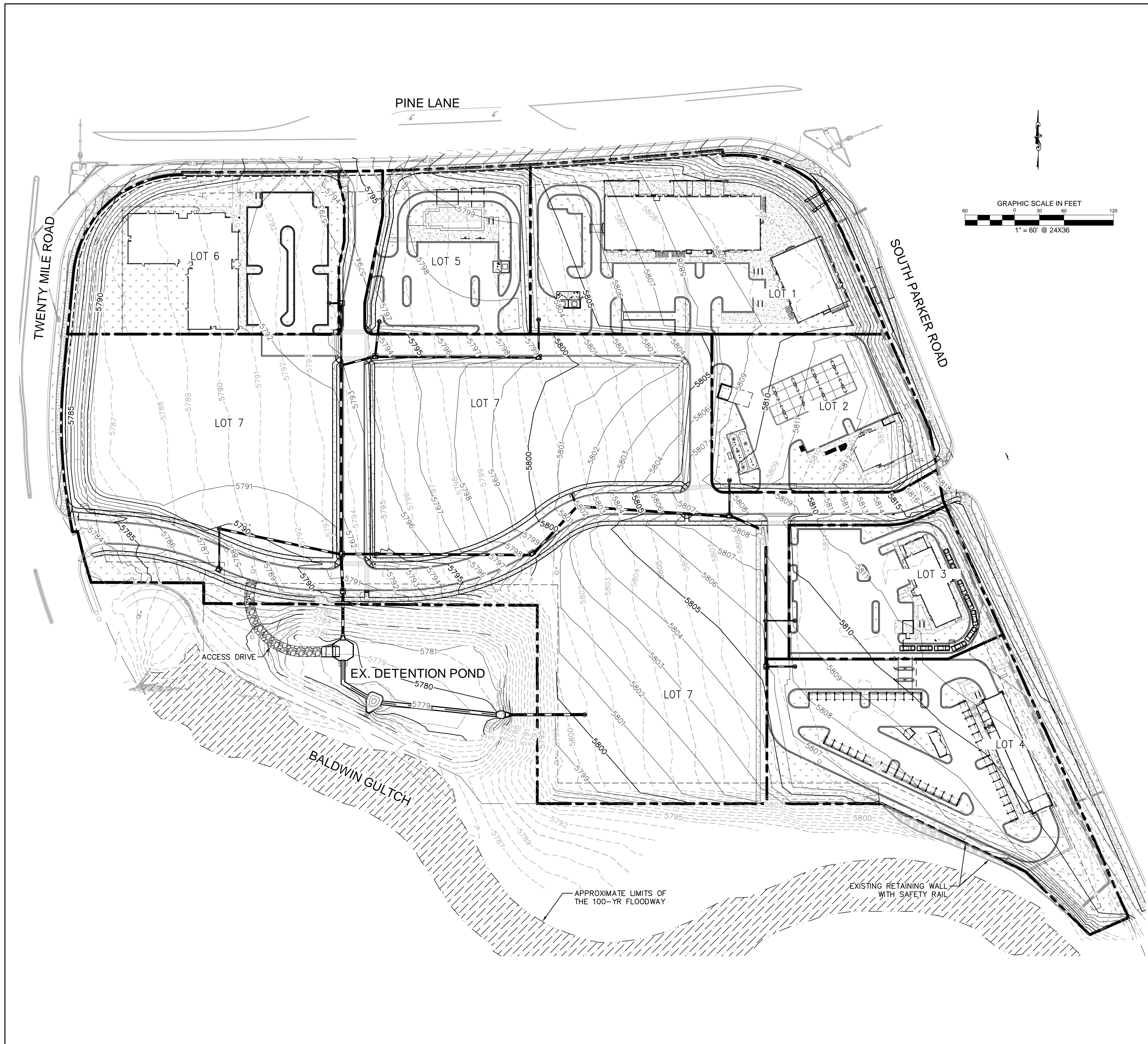
PRELIMINARY SITE PLAN

Revisions:

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PRELIMINARY UTILITY PLAN

Date: 03/11/2020
 Project Number: 096502001
 Drawn By: STC



LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING CONTOUR
- 5771- PROPOSED CONTOUR
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- ▨ PROPOSED CONCRETE

BENCHMARK
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
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 DENVER, COLORADO 80237
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**PRELIMINARY
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Sheet Title:
**PRELIMINARY
 GRADING PLAN**
 Date: 03/11/2020
 Project Number: 096502001
 Drawn By: STC
 Sheet Number:

Please see comments related to streetscape on SUB18-020 landscape plan. Changes and re calculations resulting from those comments should be included on this sheet.

CONCEPT PLANT SCHEDULE SITE

| | | |
|--|---------------|------------|
| | CANOPY TREE | 153 |
| | PLANTING BEDS | 31,267 SF |
| | LANDSCAPE | 439,345 SF |

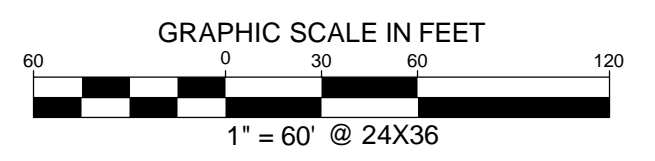
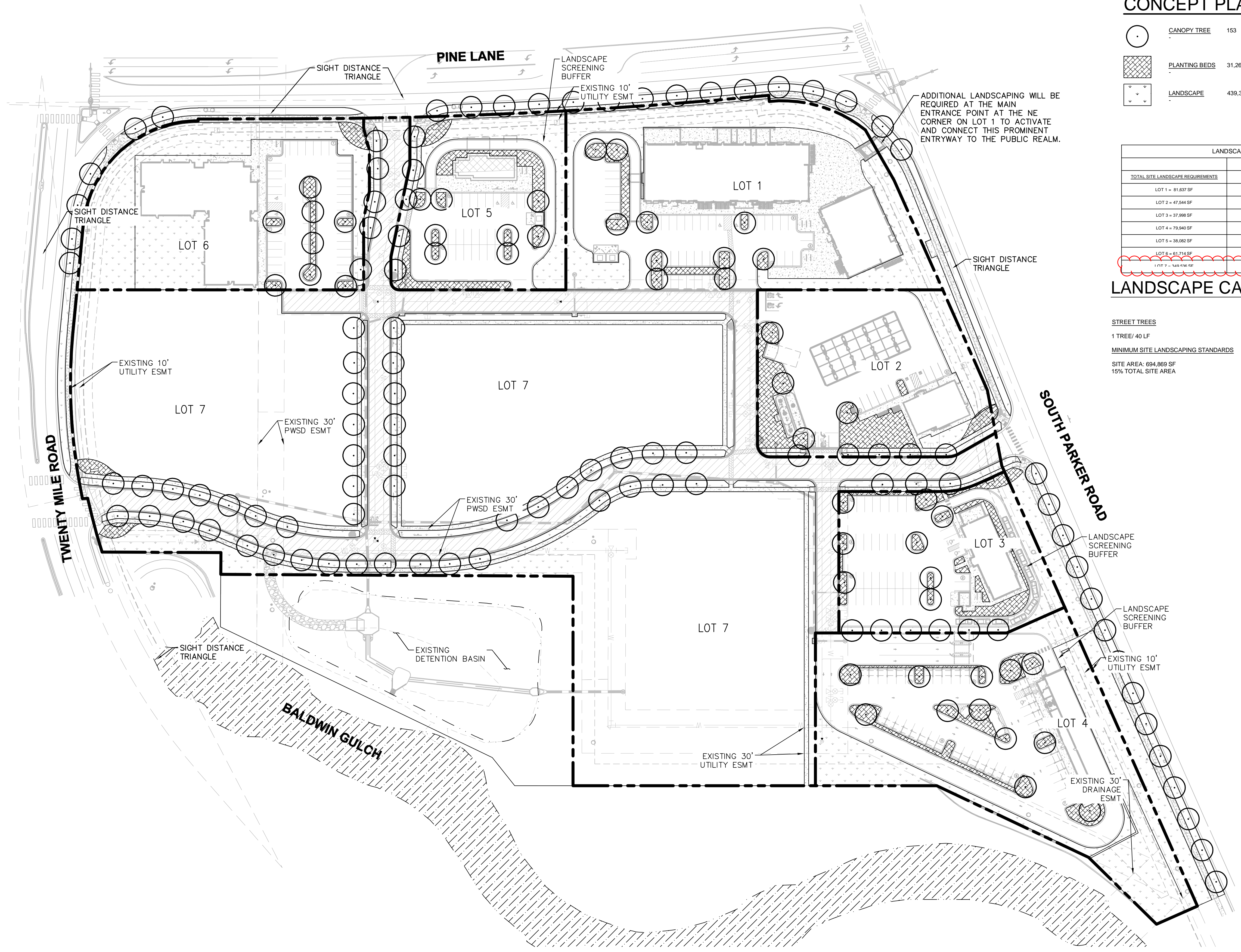
| LANDSCAPE REQUIREMENTS | | |
|-----------------------------------|-----------------|-----------------|
| TOTAL SITE LANDSCAPE REQUIREMENTS | REQUIRED | PROVIDED |
| LOT 1 = 81,637 SF | 15% (12,245 SF) | 31% (25,466 SF) |
| LOT 2 = 47,544 SF | 15% (7,131 SF) | 30% (14,348 SF) |
| LOT 3 = 37,898 SF | 15% (5,685 SF) | 24% (9,206 SF) |
| LOT 4 = 76,940 SF | 15% (11,541 SF) | 37% (29,567 SF) |
| LOT 5 = 38,082 SF | 15% (5,712 SF) | 36% (13,891 SF) |
| LOT 6 = 61,714 SF | 15% (9,257 SF) | 32% (20,099 SF) |

LANDSCAPE CALCULATIONS

| | REQUIRED | PROVIDED |
|---|------------|------------|
| STREET TREES | | |
| 1 TREE/ 40 LF | 128 TREES | 128 TREES |
| MINIMUM SITE LANDSCAPING STANDARDS | | |
| SITE AREA: 694,869 SF | | |
| 15% TOTAL SITE AREA | 104,109 SF | 474,838 SF |

Please correct

NOTE:
ALL LANDSCAPE REQUIREMENTS MUST BE MET AT TIME OF FINAL SITE PLAN. LANDSCAPING AS PROVIDED FOR ON THIS PRELIMINARY SITE PLAN IS FOR GENERAL "LOT FIT" ANALYSIS PURPOSES.



EISENBERG COMPANY
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

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PRELIMINARY LANDSCAPE PLAN

Date: 03/11/2020
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Drawn By: STC