

PARKER AND PINE RETAIL
PINE LANE AND S. PARKER ROAD
PRELIMINARY SITE PLAN
LOT 1 BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION

PARKER AUTO PLAZA FILING NO. 1 – LOT 1, BLOCK 3 COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW ¼ OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067F AND DATED SEPTEMBER 30, 2005 – SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE DATA TABLE

PHASE 1														
Parcel	LOT/TRACK GROSS AREA (SF)	LOT/TRACK GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 Max)	Anticipate d Use	Parking		Min. Landscape Area (SF)	Max. Building Height	Min. Building Setbacks			Build to Requirements (30% Min.)	
						Required (1 per 300 GSF)	Provided			Front	Rear	Side	SF	%
Lot 1	5.62	244,733	14,300	0.06	Retail	48	118	36710	35'	25	25	25	5602.9	39
Lot 2	1.09	47,621	3,400	0.07	Fuel	11	30	7143	35'	25	25	25	1770.2	52
Lot 3	0.87	37,898	2,085	0.06	Fast Food	7	36	5685	35'	25	25	25	1738.6	83
Lot 4	1.78	77,461	6,855	0.09	Car Wash	23	33	11619	35'	25	25	25	5819.1	85
Lot 5	0.87	38,080	2,042	0.05	Fast Food	7	26	5712	35'	25	25	25	1342.9	66
PHASE 1 TOTAL	10.23	445,793	28,682	0.06		96	243							

PHASE 2															
Parcel	LOT/TRACK GROSS AREA (SF)	LOT/TRACK GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R.		Parking		Min. Landscape Area (SF)	Max. Building Height	Min. Building Setbacks*			Build to Requirements		
						Required	Provided			Front	Rear	Side	SF	%	
Lot 6	2.33	101,455	59,040	0.58		Hotel	197	117	15218	35*	25	25	25	N/A	N/A
Lot 7	3.39	147,620	35,000	0.24		MOB	117	151	22143	35*	25	25	25	7037	20
PHASE 2 TOTAL	5.72	249,075	94,040	0.38			313	268							
TOTAL	15.95	694,868	122,722	0.18			409	511							

*60 FT MAXIMUM BUILDING HEIGHT MAY BE REQUESTED AS A USE BY SPECIAL REVIEW



VICINITY MAP
1"=2,000'

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PRELIMINARY
SITE PLAN

Revisions:

#	Date	Description

Sheet Title:

COVER SHEET

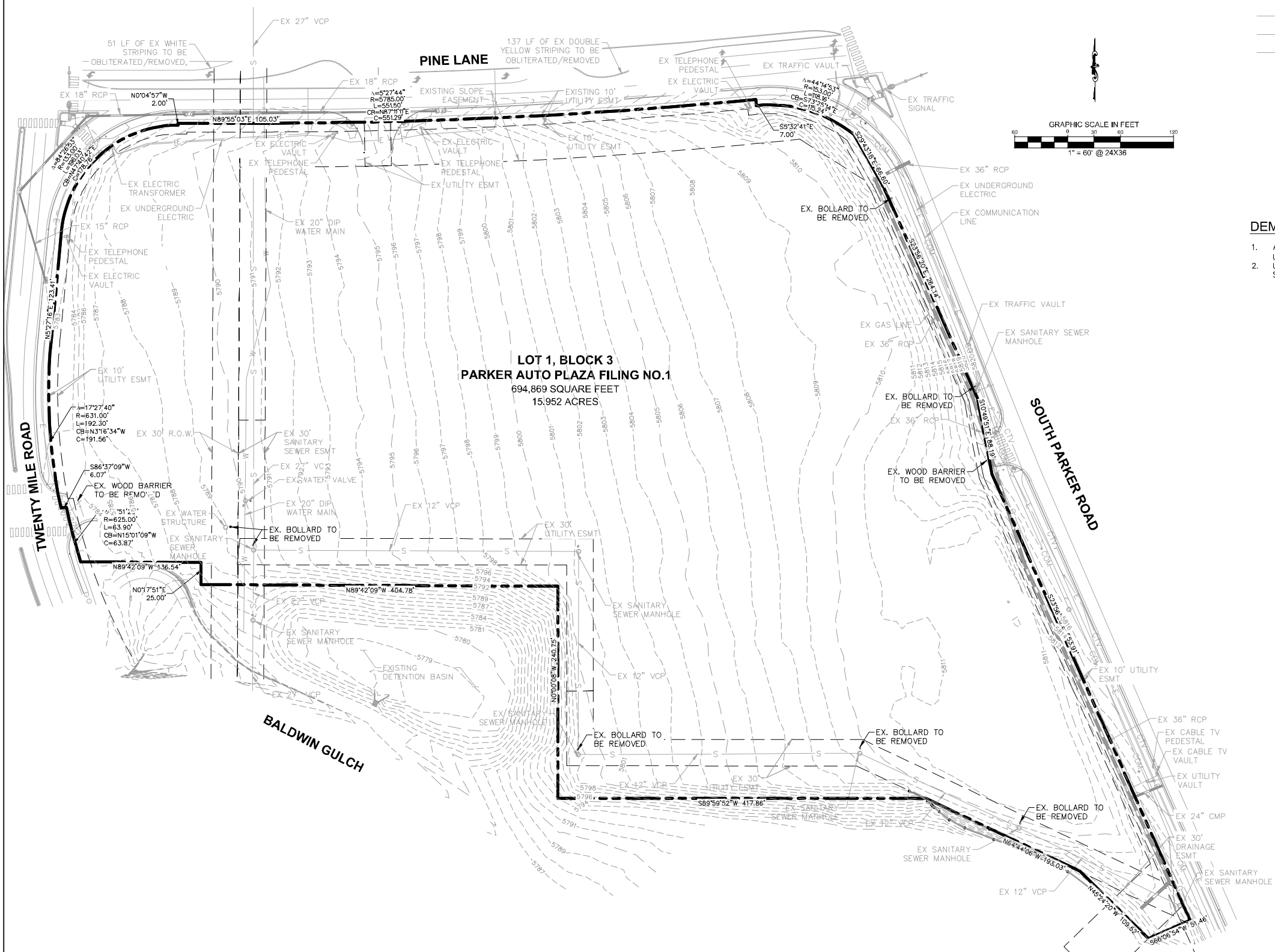
Date: 05/4/2018

Project Number: 096502001

Drawn By: STC

Sheet Number:

01 OF 10



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING EASEMENT LINE
 - EXISTING STORM SEWER LINE
 - E --- EXISTING UNDERGROUND POWER LINE
 - G --- EXISTING GAS LINE
 - T --- EXISTING TELECOMM LINE
 - COM --- EXISTING COMMUNICATIONS LINE
 - CTV --- EXISTING CABLE LINE
 - S --- EXISTING SANITARY SEWER LINE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM SEWER MANHOLE

- DEMOLITION NOTES**
- ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 - UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.



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Full service commercial real estate

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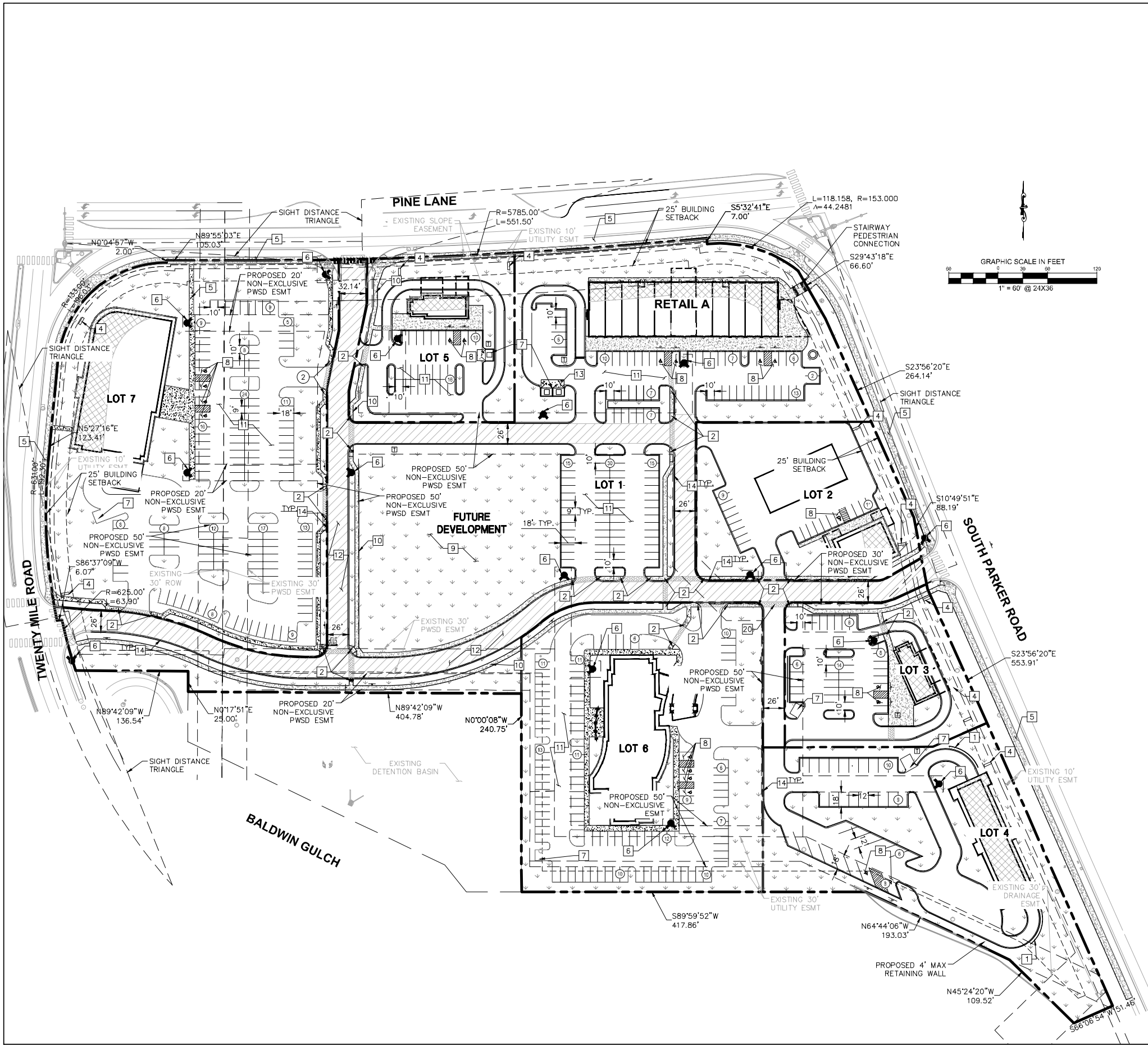
Sheet Title: **EXISTING
CONDITIONS &
DEMOLITION PLAN**

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LEGEND

- PROPERTY LINE
- NUMBER OF PARKING SPACES
- ACCESSIBLE PARKING SPACES
- PROPOSED ELECTRICAL TRANSFORMER
- LANDSCAPED AREA
- HEAVY DUTY ASPHALT PAVING
- STANDARD DUTY ASPHALT PAVING
- BUILDING AREA WITHIN 40' OF SETBACK

KEY NOTES

- PROPOSED 3' SCREEN WALL
- PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
- PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
- PROPOSED MONUMENT SIGN.
- PROPOSED 5' CONCRETE SIDEWALK.
- PROPOSED FIRE HYDRANT.
- PROPOSED TRASH ENCLOSURE.
- PROPOSED ADA PARKING STALLS.
- PROPOSED PERMANENT STABILIZATION. REFER TO LANDSCAPE PLANS.
- PROPOSED 5' CONCRETE SIDEWALK.
- PROPOSED STANDARD DUTY ASPHALT PAVING.
- PROPOSED HEAVY DUTY ASPHALT PAVING.
- PROPOSED HEAVY DUTY CONCRETE PAVING.
- PROPOSED 18" VERTICAL CURB.
- PROPOSED BICYCLE PARKING (4).

- NOTES:
- ALL EXISTING OR PROPOSED LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS UNDER SECTION 13.10.140.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.

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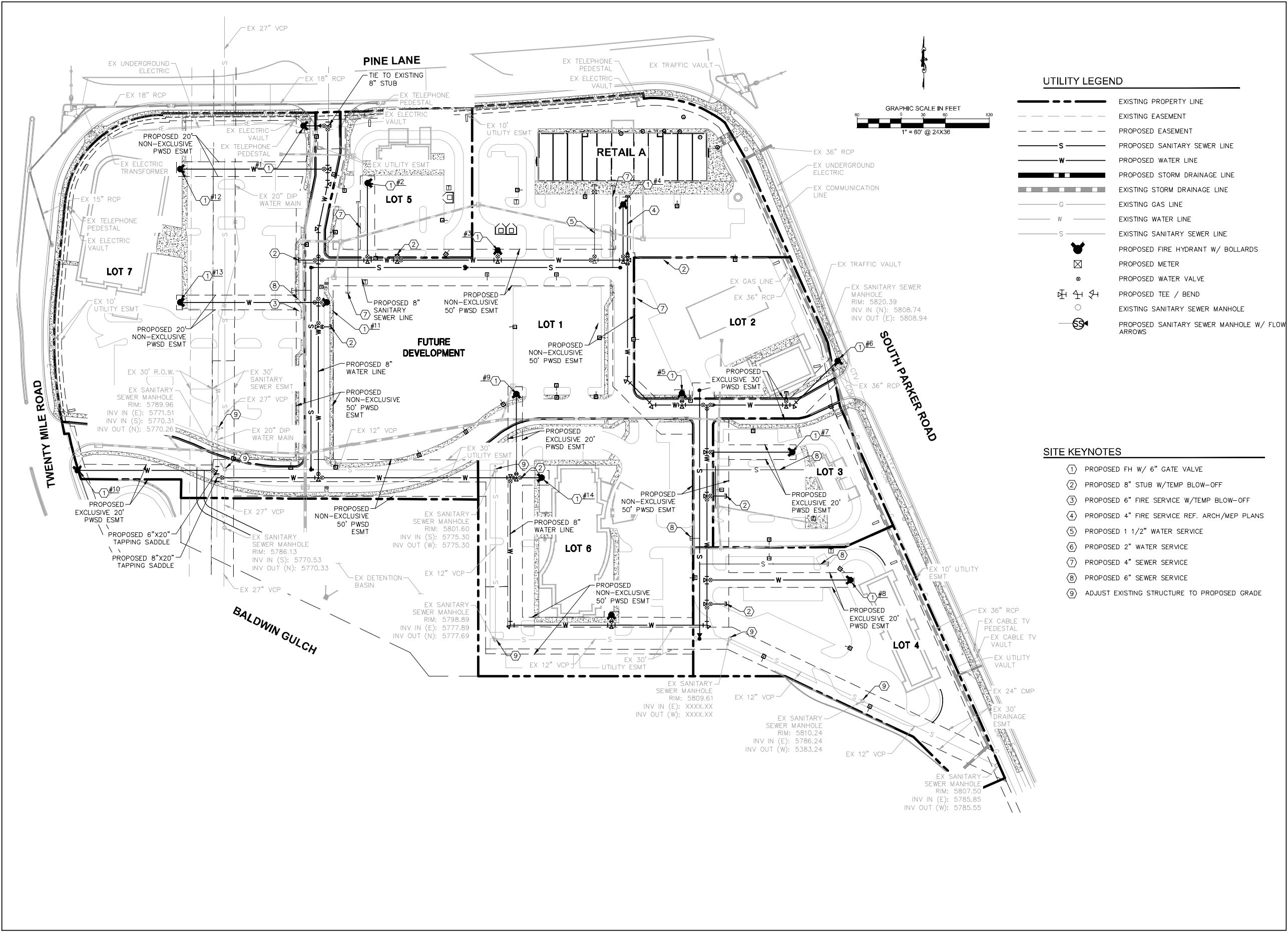
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PRELIMINARY SITE PLAN

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UTILITY PLAN**

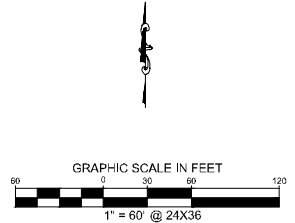
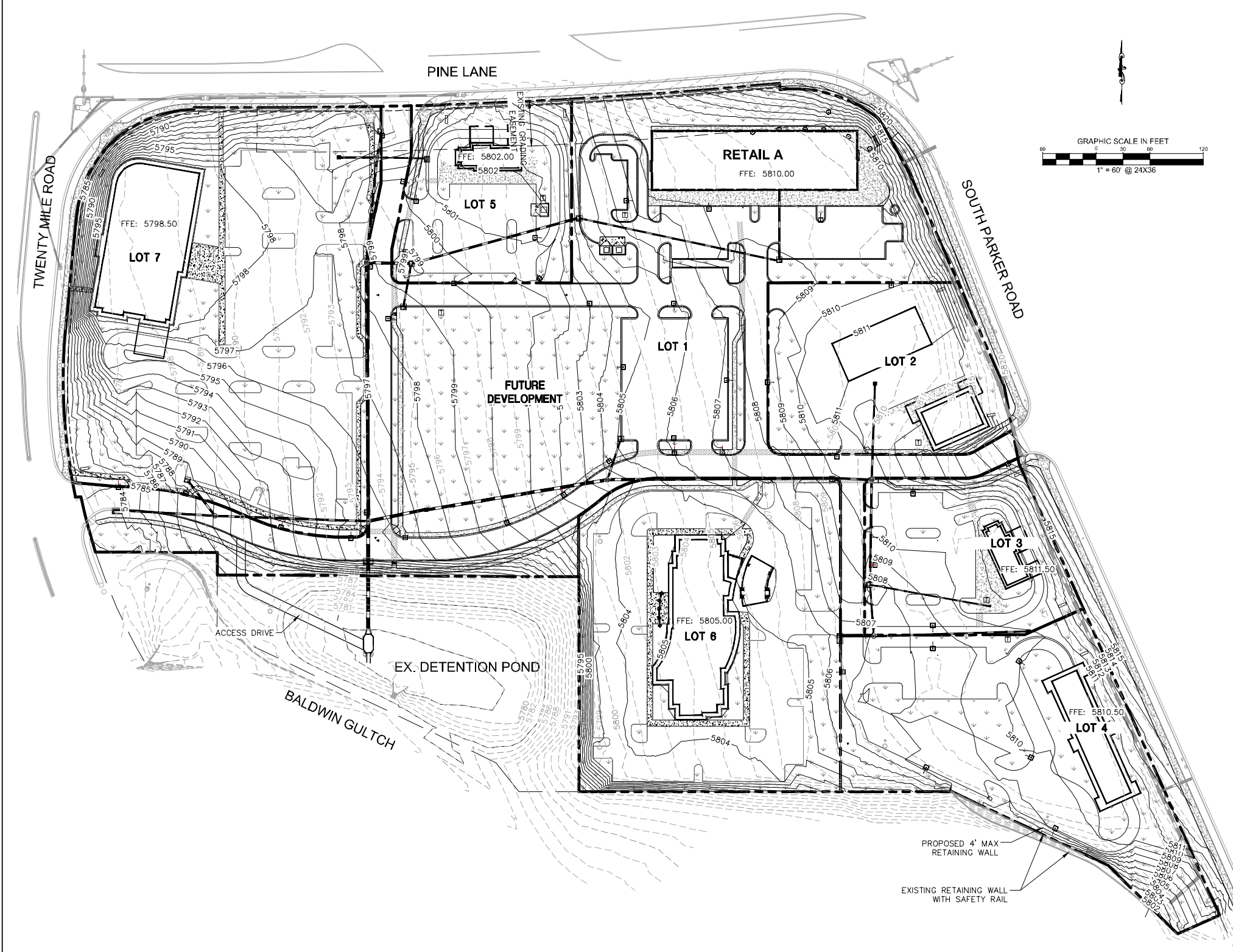
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- LEGEND**
- EXISTING PROPERTY LINE
 - - - EXISTING CONTOUR
 - 5771— PROPOSED CONTOUR
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - PROPOSED STORM INLET

BENCHMARK
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GRADING PLAN**

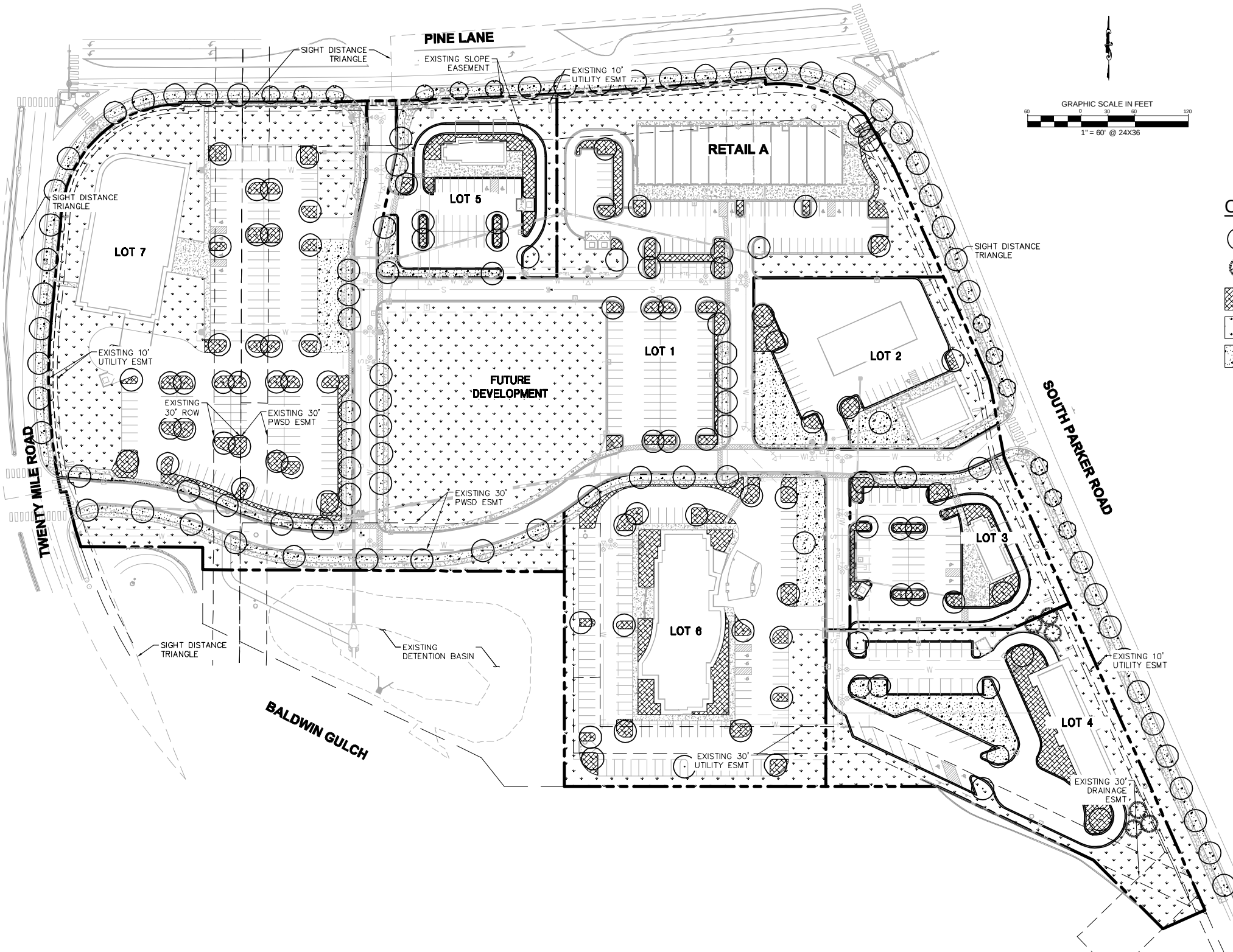
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CONCEPT PLANT SCHEDULE

	CANOPY TREE	182
	EVERGREEN TREE	6
	SHRUBS	42,608 SF
	NATIVE SEED	206,756 SF
	TURF GRASS	56,717 SF

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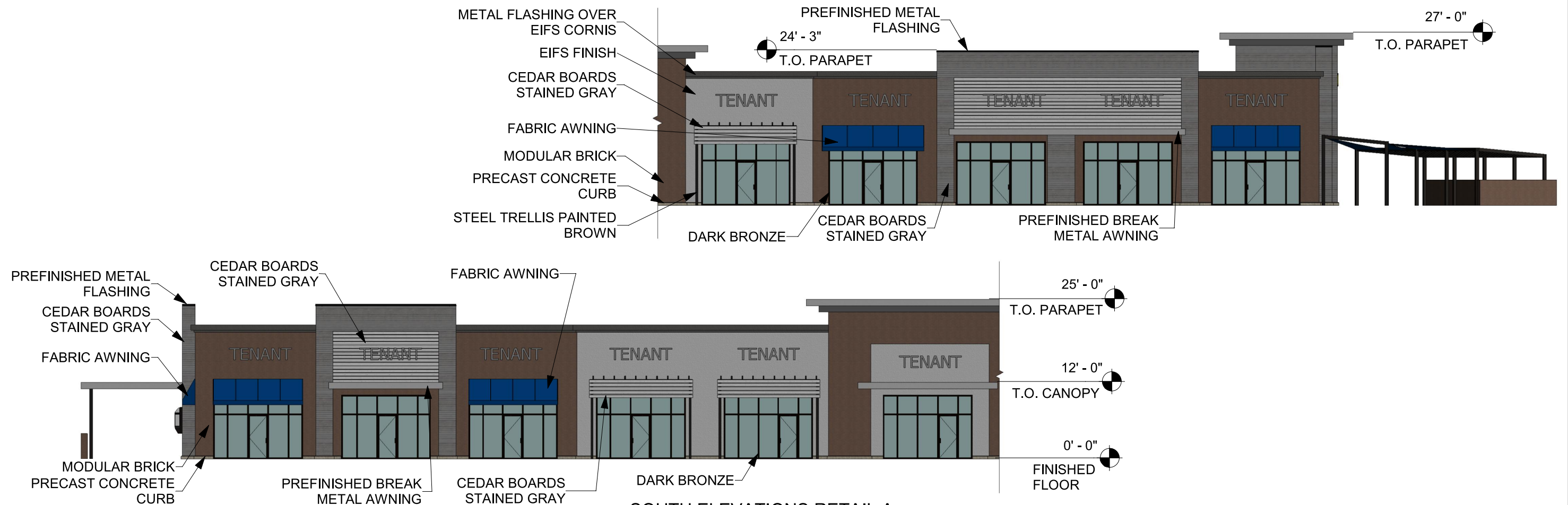
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LANDSCAPE PLAN**

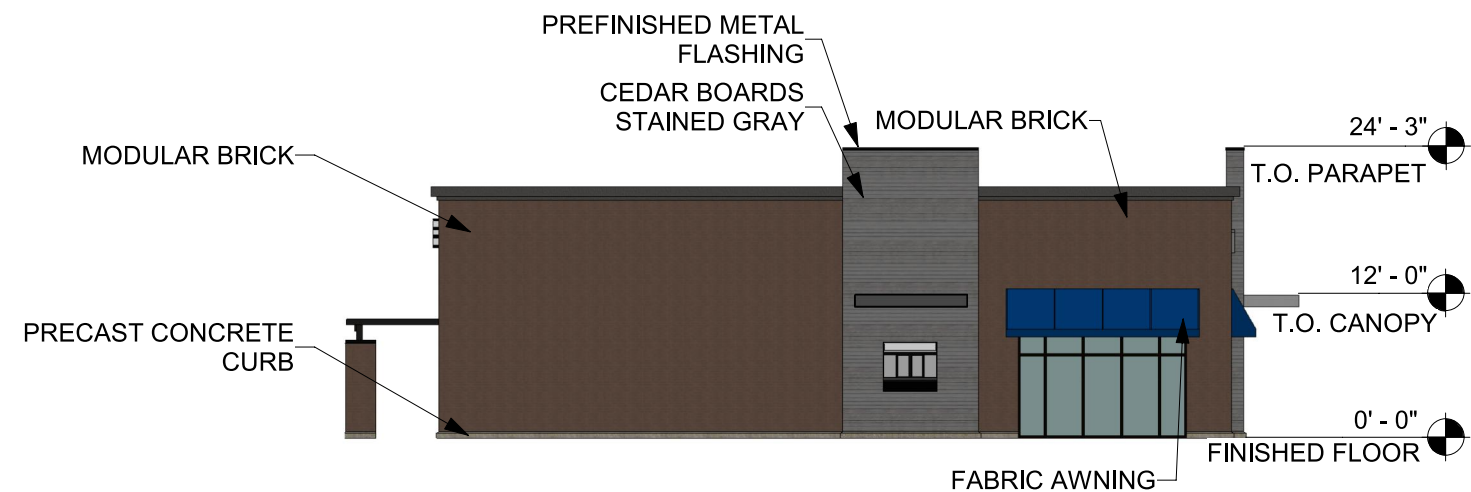
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1 SOUTH ELEVATIONS RETAIL A
1/16" = 1'-0"



2 WEST ELEVATION RETAIL A
1/16" = 1'-0"



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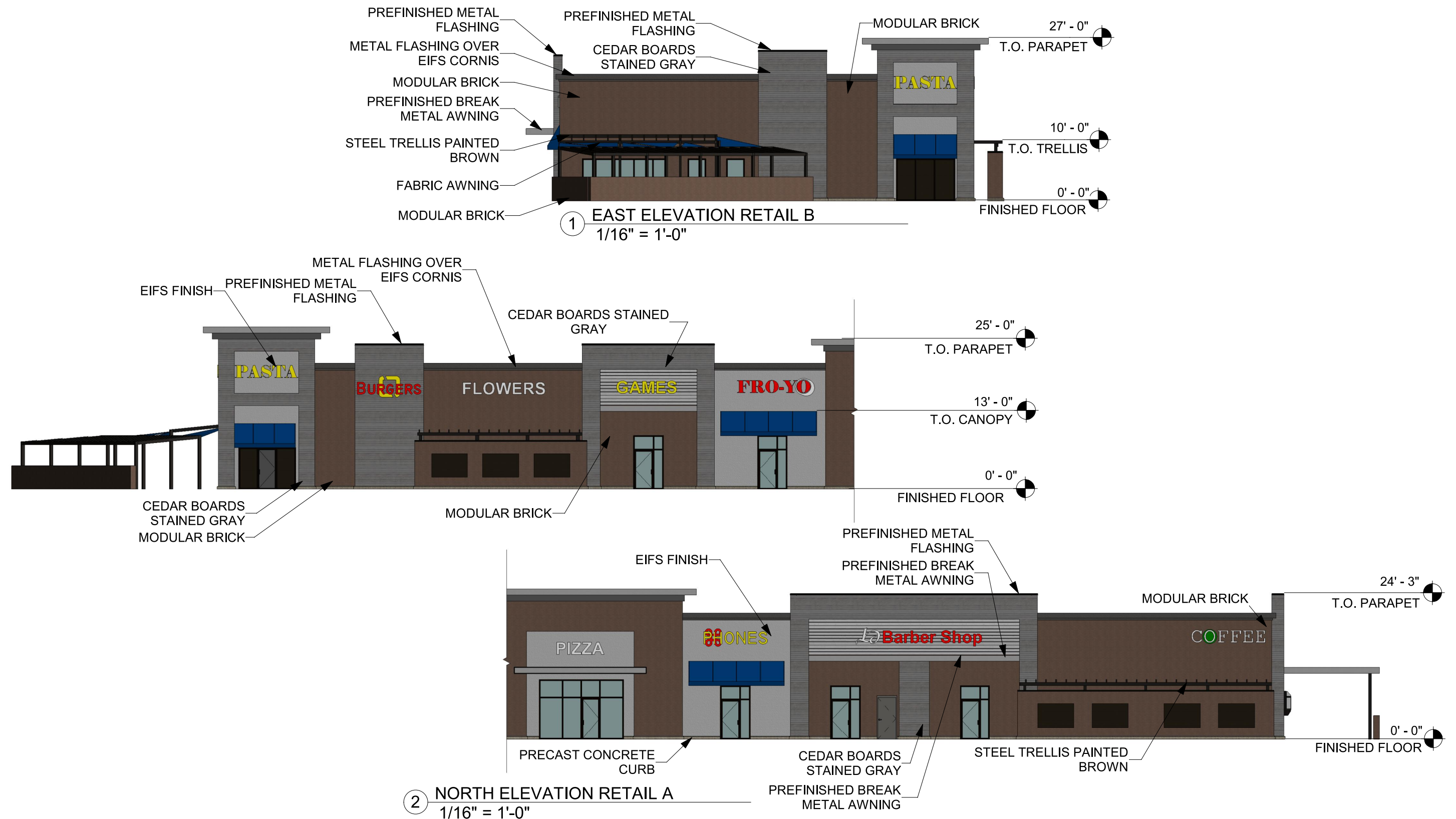
PARKER AND PINE RETAIL A

SWC PARKER ROAD AND PINE LANE

ELEVATIONS 7 of 10

SCALE 1/16" = 1'-0" JOB #: 2017022 DATE: 05.16.2018

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PARKER AND PINE RETAIL A

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ELEVATIONS 8 of 10

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SOUTH WEST CORNER OF PARKER ROAD AND PINE LANE



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PARKER AND PINE RETAIL

SWC PARKER ROAD AND PINE LANE

RENDERING 9 of 10

SCALE NONE JOB #: 2017022 DATE: 05.16.2018

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PARKER ROAD LOOKING NORTH TOWARD PINE LANE



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