

PARKER AND PINE RETAIL PINE LANE AND S. PARKER ROAD PRELIMINARY SITE PLAN

LOT 1 BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

How much landscaping is being provided on each of the proposed developments/lots? Each lot will be required to provide the minimum per the Town of Parker Land Development Ordinance.

Refer to sheet 6. Landscaping area for each lot listed. Landscape requirement is meet for overall development basis.

LEGAL DESCRIPTION

PARKER AUTO PLAZA FILING NO. 1 - LOT 1, BLOCK 3 COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067F AND DATED SEPTEMBER 30, 2005 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE DATA TABLE

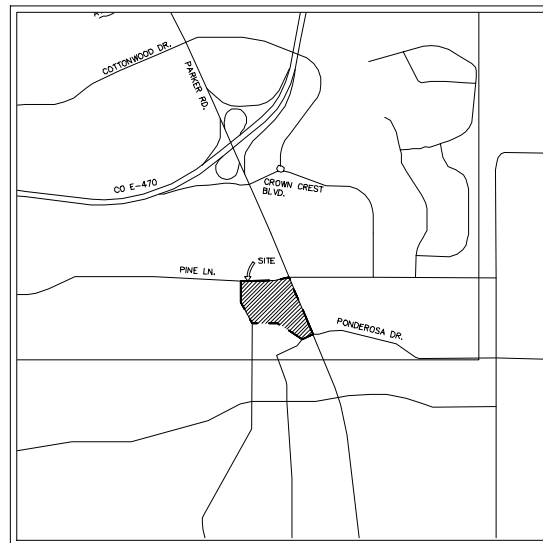
Parcel	LOT/TRACK GROSS AREA (SF)	LOT/TRACK GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 Max)	Anticipated Use	Parking		Min. Landscape Area (SF)	Max. Building Height	Min. Building Setbacks			Build to Requirements (30% Min.)	
						Required (1 per 300 GSF)	Provided			Front	Rear	Side	SF	%
Lot 1	5.62	244,733	14,300	0.06	Retail	48	118	36710	35'	25	25	25	5602.9	39
Lot 2	1.09	47,621	3,400	0.07	Fuel	11	30	7143	35'	25	25	25	1770.2	52
Lot 3	0.87	37,898	2,085	0.06	Fast Food	7	36	5685	35'	25	25	25	1738.6	83
Lot 4	1.78	77,461	6,855	0.09	Car Wash	23	33	11619	35'	25	25	25	5819.1	85
Lot 5	0.87	38,080	2,042	0.05	Fast Food	7	26	5712	35'	25	25	25	1342.9	66
PHASE 1 TOTAL	10.23	445,793	28,682	0.06		96	243							

Parcel	LOT/TRACK GROSS AREA (SF)	LOT/TRACK GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R.	Anticipated Use	Parking		Min. Landscape Area (SF)	Max. Building Height	Min. Building Setbacks*			Build to Requirements	
						Required	Provided			Front	Rear	Side	SF	%
Lot 6	2.33	101,455	59,040	0.58	Hotel	197	117	15218	35*	25	25	25	N/A	N/A
Lot 7	3.39	147,620	35,000	0.24	MOB	117	151	22143	35*	25	25	25	7037	20
PHASE 2 TOTAL	5.72	249,075	94,040	0.38		313	268							
TOTAL	15.95	694,868	122,722	0.18		409	511							

*60 FT MAXIMUM BUILDING HEIGHT MAY BE REQUESTED AS A USE BY SPECIAL REVIEW

Please remove as this statement is not entirely accurate. Building heights in excess of 35' require use by special review.

Statement removed



VICINITY MAP
1"=2,000'

SHEET INDEX

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07 OF 10	ARCHITECTURAL ELEVATIONS
08 OF 10	ARCHITECTURAL ELEVATIONS
09 OF 10	ARCHITECTURAL RENDERING
10 OF 10	ARCHITECTURAL RENDERING

CONTACTS:

DEVELOPER:
EVT PARKER COLORADO, LLC
C/O: EISENBERG COMPANY, INC.
2710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016
TEL: (602) 468-6100
CONTACT: RYAN AMATO

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2318
CONTACT: DAN SKEEHAN

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (941) 379-7604
CONTACT: CHRIS HICE

TELEPHONE:
CENTURYLINK
1801 CALIFORNIA STREET, SUITE 240
DENVER, CO 80202
CONTACT: IZZY MILLER
EMAIL: IZZY.MILLER@CENTURYLINK.COM

GAS SERVICE:
XCEL ENERGY
1800 LARIMER STREET
DENVER, CO 80202
CONTACT: RON JOHNSON
EMAIL: RON.H.JOHNSON@XCELENERGY.COM

TOWN OF PARKER:
TOWN OF PARKER
20120 EAST MAIN STREET
PARKER, CO 80138-7334
TEL: (303) 841-0353
CONTACT: PAUL STONEMAN

ELECTRICAL SERVICE:
IREA
5496 US HWY 85
SEDALIA, CO 80135
TEL: (303) 688-7431
CONTACT: AMANDA STEINER

ARCHITECT:
NAOS DESIGN GROUP, LLC
4949 SOUTH SYRACUSE ST. SUITE 460
DENVER, CO 80237
TEL: 303-759-5777
CONTACT: DICK ANSTETH

SURVEYOR:
ENGINEERING SERVICE COMPANY
1300 SOUTH POTOMAC ST. SUITE 126
AURORA, CO 80012
TEL: 303-337-1393
CONTACT: CHARLES BECKSTROM, PLS

TELEVISION:
COMCAST
1601 MILE HIGH STADIUM CIRCLE
DENVER, CO 80204
CONTACT: DEAN FLENTHOPE
EMAIL: DEAN_FLENTHOPE@CABLE.COMCAST.COM

WATER/SANITARY SEWER:
PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN ROAD
PARKER, CO 80134
TEL: 303-841-4627
CONTACT: DRAYTON SANDERSON

FIRE DEPARTMENT:
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

TOWN OF PARKER PLAN REVIEW:
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA



EISENBERG COMPANY
2710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:



Naos Design Group, LLC
4949 SOUTH SYRACUSE ST. SUITE 460
DENVER, COLORADO 80237
(303) 759-5777
www.naosdesign.com



4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

PRELIMINARY

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Kimley-Horn
Kimley-Horn and Associates, Inc.

PRELIMINARY
SITE PLAN

Revisions:

#	Date	Description

Sheet Title:

COVER SHEET

Date: 05/4/2018

Project Number: 096502001

Drawn By: STC

Sheet Number:

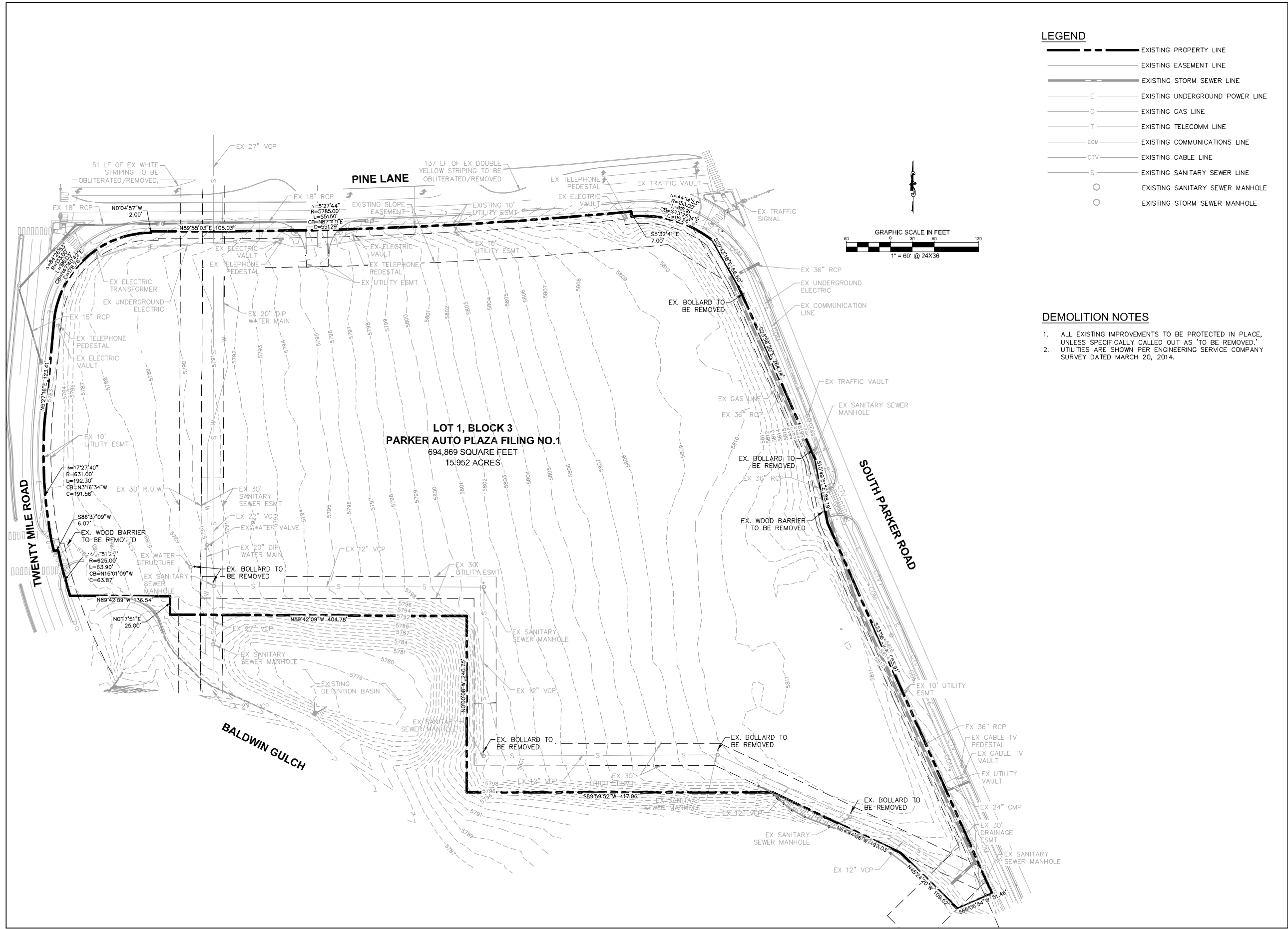
01 OF 10

Maximum Floor Area Ratio (F.A.R.) Exceeded per zoning requirements.

We would like to discuss this further, as the overall site FAR is significantly below the 0.35 max.

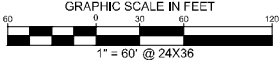
"Build-to" percentage requirement not met. Please amend the building location/orientation to meet the zoning setback and percentage requirements.

"Build-to" requirement cannot be met with proposed building. Requirement met for overall development.



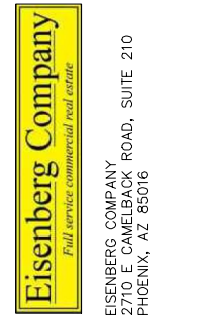
LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING STORM SEWER LINE
	EXISTING UNDERGROUND POWER LINE
	EXISTING GAS LINE
	EXISTING TELECOMM LINE
	EXISTING COMMUNICATIONS LINE
	EXISTING CABLE LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE



- DEMOLITION NOTES**
- ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 - UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.

**LOT 1, BLOCK 3
PARKER AUTO PLAZA FILING NO.1
694,869 SQUARE FEET
15.952 ACRES**



EISENBERG COMPANY
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:
**LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO**

Architect Information:

Naos Design Group, LLC
4849 SOUTH SYRACUSE ST, SUITE 480
DENVER, COLORADO 80237
(913) 353-7837
www.naosdg.com

Kimley»Horn
4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

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Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description

Sheet Title: **EXISTING
CONDITIONS &
DEMOLITION PLAN**
Date: 05/4/2018
Project Number: 096502001
Drawn By: STC
Sheet Number:

Not needed after call with Town.

Please depict a pedestrian connection(s) from the sidewalks to the main entrance of this building.

Only 1 section necessary after call with Town.

Please depict tree lawns (to allow for adequate spread at maturity for street lawn trees) and detached 5' wide sidewalks west to east in these locations.

Please add the following note(s) to the plans, "All mechanical equipment shall be screened from view from a public right-of-way. Final location and screening measures shall be determined at time of final site plan under Chapter 13.06 of this Title."

Missing Canopy
Canopy shown

Please amend the sidewalks along Parker Road, 20 Mile Road and Pine Lane to be 8' in width as previously agreed upon.

Note revised to reflect 8' sidewalks along ROW's.

Please project building north to touch the 25' setback line. Please see attached examples of other projects doing this.

Does not meet requirements and not shown on the plans.

Bicycle parking added. Providing 25 stalls

Not needed

Please detached these sidewalks and depict a tree lawn (to allow for adequate spread at maturity for street lawn trees).

Detached sidewalk are awkward at crossings, but will show where feasible

Please identify the crosswalks on the plans and key notes as scored, colored concrete.

Notes added

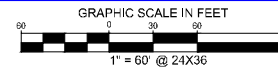
Please amend the plans to depict a pedestrian connection to the adjacent pedestrian/recreation path to the south.

Grade difference would require stairs. Per conversation, connection not required.

Note added.

LEGEND

- PROPERTY LINE
- ⊙ NUMBER OF PARKING SPACES
- ⊕ ACCESSIBLE PARKING SPACES
- ⊞ PROPOSED ELECTRICAL TRANSFORMER
- [Pattern] LANDSCAPED AREA
- [Pattern] HEAVY DUTY ASPHALT PAVING
- [Pattern] STANDARD DUTY ASPHALT PAVING
- [Pattern] BUILDING AREA WITHIN 40' OF SETBACK



KEY NOTES

- 1 PROPOSED 3' SCREEN WALL
- 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
- 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
- 4 PROPOSED MONUMENT SIGN.
- 5 PROPOSED 5' CONCRETE SIDEWALK.
- 6 PROPOSED FIRE HYDRANT.
- 7 PROPOSED TRASH ENCLOSURE.
- 8 PROPOSED ADA PARKING STALLS.
- 9 PROPOSED PERMANENT STABILIZATION. REFER TO LANDSCAPE PLANS.
- 10 PROPOSED 5' CONCRETE SIDEWALK.
- 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
- 12 PROPOSED HEAVY DUTY ASPHALT PAVING.
- 13 PROPOSED HEAVY DUTY CONCRETE PAVING.
- 14 PROPOSED 18" VERTICAL CURB.
- 15 PROPOSED BICYCLE PARKING (4).

NOTES:

1. ALL EXISTING OR PROPOSED LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS UNDER SECTION 13.10.140.
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.

Please add the following note(s) to the plans, "Location of trash receptacles shall be determined at time of final site plan under Chapter 13.06 of this title and be screened by a solid screen fence surrounding at least 3 sides of the container."

Note added



EISENBERG COMPANY
Full service commercial real estate
710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:



Naos Design Group, LLC
4049 SOUTH SYRACUSE ST, SUITE 460
DENVER, COLORADO 80237
(303)799-2377
www.naosdesign.com



4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

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Kimley-Horn and Associates, Inc.

PRELIMINARY
SITE PLAN

Revisions:

#	Date	Description

Sheet Title:

PRELIMINARY SITE
PLAN

Date:

05/4/2018

Project Number:

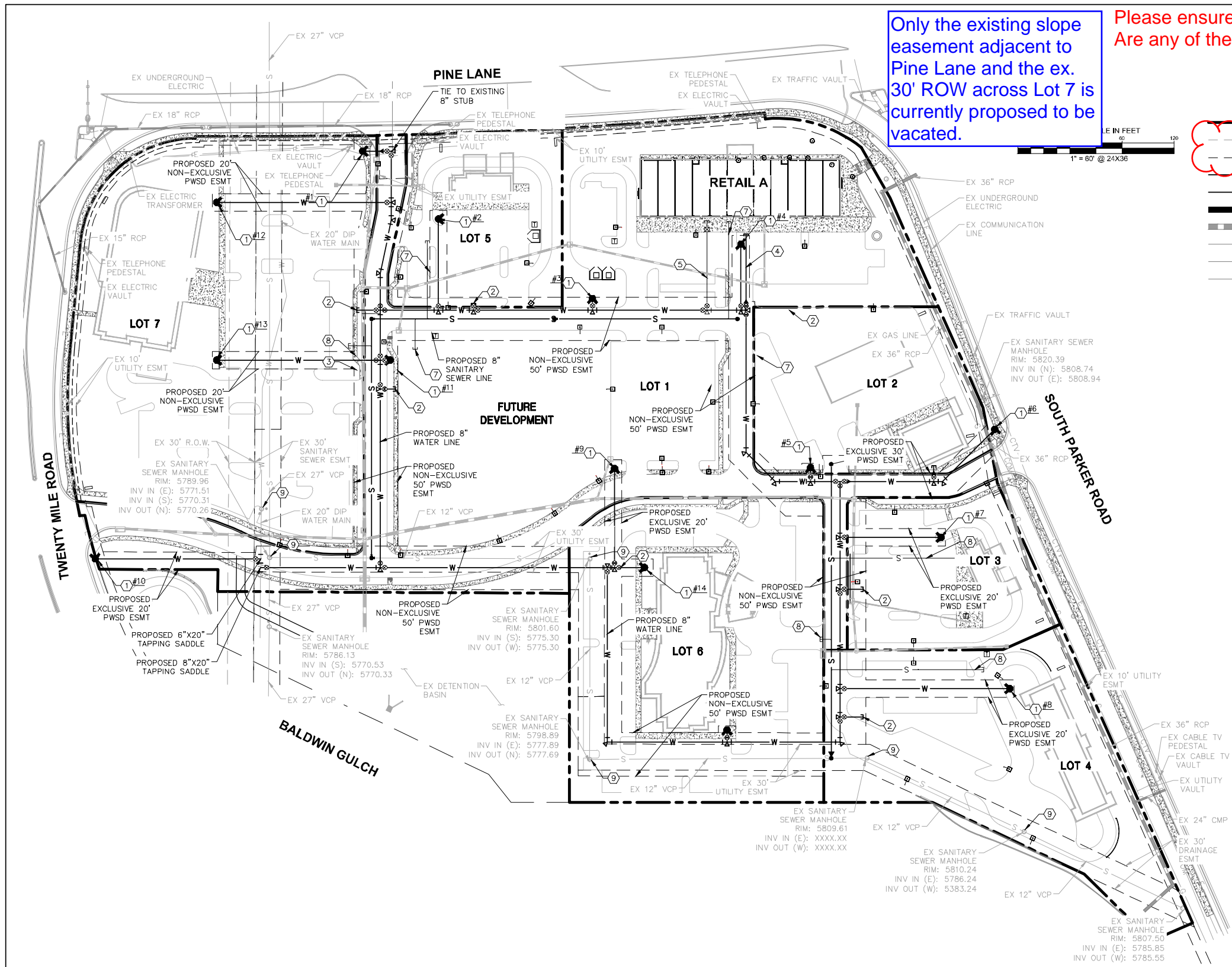
096502001

Drawn By:

STC

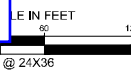
Sheet Number:

03 OF 10



Only the existing slope easement adjacent to Pine Lane and the ex. 30' ROW across Lot 7 is currently proposed to be vacated.

Please ensure consistency with the Replat. Are any of these proposed to be vacated?



UTILITY LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED STORM DRAINAGE LINE
- EXISTING STORM DRAINAGE LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED FIRE HYDRANT W/ BOLLARDS
- PROPOSED METER
- PROPOSED WATER VALVE
- PROPOSED TEE / BEND
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS

- SITE KEYNOTES**
- ① PROPOSED FH W/ 6" GATE VALVE
 - ② PROPOSED 8" STUB W/TEMP BLOW-OFF
 - ③ PROPOSED 6" FIRE SERVICE W/TEMP BLOW-OFF
 - ④ PROPOSED 4" FIRE SERVICE REF. ARCH/MEP PLANS
 - ⑤ PROPOSED 1 1/2" WATER SERVICE
 - ⑥ PROPOSED 2" WATER SERVICE
 - ⑦ PROPOSED 4" SEWER SERVICE
 - ⑧ PROPOSED 6" SEWER SERVICE
 - ⑨ ADJUST EXISTING STRUCTURE TO PROPOSED GRADE

Eisenberg Company
Full service commercial real estate

EISENBERG COMPANY
710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:
**LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO**

Architect Information:
naos
Naos Design Group, LLC
4049 SOUTH SYRACUSE ST, SUITE 400
DENVER, COLORADO 80237
(303) 799-2777
www.naosdg.com

Kimley»Horn
4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

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Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description

Sheet Title:
**PRELIMINARY
UTILITY PLAN**

Date: 05/4/2018
Project Number: 096502001
Drawn By: STC

Sheet Number:
04 OF 10

Address:

**LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO**

Architect Information:



Naos Design Group, LLC
4049 SOUTH SYCAMORE ST, SUITE 400
DENVER, COLORADO 80237
(303)799-2177
www.naosdesign.com

Kimley»Horn

4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

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**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description

Sheet Title:

**PRELIMINARY
GRADING PLAN**

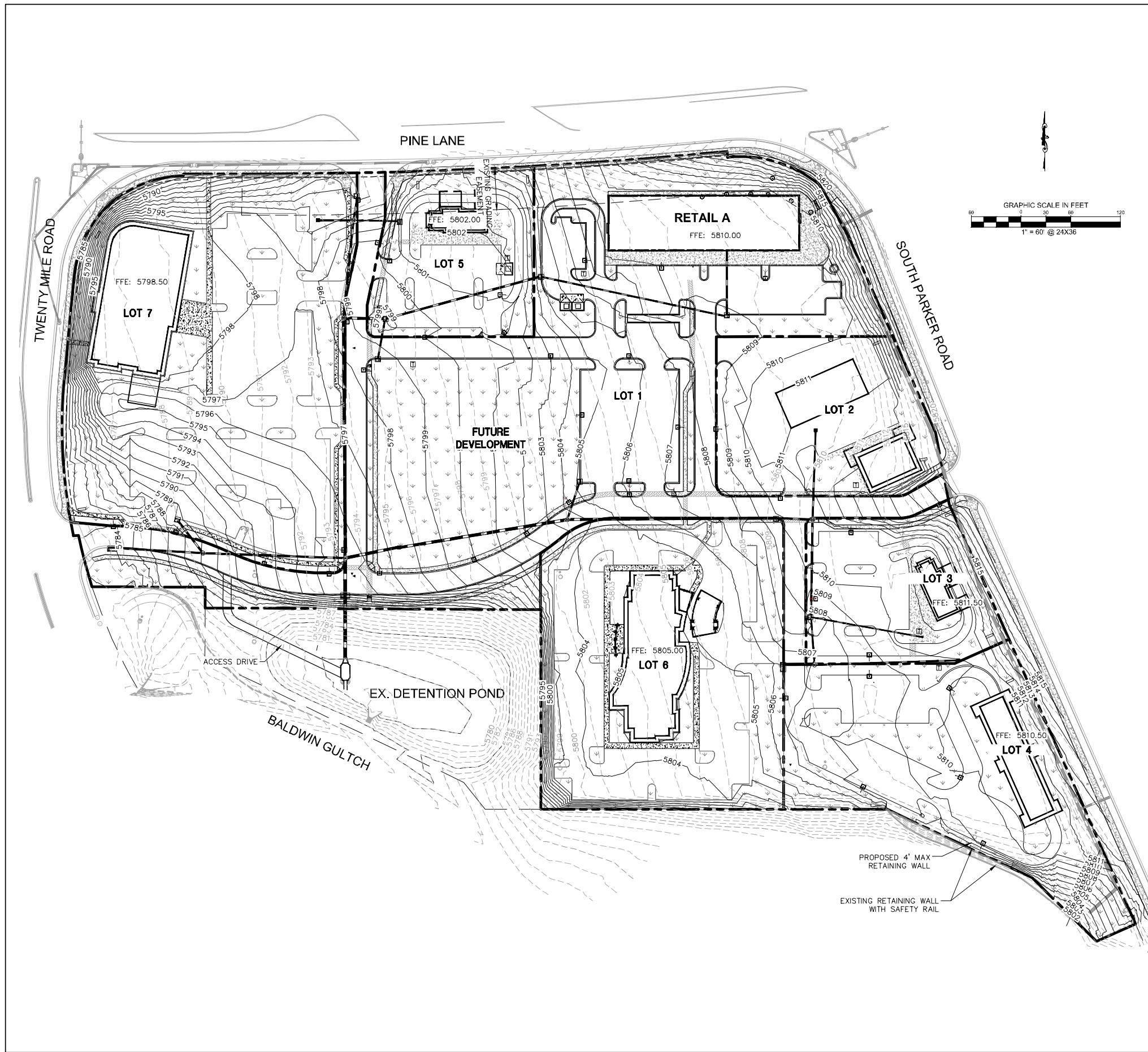
Date: 05/4/2018

Project Number: 096502001

Drawn By: STC

Sheet Number:

05 OF 10



LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING CONTOUR
- 5771— PROPOSED CONTOUR
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM INLET

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

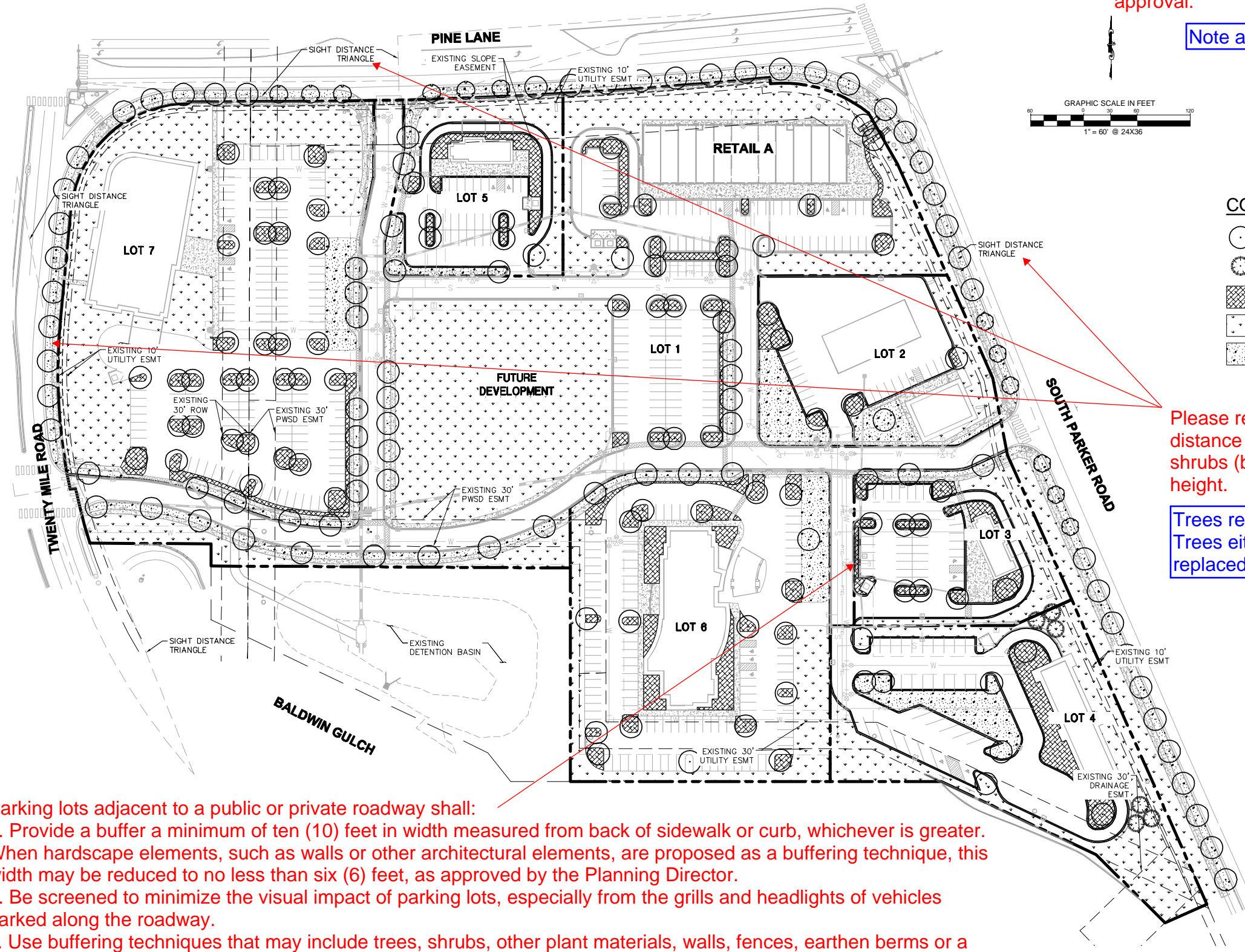
ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

Please amend the plans to depict and identify landscape screening, buffers, berms for the two (2) drive through facilities and car wash.

Can add, but lots are lower than adjacent roads.

Please add the following note(s), "Design shown is conceptual. Final design will be determined at time of final site plan approval."

Note added



CONCEPT PLANT SCHEDULE

	CANOPY TREE	182
	EVERGREEN TREE	6
	SHRUBS	42,608 SF
	NATIVE SEED	206,756 SF
	TURF GRASS	56,717 SF

Please remove trees within site distance triangles and replace with shrubs (beds) not exceed 2' in height.

Trees removed from site triangles. Trees either pulled into the site or replaced with shrub equivalents.

Address:
LOT 1 BLOCK 3, PARKER AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:

Naos Design Group, LLC
4949 SOUTH SYRACUSE ST, SUITE 400
DENVER, COLORADO 80237
(303) 759-5777
www.naosdg.com

Kimley»Horn
4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

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Kimley»Horn
Kimley-Horn and Associates, Inc.

PRELIMINARY
SITE PLAN

Revisions:

#	Date	Description

Sheet Title:
PRELIMINARY
LANDSCAPE PLAN

Date: 05/14/2018

Project Number: 096502001

Drawn By: STC

Sheet Number:

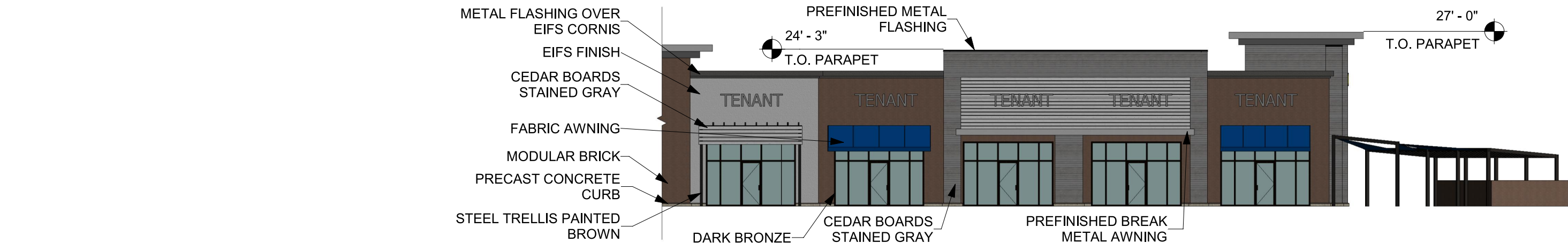
Parking lots adjacent to a public or private roadway shall:

- Provide a buffer a minimum of ten (10) feet in width measured from back of sidewalk or curb, whichever is greater. When hardscape elements, such as walls or other architectural elements, are proposed as a buffering technique, this width may be reduced to no less than six (6) feet, as approved by the Planning Director.
- Be screened to minimize the visual impact of parking lots, especially from the grills and headlights of vehicles parked along the roadway.
- Use buffering techniques that may include trees, shrubs, other plant materials, walls, fences, earthen berms or a combination of these elements. When hardscape elements such as fences and screening walls are proposed, architectural elements, materials, colors and designs shall conform to or complement the predominant materials, colors and elements of the building.

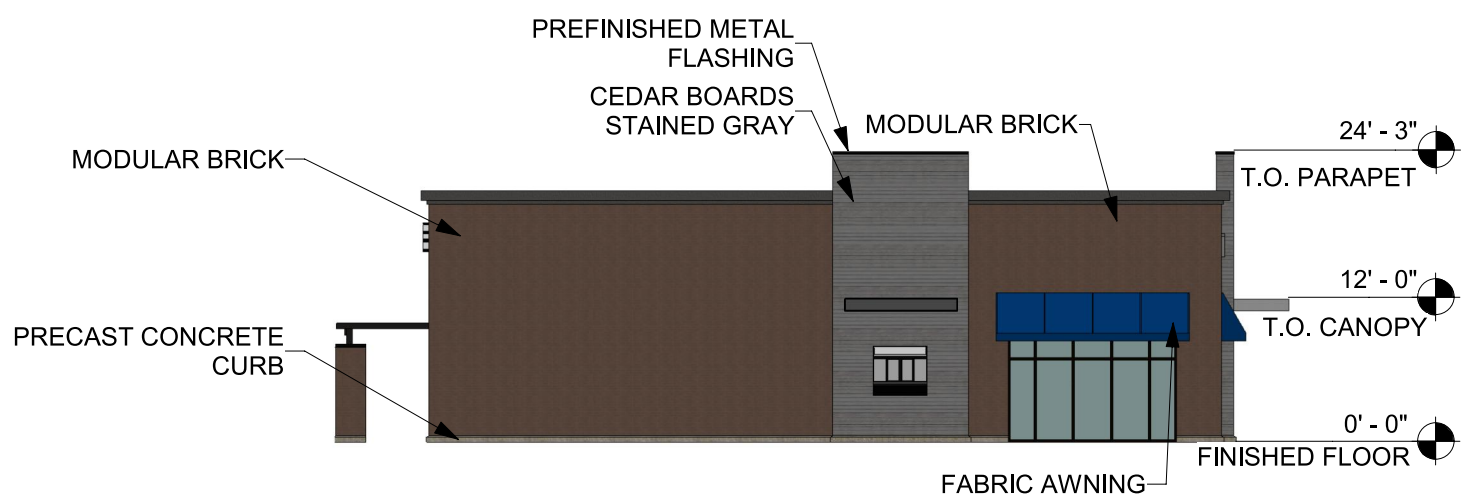
Need to add 1-ft to provide 6-ft from BC to BC.

Please amend.

Eisenberg Company
Full service commercial real estate
EISENBERG COMPANY
7100 E. CAMERON ROAD, SUITE 210
PHOENIX, AZ 85016



1 SOUTH ELEVATIONS RETAIL A
1/16" = 1'-0"



2 WEST ELEVATION RETAIL A
1/16" = 1'-0"

Please add the following note(s) to the plans, "Design shown is preliminary. Final Architecture shall be approved at the time of final site plan approval."

Note added



Naos Design Group, LLC
4949 S. SYRACUSE STREET SUITE 460
DENVER, COLORADO 80237
(p) 303.759.5777 (f) 720.360.4281
www.naosdg.com

PARKER AND PINE RETAIL A
SWC PARKER ROAD AND PINE LANE

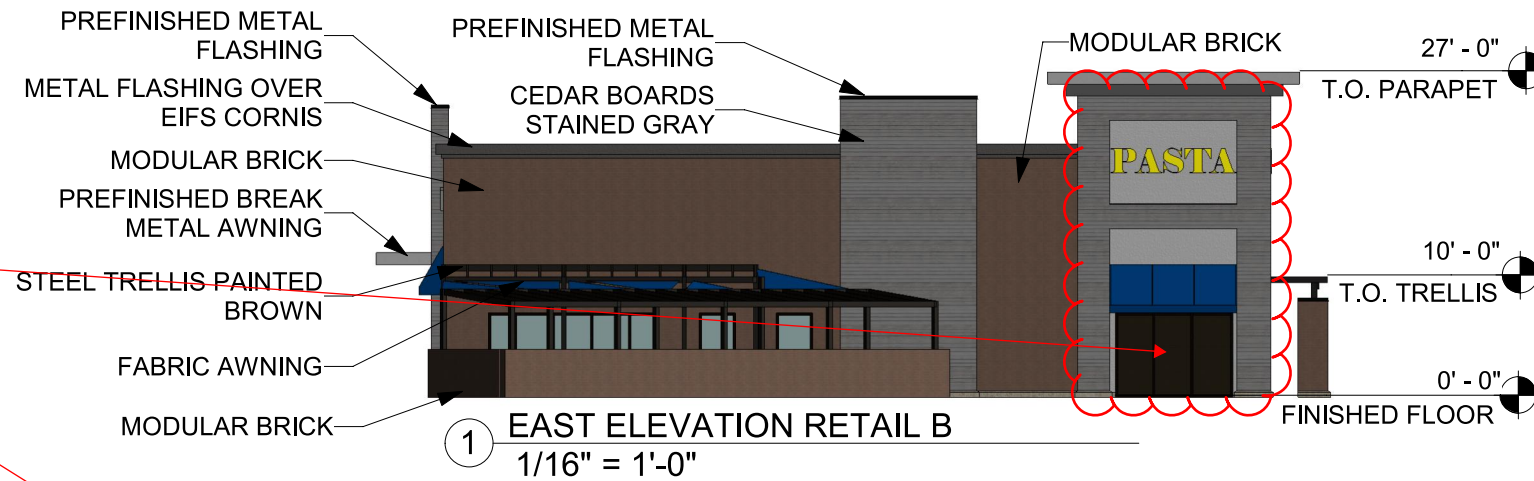
ELEVATIONS 7 of 10

SCALE 1/16" = 1'-0" JOB #: 2017022 DATE: 05.16.2018

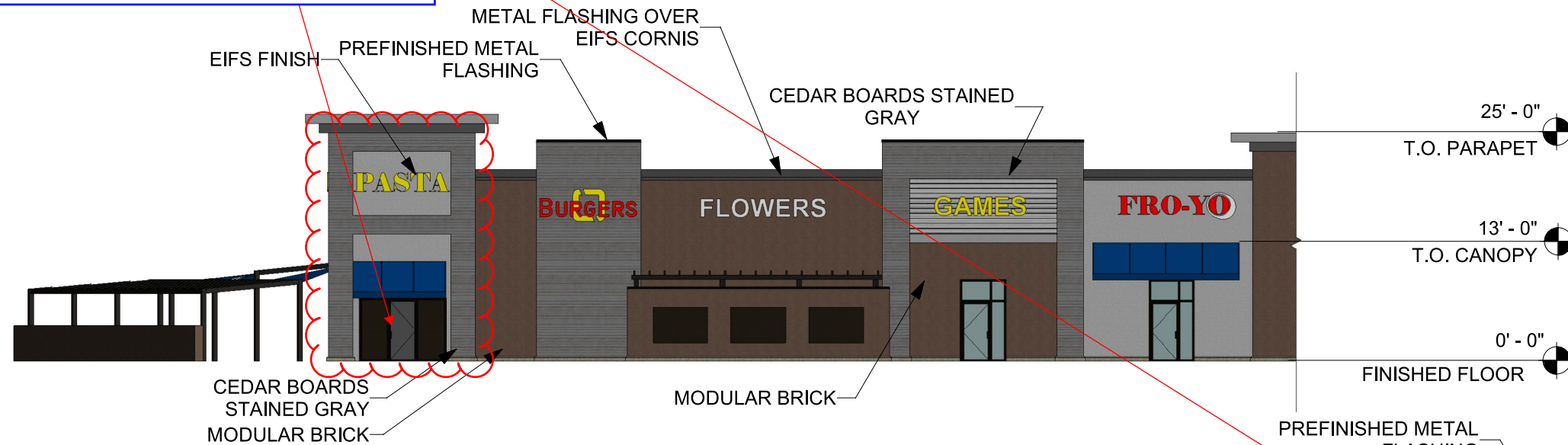
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WITHOUT PRIOR WRITTEN CONSENT FROM NAOS.

Please improve these elevations by adding clear and transparent glass and more windows.

Features on the rear of the Lot 1 building have been upgraded to add significant architectural interest with articulated screen walls and colored fabric coverings between the screen wall and the building.



1 EAST ELEVATION RETAIL B
1/16" = 1'-0"



2 NORTH ELEVATION RETAIL A
1/16" = 1'-0"



Naos Design Group, LLC
4949 S. SYRACUSE STREET SUITE 460
DENVER, COLORADO 80237
(p) 303.759.5777 (f) 720.360.4281
www.naosdg.com

PARKER AND PINE RETAIL A
SWC PARKER ROAD AND PINE LANE

ELEVATIONS 8 of 10

SCALE 1/16" = 1'-0" JOB #: 2017022 DATE: 05.16.2018

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Recesses and projections depicted on these conceptual are not represented on the building elevations or site plan building footprint. Please amend.

OK



SOUTH WEST CORNER OR PARKER ROAD AND PINE LANE



Naos Design Group, LLC
4949 S. SYRACUSE STREET SUITE 460
DENVER, COLORADO 80237
(p) 303.759.5777 (f) 720.360.4281
www.naosdg.com

PARKER AND PINE RETAIL
SWC PARKER ROAD AND PINE LANE

RENDERING 9 of 10

SCALE NONE JOB #: 2017022 DATE: 05.16.2018

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Recesses and projections depicted on these conceptual are not represented on the building elevations or site plan building footprint. Please amend.

OK



PARKER ROAD LOOKING NORTH TOWARD PINE LANE



Naos Design Group, LLC
4949 S. SYRACUSE STREET SUITE 460
DENVER, COLORADO 80237
(p) 303.759.5777 (f) 720.360.4281
www.naosdg.com

PARKER AND PINE RETAIL
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RENDERING 10 of 10

SCALE NONE JOB #: 2017022 DATE: 05.16.2018

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