

PARKER AND PINE RETAIL PINE LANE AND S. PARKER ROAD PRELIMINARY SITE PLAN

LOT 1 BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION

PARKER AUTO PLAZA FILING NO. 1 – LOT 1, BLOCK 3 COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW ¼ OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067F AND DATED SEPTEMBER 30, 2005 – SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE DATA TABLE

Parcel	LOT/TRACK GROSS AREA (AC)	LOT/TRACK GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 Max)	Anticipate d Use	Parking		Max. Building Height	Min. Building Setbacks		
						Required (1 per 300 GSF)	Provided		Front	Rear	Side
Lot 1	1.87	81,637	17,000	0.21	Retail	57	58	35'	25	25	25
Lot 2	1.09	47,544	3,400	0.07	Fuel	11	30	35'	25	25	25
Lot 3	0.87	37,998	2,085	0.05	Fast Food	7	36	35'	25	25	25
Lot 4	1.84	79,940	5,380	0.07	Car Wash	18	44	35'	25	25	25
Lot 5	0.87	38,082	2,042	0.05	Fast Food	7	26	35'	25	25	25
Lot 6	1.42	61,714	12,870	0.21	Daycare	43	117	35'	25	25	25
Lot 7	7.99	347,953									
TOTAL	15.95	694,868	42,777	0.06			143	311			



VICINITY MAP
1" = 2,000'

SHEET INDEX

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06 OF 06	LANDSCAPE PLAN

CONTACTS:

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TELEVISION:
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CONTACT: DRAYTON SANDERSON

FIRE DEPARTMENT:
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CENTENNIAL, CO 80112
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CONTACT: CHIP KERKHOVE

TOWN OF PARKER PLAN REVIEW:
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AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:



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PRELIMINARY

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Kimley-Horn
Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION

Sheet Title:

COVER SHEET

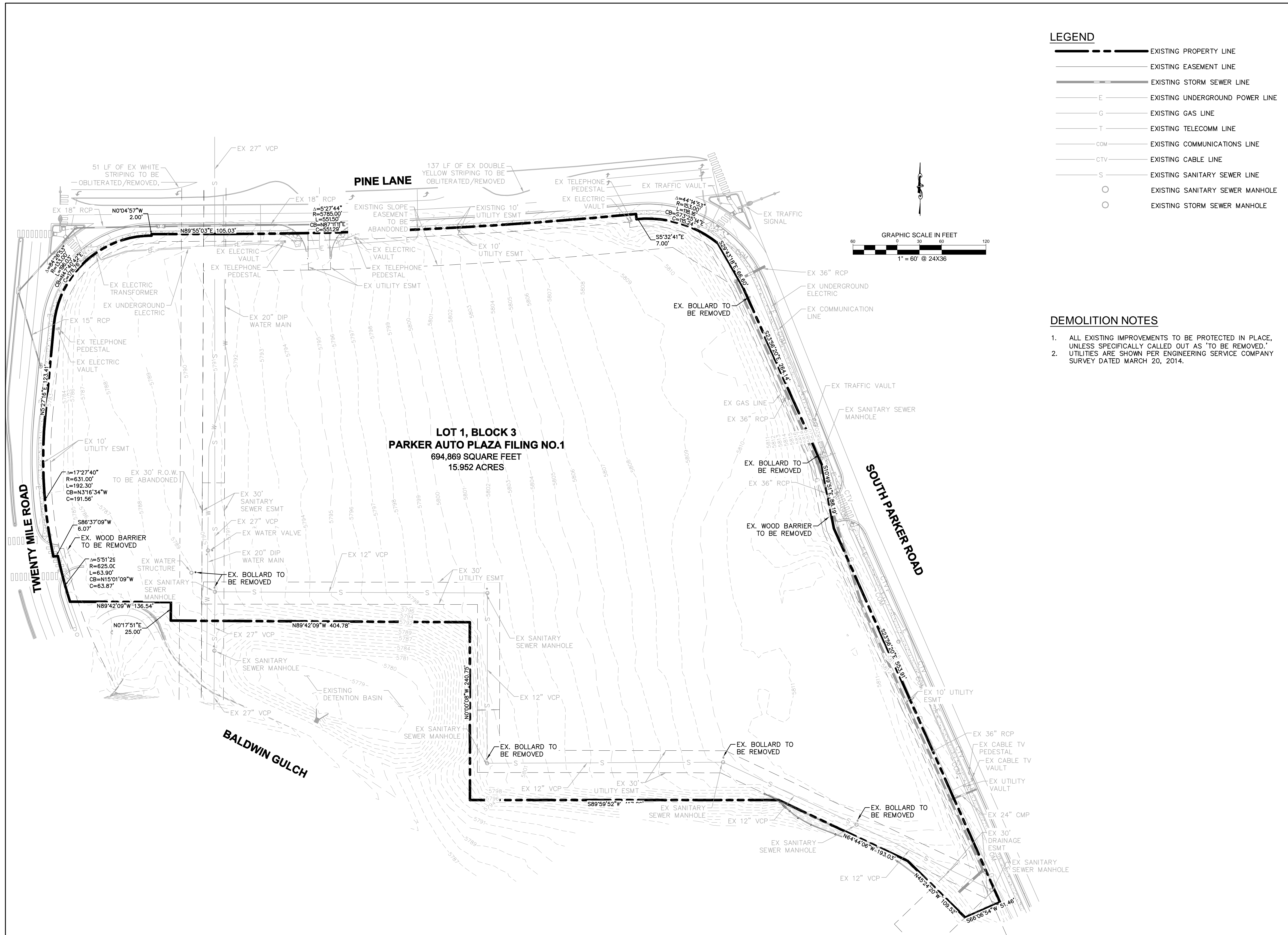
Date: 11/20/2019

Project Number: 096502001

Drawn By: STC

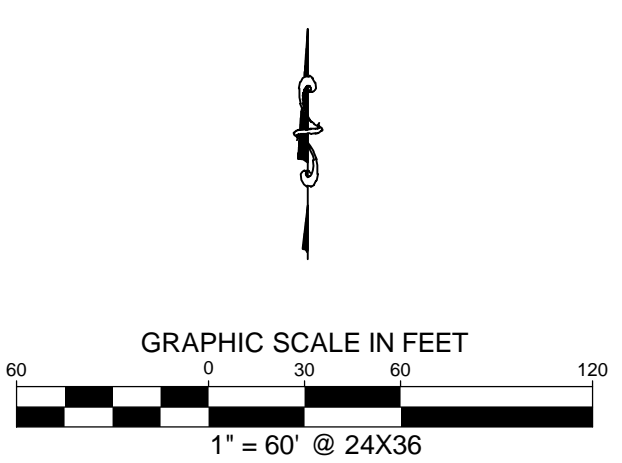
Sheet Number:

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LEGEND

- — — — — EXISTING PROPERTY LINE
- — — — — EXISTING EASEMENT LINE
- — — — — EXISTING STORM SEWER LINE
- — — — — EXISTING UNDERGROUND POWER LINE
- — — — — EXISTING GAS LINE
- — — — — EXISTING TELECOMM LINE
- — — — — EXISTING COMMUNICATIONS LINE
- — — — — EXISTING CABLE LINE
- — — — — EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE



- DEMOLITION NOTES**
- ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 - UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.

**LOT 1, BLOCK 3
PARKER AUTO PLAZA FILING NO.1
694,869 SQUARE FEET
15.952 ACRES**

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Full service commercial real estate

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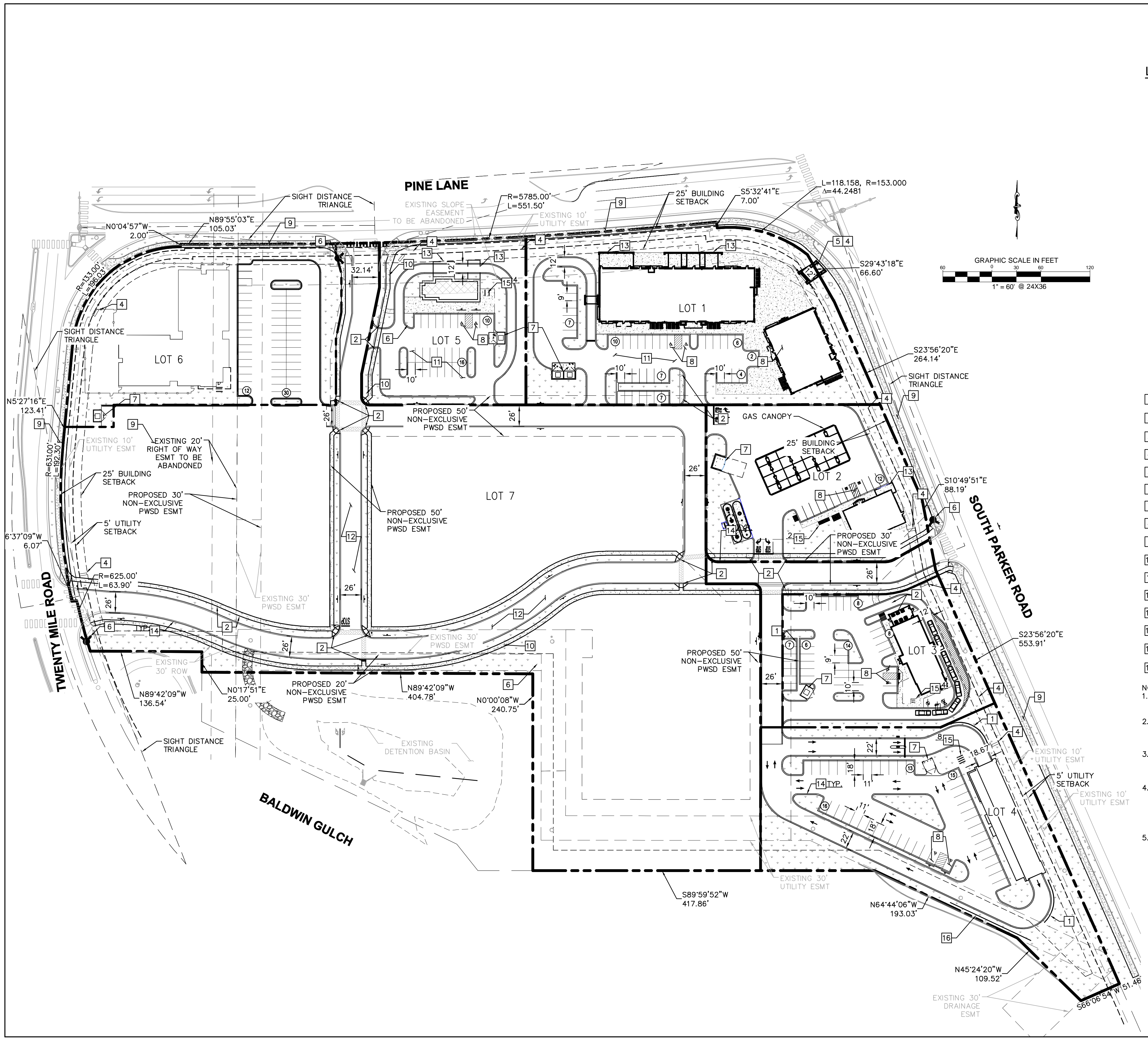
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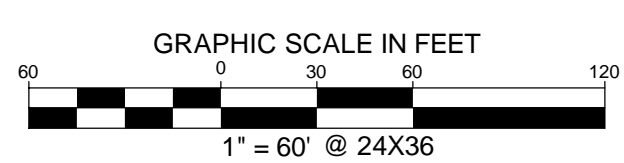
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11/20/2019	TOWN REVISION	

Sheet Title: **EXISTING
CONDITIONS &
DEMOLITION PLAN**
Date: 11/20/2019
Project Number: 096502001
Drawn By: STC



LEGEND

- PROPERTY LINE
- NUMBER OF PARKING SPACES
- ACCESSIBLE PARKING SPACES
- PROPOSED ELECTRICAL TRANSFORMER
- LANDSCAPED AREA
- HEAVY DUTY ASPHALT PAVING
- STANDARD DUTY ASPHALT PAVING
- BUILDING AREA WITHIN 40' OF SETBACK
- COLORED CONCRETE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED CURB AND GUTTER



KEY NOTES

- 1 PROPOSED 3' SCREEN WALL
- 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
- 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
- 4 PROPOSED MONUMENT SIGN.
- 5 PROPOSED SIDEWALK STAIRS. WIDTH PER PLAN
- 6 PROPOSED FIRE HYDRANT.
- 7 PROPOSED TRASH ENCLOSURE.
- 8 PROPOSED ADA PARKING STALLS.
- 9 PROPOSED 8' CONCRETE SIDEWALK.
- 10 PROPOSED 5' CONCRETE SIDEWALK.
- 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
- 12 PROPOSED HEAVY DUTY ASPHALT PAVING.
- 13 PROPOSED BUILDING OVERHANG
- 14 PROPOSED 18" VERTICAL CURB.
- 15 PROPOSED BICYCLE PARKING.
- 16 PROPOSED RETAINING WALL

NOTES:

1. ALL EXISTING OR PROPOSED LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS UNDER SECTION 13.10.140.
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY. FINAL LOCATION AND SCREENING MEASURES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN UNDER CHAPTER 13.06 OF THIS TITLE.
3. LOCATION OF TRASH RECEPTACLES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN UNDER CHAPTER 13.06 OF THIS TITLE AND BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.
4. CANOPIES AND PORTICO'S THAT ARE PROPOSED AT FINAL SITE PLAN TO MEET THE ZONING REQUIREMENTS FOR SETBACK PROXIMITY MUST BE PHYSICALLY AND ARCHITECTURALLY CONNECTED TO THE PRIMARY STRUCTURE AND MUST CREATE MEANINGFUL, ATTRACTIVE AND SIGNIFICANT ARCHITECTURAL INTEREST ALONG PARKER ROAD AND/OR PINE LANE.
5. DESIGN SHOWN IS PRELIMINARY. FINAL ARCHITECTURE SHALL BE APPROVED AT THE TIME OF FINAL SITE PLAN APPROVAL.

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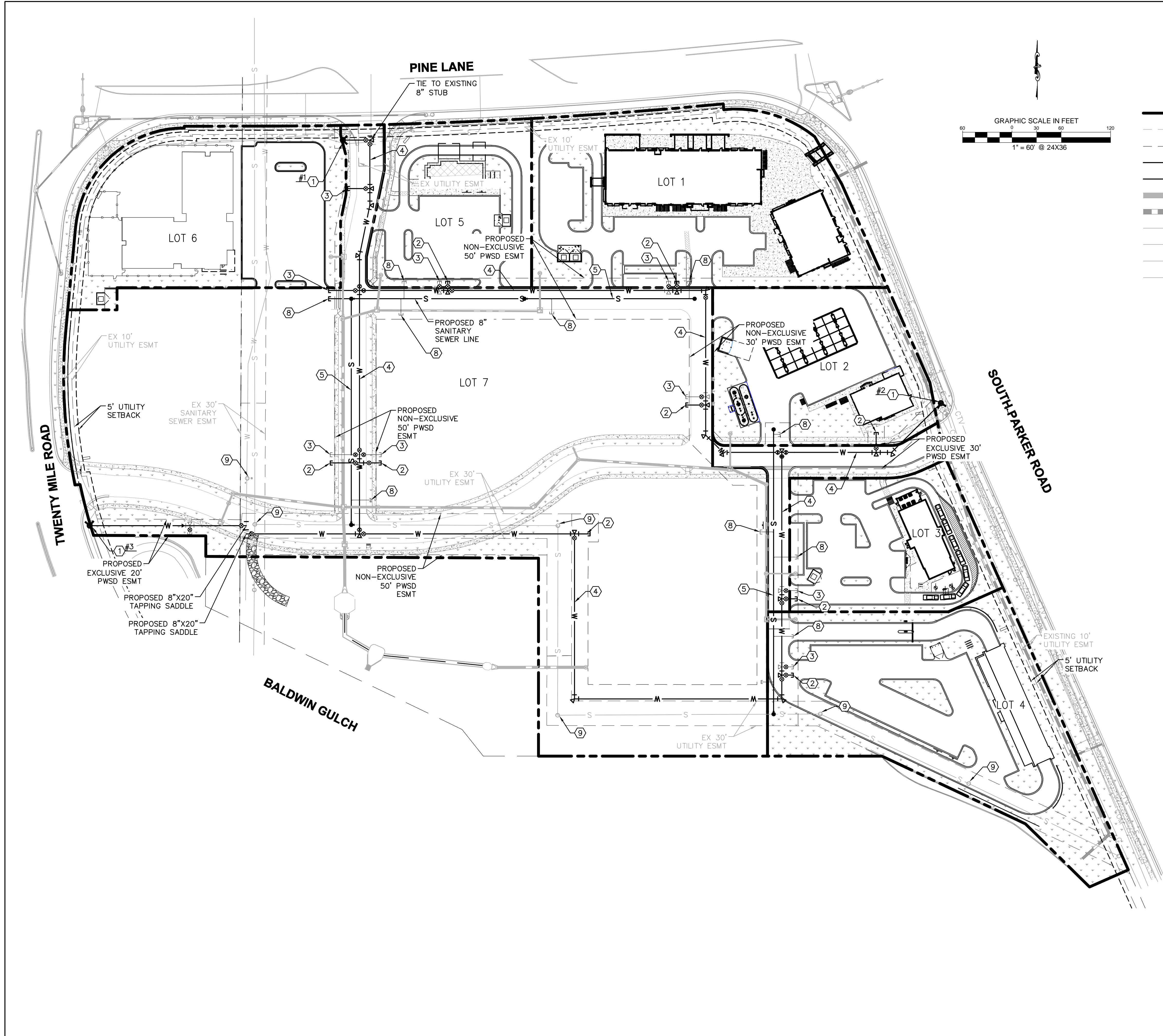
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Sheet Title:
**PRELIMINARY SITE
PLAN**

Date: 11/20/2019
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Drawn By: STC

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- ### UTILITY LEGEND
- EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATER LINE
 - PROPOSED STORM DRAINAGE LINE
 - EXISTING STORM DRAINAGE LINE
 - EXISTING GAS LINE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING ELECTRIC LINE
 - PROPOSED FIRE HYDRANT W/ BOLLARDS
 - PROPOSED METER
 - PROPOSED WATER VALVE
 - PROPOSED TEE / BEND
 - EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS

- ### SITE KEYNOTES
- ① PROPOSED FH W/ 6" GATE VALVE
 - ② PROPOSED 8" STUB W/TEMP BLOW-OFF
 - ③ PROPOSED 6" FIRE SERVICE W/TEMP BLOW-OFF
 - ④ PROPOSED 8" WATER MAIN
 - ⑤ PROPOSED 8" SEWER MAIN
 - ⑥ NOT USED
 - ⑦ PROPOSED 4" SEWER SERVICE
 - ⑧ PROPOSED 6" SEWER SERVICE
 - ⑨ ADJUST EXISTING STRUCTURE TO PROPOSED GRADE

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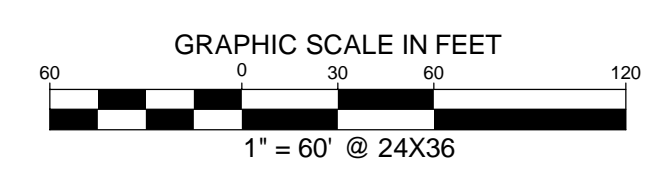
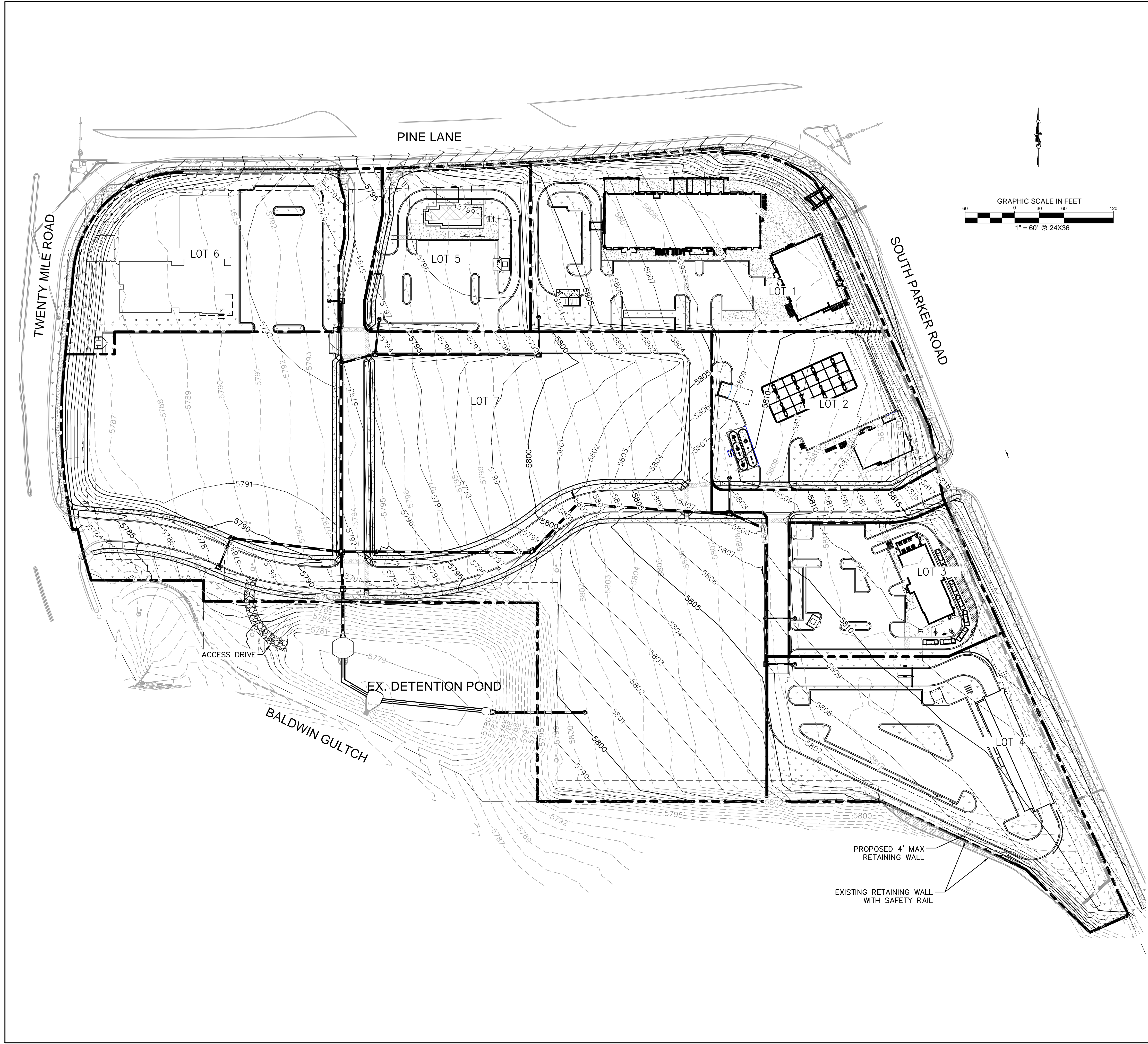
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LEGEND

	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET

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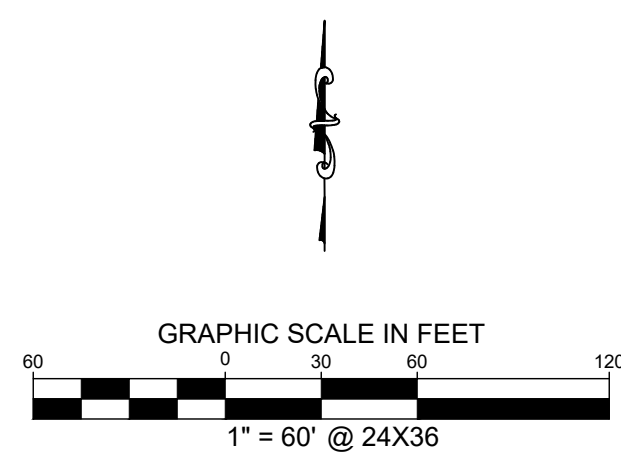
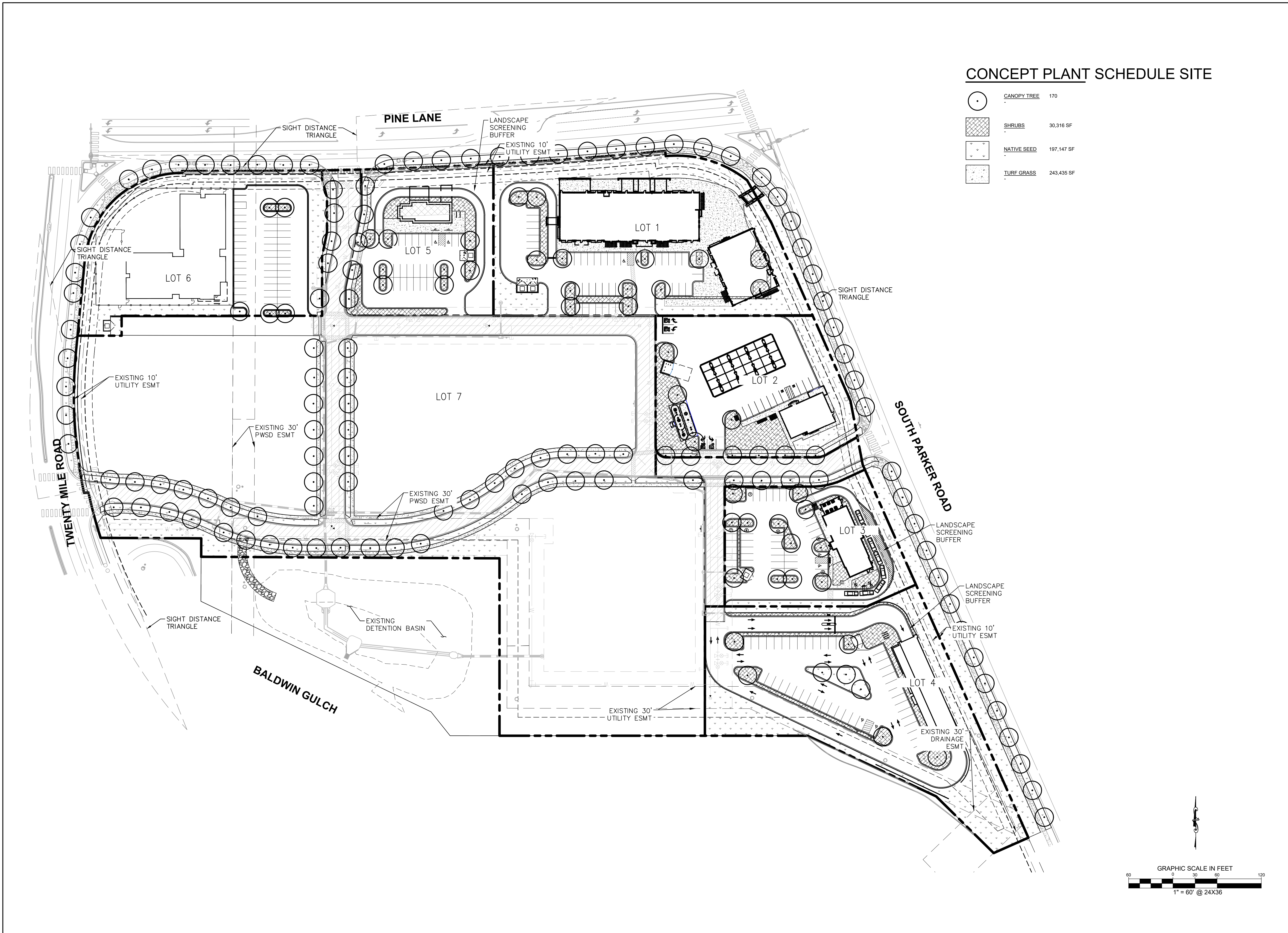
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LANDSCAPE PLAN**

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