

PARKER AND PINE RETAIL PRELIMINARY SITE PLAN

PARKER AND PINE MINOR DEVELOPMENT FILING NO. 1
A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Address:
**PARKER AND PINE
MINOR DEVELOPMENT
FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO**



PRELIMINARY
**FOR REVIEW ONLY
NOT FOR
CONSTRUCTION**
Kimley-Horn
Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION
	03/11/2020	TOWN REVISION

Sheet Title:
COVER SHEET

Date: 03/11/2020
Project Number: 096502001
Drawn By: STC

Sheet Number:

01 OF 06

LEGAL DESCRIPTION

PARKER AUTO PLAZA FILING NO. 1 – LOT 1, BLOCK 3 COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

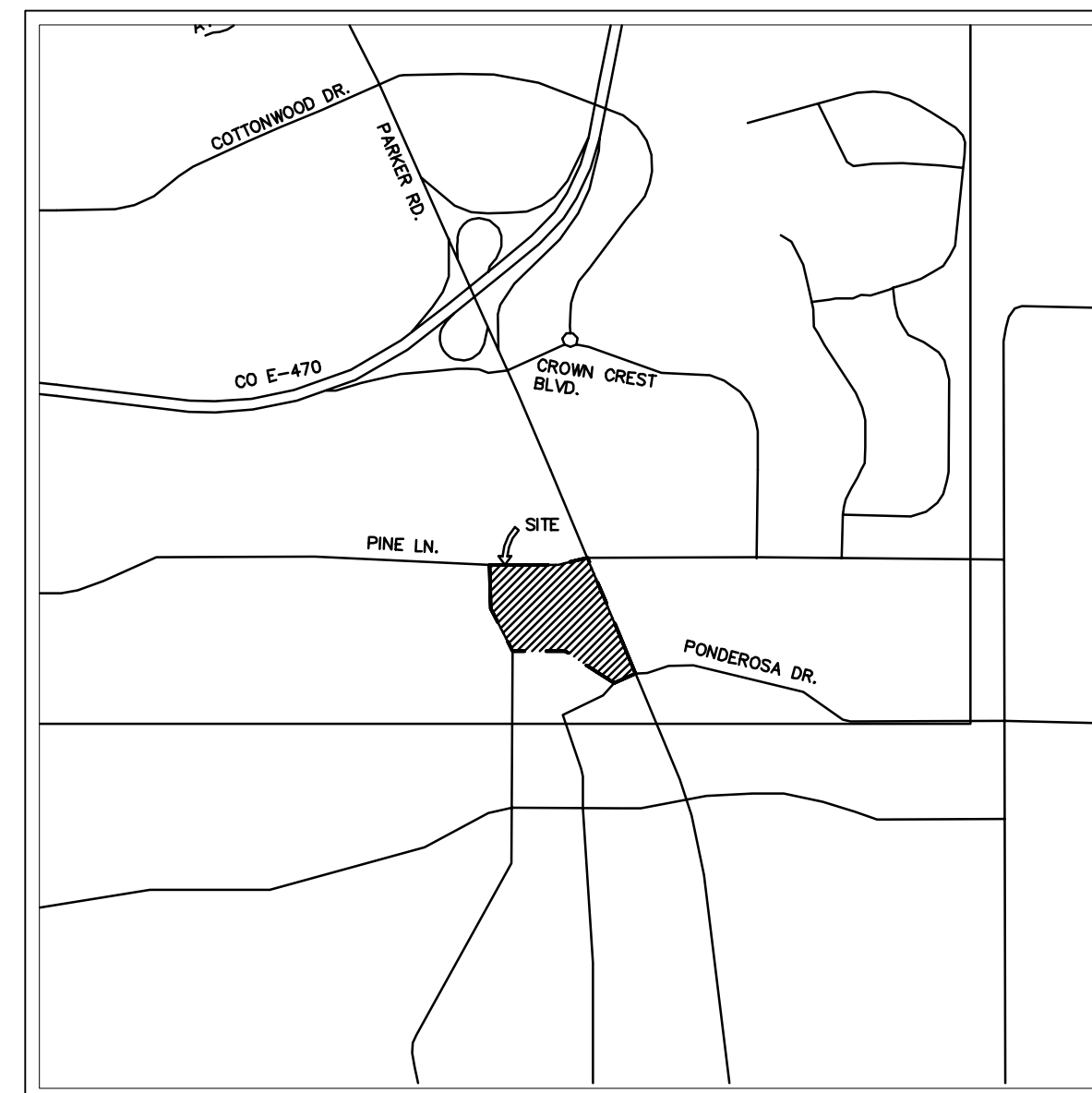
BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067F AND DATED SEPTEMBER 30, 2005 – S. PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

PARKING LAYOUT HAS BEEN ADJUSTED FOR LOT 1 AND LOT 5 TO PROVIDE AMPLE PARKING BETWEEN THE TWO LOTS

Does not meet required minimums.



VICINITY MAP
1" = 2,000'

SHEET INDEX

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02 OF 06	EXISTING CONDITIONS
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05 OF 06	GRADING PLAN
06 OF 06	LANDSCAPE PLAN

CONTACTS:

DEVELOPER:
EVT PARKER COLORADO, LLC
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2710 E. CAMELBACK ROAD, SUITE 210
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CONTACT: DAN SKEEHAN

LANDSCAPE ARCHITECT:
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CONTACT: CAROLYN PARKINSON

ELECTRICAL SERVICE:
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CONTACT: AMANDA STEINER

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CONTACT: JORDAN BONICELLI

SURVEYOR:
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AURORA, CO 80012
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CONTACT: CHARLES BECKSTROM, PLS

TELEVISION:
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DENVER, CO 80204
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EMAIL: DEAN_FLENTHROPE@COMCAST.COM

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PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN ROAD
PARKER, CO 80134
TEL: 303-841-4627
CONTACT: DRAYTON SANDERSON

FIRE DEPARTMENT:
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

TOWN OF PARKER PLAN REVIEW:
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA

SITE DATA TABLE

PARCEL	LOT/TRACT GROSS AREA (AC)	LOT/TRACT GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 MAX)	ANTICIPATED USE	PARKING		MAX. BUILDING HEIGHT	MIN. BUILDING SETBACKS			LOT WIDTH (FT)	
						REQUIRED	PROVIDED		FRONT	REAR	SIDE	REQUIRED	PROVIDED
LOT 1	1.87	81,637	17,000	0.21	RETAIL	57	43	35'	25	25	25	120	358
LOT 2	1.09	47,544	2,830	0.06	FUEL	10	11	35'	25	25	25	120	146
LOT 3	0.87	37,998	3,480	0.09	FAST FOOD	42	42	35'	25	25	25	120	170
LOT 4	1.84	79,940	5,380	0.07	CAR WASH	5	41	35'	25	25	25	120	375
LOT 5	0.87	38,082	2,042	0.05	FAST FOOD	26	26	35'	25	25	25	120	173
LOT 6	1.38	60,131	12,723	0.21	DAYCARE	38	39	35'	25	25	25	120	290
LOT 7	8.02	349,536							25	25	25	120	301
TOTAL	15.95	694,868	43,455	0.06		178	202						

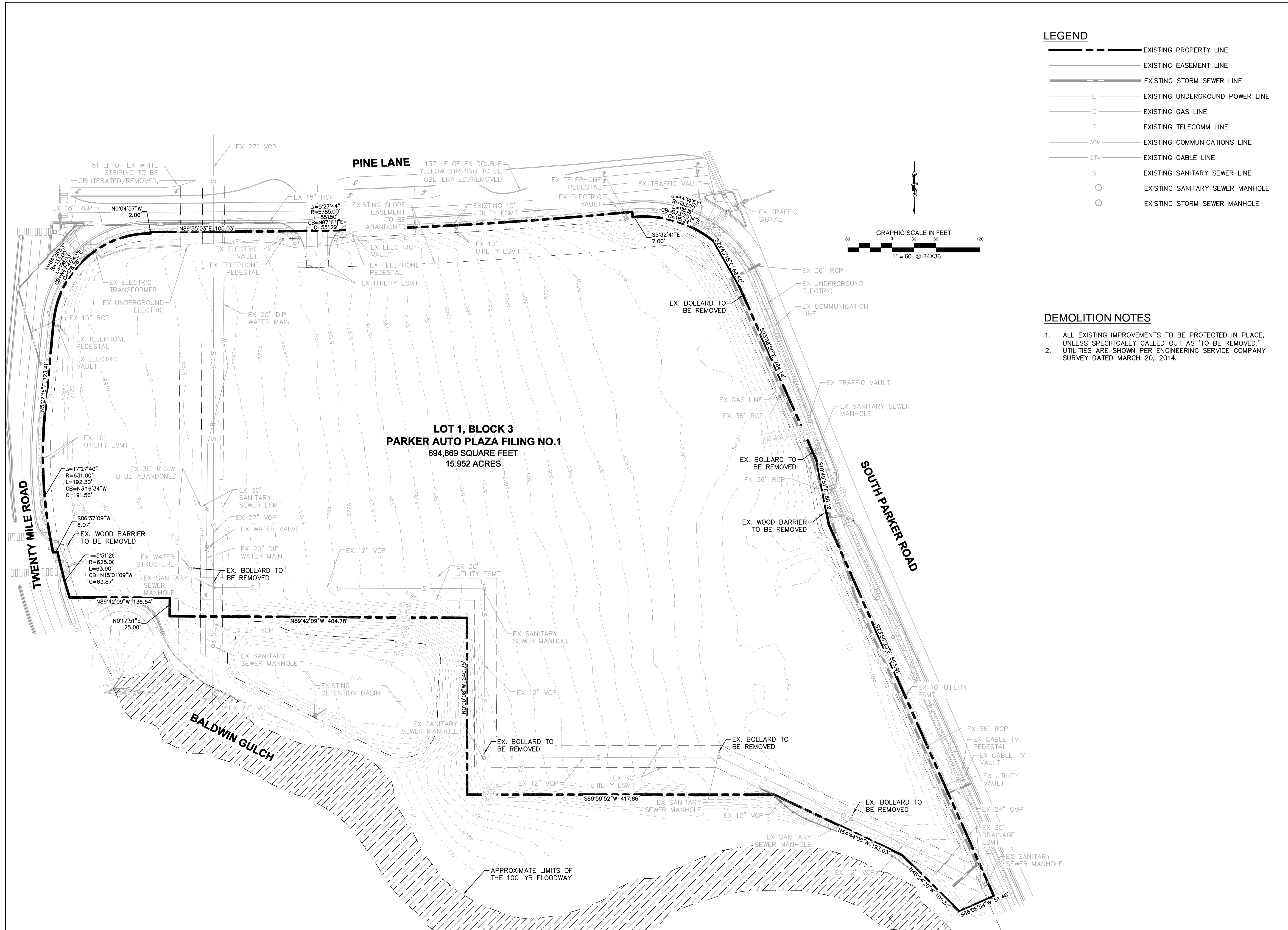
- NOTES:
1. REQUIRED PARKING FOR OFFICE/SHOPPING CENTER IS 1 PER 300 GSF
2. REQUIRED PARKING FOR FAST FOOD IS 1 PER 3 PERSON CAPACITY
3. REQUIRED PARKING FOR DAYCARE IS 1 PER 4 CHILDREN
4. REQUIRED PARKING FOR CARWASH IS 1 + 1 PER STAFF

FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE _____ DATE _____

(NOTE – UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING STORM SEWER LINE
---	EXISTING UNDERGROUND POWER LINE
---	EXISTING GAS LINE
---	EXISTING TELECOMM LINE
---	EXISTING COMMUNICATIONS LINE
---	EXISTING CABLE LINE
---	EXISTING SANITARY SEWER LINE
○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING STORM SEWER MANHOLE

- DEMOLITION NOTES**
1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.

Eisenberg Company
Full service commercial real estate

EISENBERG COMPANY
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

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Architect Information:
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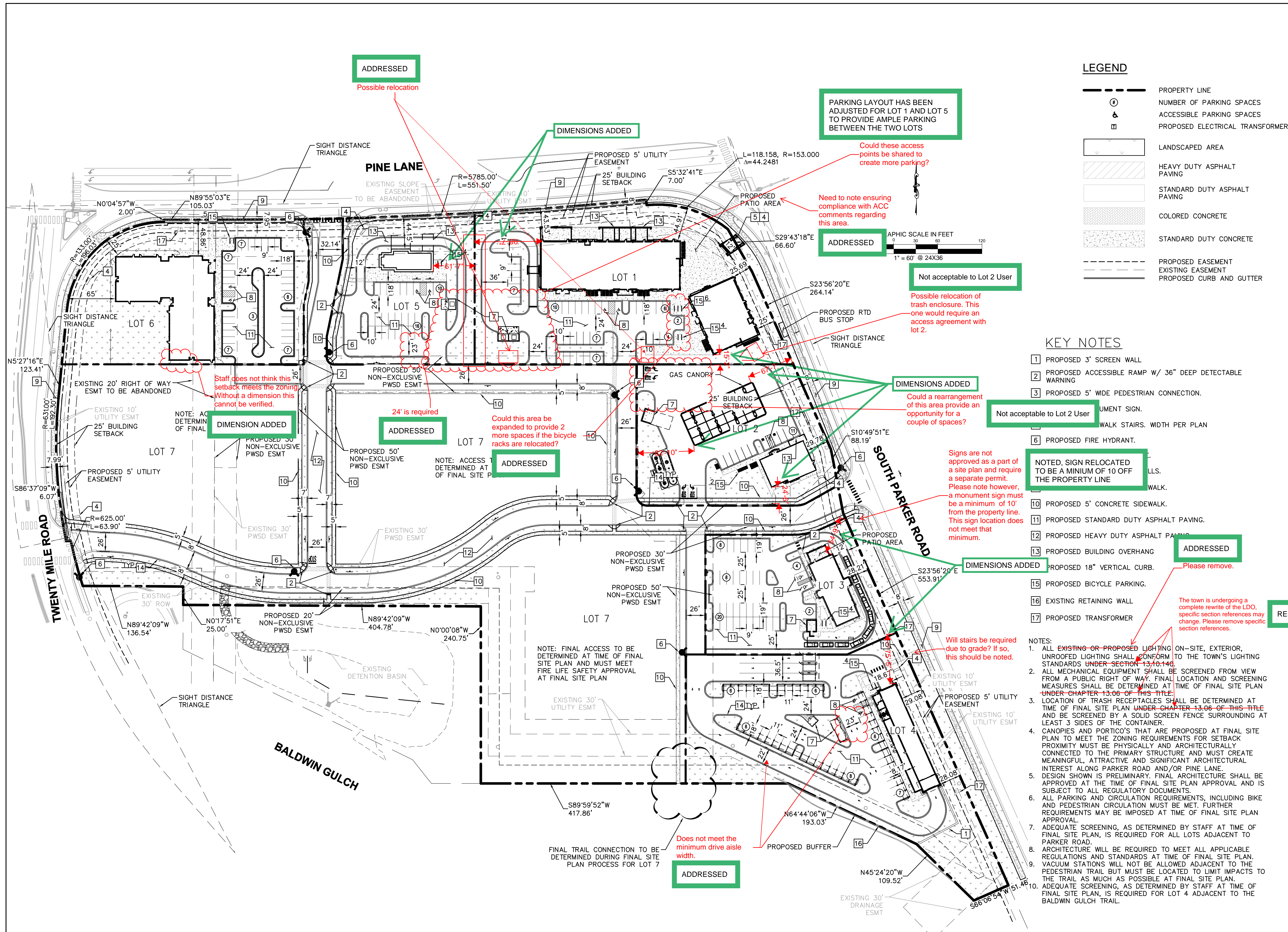
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Sheet Title: **EXISTING
CONDITIONS &
DEMOLITION PLAN**
Date: 03/11/2020
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REMOVED **ELIMINARY
SITE PLAN**

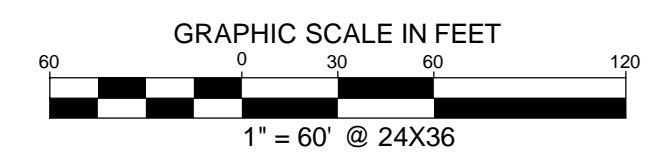
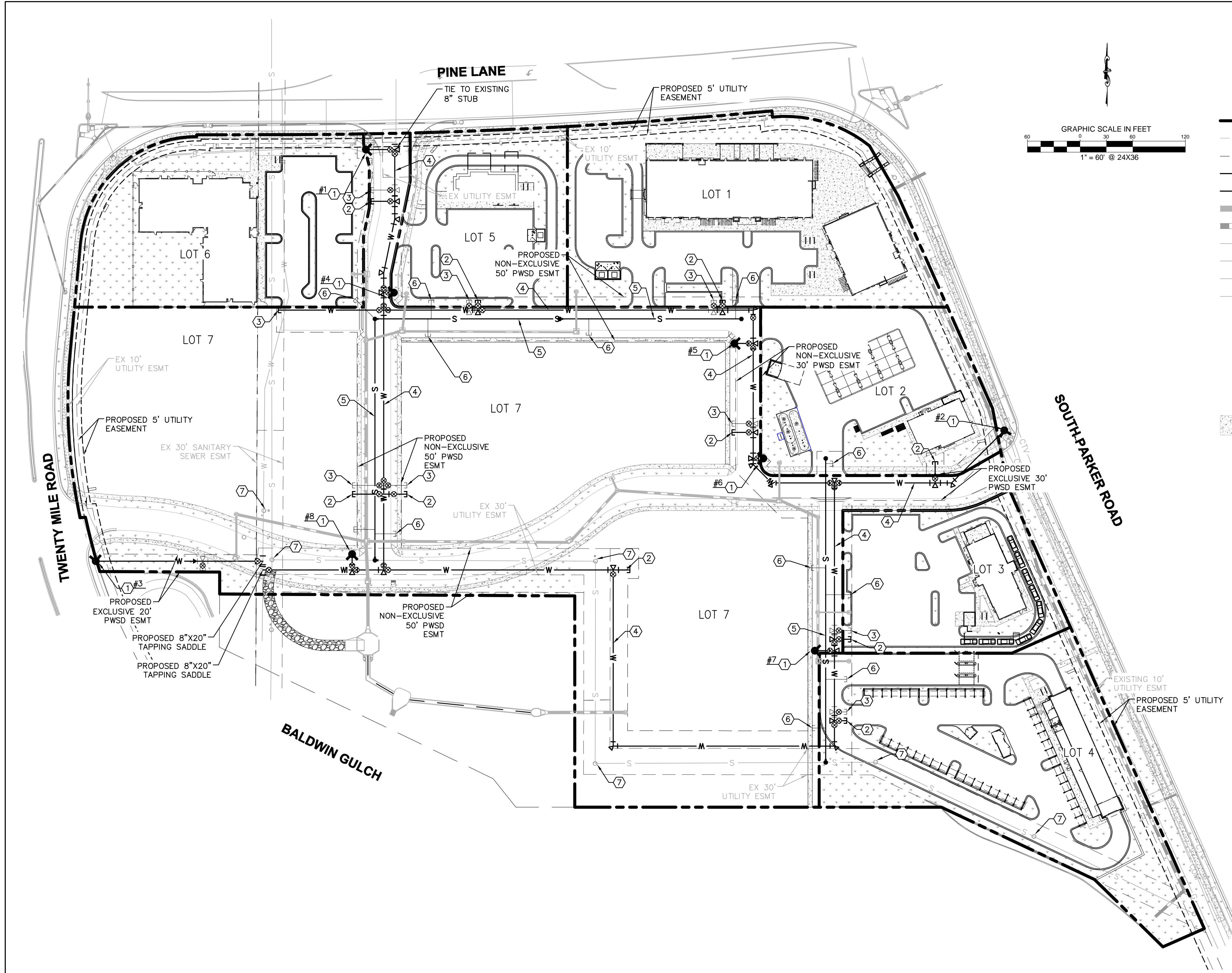
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**PRELIMINARY SITE
PLAN**

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- ### UTILITY LEGEND
- EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATER LINE
 - PROPOSED STORM DRAINAGE LINE
 - EXISTING STORM DRAINAGE LINE
 - EXISTING GAS LINE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING ELECTRIC LINE
 - PROPOSED FIRE HYDRANT W/ BOLLARDS
 - PROPOSED METER
 - PROPOSED WATER VALVE
 - PROPOSED TEE / BEND
 - EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS
 - PROPOSED CONCRETE

- ### SITE KEYNOTES
- ① PROPOSED FH W/ 6" GATE VALVE
 - ② PROPOSED 8" STUB W/TEMP BLOW-OFF
 - ③ PROPOSED 6" FIRE SERVICE W/TEMP BLOW-OFF
 - ④ PROPOSED 8" WATER MAIN
 - ⑤ PROPOSED 8" SEWER MAIN
 - ⑥ PROPOSED 6" SEWER SERVICE
 - ⑦ ADJUST EXISTING STRUCTURE TO PROPOSED GRADE

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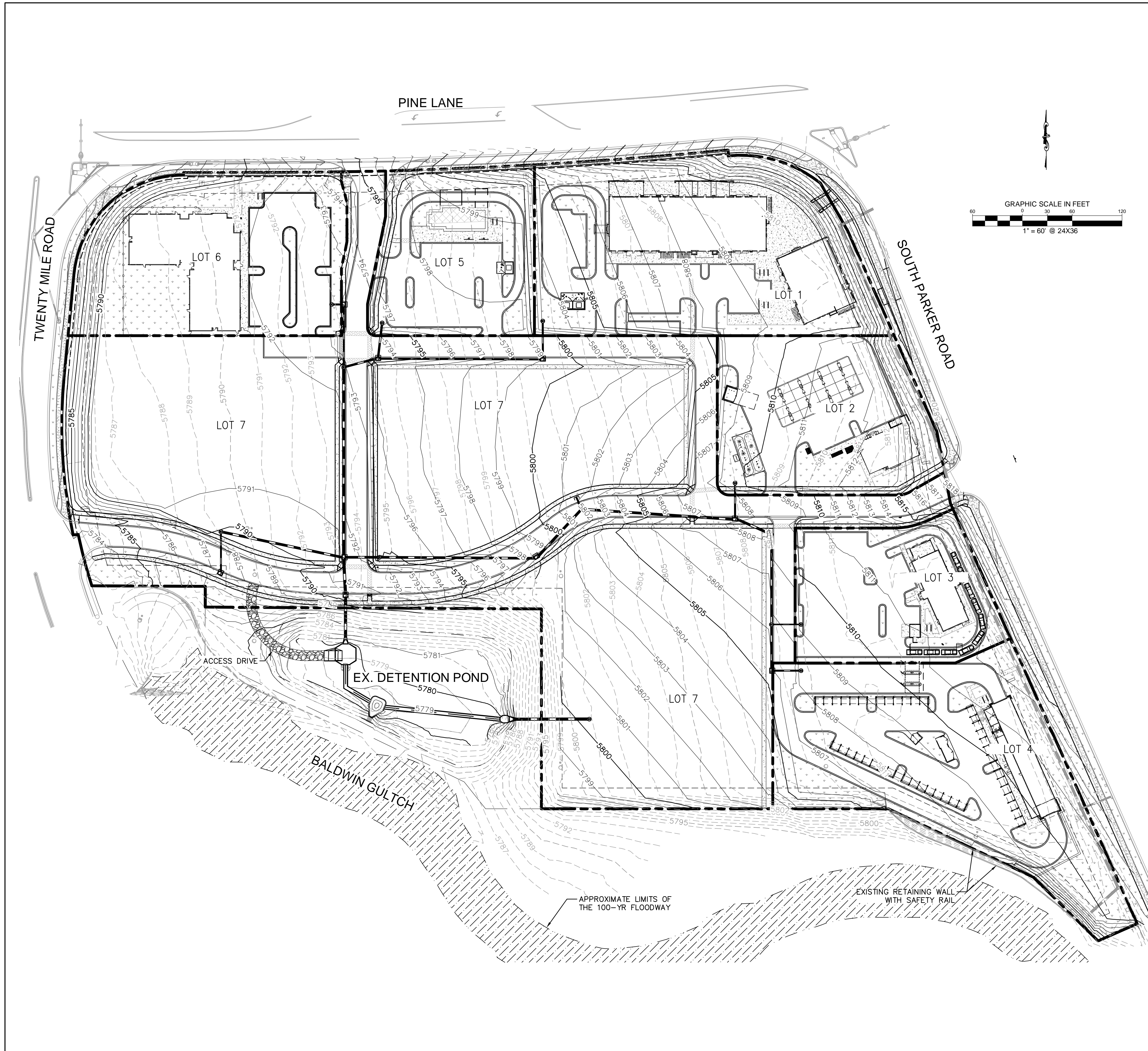
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PRELIMINARY UTILITY PLAN

Date: 03/11/2020
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LEGEND

- EXISTING PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- PROPOSED CONCRETE

BENCHMARK
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
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**PRELIMINARY
 GRADING PLAN**
 Date: 03/11/2020
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Please see comments related to streetscape on SUB18-020 landscape plan. Changes and re calculations resulting from those comments should be included on this sheet.

NOTED AND ADDRESSED

CONCEPT PLANT SCHEDULE SITE

	CANOPY TREE	153
	PLANTING BEDS	31,267 SF
	LANDSCAPE	439,345 SF

LANDSCAPE REQUIREMENTS		
TOTAL SITE LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
LOT 1 = 81,637 SF	15% (12,245 SF)	31% (25,466 SF)
LOT 2 = 47,544 SF	15% (7,131 SF)	30% (14,348 SF)
LOT 3 = 37,898 SF	15% (5,685 SF)	24% (9,206 SF)
LOT 4 = 76,940 SF	15% (11,541 SF)	37% (29,567 SF)
LOT 5 = 38,082 SF	15% (5,712 SF)	36% (13,891 SF)
LOT 6 = 61,714 SF	15% (9,257 SF)	32% (20,099 SF)

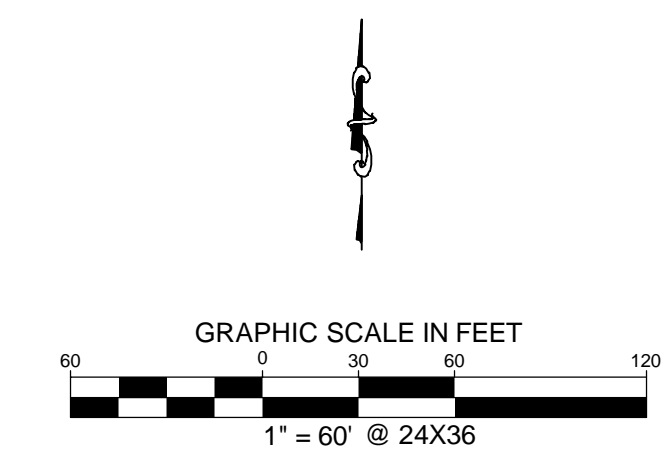
LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
STREET TREES		
1 TREE/ 40 LF	128 TREES	128 TREES
MINIMUM SITE LANDSCAPING STANDARDS		
SITE AREA: 694,869 SF	104,109 SF	474,838 SF
15% TOTAL SITE AREA		

Please correct

ADDRESSED

NOTE:
ALL LANDSCAPE REQUIREMENTS MUST BE MET AT TIME OF FINAL SITE PLAN. LANDSCAPING AS PROVIDED FOR ON THIS PRELIMINARY SITE PLAN IS FOR GENERAL "LOT FIT" ANALYSIS PURPOSES.



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PRELIMINARY LANDSCAPE PLAN

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