

PARKER AND PINE RETAIL PINE LANE AND S. PARKER ROAD PRELIMINARY SITE PLAN

LOT 1 BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

How much landscaping is being provided on each of the proposed developments/lots? Each lot will be required to provide the minimum per the Town of Parker Land Development Ordinance.

LEGAL DESCRIPTION

PARKER AUTO PLAZA FILING NO. 1 - LOT 1, BLOCK 3 COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067F AND DATED SEPTEMBER 30, 2005 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

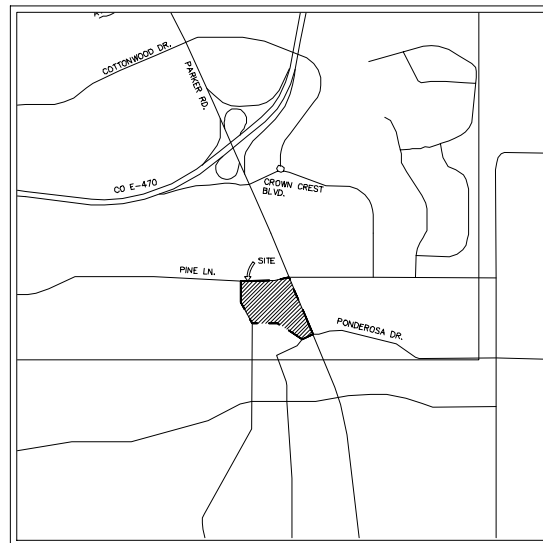
SITE DATA TABLE

| Parcel | LOT/TRACK GROSS AREA (SF) | LOT/TRACK GROSS AREA (SF) | BUILDING AREA (SF) | F.A.R. (0.35 Max) | Anticipated Use | Parking | | Min. Landscape Area (SF) | Max. Building Height | Min. Building Setbacks | | | Build to Requirements (30% Min.) | |
|----------------------|---------------------------|---------------------------|--------------------|-------------------|-----------------|--------------------------|------------|--------------------------|----------------------|------------------------|------|------|----------------------------------|----|
| | | | | | | Required (1 per 300 GSF) | Provided | | | Front | Rear | Side | SF | % |
| | | | | | | | | | | | | | | |
| Lot 1 | 5.62 | 244,733 | 14,300 | 0.06 | Retail | 48 | 118 | 36710 | 35' | 25 | 25 | 25 | 5602.9 | 39 |
| Lot 2 | 1.09 | 47,621 | 3,400 | 0.07 | Fuel | 11 | 30 | 7143 | 35' | 25 | 25 | 25 | 1770.2 | 52 |
| Lot 3 | 0.87 | 37,898 | 2,085 | 0.06 | Fast Food | 7 | 36 | 5685 | 35' | 25 | 25 | 25 | 1738.6 | 83 |
| Lot 4 | 1.78 | 77,461 | 6,855 | 0.09 | Car Wash | 23 | 33 | 11619 | 35' | 25 | 25 | 25 | 5819.1 | 85 |
| Lot 5 | 0.87 | 38,080 | 2,042 | 0.05 | Fast Food | 7 | 26 | 5712 | 35' | 25 | 25 | 25 | 1342.9 | 66 |
| PHASE 1 TOTAL | 10.23 | 445,793 | 28,682 | 0.06 | | 96 | 243 | | | | | | | |

| Parcel | LOT/TRACK GROSS AREA (SF) | LOT/TRACK GROSS AREA (SF) | BUILDING AREA (SF) | F.A.R. | Anticipated Use | Parking | | Min. Landscape Area (SF) | Max. Building Height | Min. Building Setbacks* | | | Build to Requirements | |
|----------------------|---------------------------|---------------------------|--------------------|-------------|-----------------|------------|------------|--------------------------|----------------------|-------------------------|------|------|-----------------------|-----|
| | | | | | | Required | Provided | | | Front | Rear | Side | SF | % |
| | | | | | | | | | | | | | | |
| Lot 6 | 2.33 | 101,455 | 59,040 | 0.58 | Hotel | 197 | 117 | 15218 | 35* | 25 | 25 | 25 | N/A | N/A |
| Lot 7 | 3.39 | 147,620 | 35,000 | 0.24 | MOB | 117 | 151 | 22143 | 35* | 25 | 25 | 25 | 7037 | 20 |
| PHASE 2 TOTAL | 5.72 | 249,075 | 94,040 | 0.38 | | 313 | 268 | | | | | | | |
| TOTAL | 15.95 | 694,868 | 122,722 | 0.18 | | 409 | 511 | | | | | | | |

*60 FT MAXIMUM BUILDING HEIGHT MAY BE REQUESTED AS A USE BY SPECIAL REVIEW

Please remove as this statement is not entirely accurate. Building heights in excess of 35' require use by special review.



VICINITY MAP
1"=2,000'

SHEET INDEX

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| 10 OF 10 | ARCHITECTURAL RENDERING |

CONTACTS:

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EVT PARKER COLORADO, LLC
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TEL: (303) 688-7431
CONTACT: AMANDA STEINER

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CONTACT: DICK ANSTETH

SURVEYOR:
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AURORA, CO 80012
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CONTACT: CHARLES BECKSTROM, PLS

TELEVISION:
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CONTACT: DEAN FLENTHOPE
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PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN ROAD
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CONTACT: DRAYTON SANDERSON

FIRE DEPARTMENT:
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

TOWN OF PARKER PLAN REVIEW:
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TEL: (303) 805-3169
CONTACT: RANDY CAPRA



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PHOENIX, AZ 85016

Address:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:



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PRELIMINARY

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Kimley-Horn
Kimley-Horn and Associates, Inc.

PRELIMINARY
SITE PLAN

Revisions:

| # | Date | Description |
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Sheet Title:

COVER SHEET

Date: 06/4/2018

Project Number: 096502001

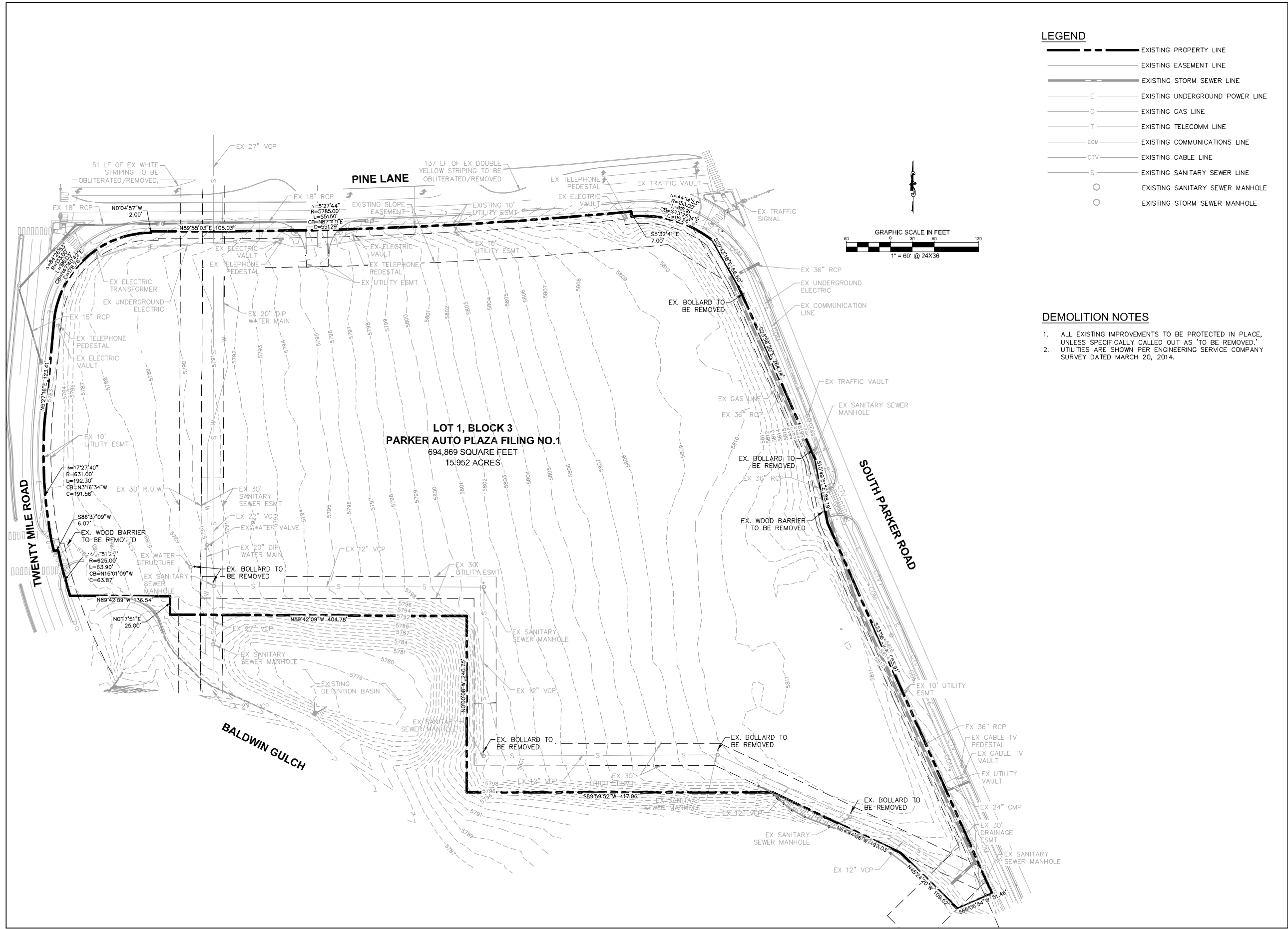
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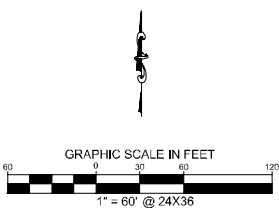
01 OF 10

Maximum Floor Area Ratio (F.A.R.) Exceeded per zoning requirements.

"Build-to" percentage requirement not met. Please amend the building location/orientation to meet the zoning setback and percentage requirements.



- LEGEND**
- — — — — EXISTING PROPERTY LINE
 - — — — — EXISTING EASEMENT LINE
 - — — — — EXISTING STORM SEWER LINE
 - E — — — — — EXISTING UNDERGROUND POWER LINE
 - G — — — — — EXISTING GAS LINE
 - T — — — — — EXISTING TELECOMM LINE
 - COM — — — — — EXISTING COMMUNICATIONS LINE
 - CTV — — — — — EXISTING CABLE LINE
 - S — — — — — EXISTING SANITARY SEWER LINE
 - — — — — — EXISTING SANITARY SEWER MANHOLE
 - — — — — — EXISTING STORM SEWER MANHOLE



- DEMOLITION NOTES**
- ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 - UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.

**LOT 1, BLOCK 3
PARKER AUTO PLAZA FILING NO.1**
694,869 SQUARE FEET
15.952 ACRES



EISENBERG COMPANY
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:
**LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1**
COUNTY OF DOUGLASS,
STATE OF COLORADO

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Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:

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Sheet Title: **EXISTING
CONDITIONS &
DEMOLITION PLAN**
Date: 05/4/2018
Project Number: 096502001
Drawn By: STC

Please depict a pedestrian connection(s) from the sidewalks to the main entrance of this building.

Please depict tree lawns (to allow for adequate spread at maturity for street lawn trees) and detached 5' wide sidewalks west to east in these locations.

Please add the following note(s) to the plans, "All mechanical equipment shall be screened from view from a public right-of-way. Final location and screening measures shall be determined at time of final site plan under Chapter 13.06 of this Title."

Missing Canopy

Please amend the sidewalks along Parker Road, 20 Mile Road and Pine Lane to be 8' in width as previously agreed upon.

Please project building north to touch the 25' setback line. Please see attached examples of other projects doing this.

Does not meet requirements and not shown on the plans.

Please detached these sidewalks and depict a tree lawn (to allow for adequate spread at maturity for street lawn trees).

Please amend the plans to depict a pedestrian connection to the adjacent pedestrian/recreation path to the south.

Please identify the crosswalks on the plans and key notes as scored, colored concrete.

LEGEND

| | |
|-----------------------|-------------------------------------|
| --- | PROPERTY LINE |
| ⊙ | NUMBER OF PARKING SPACES |
| ⊕ | ACCESSIBLE PARKING SPACES |
| ⊞ | PROPOSED ELECTRICAL TRANSFORMER |
| [Dotted Pattern] | LANDSCAPED AREA |
| [Diagonal Lines] | HEAVY DUTY ASPHALT PAVING |
| [Horizontal Lines] | STANDARD DUTY ASPHALT PAVING |
| [Cross-hatch Pattern] | BUILDING AREA WITHIN 40' OF SETBACK |

KEY NOTES

- 1] PROPOSED 3' SCREEN WALL
- 2] PROPOSED ACCESSIBLE RAMP W/ 3/6" DEEP DETECTABLE WARNING
- 3] PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
- 4] PROPOSED MONUMENT SIGN.
- 5] PROPOSED 5' CONCRETE SIDEWALK.
- 6] PROPOSED FIRE HYDRANT.
- 7] PROPOSED TRASH ENCLOSURE.
- 8] PROPOSED ADA PARKING STALLS.
- 9] PROPOSED PERMANENT STABILIZATION. REFER TO LANDSCAPE PLANS.
- 10] PROPOSED 5' CONCRETE SIDEWALK.
- 11] PROPOSED STANDARD DUTY ASPHALT PAVING.
- 12] PROPOSED HEAVY DUTY ASPHALT PAVING.
- 13] PROPOSED HEAVY DUTY CONCRETE PAVING.
- 14] PROPOSED 18" VERTICAL CURB.
- 15] PROPOSED BICYCLE PARKING (4).

- NOTES:**
1. ALL EXISTING OR PROPOSED LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS UNDER SECTION 13.10.140.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.

Please add the following note(s) to the plans, "Location of trash receptacles shall be determined at time of final site plan under Chapter 13.06 of this title and be screened by a solid screen fence surrounding at least 3 sides of the container."



EISENBERG COMPANY
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LOT 1 BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 COUNTY OF DOUGLASS, STATE OF COLORADO

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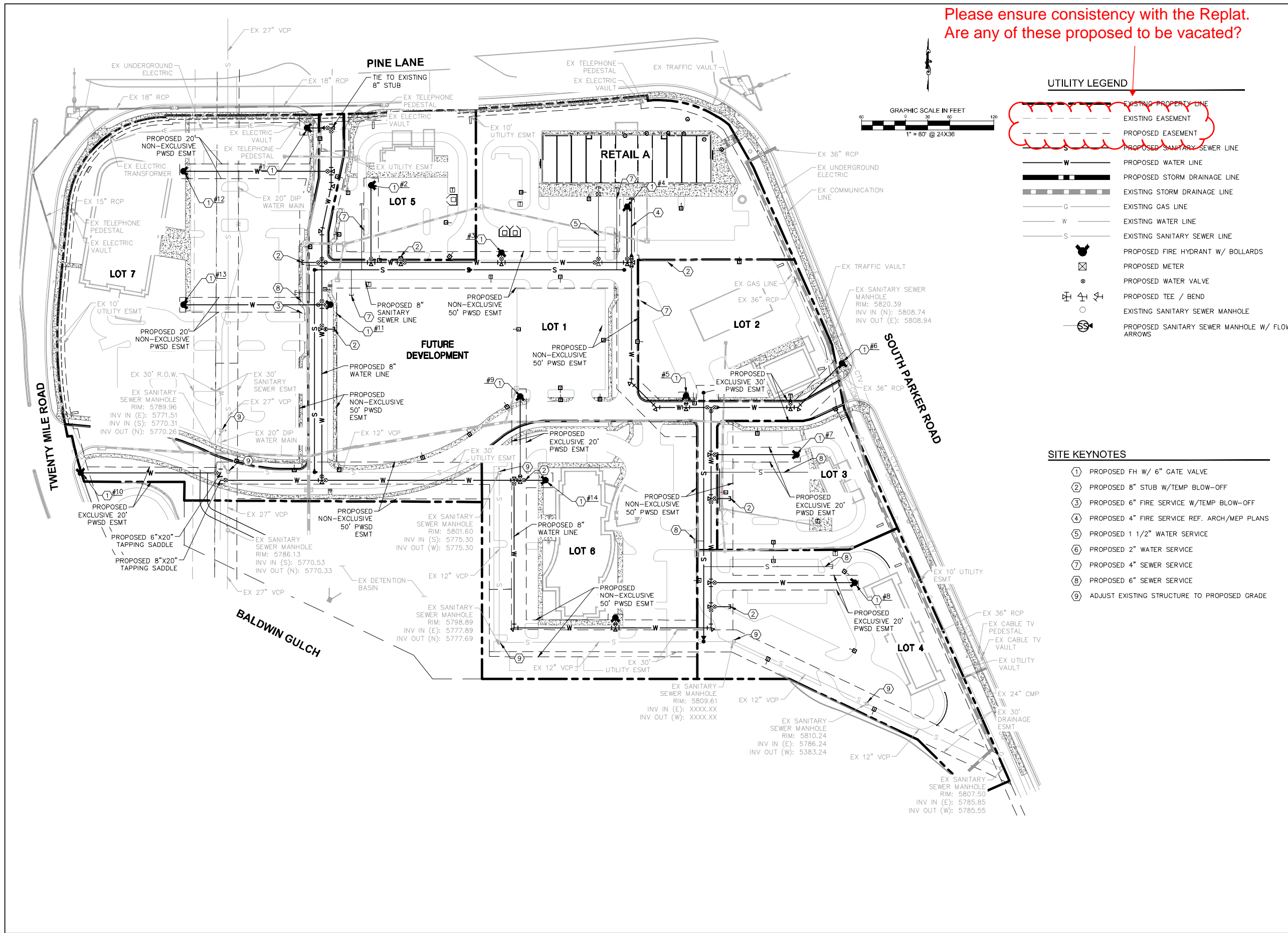
PRELIMINARY SITE PLAN

Revisions:

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Sheet Title:
PRELIMINARY SITE PLAN

Date: 05/4/2018
Project Number: 096502001
Drawn By: STC
Sheet Number:



Please ensure consistency with the Replat.
Are any of these proposed to be vacated?



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Address:
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**PRELIMINARY
SITE PLAN**

Revisions:

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Sheet Title:
**PRELIMINARY
UTILITY PLAN**

Date: 05/4/2018
Project Number: 096502001
Drawn By: STC

Sheet Number:
04 OF 10

Address:
**LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO**

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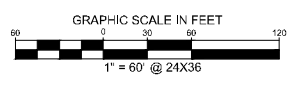
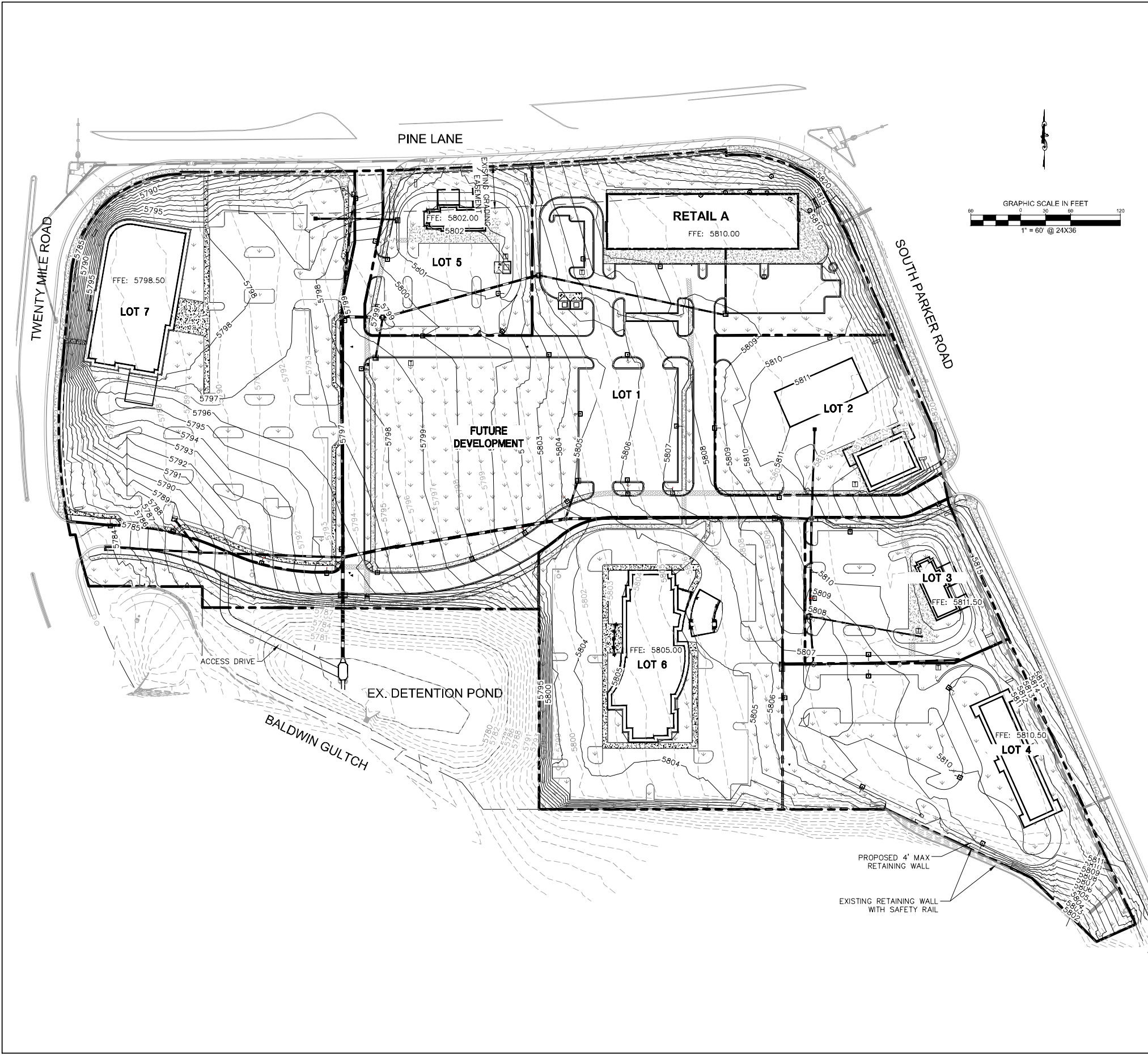
**PRELIMINARY
SITE PLAN**

Revisions:

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Sheet Title:
**PRELIMINARY
GRADING PLAN**

Date: 05/4/2018
Project Number: 096502001
Drawn By: STC



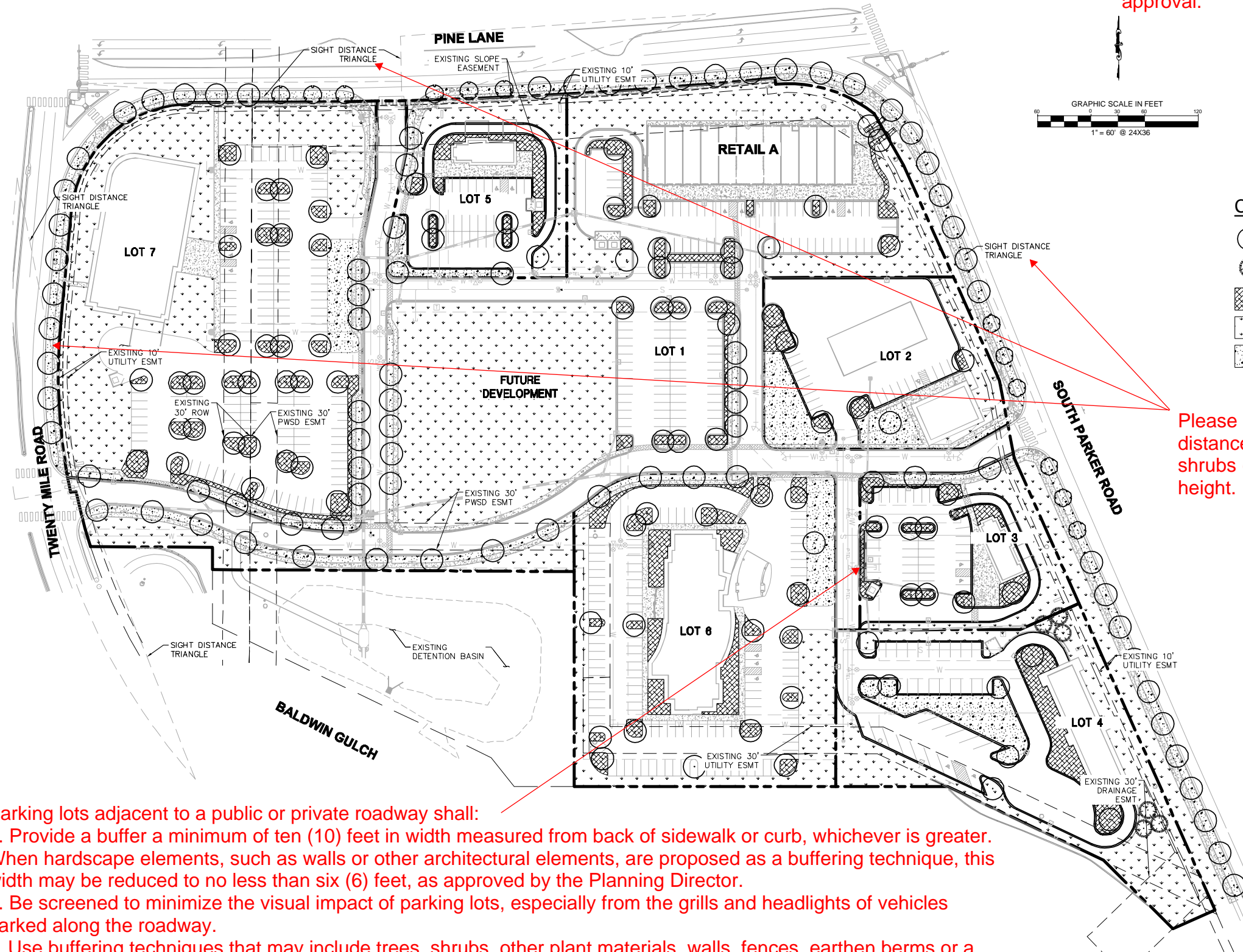
LEGEND

| | |
|--|------------------------|
| | EXISTING PROPERTY LINE |
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | EXISTING STORM SEWER |
| | PROPOSED STORM SEWER |
| | PROPOSED STORM INLET |

BENCHMARK
A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

Please amend the plans to depict and identify landscape screening, buffers, berms for the two (2) drive through facilities and car wash.

Please add the following note(s), "Design shown is conceptual. Final design will be determined at time of final site plan approval."



CONCEPT PLANT SCHEDULE

| | | |
|--|----------------|------------|
| | CANOPY TREE | 182 |
| | EVERGREEN TREE | 6 |
| | SHRUBS | 42,608 SF |
| | NATIVE SEED | 206,756 SF |
| | TURF GRASS | 56,717 SF |

Please remove trees within site distance triangles and replace with shrubs (beds) not exceed 2' in height.

Parking lots adjacent to a public or private roadway shall:

- Provide a buffer a minimum of ten (10) feet in width measured from back of sidewalk or curb, whichever is greater. When hardscape elements, such as walls or other architectural elements, are proposed as a buffering technique, this width may be reduced to no less than six (6) feet, as approved by the Planning Director.
- Be screened to minimize the visual impact of parking lots, especially from the grills and headlights of vehicles parked along the roadway.
- Use buffering techniques that may include trees, shrubs, other plant materials, walls, fences, earthen berms or a combination of these elements. When hardscape elements such as fences and screening walls are proposed, architectural elements, materials, colors and designs shall conform to or complement the predominant materials, colors and elements of the building.

Please amend.



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Sheet Title:

PRELIMINARY
LANDSCAPE PLAN

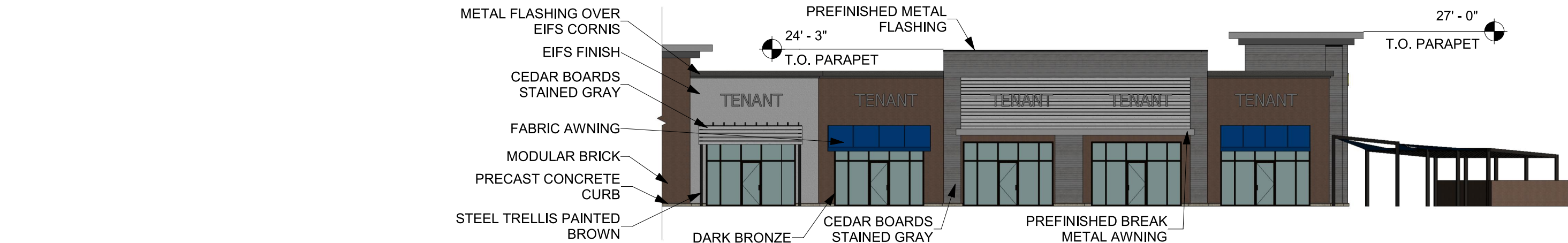
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Project Number: 096502001

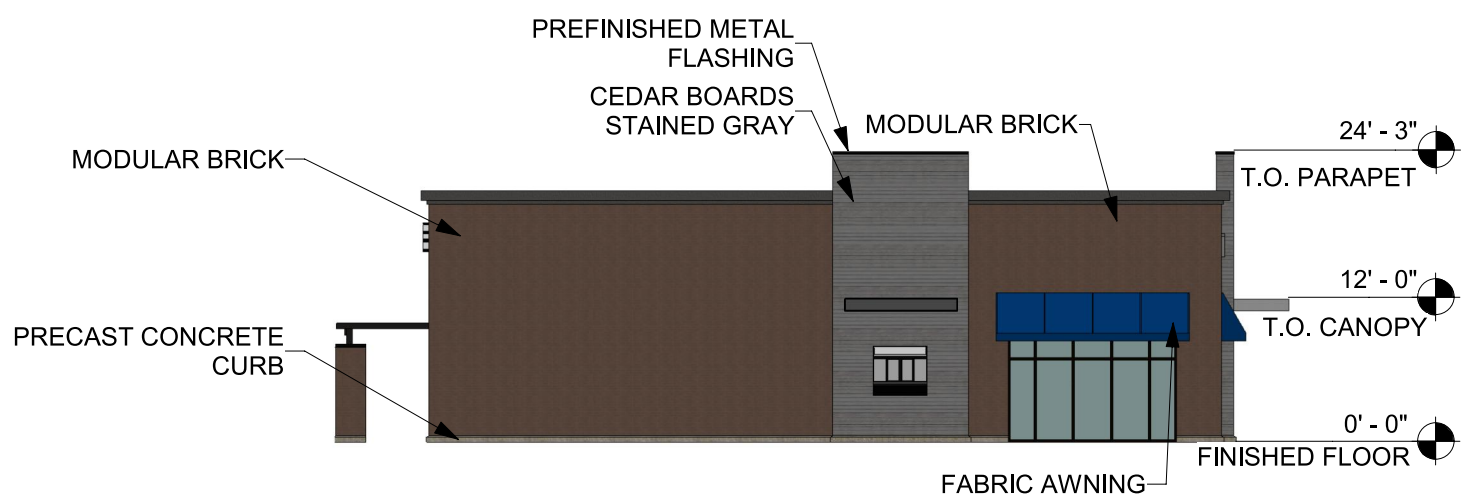
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Sheet Number:

06 OF 10



1 SOUTH ELEVATIONS RETAIL A
1/16" = 1'-0"



2 WEST ELEVATION RETAIL A
1/16" = 1'-0"

Please add the following note(s) to the plans, "Design shown is preliminary. Final Architecture shall be approved at the time of final site plan approval."



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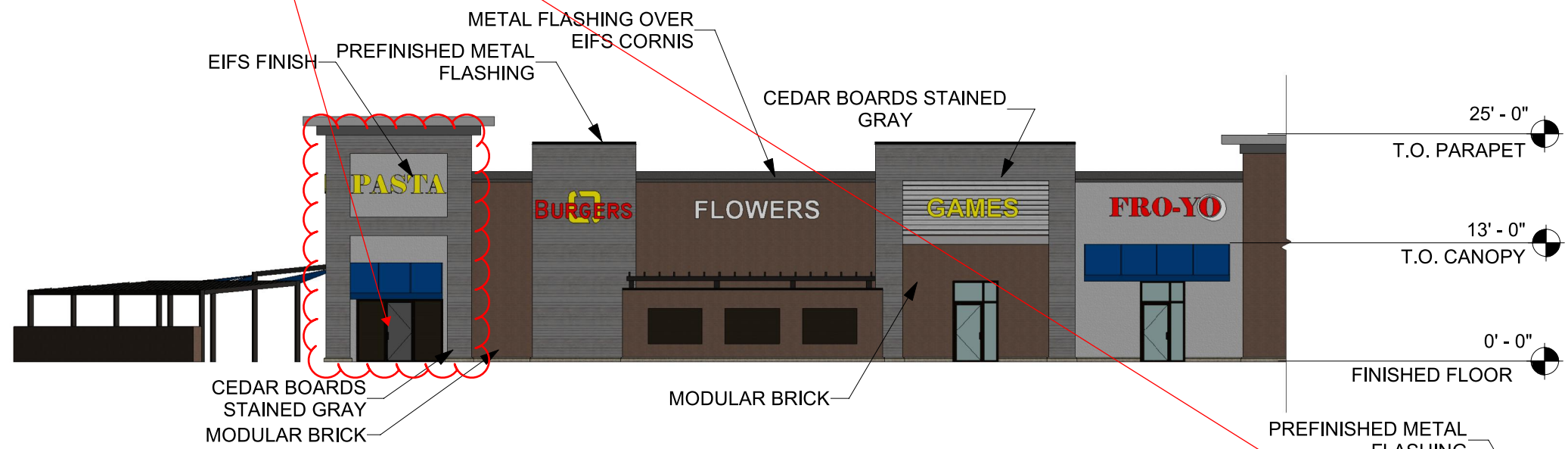
PARKER AND PINE RETAIL A
SWC PARKER ROAD AND PINE LANE

ELEVATIONS 7 of 10

SCALE 1/16" = 1'-0" JOB #: 2017022 DATE: 05.16.2018

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Please improve these elevations by adding clear and transparent glass and more windows.



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PARKER AND PINE RETAIL A

SWC PARKER ROAD AND PINE LANE

ELEVATIONS 8 of 10

SCALE 1/16" = 1'-0" JOB #: 2017022 DATE: 05.16.2018

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Recesses and projections depicted on these conceptual are not represented on the building elevations or site plan building footprint. Please amend.



SOUTH WEST CORNER OR PARKER ROAD AND PINE LANE



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PARKER AND PINE RETAIL

SWC PARKER ROAD AND PINE LANE

RENDERING 9 of 10

SCALE NONE JOB #: 2017022 DATE: 05.16.2018

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PARKER ROAD LOOKING NORTH TOWARD PINE LANE



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PARKER AND PINE RETAIL
SWC PARKER ROAD AND PINE LANE

RENDERING 10 of 10

SCALE NONE JOB #: 2017022 DATE: 05.16.2018

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