

PARKER AND PINE RETAIL PINE LANE AND S. PARKER ROAD PRELIMINARY SITE PLAN

LOT 1 BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION

PARKER AUTO PLAZA FILING NO. 1 – LOT 1, BLOCK 3 COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW ¼ OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067F AND DATED SEPTEMBER 30, 2005 – SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE DATA TABLE

Parcel	LOT/TRACK GROSS AREA (AC)	LOT/TRACK GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 Max)	Anticipate d Use	Parking		Max. Building Height	Min. Building Setbacks		
						Required (1 per 300 GSF)	Provided		Front	Rear	Side
Lot 1	1.87	81,637	17,000	0.21	Retail	57	58	35'	25	25	25
Lot 2	1.09	47,544	3,400	0.07	Fuel	11	30	35'	25	25	25
Lot 3	0.87	37,998	2,085	0.05	Fast Food	7	36	35'	25	25	25
Lot 4	1.84	79,940	5,380	0.07	Car Wash	18	44	35'	25	25	25
Lot 5	0.87	38,082	2,042	0.05	Fast Food	7	26	35'	25	25	25
Lot 6	1.42	61,714	12,870	0.21	Daycare	43	117	35'	25	25	25
Lot 7	7.99	347,953									
TOTAL	15.95	694,868	42,777	0.06			143	311			



VICINITY MAP
1" = 2,000'

SHEET INDEX

01 OF 06	COVER SHEET
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06 OF 06	LANDSCAPE PLAN

CONTACTS:

DEVELOPER:
EVT PARKER COLORADO, LLC
C/O: EISENBERG COMPANY, INC.
2710 E. CAMELBACK ROAD, SUITE 210
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TEL: (602) 468-6100
CONTACT: RYAN AMATO

ENGINEER:
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CONTACT: DAN SKEEHAN

LANDSCAPE ARCHITECT:
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GAS SERVICE:
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EMAIL: RON.H.JOHNSON@XCELENERGY.COM

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TOWN OF PARKER
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TEL: (303) 805-3331
CONTACT: CAROLYN PARKINSON

ELECTRICAL SERVICE:
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SEDALIA, CO 80135
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CONTACT: AMANDA STEINER

ARCHITECT:
NAOS DESIGN GROUP, LLC
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TEL: 303-759-5777
CONTACT: JORDAN BONICELLI

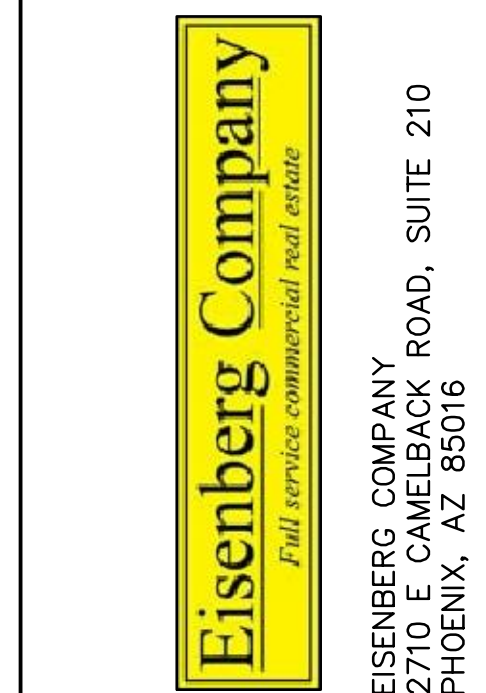
SURVEYOR:
ENGINEERING SERVICE COMPANY
1300 SOUTH POTOMAC ST. SUITE 126
AURORA, CO 80012
TEL: 303-337-1393
CONTACT: CHARLES BECKSTROM, PLS

TELEVISION:
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DENVER, CO 80204
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EMAIL: DEAN_FLENTHROPE@COMCAST.COM

WATER/SANITARY SEWER:
PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN ROAD
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TEL: 303-841-4627
CONTACT: DRAYTON SANDERSON

FIRE DEPARTMENT:
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

TOWN OF PARKER PLAN REVIEW:
20120 E. MAINSTREET
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA



Address:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO



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CONSTRUCTION
Kimley-Horn
Kimley-Horn and Associates, Inc.

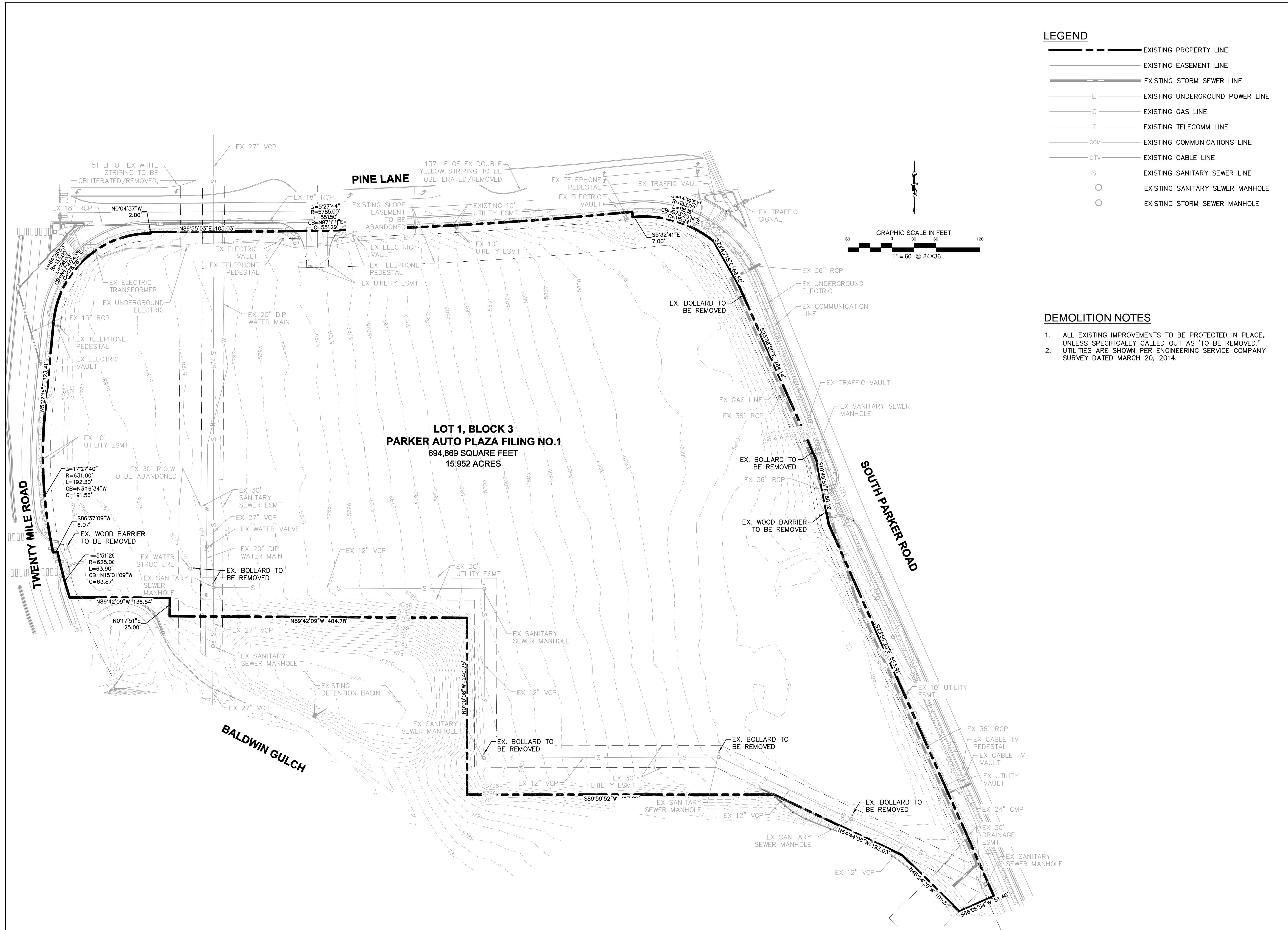
PRELIMINARY SITE PLAN

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION

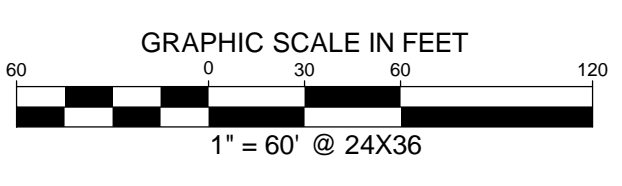
Sheet Title:
COVER SHEET
Date: 11/20/2019
Project Number: 096502001
Drawn By: STC

Sheet Number:
01 OF 06



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING STORM SEWER LINE
---	EXISTING UNDERGROUND POWER LINE
---	EXISTING GAS LINE
---	EXISTING TELECOMM LINE
---	EXISTING COMMUNICATIONS LINE
---	EXISTING CABLE LINE
---	EXISTING SANITARY SEWER LINE
○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING STORM SEWER MANHOLE



- DEMOLITION NOTES**
- ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 - UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.

**LOT 1, BLOCK 3
 PARKER AUTO PLAZA FILING NO.1
 694,869 SQUARE FEET
 15.952 ACRES**

Eisenberg Company
Full service commercial real estate

EISENBERG COMPANY
 2710 E CAMELBACK ROAD, SUITE 210
 PHOENIX, AZ 85016

Address:
**LOT 1 BLOCK 3, PARKER
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 STATE OF COLORADO**

Architect Information:

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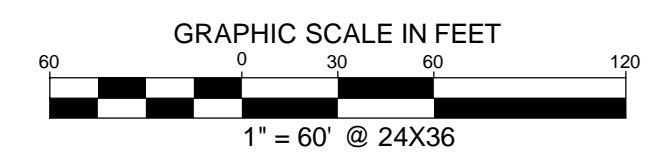
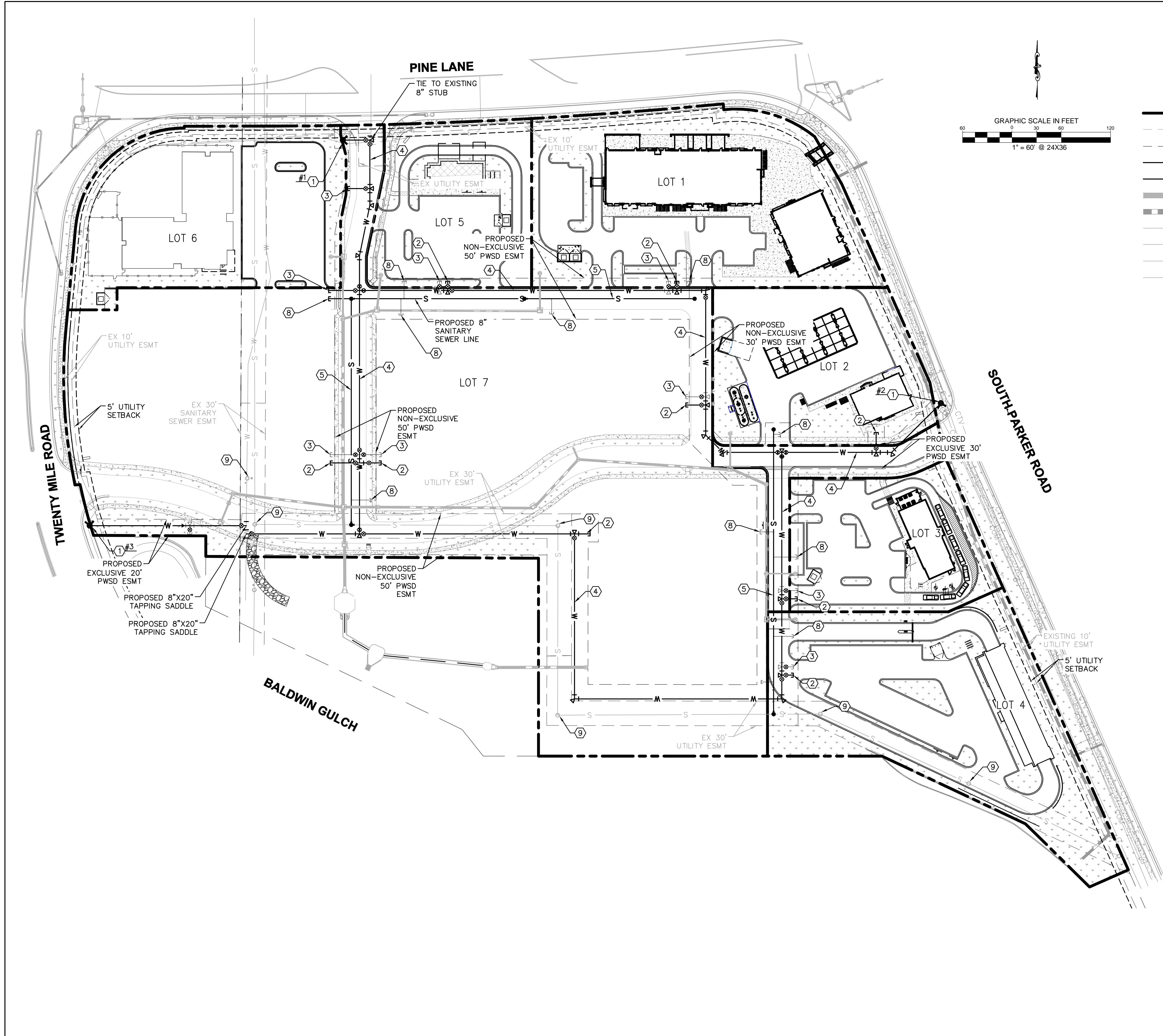
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**PRELIMINARY
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Sheet Title: **EXISTING
 CONDITIONS &
 DEMOLITION PLAN**
 Date: 11/20/2019
 Project Number: 096502001
 Drawn By: STC



UTILITY LEGEND

- — — — — EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT
- - - - - PROPOSED EASEMENT
- S — — — — PROPOSED SANITARY SEWER LINE
- W — — — — PROPOSED WATER LINE
- — — — — PROPOSED STORM DRAINAGE LINE
- — — — — EXISTING STORM DRAINAGE LINE
- G — — — — EXISTING GAS LINE
- W — — — — EXISTING WATER LINE
- S — — — — EXISTING SANITARY SEWER LINE
- E — — — — EXISTING ELECTRIC LINE
- ⊕ PROPOSED FIRE HYDRANT W/ BOLLARDS
- ⊠ PROPOSED METER
- ⊕ ⊖ PROPOSED WATER VALVE
- ⊕ ⊖ PROPOSED TEE / BEND
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS


SITE KEYNOTES

- ① PROPOSED FH W/ 6" GATE VALVE
- ② PROPOSED 8" STUB W/TEMP BLOW-OFF
- ③ PROPOSED 6" FIRE SERVICE W/TEMP BLOW-OFF
- ④ PROPOSED 8" WATER MAIN
- ⑤ PROPOSED 8" SEWER MAIN
- ⑥ NOT USED
- ⑦ PROPOSED 4" SEWER SERVICE
- ⑧ PROPOSED 6" SEWER SERVICE
- ⑨ ADJUST EXISTING STRUCTURE TO PROPOSED GRADE



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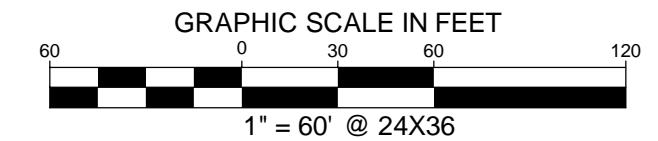
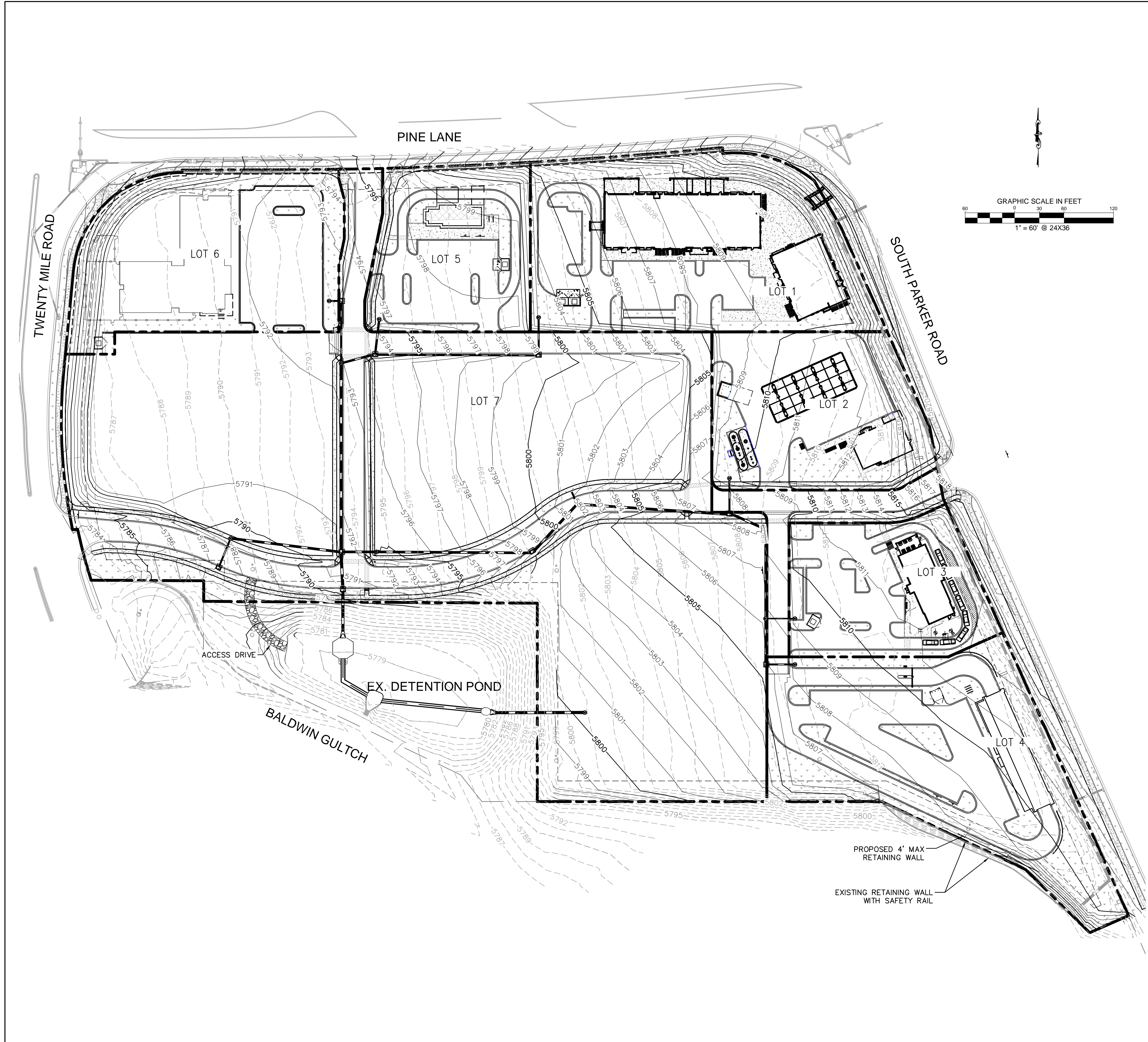
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**PRELIMINARY
UTILITY PLAN**

Date: 11/20/2019
Project Number: 096502001
Drawn By: STC

Sheet Number:
04 OF 06



LEGEND

	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET

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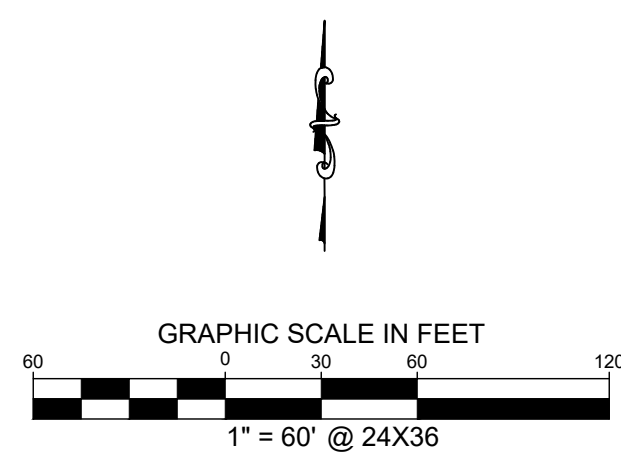
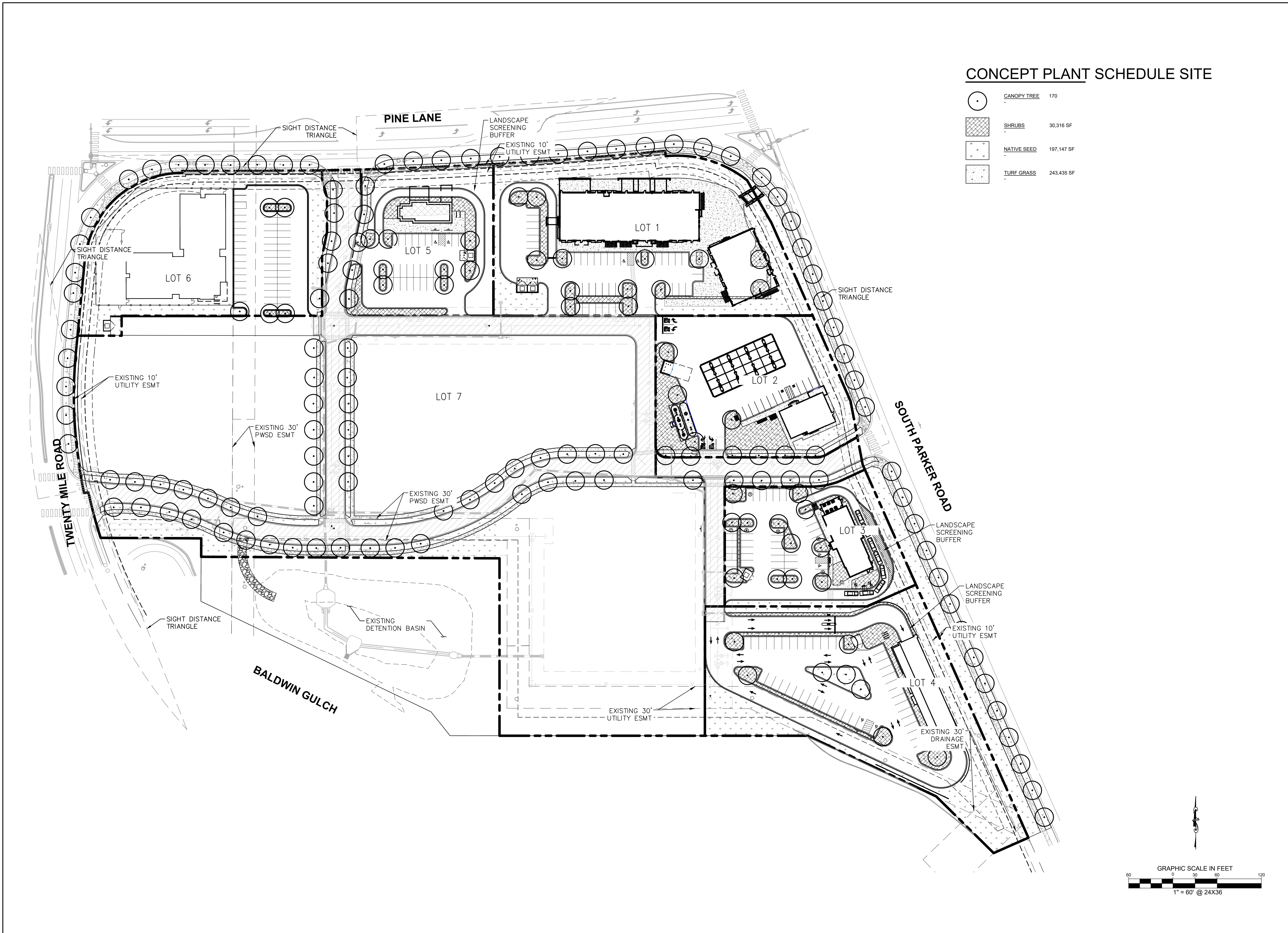
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**PRELIMINARY
LANDSCAPE PLAN**

Date: 11/20/2019
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