

PARKER AND PINE RETAIL
PINE LANE AND S. PARKER ROAD
PRELIMINARY SITE PLAN
LOT 1 BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION

PARKER AUTO PLAZA FILING NO. 1 – LOT 1, BLOCK 3 COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW ¼ OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067F AND DATED SEPTEMBER 30, 2005 – SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE DATA TABLE

PHASE 1											
Parcel	LOT/TRACK GROSS AREA (AC)	LOT/TRACK GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 Max)	Anticipate d Use	Parking		Max. Building Height	Min. Building Setbacks		
						Required (1 per 300 GSF)	Provided		Front	Rear	Side
Lot 1	1.87	81,637	17,000	0.21	Retail	57	58	35'	25	25	25
Lot 2	1.09	47,544	3,400	0.07	Fuel	11	30	35'	25	25	25
Lot 3	0.87	37,998	2,085	0.05	Fast Food	7	36	35'	25	25	25
Lot 4	1.84	79,940	5,380	0.07	Car Wash	18	44	35'	25	25	25
Lot 5	0.87	38,082	2,042	0.05	Fast Food	7	26	35'	25	25	25
Lot 6	1.42	61,714	12,870	0.21	Daycare	43	117	35'	25	25	25
Lot 7	7.99	347,953							25	25	25
TOTAL	15.95	694,868	42,777	0.06		143	311				



VICINITY MAP
1"=2,000'

SHEET INDEX

01 OF 06	COVER SHEET
02 OF 06	EXISTING CONDITIONS
03 OF 06	SITE PLAN
04 OF 06	UTILITY PLAN
05 OF 06	GRADING PLAN
06 OF 06	LANDSCAPE PLAN

CONTACTS:

DEVELOPER:
EVT PARKER COLORADO, LLC
C/O: EISENBERG COMPANY, INC.
2710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016
TEL: (602) 468-6100
CONTACT: RYAN AMATO

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2318
CONTACT: DAN SKEEHAN

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2319
CONTACT: CHRIS HEPLER

TELEPHONE
CENTURYLINK
1801 CALIFORNIA STREET, SUITE 240
DENVER, CO 80202
CONTACT: IZZY MILLER
EMAIL: IZZY.MILLER@CENTURYLINK.COM

GAS SERVICE
XCEL ENERGY
1800 LARIMER STREET
DENVER, CO 80202
CONTACT: RON JOHNSON
EMAIL: RON.H.JOHNSON@XCELENERGY.COM

TOWN OF PARKER
TOWN OF PARKER
20120 EAST MAINSTREET
PARKER, CO 80138-7334
TEL: (303) 805-3331
CONTACT: CAROLYN PARKINSON

ELECTRICAL SERVICE
IREA
5496 US HWY 85
SEDALIA, CO 80135
TEL: (303) 688-7431
CONTACT: AMANDA STEINER

ARCHITECT:
NAOS DESIGN GROUP, LLC
4949 SOUTH SYRACUSE ST. SUITE 460
DENVER, CO 80237
TEL: 303-337-5777
CONTACT: JORDAN BONICELLI

SURVEYOR
ENGINEERING SERVICE COMPANY
1300 SOUTH POTOMAC ST. SUITE 126
AURORA, CO 80012
TEL: 303-337-1393
CONTACT: CHARLES BECKSTROM, PLS

TELEVISION
COMCAST
1601 MILE HIGH STADIUM CIRCLE
DENVER, CO 80204
CONTACT: DEAN FLENTHROPE
EMAIL: DEAN_FLENTHROPE@COMCAST.COM

WATER/SANITARY SEWER
PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN ROAD
PARKER, CO 80134
TEL: 303-841-4627
CONTACT: DRAYTON SANDERSON

FIRE DEPARTMENT
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

TOWN OF PARKER PLAN REVIEW
20120 E. MAINSTREET
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA



EISENBERG COMPANY
2710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:



Kimley»Horn

4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300



PRELIMINARY
SITE PLAN

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION

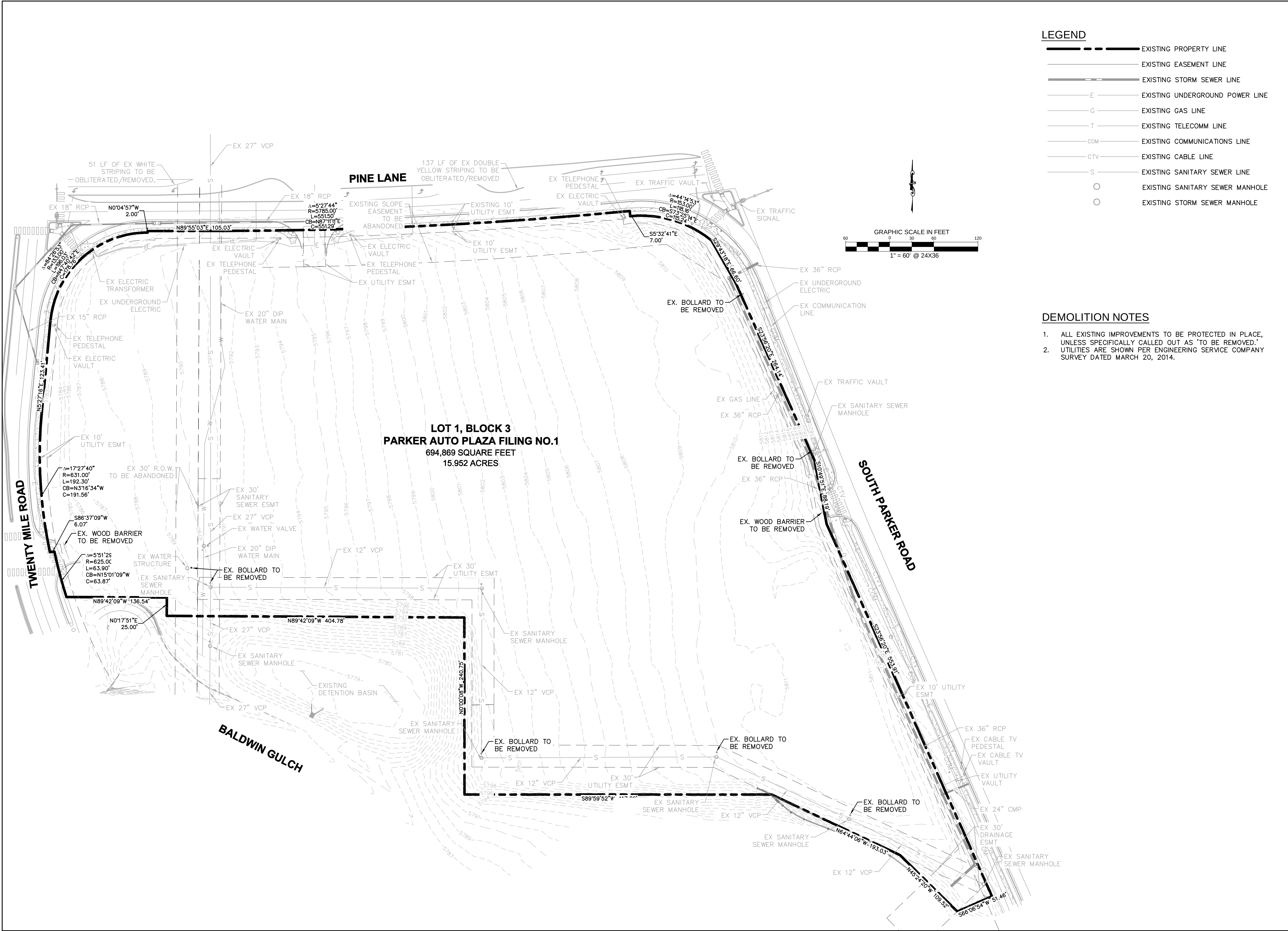
Sheet Title:

COVER SHEET

Date: 11/20/2019
Project Number: 096502001
Drawn By: STC

Sheet Number:

01 OF 06



LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING STORM SEWER LINE
- E EXISTING UNDERGROUND POWER LINE
- G EXISTING GAS LINE
- T EXISTING TELECOMM LINE
- COM EXISTING COMMUNICATIONS LINE
- CTV EXISTING CABLE LINE
- S EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE

DEMOLITION NOTES

- ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
- UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.



EISENBERG COMPANY
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:



Naos Design Group, LLC
4949 SOUTH SYRACUSE ST. SUITE 499
DENVER, COLORADO 80237
(303) 759-5777
www.naosdg.com

Kimley»Horn

4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

PRELIMINARY

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

Kimley»Horn

Kimley-Horn and Associates, Inc.

PRELIMINARY
SITE PLAN

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION

Sheet Title:

EXISTING
CONDITIONS &
DEMOLITION PLAN

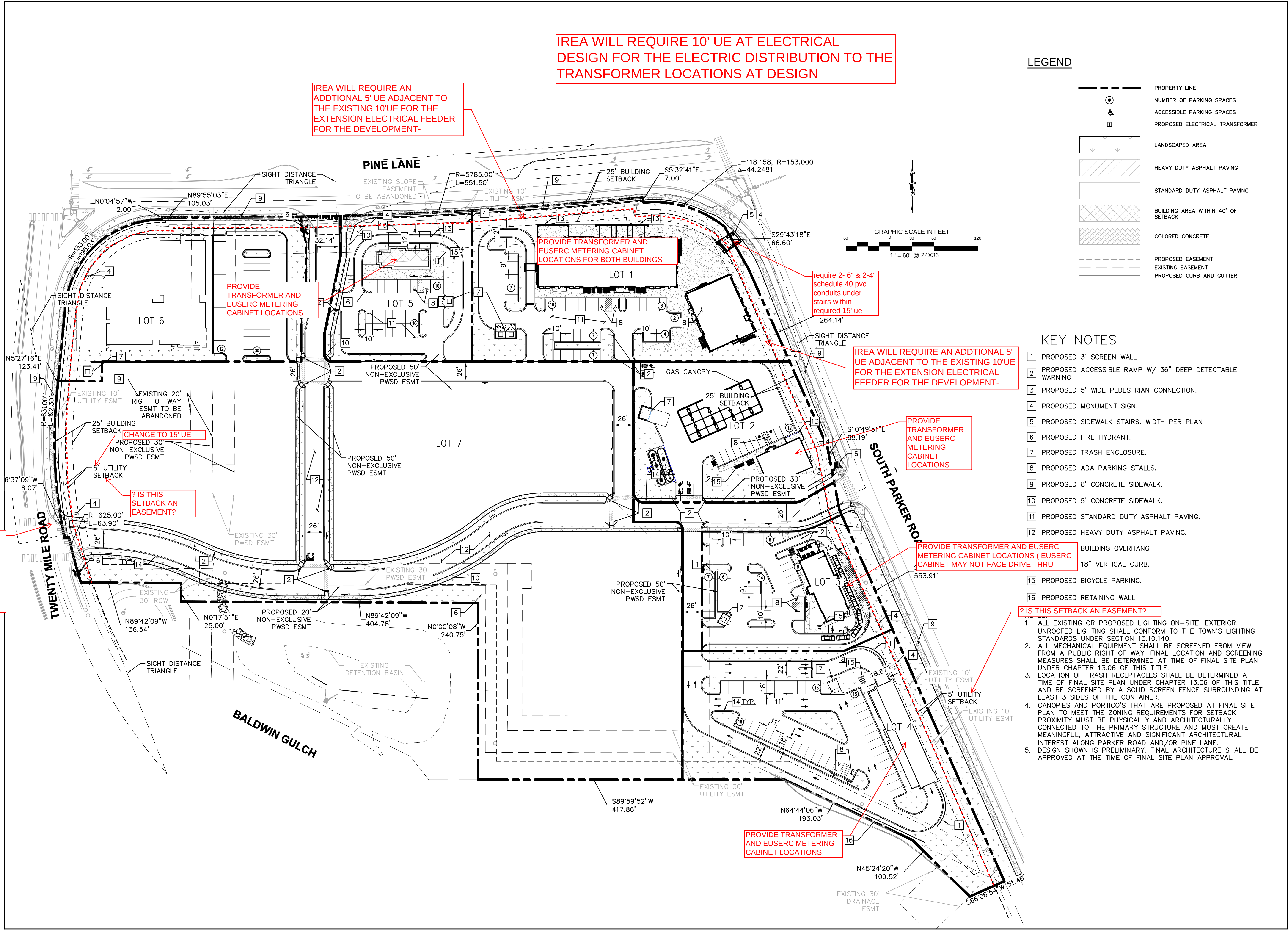
Date: 11/20/2019

Project Number: 096502001

Drawn By: STC

Sheet Number:

02 OF 06



LEGEND

- PROPERTY LINE
- NUMBER OF PARKING SPACES
- ACCESSIBLE PARKING SPACES
- PROPOSED ELECTRICAL TRANSFORMER
- LANDSCAPED AREA
- HEAVY DUTY ASPHALT PAVING
- STANDARD DUTY ASPHALT PAVING
- BUILDING AREA WITHIN 40' OF SETBACK
- COLORLED CONCRETE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED CURB AND GUTTER

KEY NOTES

- PROPOSED 3' SCREEN WALL
 - PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
 - PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
 - PROPOSED MONUMENT SIGN.
 - PROPOSED SIDEWALK STAIRS. WIDTH PER PLAN
 - PROPOSED FIRE HYDRANT.
 - PROPOSED TRASH ENCLOSURE.
 - PROPOSED ADA PARKING STALLS.
 - PROPOSED 8' CONCRETE SIDEWALK.
 - PROPOSED 5' CONCRETE SIDEWALK.
 - PROPOSED STANDARD DUTY ASPHALT PAVING.
 - PROPOSED HEAVY DUTY ASPHALT PAVING.
 - BUILDING OVERHANG
 - 18" VERTICAL CURB.
 - PROPOSED BICYCLE PARKING.
 - PROPOSED RETAINING WALL
1. ALL EXISTING OR PROPOSED LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS UNDER SECTION 13.10.140.
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY. FINAL LOCATION AND SCREENING MEASURES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN UNDER CHAPTER 13.06 OF THIS TITLE.
3. LOCATION OF TRASH RECEPTACLES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN UNDER CHAPTER 13.06 OF THIS TITLE AND BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.
4. CANOPIES AND PORTICO'S THAT ARE PROPOSED AT FINAL SITE PLAN TO MEET THE ZONING REQUIREMENTS FOR SETBACK PROXIMITY MUST BE PHYSICALLY AND ARCHITECTURALLY CONNECTED TO THE PRIMARY STRUCTURE AND MUST CREATE MEANINGFUL, ATTRACTIVE AND SIGNIFICANT ARCHITECTURAL INTEREST ALONG PARKER ROAD AND/OR PINE LANE.
5. DESIGN SHOWN IS PRELIMINARY. FINAL ARCHITECTURE SHALL BE APPROVED AT THE TIME OF FINAL SITE PLAN APPROVAL.

Eisenberg Company
full service commercial real estate

EISENBERG COMPANY
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:

naos

Naos Design Group, LLC
4949 SOUTH SYRACUSE ST. SUITE 460
DENVER, COLORADO 80237
(303) 759-5777
www.naosdg.com

Kimley»Horn

4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

PRELIMINARY

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

Kimley»Horn
Kimley-Horn and Associates, Inc.

PRELIMINARY
SITE PLAN

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION

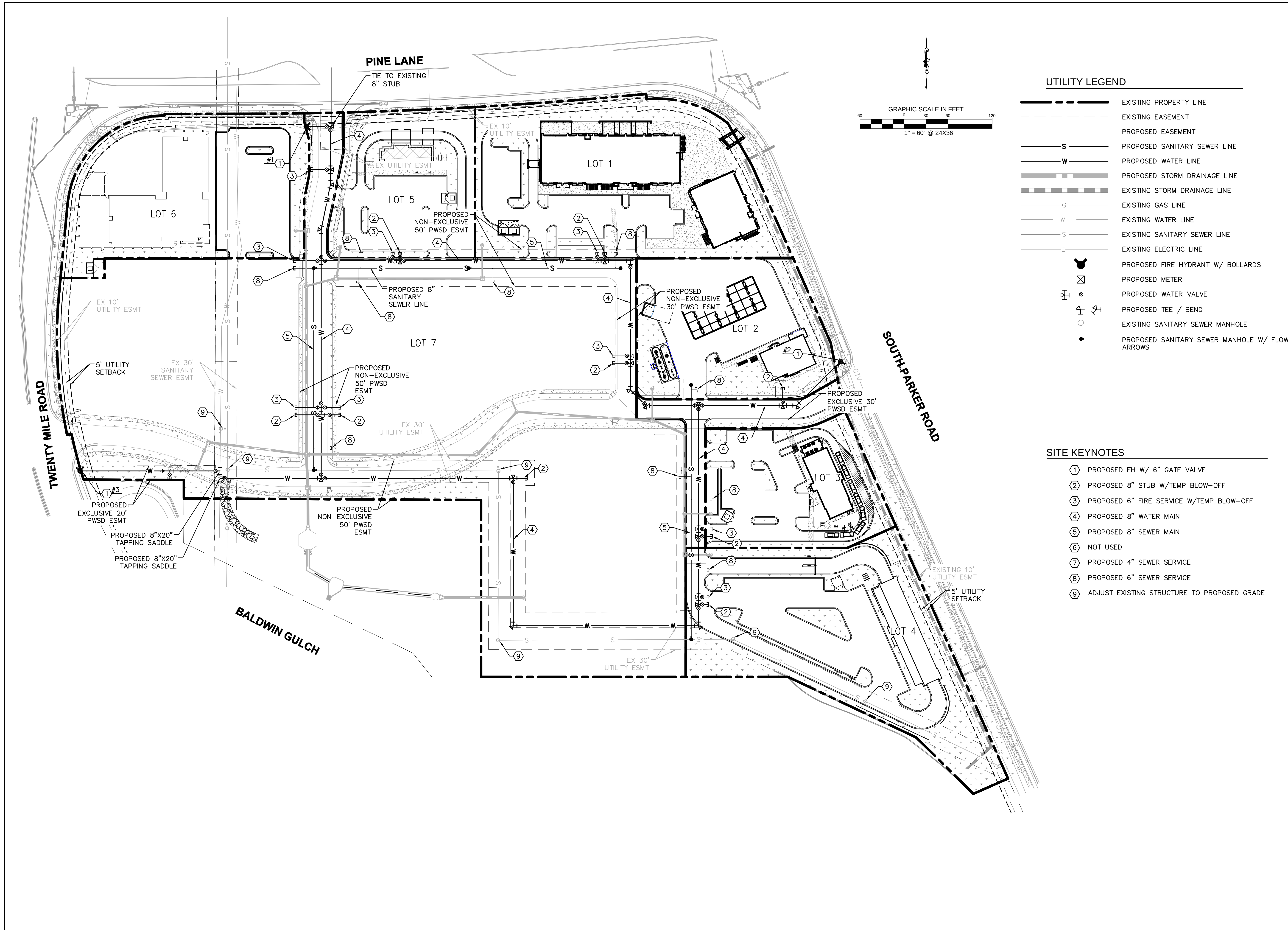
Sheet Title:

**PRELIMINARY SITE
PLAN**

Date: 11/20/2019

Project Number: 096502001

Drawn By: STC



Address:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:



Naos Design Group, LLC
4949 SOUTH SYRACUSE ST. SUITE 460
DENVER, COLORADO 80237
(303) 759-5777
www.naosdg.com

Kimley»Horn

4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

PRELIMINARY

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

Kimley»Horn
Kimley-Horn and Associates, Inc.

PRELIMINARY
SITE PLAN

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION

Sheet Title:

PRELIMINARY
UTILITY PLAN

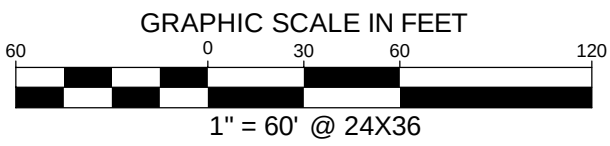
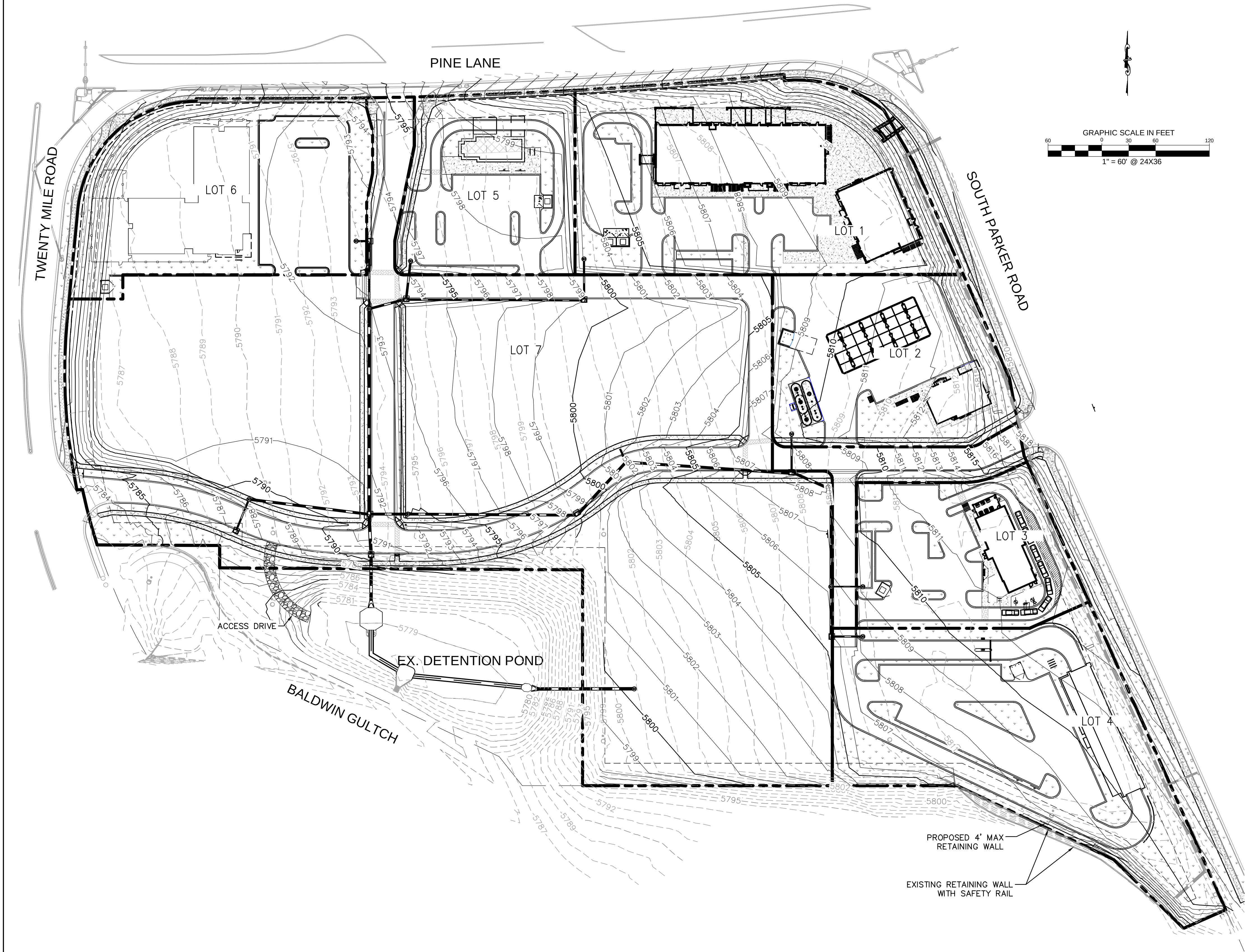
Date: 11/20/2019

Project Number: 096502001

Drawn By: STC

Sheet Number:

04 OF 06



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET

BENCHMARK
A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.



EISENBERG COMPANY
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:

LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO

Architect Information:

Naos Design Group, LLC
4949 SOUTH SYRACUSE ST. SUITE 460
DENVER, COLORADO 80237
(970) 383-7569/5777
www.naosdg.com

Kimley»Horn
4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

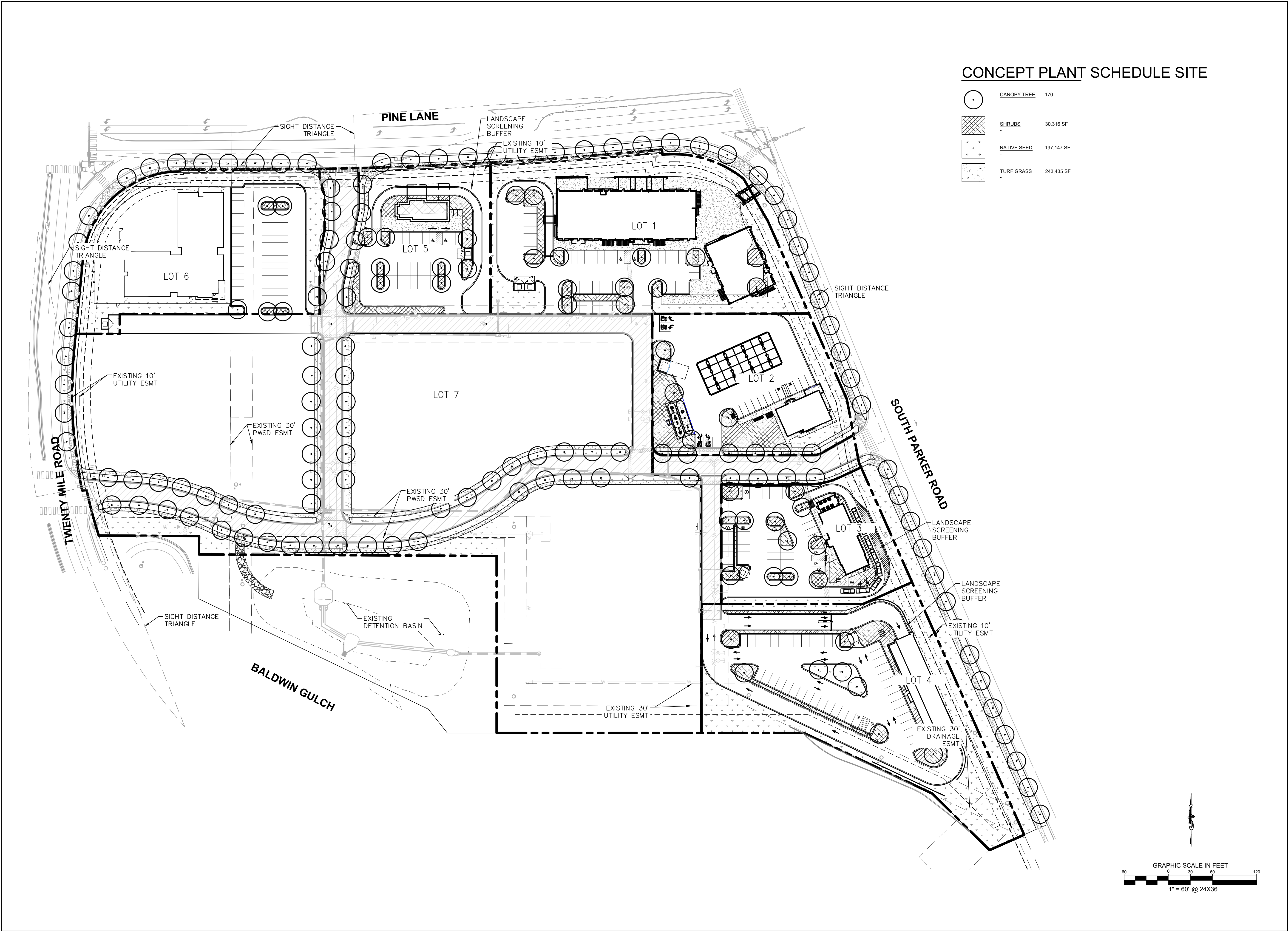
PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:		
#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION

Sheet Title:
**PRELIMINARY
GRADING PLAN**

Date: 11/20/2019
Project Number: 096502001
Drawn By: STC



Eisenberg Company

Full service commercial real estate

EISENBERG COMPANY
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016

Address:

**LOT 1 BLOCK 3, PARKER
AUTO PLAZA FILING NO. 1
COUNTY OF DOUGLASS,
STATE OF COLORADO**

Architect Information:

Naos Design Group, LLC
4949 SOUTH SYRACUSE ST. SUITE 460
DENVER, COLORADO 80237
(303) 759-5777
www.naosdg.com

Kimley»Horn

4582 SOUTH ULSTER STREET
SUITE 1500
DENVER, CO 80237
PH: 303-228-2300

PRELIMINARY

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

Kimley»Horn
Kimley-Horn and Associates, Inc.

**PRELIMINARY
SITE PLAN**

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION

Sheet Title:

**PRELIMINARY
LANDSCAPE PLAN**

Date: 11/20/2019

Project Number: 096502001

Drawn By: STC

Sheet Number:

06 OF 06