



# Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

## MEMORANDUM

**TO:** Jeanne Shaffer, Groundwork Entitlement Services, LLC

**FROM:** BrieAnna Simon, Associate Planner

**DATE:** March 13, 2019

**SUBJECT:** SP19-061, Site Plan, Horseshoe Ridge Block 1 Lot 1 – Learning Center Review Comments v3

Listed below are the Planning Division’s comments related to your application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** BrieAnna Simon  
**EMAIL:** [bsimon@parkeronline.org](mailto:bsimon@parkeronline.org)  
**PHONE:** 303.805.3338

### GENERAL PROJECT COMMENTS:

- The Planning Division has referenced certain sections of the Town Master Plan (TMP). A copy of this document is available at:  
[Commercial Design Standards](#)  
[Land Development Ordinance](#)
- The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.

### General Comments

- Please note, that any additional referrals past the fourth referral period will result in a 50 percent fee of the application fee. This is per the Resolution 18-004, which can be found attached.**

Comment Addressed:  Yes  No  
 Response:

Noted
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**Site Plan and Color Elevations**

**2. Please reference the redlines for additional comments/clarification.**

Comment Addressed:  Yes  No  
Response:

Redlines have been addressed, see responses below.

**OUTSIDE REFERRAL AGENCY COMMENTS**

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Fire Life Safety
- Parker Water and Sanitation

*Please keep an eye out in eTRAKiT for the comment to the following reviews:*

- Town of Parker – Civil (Construction Plans)
- Town of Parker – Civil (Drainage Report)
- Town of Parker – Civil (Site Plan)
- Town of Parker – Civil (Traffic Impact Study)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Stormwater (Drainage Report)
- Town of Parker – Stormwater (Site Plan)
- Town of Parker – Environmental (Construction Plans)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:  Yes  No  
Response:

Please see the attached referral comment responses, redline plan responses, and additional submittal documents for fire, engineering, and PWSD as separate response letters.

\_\_\_\_\_  
Property Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Project Representative

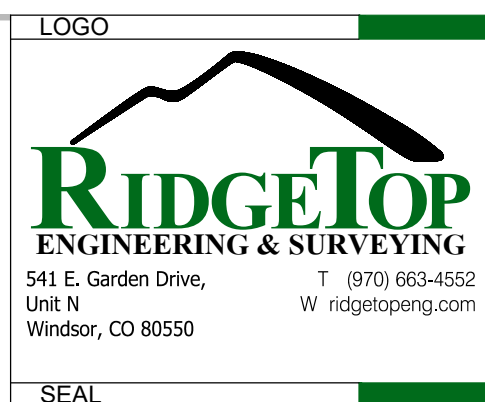
\_\_\_\_\_  
Date

# HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

## LOT 1, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

### A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

## SITE PLAN REVIEW



### LEGEND

- CONCRETE PAVEMENT
- STANDARD DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK PAVEMENT
- LANDSCAPED AREA
- PROPERTY LINE
- CONCRETE CURB & GUTTER
- EASEMENT
- BUILDING SETBACK

### SITE DATA

BUILDING:	10,144 SF (0.233 AC)
LANDSCAPE:	11,430 SF (0.263 AC)
PLAYGROUND:	4,161 SF (0.096 AC)
SIDEWALK:	5,239 SF (0.120 AC)
PAVED:	17,399 SF (0.399 AC)
TOTAL:	48,373 SF (1.111 AC)

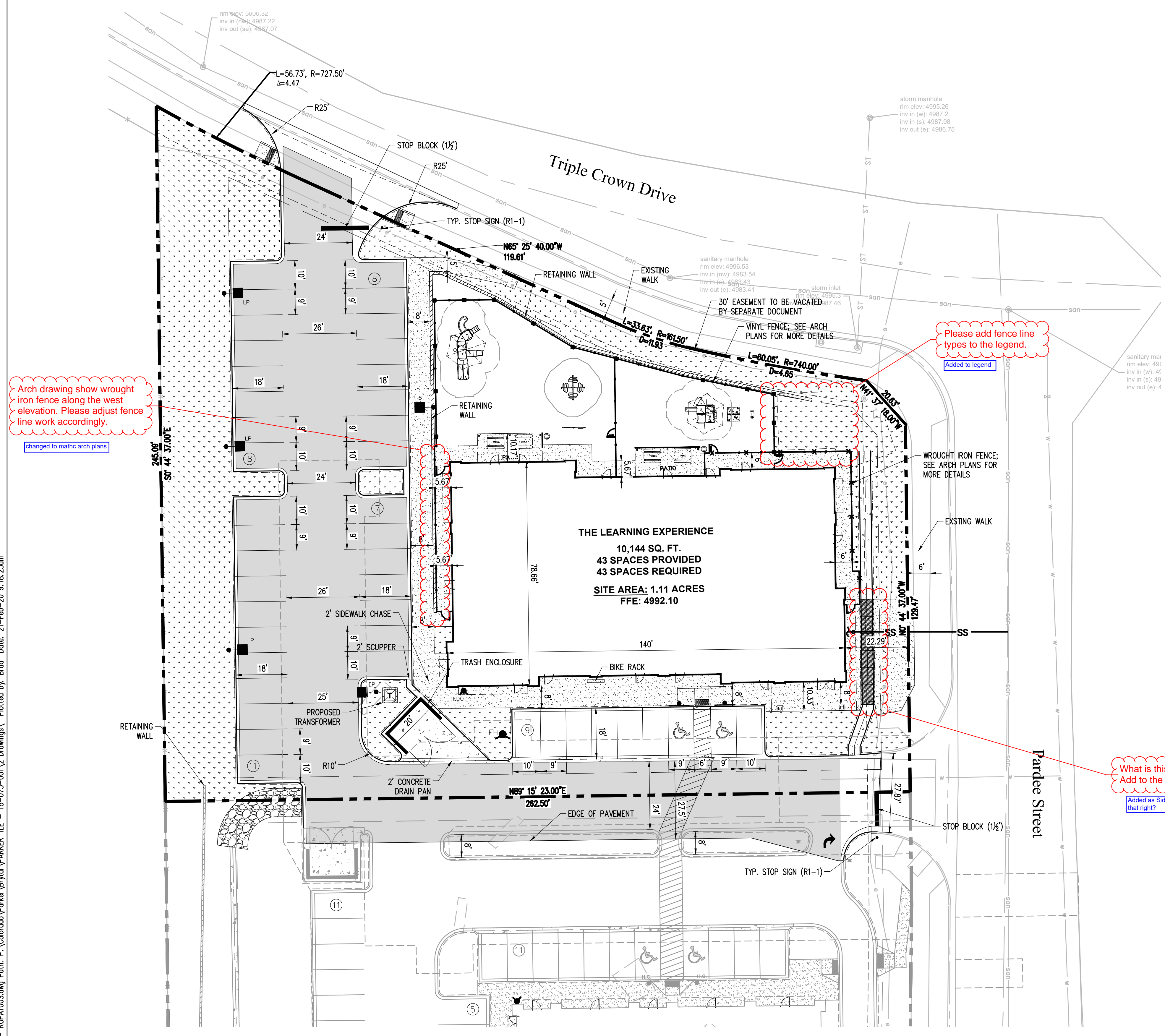
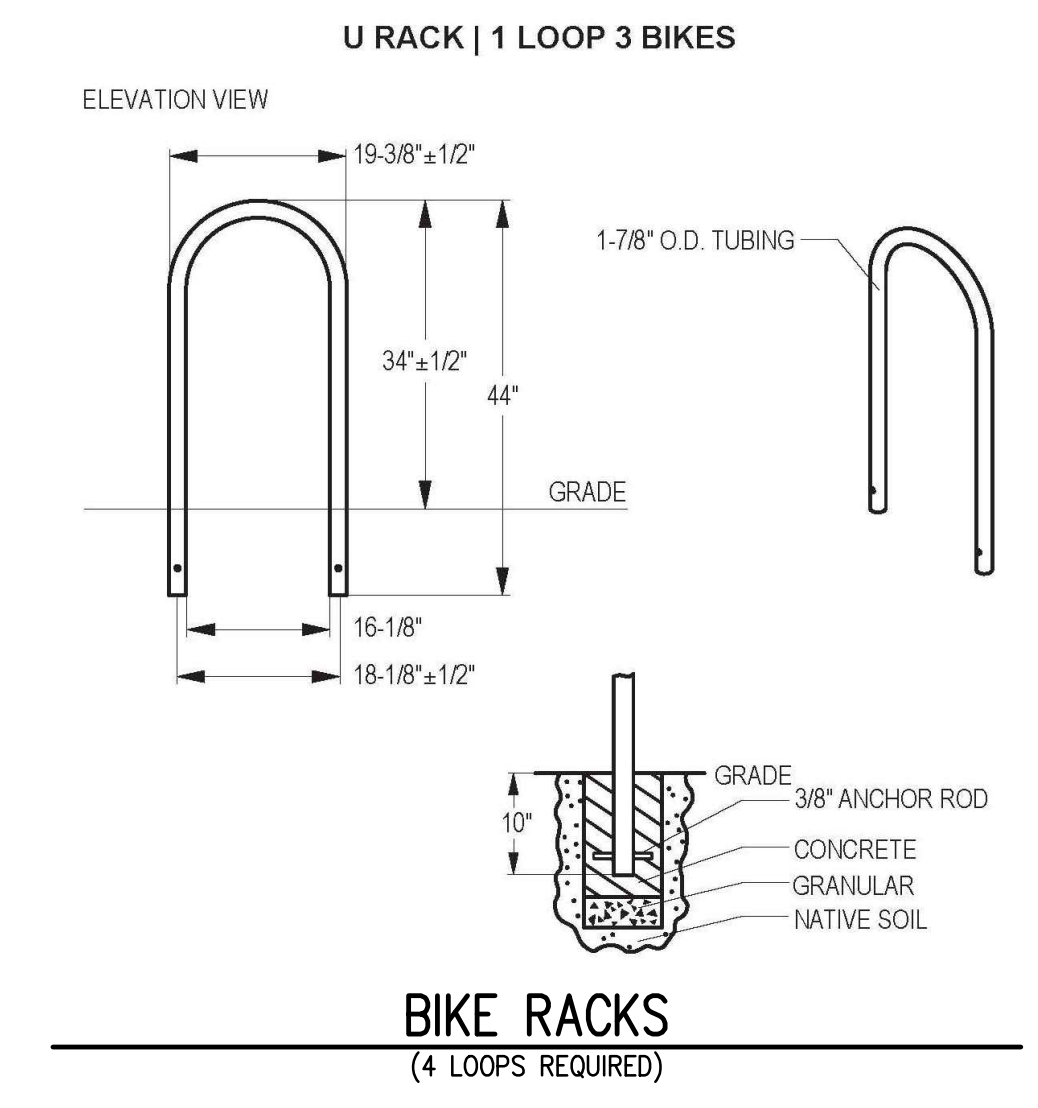
USE:	DAY CARE FACILITY
BUILDINGS:	10,144 SF
ZONE:	PLANNED DEVELOPMENT

REQUIRED PARKING (1 PER 4 CHILDREN OF LICENSED CAPACITY)	170/4 = 42.5 OR 43 PARKING STALLS
STANDARD PARKING PROVIDED	41
HC STALLS	2
TOTAL PARKING PROVIDED	43

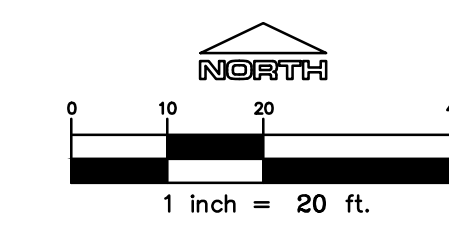
  

REQUIRED BICYCLE PARKING:	3 PER CLASSROOM (ELEMENTARY, JUNIOR, AND MIDDLE SCHOOLS)
BICYCLE PARKING:	12
STANDARD STALL DIMENSIONS:	9' X 19'
STALLS NEXT TO LANDSCAPE:	10' X 19'
DRIVE AISLE WIDTH:	24'



What is this symbol?  
Add to the legend.

Added as Sidewalk chase, is that right?



The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering \_\_\_\_\_ Date \_\_\_\_\_

PROJECT TITLE  
**THE LEARNING EXPERIENCE**

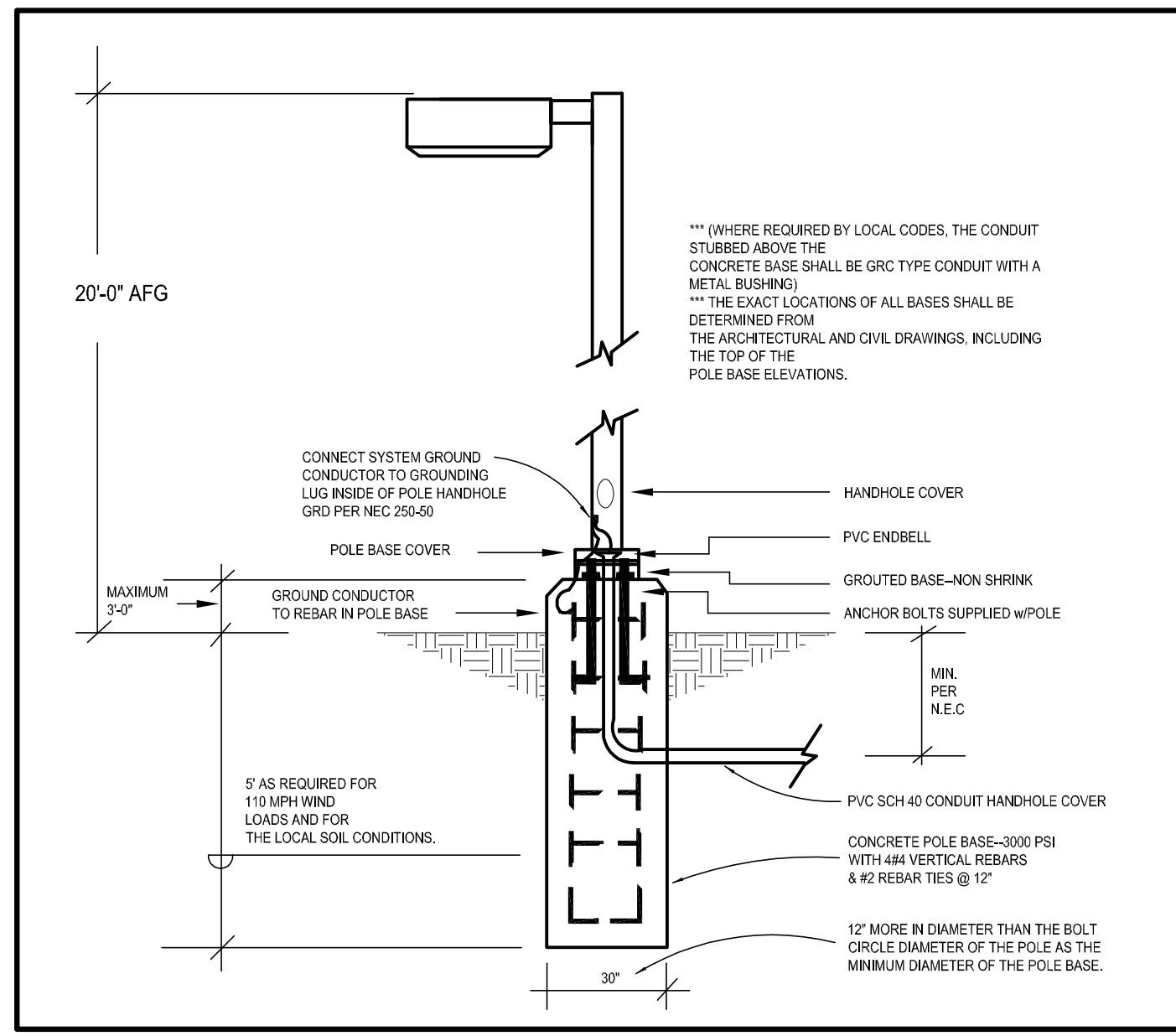
LOT 1, BLOCK 1  
HORSESHOE RIDGE  
PARKER, CO 80134

PREPARED FOR  
**BRYTAR COMPANIES**

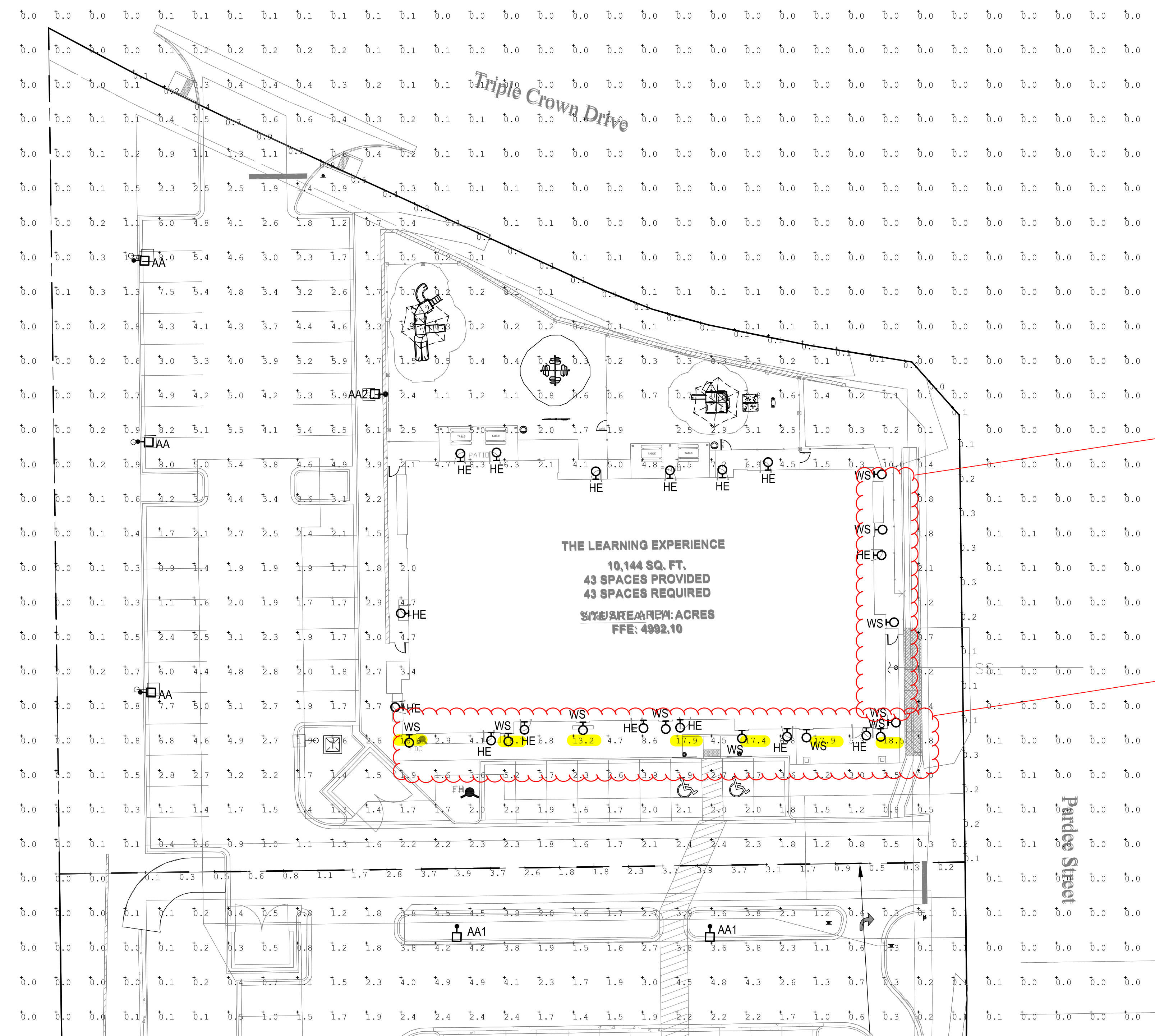
8117 PRESTON RD. #300  
DALLAS, TX 75225

SUBMITTAL	
SITE PLAN REVIEW	
DRAWN BY:	BSA
CHECKED BY:	MRB
PROJECT NO.:	18-075-001
REVISIONS	
2ND SUBMITTAL	10/31/2019
DATE	5/28/2019
SHEET TITLE	
SITE PLAN	
SHEET INFORMATION	
C-1.0	
2	of 2

File: TLE - SPR - ROPAT005.dwg Path: P:\Colorado\Brytar\Brytar\Drawings\ Plotted by: Brad Date: 21-Feb-20 9:18:23am



**2 TYPE "AA, AA1 & AA2" POLE BASE DETAIL**  
 scale: N.T.S.



**1 PHOTOMETRIC SITE PLAN**  
 scale: 1"=20'-0"  
 NORTH

SITE LUMINAIRE SCHEDULE									
FIXT. TYPE	NAME	MANUFACTURER CATALOG NUMBER	FINISH	LAMP DATA	LAMP WATTS	MOUNTING METHOD	MTG HEIGHT	DESCRIPTION	VOLTS
AA	LSI INDUSTRIES	XGBM-FT-SS-128-NW-UJE-BLK-SSQB5-S07G-20-S-B-LK-SF-DGP	BLK	LED	188	POLE	20'-0"	SITE LIGHTING SINGLE HEAD TYPE FT WITH HOUSE SIDE SHIELD	UNV
AA2	LSI INDUSTRIES	XGBM-3-SS-128-NW-UJE-BLK-SSQB5-S07G-20-S-BL-K-SF-DGP	BLK	LED	188	POLE	20'-0"	SITE LIGHTING SINGLE HEAD TYPE 3 WITH HOUSE SIDE SHIELD	UNV
HE	WILLIAMS	WVPHL30740 TFT-WHT-SDGL-EM/10WC-DIM-UNV	BLK	LED	72	SURFACE	9'-0"	WALL PACK	UNV
WS	CONTECH	CYL6230KM/VUDUXVCLR-BZ-RDB	BRZ	LED	14	SURFACE	6'-0"	WALL SCONCE	UNV

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	Illuminance	Fc	0.86	3.9	0.1	38.60	39.00
THE PARKING AREA	Illuminance	Fc	3.48	8.2	0.9	9.87	9.11

Per Section 13.10.140 for pedestrian safety and orientation, medium activity lots the maximum Uniformity Ratio (average to minimum) is 3:1. Please adjust accordingly.  
 Adjusted on amended plan

Per Section 13.10.140 for pedestrian safety and orientation, medium activity lots the maximum Uniformity Ratio (maximum to minimum) is 10:1. Please adjust accordingly.  
 Adjusted on amended plan

Provide the foot candles along the pedestrian walk way.  
 Provided on amended plan

Per Section 13.10.140 (e)(14) The maximum illuminance on any residential or nonresidential site (not including any site with a qualifying principal display area) is twelve point zero (12.0) foot-candles, maximum installed illuminance. Please adjust accordingly.  
 Adjusted on amended plan

**THE LEARNING EXPERIENCE**  
 ACADEMY OF EARLY EDUCATION  
 NEC OF HESS ROAD AND PARDEE STREET  
 PARKER, COLORADO

ISSUE			
NO.	DATE	DESCRIPTION	INT.
05.22.2019		PROGRESS REVIEW	
05.28.2019		SITE PLAN SUBMITTAL	
09.18.2019		PROGRESS REVIEW	
10.30.2019		2ND SITE PLAN SUBMITTAL	
02.18.2020		3RD SITE PLAN SUBMITTAL	

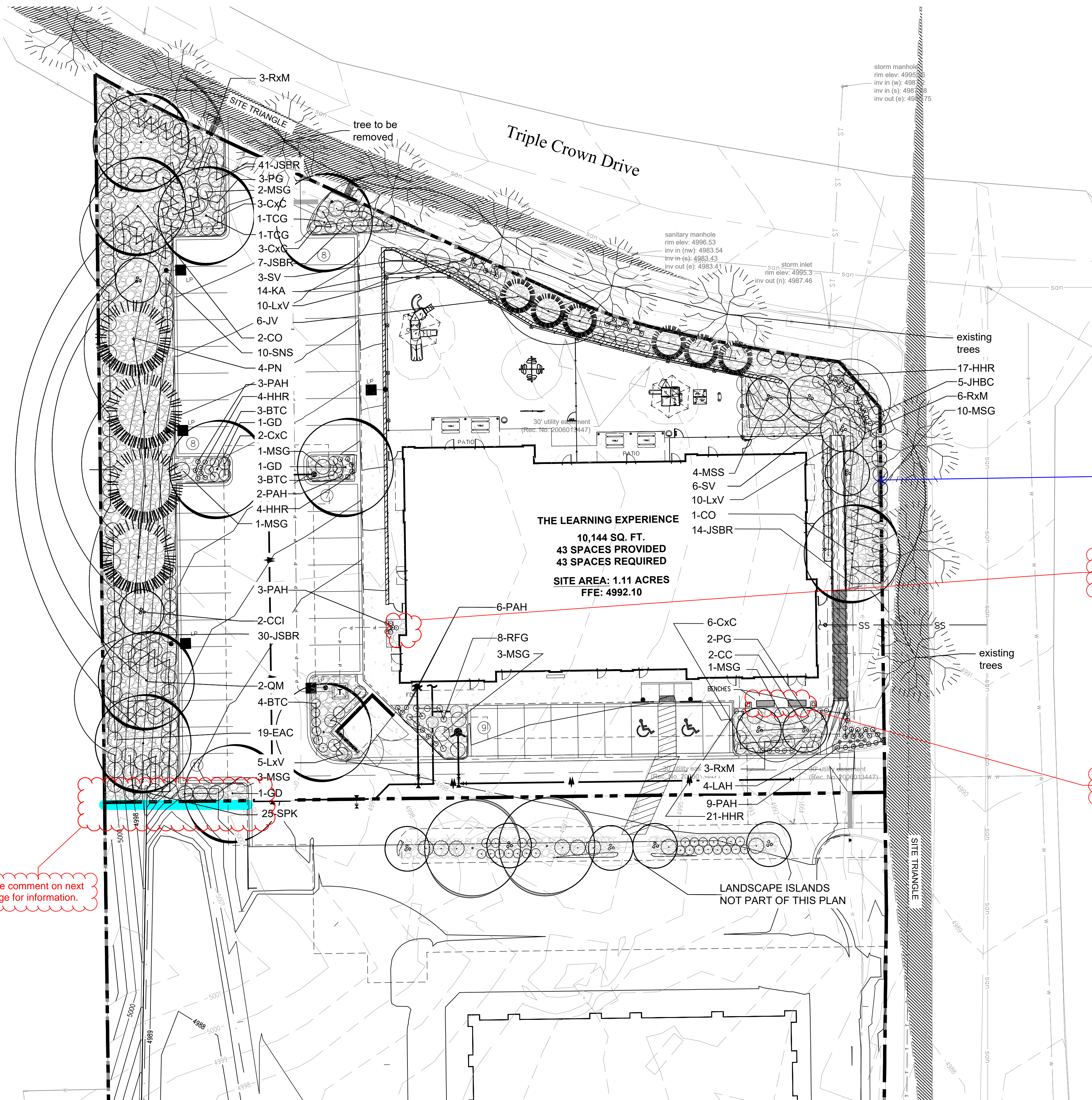
REVISION			
NO.	DATE	DESCRIPTION	INT.

PRELIMINARY  
 NOT FOR  
 BIDDING OR  
 CONSTRUCTION

Project Number: 2019.13  
 Scale: AS NOTED  
 Drawn By: ATE  
 Approved By: JCAA  
 Drawing Name: **PHOTOMETRIC PLAN**  
 Drawing Number: **ESP1.1**

# HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 1, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT  
 A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF  
 THE 6TH PRINCIPAL MERIDIAN  
**SITE PLAN REVIEW**



## PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	GROWTH HEIGHT	QTY
<b>DECIDUOUS TREES 58%</b>						
CO	Celtis occidentalis	Western Hackberry	2" cal	B+B	40'-60"	3
GD	Gymnocladus dioica	Kentucky Coffee Tree	2" cal	B+B	60'-75"	3
TCC	Tilia Cordata 'Greenspire'	Greenspire Linden	2" cal	B+B	40'-60"	2
AGL	Aesculus glabra	Ohio Buckeye	2" cal	B+B	15'-20"	0
QM	Quercus macrocarpa	Bur Oak	2" cal	B+B	60'-75"	2
<b>ORNAMENTAL TREES</b>						
CCI	Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	1.5" cal.	B+B	15'-20"	2
CC	Cercis canadensis	Eastern Redbud	1.5" cal.	B+B	20'-30"	3
MSS	Malus 'Spring Snow'	Spring Snow Crabapple	1.5" cal.	B+B	15'-20"	4
<b>EVERGREEN TREES 42%</b>						
PN	Pinus Nigra	Austrian Pine	6' ht	B+B	40'-60"	4
JV	Juniperus scopulorum	Rocky Mountain Juniper	6' ht	B+B	15'-20"	6
<b>EVERGREEN SHRUBS</b>						
JSBR	Juniperus sabinia 'Broadmoor'	Broadmoor Juniper	5 gal.	5' o.c.	1'-2'	90
			5 gal.	5' o.c.	3'-5'	5
			5 gal.	3' o.c.	1'-2'	5
			5 gal.	5' o.c.	2'-3'	10
			5 gal.	3' o.c.	6'-8'	19
			5 gal.	3' o.c.	3'-4'	10
			5 gal.	3' o.c.	3'-4'	14
SV	Syringa vulgaris	Albert Holden Lilac	5 gal.	5' o.c.	6'-8'	9
SPK	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 gal.	5' o.c.	6'-8'	25
CxC	Arctostaphylos x coloradoensis	Panchito Manzanita	5 gal.	4' o.c.	2'-3'	14
LxV	Ligustrum x vicaryi	Golden Vicary Privet	5 gal.	4' o.c.	6'-8'	25
<b>PERENNIALS AND ORNAMENTAL GRASSES</b>						
MSG	Miscanthus sinensis 'Gracillimus'	Gracillimus Grass	1 gal.	24" o.c.		21
PAH	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1 gal.	18" o.c.		25
HHR	Hererocalis 'Stella d' Oro'	Dwarf Daylily	1 gal.	24" o.c.		46
KA	Calamagrostis x acutiflora 'Karl Forester'	Karl Forester Grass	1 gal.	24" o.c.		14
RFG	Rudbeckis fulgida 'Goldstrum'	Black-Eyed Susan	1 gal.	18" o.c.		7
LAH	Lavandula angustifolia 'Hidcote'	Deep Blue Lavender	1 gal.	24" o.c.		18
						128

The Sight distance triangle is now correctly shown on the updated plans and the trees in the triangle have been removed and shrubs have been added to account for the tree requirement

A Conservation Plan for the ROW tree removal is included in the updated plan set

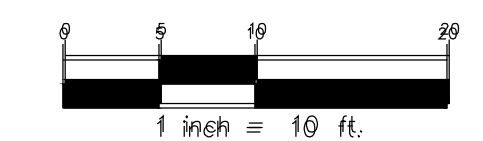
Where will the electrical cabinet be located on the site? Was shown in this location on the previous plans.

Show on site plan (page 2).

See comment on next page for information.

## PLANT LEGEND

- DECIDUOUS CANOPY TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- EVERGREEN SHRUBS
- DECIDUOUS SHRUBS
- PERENNIALS
- 3/4" - 2" RIVER ROCK MULCH
- EXISTING BLUEGRASS TURF
- EXISTING TREES

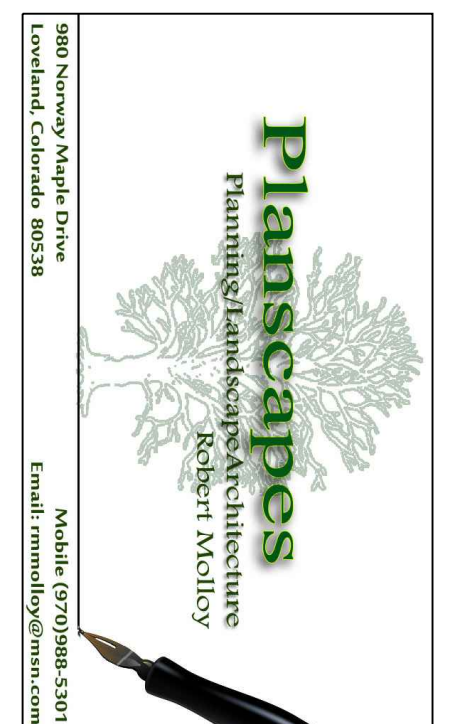


PROJECT TITLE  
**THE LEARNING EXPERIENCE**

LOT 1, BLOCK 1  
 HORSESHOE RIDGE  
 PARKER, CO 80134

PREPARED FOR  
**BRYTAR COMPANIES**

8117 PRESTON RD. #300  
 DALLAS, TX 75225



SUBMITTAL  
**SITE PLAN REVIEW**

DRAWN BY: BSA  
 CHECKED BY: MRB  
 PROJECT NO.: 18-075-001

REVISIONS

3RD Round Submittal	

DATE  
**2/20/2020**

SHEET TITLE  
**LANDSCAPE PLAN**

SHEET INFORMATION  
**LS 1.0**

# HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 1, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT  
A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

## SITE PLAN REVIEW

### PLANT NOTES

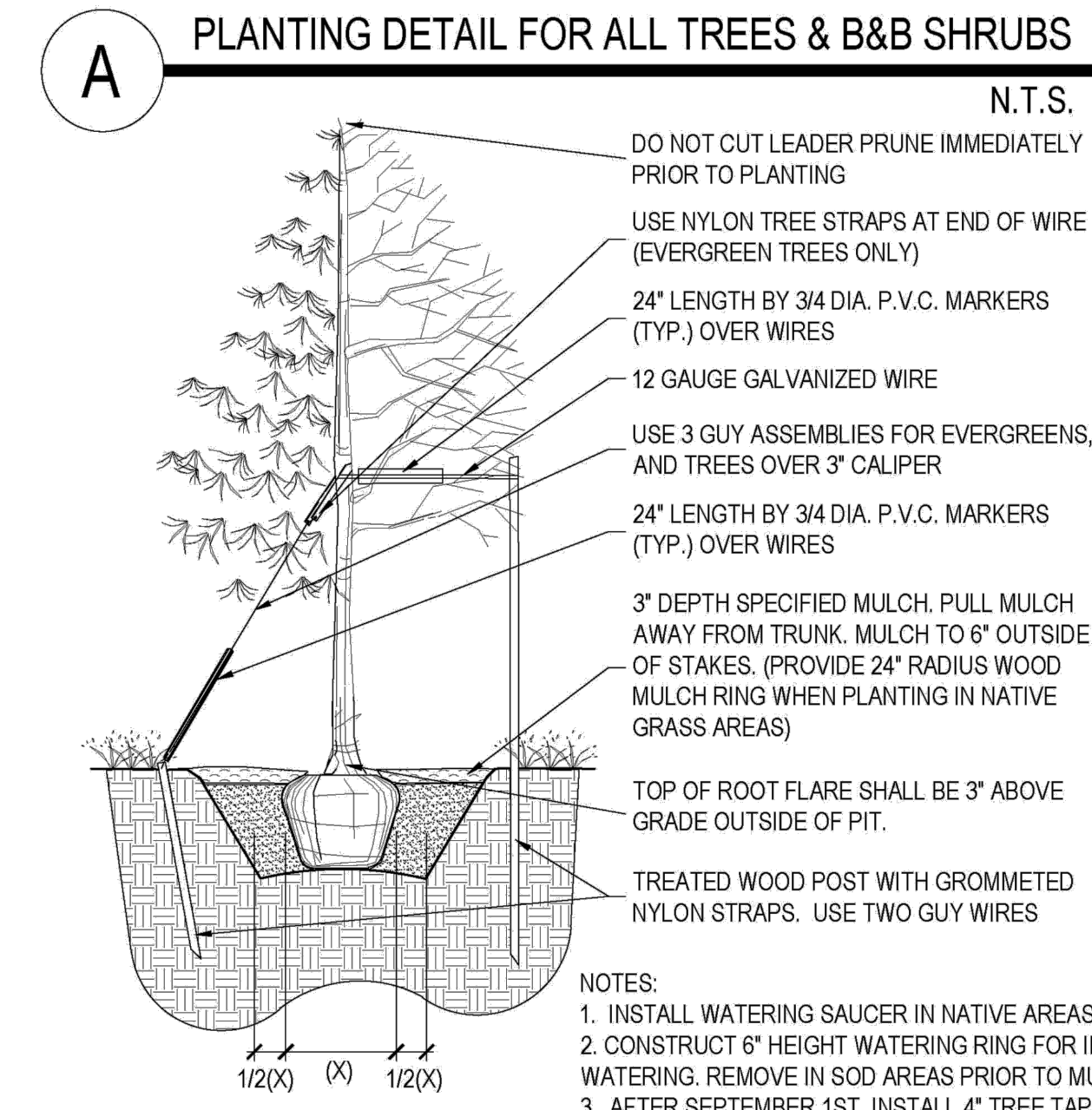
- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT.
- SOIL AMENDMENTS. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED. 4 CU.YRDS./1000 SQ.FT. OF ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT, OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL.
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN (10) FEET OF POTABLE AND NONPOTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON POTABLE IRRIGATION MAINS AND SERVICES.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ALL TURF AREAS TO BE SODDED AND IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL SHRUB BEDS TO BE MULCHED 3" DEEP WITH 3/4" - 2" RIVER ROCK PLACED ON WEED BARRIER FABRIC.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/8" X 4" STEEL SET LEVEL WITH TOP OF GRADE.
- TOPSOIL TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.

### MINIMUM STANDARDS

ROW LANDSCAPING CALCULATIONS					
TYPE BASE STANDARD (PLANTS PER # LINEAR FEET)	LINEAR FRONTAGE	TREES REQUIRED	SHRUBS REQUIRED	TREES PROPOSED	SHRUBS PROPOSED
EAST 1 TREE /40'	113 LF	2.825	0	3 EXISTING	0
NORTH 1 TREE/40'	240 L.F.	6	0	6 EXISTING (1 TO BE REMOVED)	0

PERIMETER LANDSCAPING CALCULATIONS					
TYPE BASE STANDARD (PLANTS PER # LINEAR FEET)	LINEAR FRONTAGE	TREES REQUIRED	SHRUBS REQUIRED	TREES PROPOSED	SHRUBS PROPOSED
WEST 1 TREE-5 SHRUBS/25'	245 L.F.	10	49	10 TREES	52 shrubs
EAST 1 TREE 5 SHRUBS/40'	113 LF	3	14	4 TREES	25 SHRUBS
NORTH 1 TREE 5 SHRUBS/40'	240 L.F.	6	30	8 TREES	31 SHRUBS
SOUTH(1) 1 TREE 5 SHRUBS/40'	263 L.F.	7	33	0 TREES	18 SHRUBS
TOTAL		26	126	22	126

(1) Due to the shared drive aisle, these plantings numbers cannot be met. 8' Landscape island has been provided by neighboring property as shown on plan. Benches and patio area as been added to the SE corner of the building to enhance this southern edge of the property.

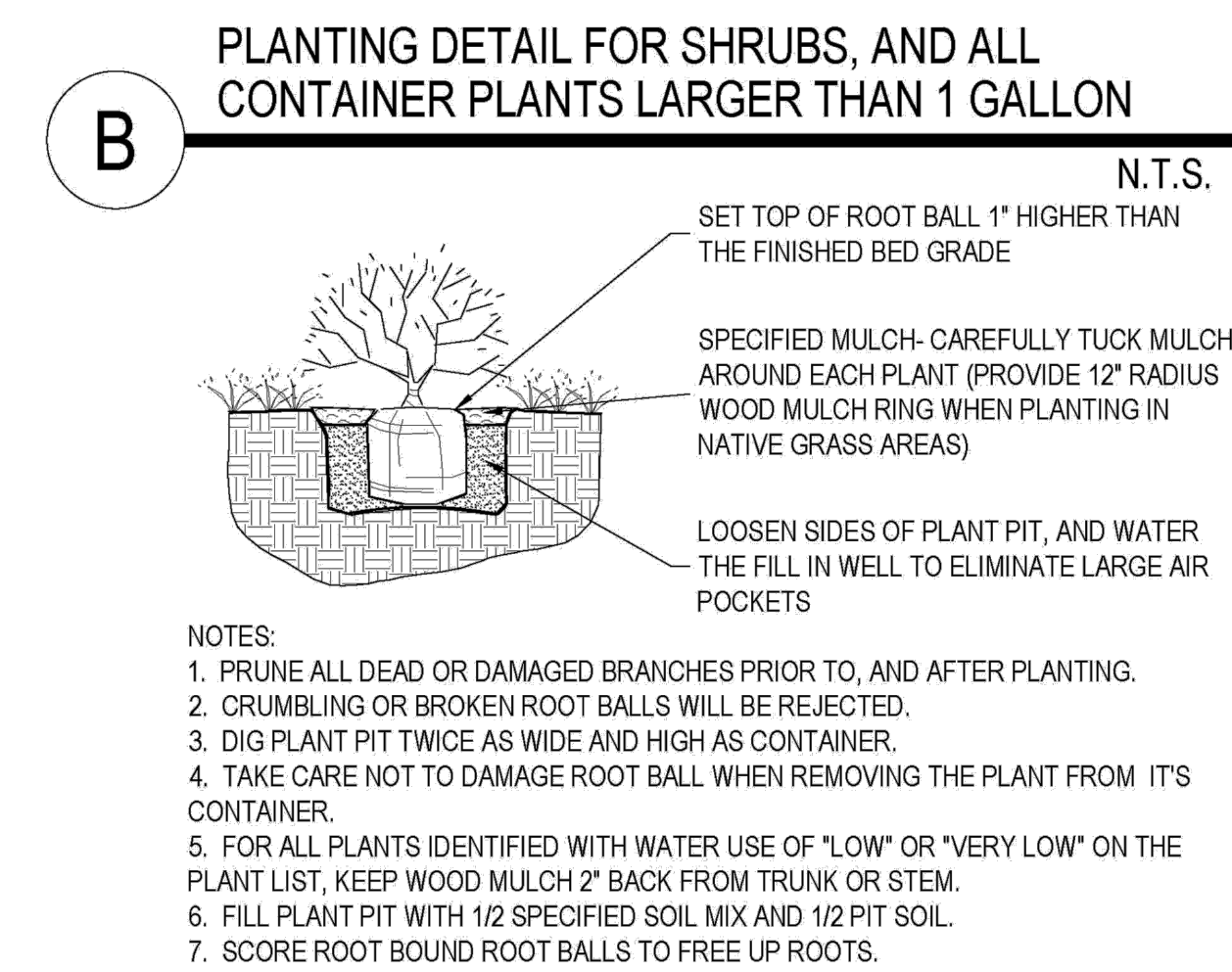


### PLANT REQUIREMENTS

MINIMUM SITE LANDSCAPE CALCULATIONS FOR 20,830 sq ft		
DESCRIPTION	REQUIRED	PROVIDED
LANDSCAPE AREA 15% of Lot	7,255 sq ft	11,430 sq ft
TREES 1/1,500 sq ft	14	22 ADDITIONAL 7 TREES IN PARKING ISLAND
SHRUBS 5/1,500 sq ft	69	174 EXCLUDING PARKING ISLANDS ADDITIONAL 48 IN PARKING ISLANDS
MAX. IRRIGATED TURF = 15%	1,088.25 sq ft max.	No new turf is proposed onsite. Existing turf is located in ROW and is irrigated and maintained by others
EVERGREEN TREES	25% - 50% OVERALL 40% - 60% PERIMETER	10 EVERGREEN / 29 TREES 35% OVERALL 10 EVERGREEN / 22 TREES 45% PERIMETER
75% OF LIVE COVER	8,572.5 sq ft	9,443 sq ft

Staff is unable to waive any landscaping requirements. Please use the highlighted blue area on the previous page as your linear feet. This way the shared drive perimeter will not count against the total landscaped required. Please adjust accordingly and show all landscaping requirements have been met.

Addressed in updated plan



PWSD WATER CALCULATIONS							
LANDSCAPE AREA	HIGH WATER TURF (6,000 SF) = 1 SFE	LOW WATER NAT. GRASS & TREES 10,000 SF = 1 SFE	DRIP IRRIG. AREA (20,000 SF = 1 SFE)	NON-IRRIG. AREAS	SUB-TOTAL OF AREAS	PWSD ONE SFE PER 6000	SFE REQ. (SUB-TOTAL CALC. DIV. BY 6000 = REQ.)
11,430	0 SF x 1 = 0	0 SF x 1 = 0	11,430 SF x .3 = 3,429	0 SF x 0 = 0	3,429	6000	.6 SFE's

