

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 1, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

SITE PLAN REVIEW

LEGAL DESCRIPTION

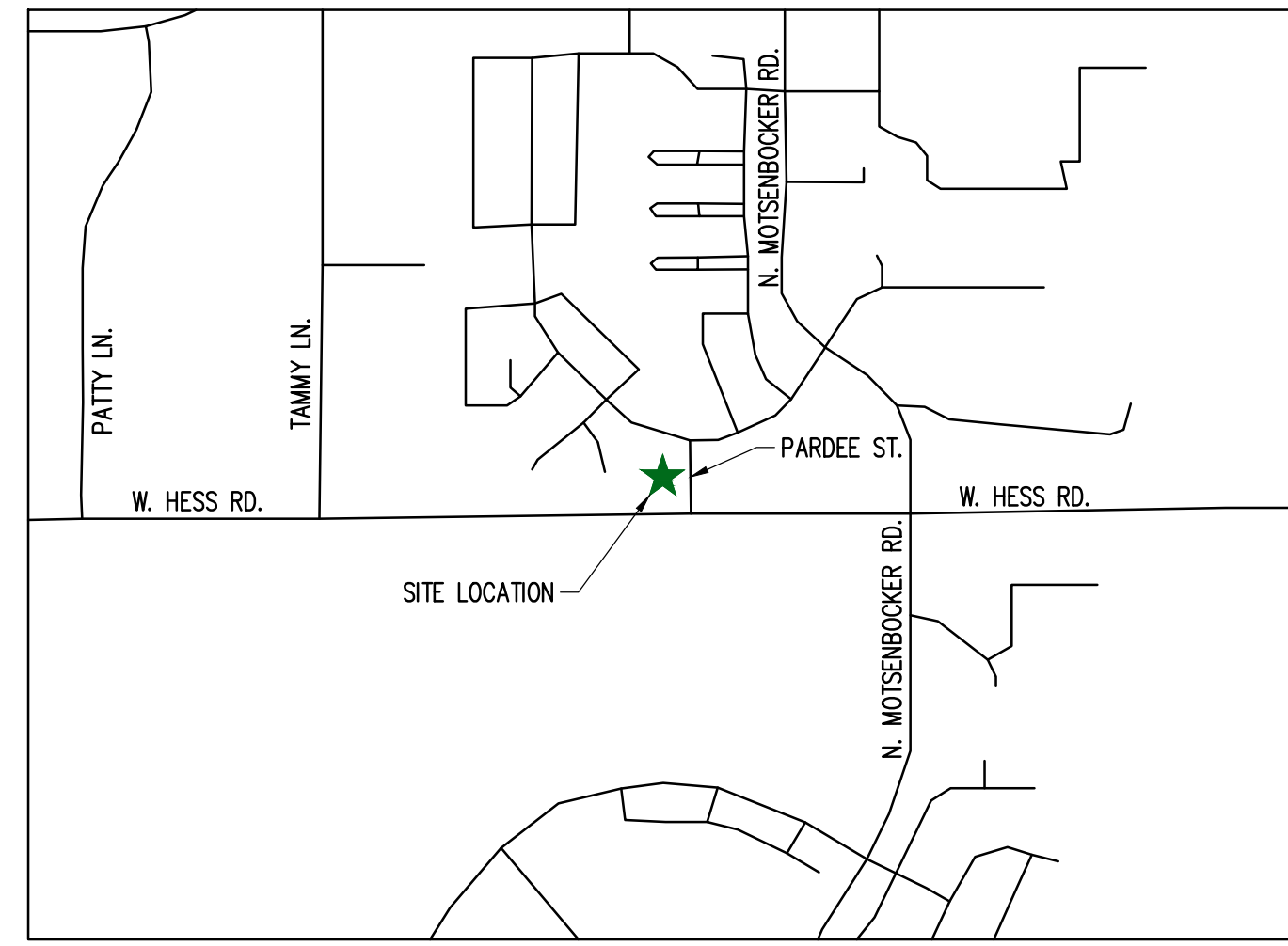
LOT 1, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

CONTAINING 48,372 SF (1.111 AC), MORE OR LESS.

TOWN OF PARKER - CONSTRUCTION NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- A TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE DEVELOPMENT REVIEW ENGINEER'S ABSENCE. HOWEVER, TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: DENVER INTER-UTILITY GROUP, 303-534-6700 OR 1-800-922-1987. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER PUBLIC WORKS DIRECTOR, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:
EXAMPLES: WATER TIE-IN SHEET 3
STORM SEWER CONNECTION SHEET 6
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY PERMIT USE APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.



SCALE 1:1000

VICINITY MAP

SHEET INDEX

CV-1.0	COVER SHEET
C-1.0	SITE PLAN
A-1	PROPOSED EXTERIOR ELEVATIONS
A-2	PROPOSED EXTERIOR ELEVATIONS
ESP1.1	PHOTOMETRIC PLAN
ESP1.2	PHOTOMETRIC CUT SHEET
L-1	LANDSCAPE PLAN

PROJECT CONTACTS:

PROPERTY OWNER
BRYTAR COMPANIES
8117 PRESTON ROAD, #300
DALLAS, TX 75225
(214) 632-4860
CONTACT: SCOTT REMPHREY

PARKER PUBLIC WORKS
ASSOCIATE PLANNER
20120 E. MAIN STREET
PARKER, CO 80138
(303) 805-3199
CONTACT: STACEY NERGER

APPLICANT
BRYTAR COMPANIES
8117 PRESTON ROAD, #300
DALLAS, TX 75225
(214) 632-4860
CONTACT: SCOTT REMPHREY

GAS
XCEL ENERGY
180 LARIMER ST.
DENVER, CO 80202
(800) 895-2999

CIVIL ENGINEER
RIDGETOP ENGINEERING AND CONSULTING, LLC
541 E. GARDEN DRIVE, UNIT N
WINDSOR, CO 80550
(970) 663-4552
CONTACT: MIKE BEACH, P.E.

SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
(720) 488-7200
CONTACT: RANDY CAPRA

ARCHITECT
ROGUE ARCHITECTURE
4100 WADSWORTH BLVD, SUITE 300
WHEAT RIDGE, CO 80033
(720) 599-3330
CONTACT: SCOTT BODUCH

INTERNATIONAL RURAL ELECTRIC ASSOC.
5496 NORTH US HWY 85
P.O. BOX DRAWER A
SEDALIA, CO 80135
(303) 688-3100
CONTACT: BROOK KAUFMAN

SURVEYOR
P.L.S GROUP
532 WEST 66TH STREET
LOVELAND, CO 80538
(970) 669-2100
CONTACT: BRYAN SHORT

SITE DATA

SITE	=	1.111 AC (48,372 SF)
TOTAL	=	1.111 AC (48,372 SF)
USE:	DAY CARE FACILITY	
BUILDINGS:	±10,000 SF	
ZONE:	PLANNED DEVELOPMENT	

REQUIRED PARKING (1 PER 4 CHILDREN OF LICENSED CAPACITY)
170/4 = 42.5 OR 43 PARKING STALLS

STANDARD PARKING PROVIDED	43
HC STALLS	2
TOTAL PARKING PROVIDED	45

BICYCLE PARKING: 8

STANDARD STALL DIMENSIONS: 9' X 19'
STALLS NEXT TO LANDSCAPE: 10' X 19'

DRIVE AISLE WIDTH: 24'

BUILDING DATA

DAY CARE FACILITY	=	± 10,000 SF
TOTAL	=	± 10,000 SF

SIGHT DISTANCE CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, THE BIG TOOL BOX, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

MICHAEL R. BEACH, PE #45088

ENGINEER'S CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, THE BIG TOOL BOX, IS DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.

MICHAEL R. BEACH, PE #45088

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering

Date

LOGO



SEAL

PROJECT TITLE

THE LEARNING EXPERIENCE

LOT 1, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR

BRYTAR COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY: BSA

CHECKED BY: MRB

PROJECT NO.: 18-075-001

REVISIONS

DATE

5/28/2019

SHEET TITLE

COVER SHEET

SHEET INFORMATION

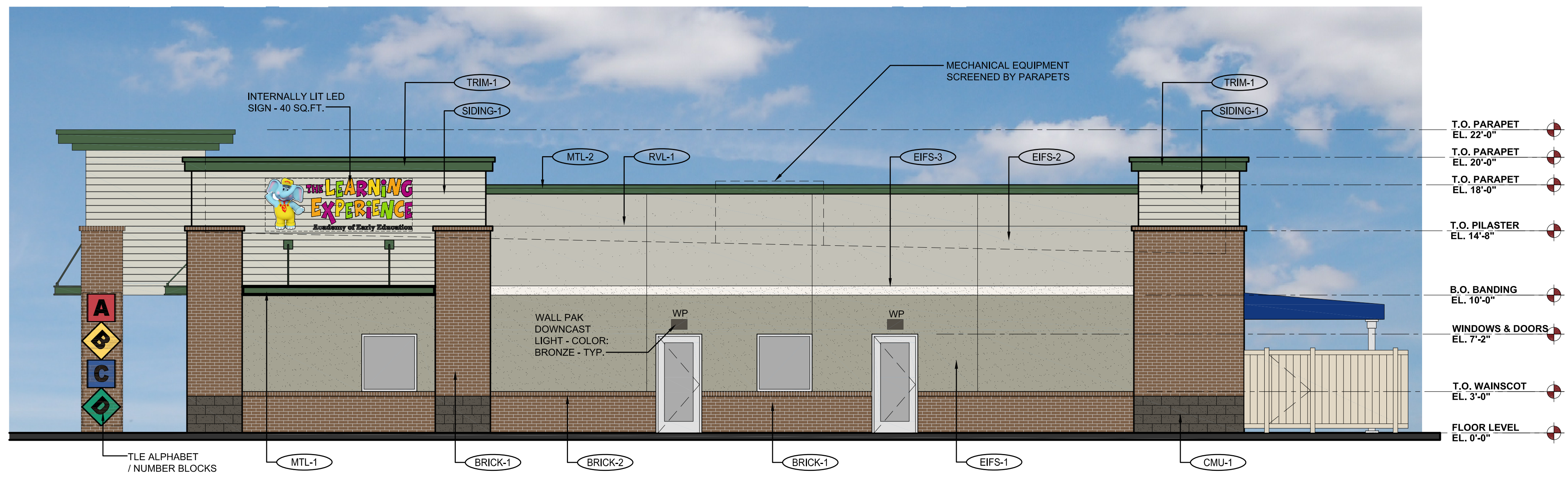
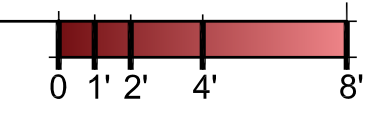
CV-1

1 of #



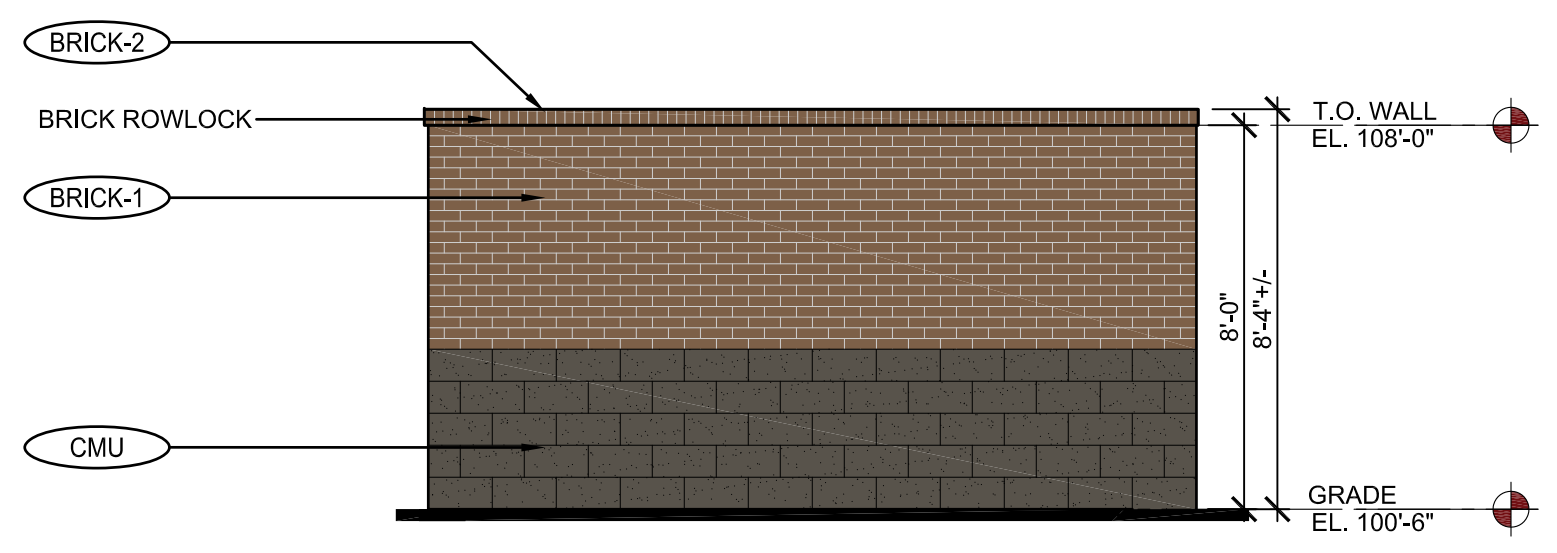
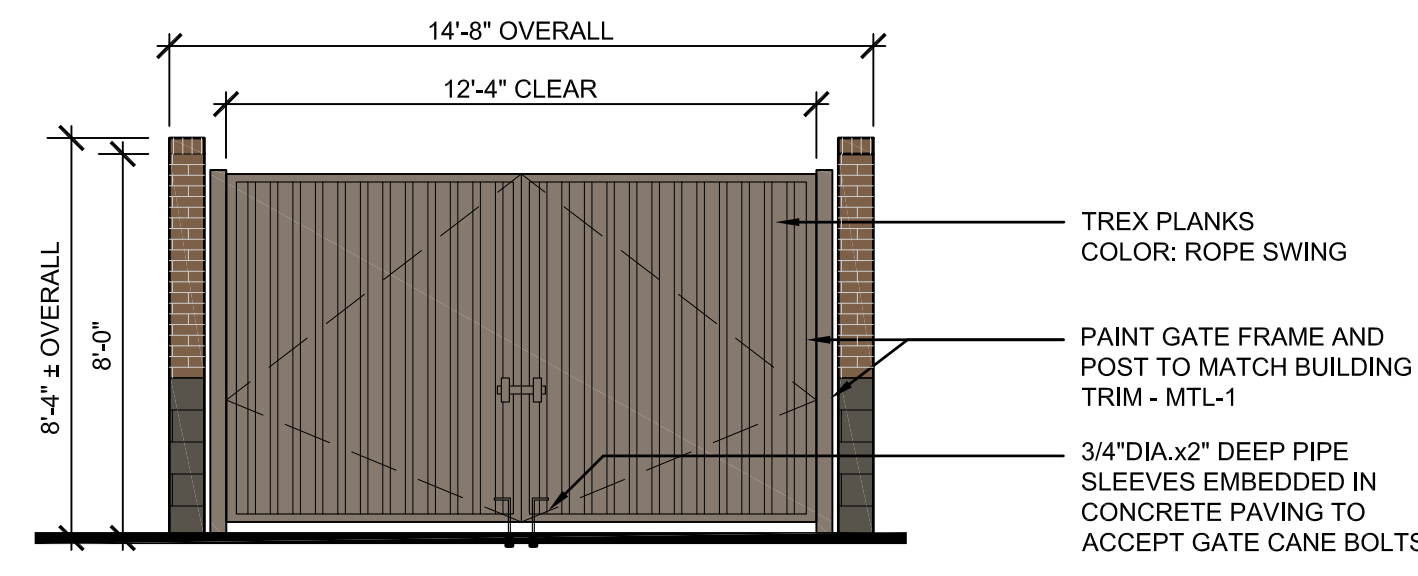
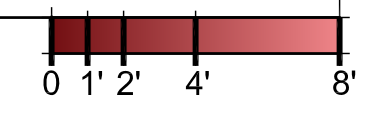
- T.O. PARAPET EL. 22'-0"
- T.O. PARAPET EL. 20'-0"
- T.O. PARAPET EL. 18'-0"
- T.O. PILASTER EL. 14'-8"
- B.O. BANDING EL. 10'-0"
- WINDOWS & DOORS EL. 7'-2"
- WALL SCONCE - COLOR: BRONZE - TYP.
- T.O. WAINSCOT EL. 3'-0"
- FLOOR LEVEL EL. 0'-0"

3 PROPOSED SOUTH ELEVATION
 scale: 3/16" = 1'-0"



- T.O. PARAPET EL. 22'-0"
- T.O. PARAPET EL. 20'-0"
- T.O. PARAPET EL. 18'-0"
- T.O. PILASTER EL. 14'-8"
- B.O. BANDING EL. 10'-0"
- WINDOWS & DOORS EL. 7'-2"
- T.O. WAINSCOT EL. 3'-0"
- FLOOR LEVEL EL. 0'-0"

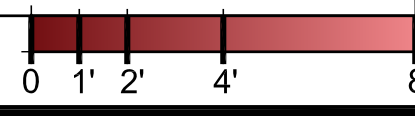
2 PROPOSED EAST ELEVATION
 scale: 3/16" = 1'-0"



FRONT

BACK

1 PROPOSED TRASH ENCLOSURE ELEVATIONS
 scale: 1/4" = 1'-0"



EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STOREFRONT DOOR	KAWNEER	TRIFAB 451	BONE WHITE
FIXED WINDOW	ANDERSEN SILVERLINE V-1	PER WINDOW SCHEDULE	FACTORY PRIMED
	ALT.: ANDERSEN 100 SERIES	PER WINDOW SCHEDULE	WHITE
BRICK-1	SUMMIT BRICK (OR EQUIV.)	MODULAR	GRAPHITE GRAIN
BRICK-2	SUMMIT BRICK (OR EQUIV.)	ROWLOCK	GRAPHITE GRAIN
CMU-1	BASALITE (OR EQUIV.)	INTEGRAL COLOR w/ ASSOCIATED CAP	CHARCOAL #605 SPLIT-FACE
EIFS-1	DRYVIT OR SIMILAR	FIELD (DARK)	DRYVIT SUEDE #105 PEBBLE TEXTURE
EIFS-2	DRYVIT OR SIMILAR	BANDING (LIGHT)	DRYVIT LITE SERENITY #300 PEBBLE TEXTURE
EIFS-3	DRYVIT OR SIMILAR	FIELD (MEDIUM)	DRYVIT PRAIRIE CLAY #111 PEBBLE TEXTURE
SIDING-1	JAMES HARDIE	HARDIEPLANK LAP SIDING	COLOR: COBBLESTONE
TRIM-1	JAMES HARDIE	HARDIETRIM BOARDS	PRODUCT: 5/4 SMOOTH COLOR: SW #7048 URBANE BRONZE
MTL-1	PAINTED	STEEL SUNSCREEN	SHERWIN WILLIAMS - #0041 HUNTER GREEN
MTL-2	MBCI	METAL TRIM & DOWNSPOUTS	HUNTER GREEN
PAINT-1	BENJAMIN MOORE	DOORS & FRAMES	SHERWIN WILLIAMS #6073 PERFECT GREIGE
KBOX-1	KNOX BOX (MAIN ENTRY)	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	COLOR: DARK BRONZE (REF. NOTE 2 BELOW)
KBOX-2	KNOX BOX (MECHANICAL ROOM)	1650 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	COLOR: DARK BRONZE (REF. NOTE 2 BELOW)
RVL-1	DRYVIT OR SIMILAR	3/4" ROUTED REVEAL	COLOR TO MATCH ADJACENT FINISH

THE LEARNING EXPERIENCE
 ACADEMY OF EARLY EDUCATION
 NEC OF HESS ROAD AND PARDEE STREET
 PARKER, COLORADO

ISSUE			
NO.	DATE	DESCRIPTION	INT.
05.22.2019		PROGRESS REVIEW	
05.28.2019		SITE PLAN SUBMITTAL	

REVISION			
NO.	DATE	DESCRIPTION	INT.

PRELIMINARY
 NOT FOR BIDDING OR CONSTRUCTION

Project Number: **2019.13** Scale: **AS NOTED**
 Drawn By: **ROGUE** Approved By: **SAB**
 Drawing Name: **PROPOSED EXTERIOR ELEVATIONS**
 Drawing Number: **A-1**

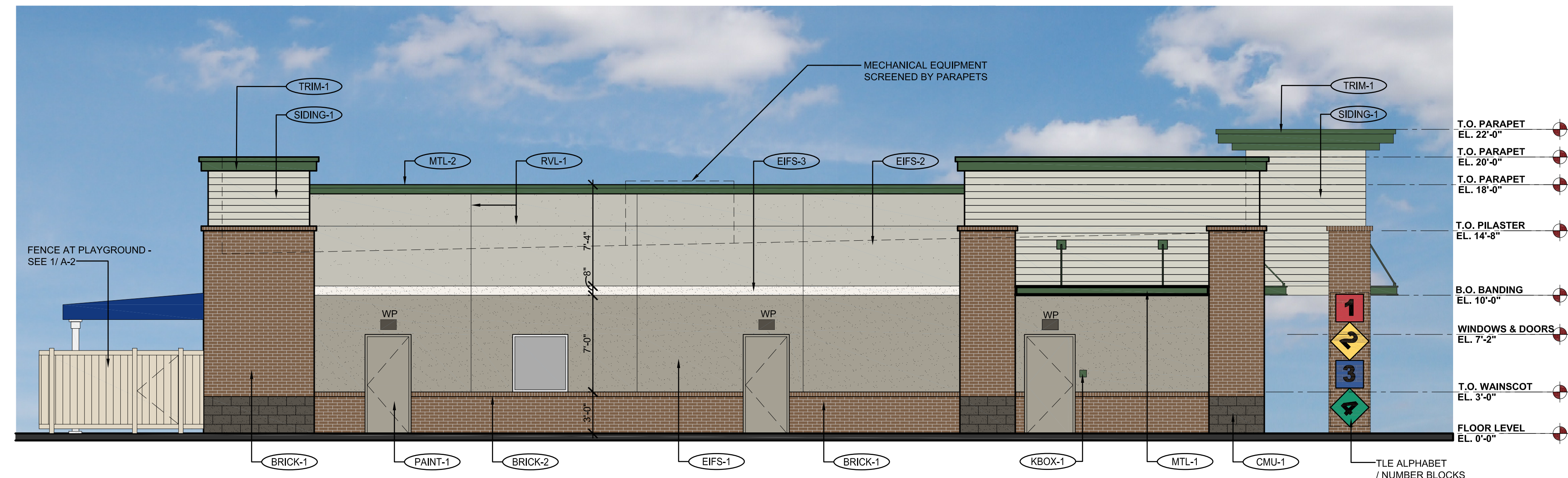
R:\PROJECTS\2019.13 - BRYAR - TLE PARKER - COCADSITE SUBMITTAL\2019.13 - A-1 - PROPOSED ELEVATIONS.DWG SBODUCH PLOTTED: 05/27/2019

SITE PLAN SUBMITTAL - 05.28.2019



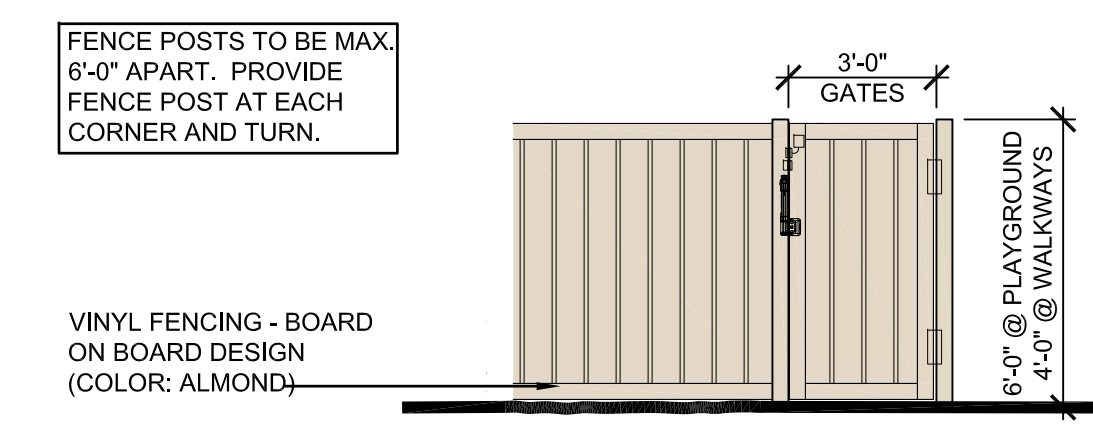
3 PROPOSED NORTH ELEVATION

scale: 3/16" = 1'-0"



2 PROPOSED WEST ELEVATION

scale: 3/16" = 1'-0"



1 PROPOSED FENCE ELEVATION

scale: 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STOREFRONT	KAWNEER	TRIFAB 451	BONE WHITE
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED
FIXED WINDOW	ANDERSEN SILVERLINE V-1	PER WINDOW SCHEDULE	WHITE
	ALT.: ANDERSEN 100 SERIES		
BRICK-1	SUMMIT BRICK (OR EQUIV.)	MODULAR	GRAPHITE GRAIN
BRICK-2	SUMMIT BRICK (OR EQUIV.)	ROWLOCK	GRAPHITE GRAIN
CMU-1	BASALITE (OR EQUIV.)	INTEGRAL COLOR w/ ASSOCIATED CAP	CHARCOAL #605 SPLIT-FACE
EIFS-1	DRYVIT OR SIMILAR	FIELD (DARK)	DRYVIT SUEDE #105 PEBBLE TEXTURE
EIFS-2	DRYVIT OR SIMILAR	BANDING (LIGHT)	DRYVIT LITE SERENITY #300 PEBBLE TEXTURE
EIFS-3	DRYVIT OR SIMILAR	FIELD (MEDIUM)	DRYVIT PRAIRIE CLAY #111 PEBBLE TEXTURE
SIDING-1	JAMES HARDIE	HARDIEPLANK LAP SIDING PRODUCT: CEDARMILL	COLOR: COBBLESTONE
TRIM-1	JAMES HARDIE	HARDIETRIM BOARDS	PRODUCT: 5/4 SMOOTH COLOR: SW #7048 URBANE BRONZE
MTL-1	PAINTED	STEEL SUNSCREEN	SHERWIN WILLIAMS - #0041 HUNTER GREEN
MTL-2	MBCI	METAL TRIM & DOWNSPOUTS	HUNTER GREEN
PAINT-1	BENJAMIN MOORE	DOORS & FRAMES	SHERWIN WILLIAMS #6073 PERFECT GREIGE
KBOX-1	KNOX BOX (MAIN ENTRY)	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	COLOR: DARK BRONZE (REF. NOTE 2 BELOW)
KBOX-2	KNOX BOX (MECHANICAL ROOM)	1650 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	COLOR: DARK BRONZE (REF. NOTE 2 BELOW)
RVL-1	DRYVIT OR SIMILAR	3/4" ROUTED REVEAL	COLOR TO MATCH ADJACENT FINISH

THE LEARNING EXPERIENCE

ACADEMY OF EARLY EDUCATION

NEC OF HESS ROAD AND PARDEE STREET
PARKER, COLORADO

ISSUE			
NO.	DATE	DESCRIPTION	INT.
05.22.2019		PROGRESS REVIEW	
05.28.2019		SITE PLAN SUBMITTAL	

REVISION			
NO.	DATE	DESCRIPTION	INT.

PRELIMINARY
 NOT FOR
 BIDDING OR
 CONSTRUCTION

Project Number: **2019.13** Scale: **AS NOTED**

Drawn By: **ROGUE** Approved By: **SAB**

Drawing Name: **PROPOSED EXTERIOR ELEVATIONS**

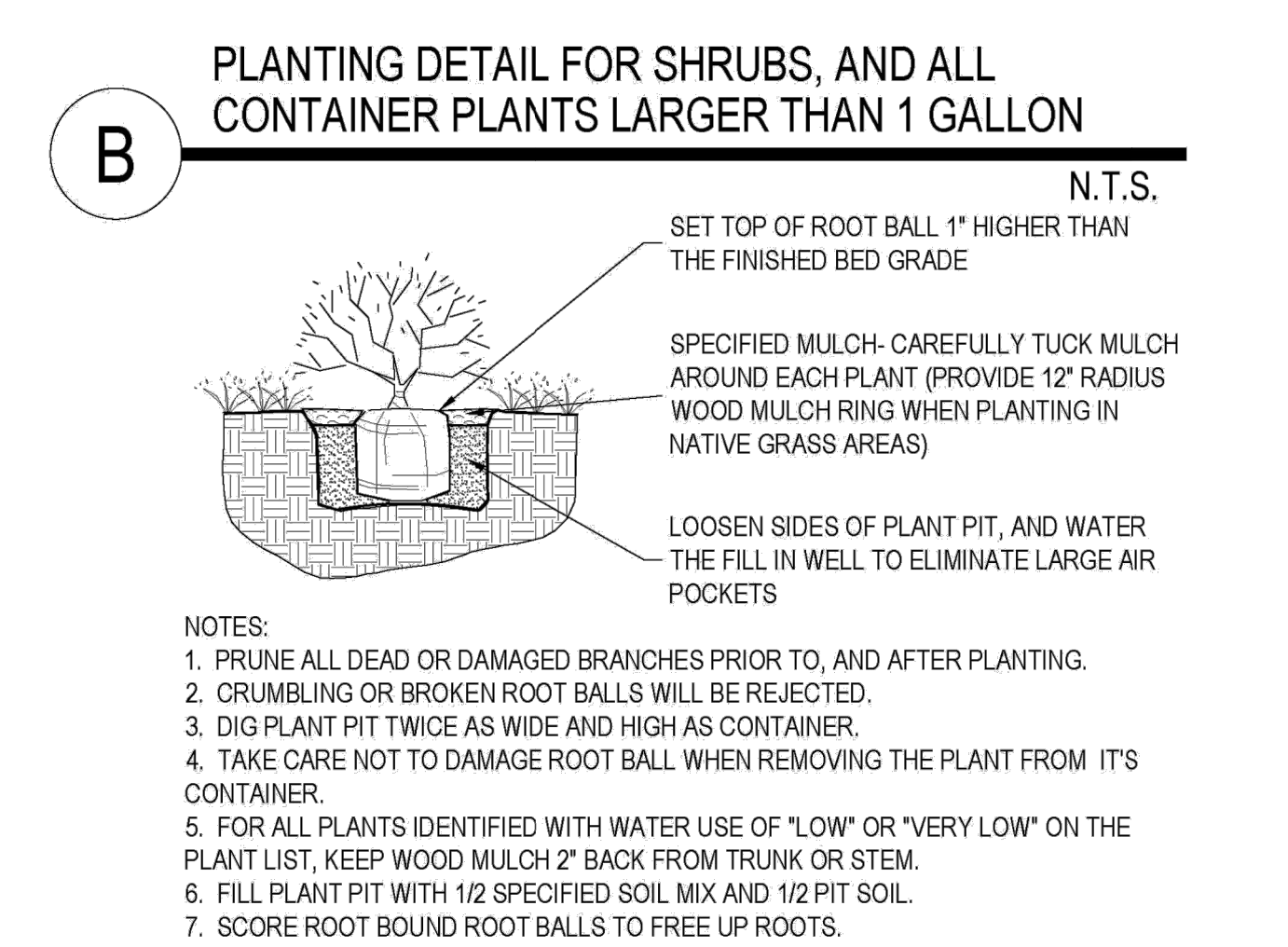
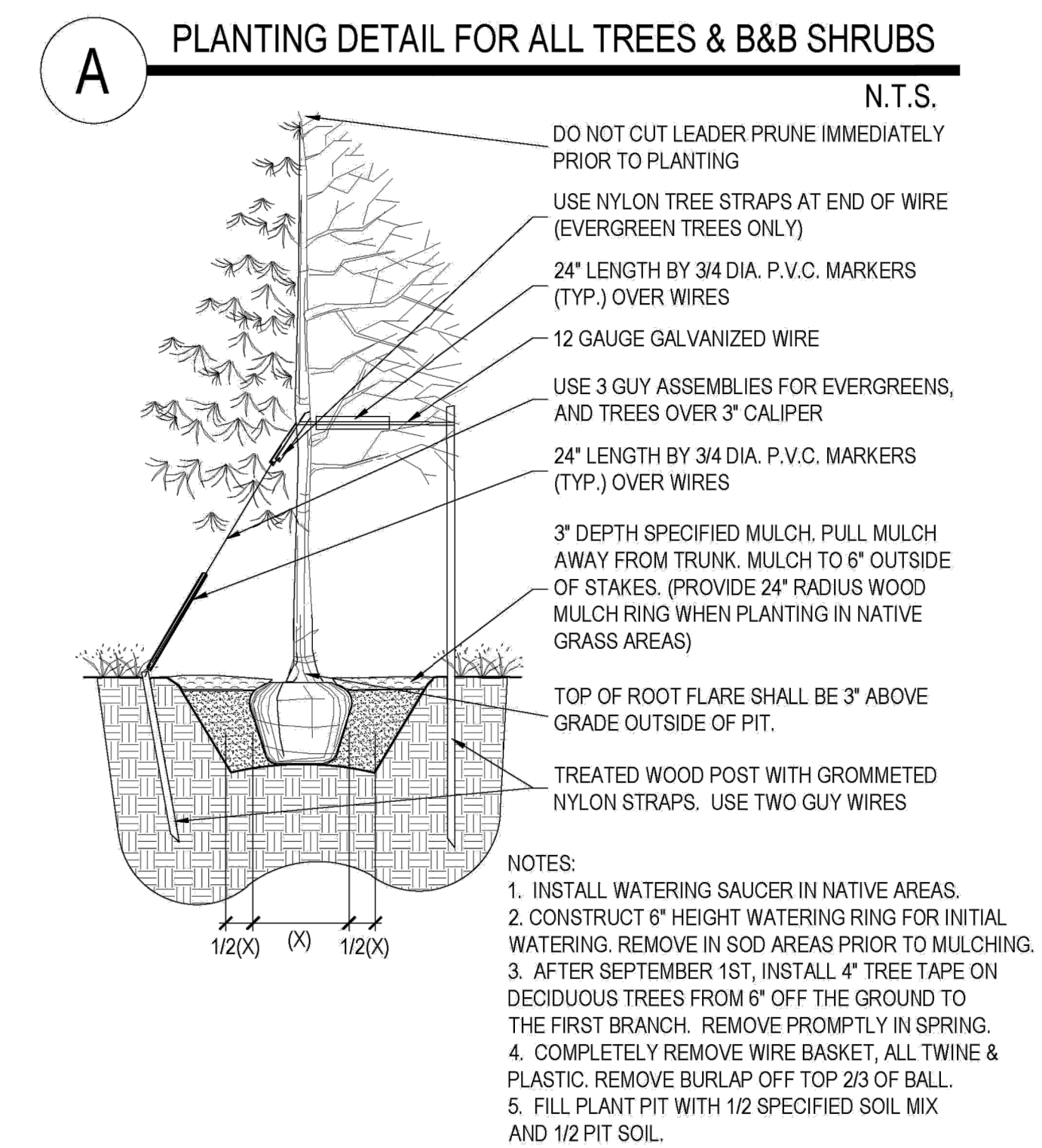
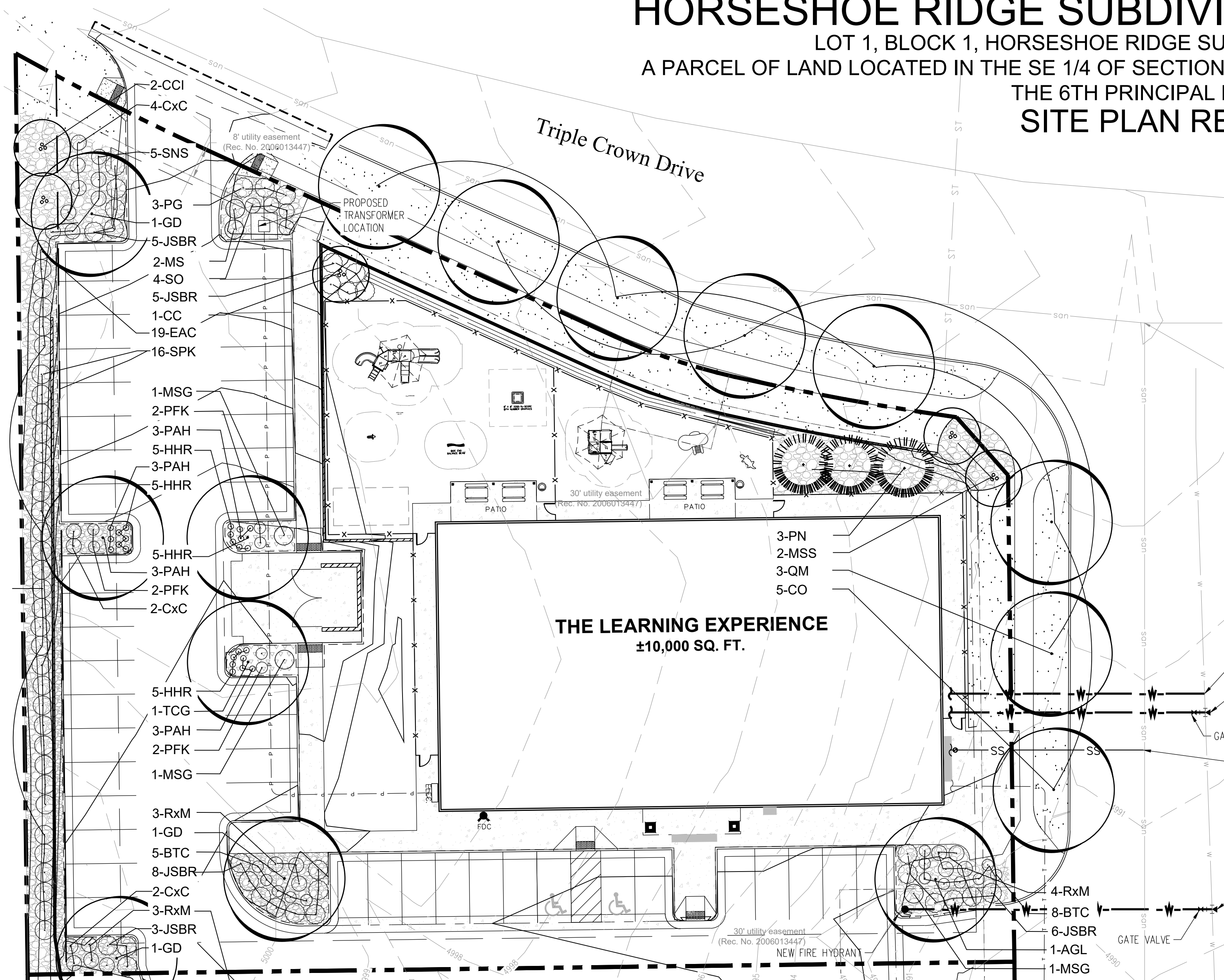
Drawing Number: **A-2**

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 1, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

SITE PLAN REVIEW



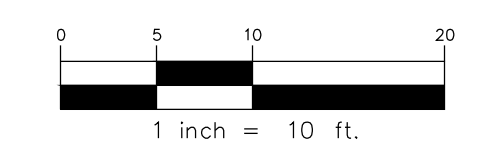
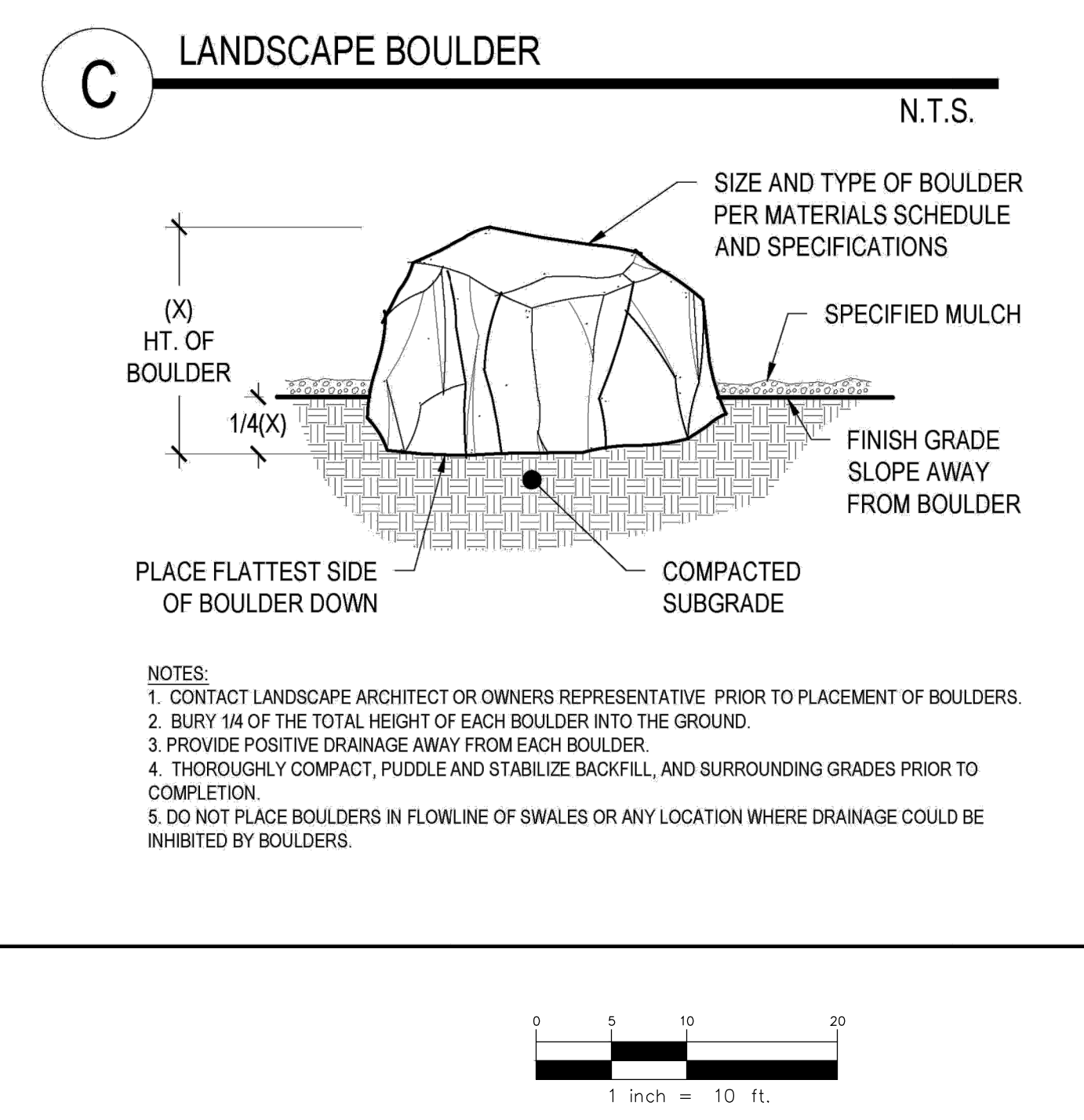
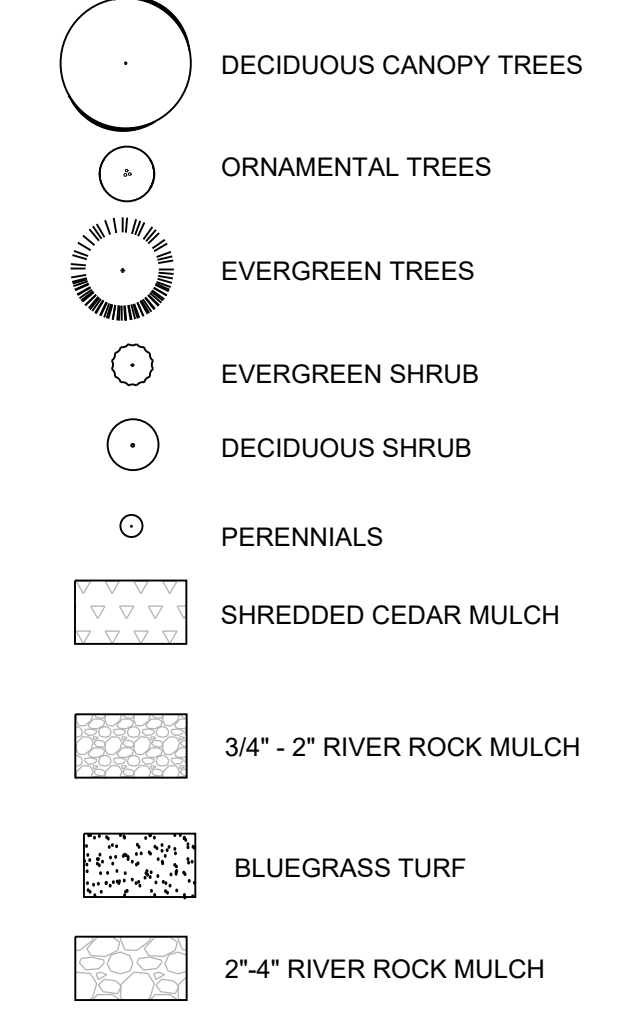
PLANT NOTES

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT.
- ALL LOW PERENNIAL AND GROUND COVER PLANTING AREA SHALL BE MULCHED WITH WESTERN RED CEDAR WOOD MULCH AT A DEPTH OF 2". WEED FABRIC BARRIER IS NOT REQUIRED.
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN (10) FEET OF POTABLE AND NONPOTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON POTABLE IRRIGATION MAINS AND SERVICES.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. AN IRRIGATION PLAN WILL BE PROVIDED AFTER FIRST ROUND OF REVIEW.
- ALL TURF AREAS TO BE SODDED AND IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL SHRUB BEDS TO BE MULCHED 3" DEEP WITH 3/4" - 2" RIVER ROCK PLACED ON WEED BARRIER FABRIC.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/8" X 4" STEEL SET LEVEL WITH TOP OF GRADE.
- TOPSOIL. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.
- SOIL AMENDMENTS. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED. 4 CU.YRDS./1000 SQ.FT. OF ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT, OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY	GROWTH HEIGHT	GROWTH SPREAD
DECIDUOUS TREES							
CO	<i>Celtis occidentalis</i>	Western Hackberry	2" cal	B+B	5	40'-60'	30'-35'
GD	<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	2" cal	B+B	3	60'-75'	40'-50'
TCG	<i>Tilia Cordata 'Greenspire'</i>	Greenspire Linden	2" cal	B+B	1	40'-60'	30'-35'
AGL	<i>Aesculus glabra</i>	Ohio Buckeye	2" cal	B+B	1	15'-20'	15'-25'
QM	<i>Quercus macrocarpa</i>	Bur Oak	2" cal	B+B	3	60'-75'	40'-50'
ORNAMENTAL TREES							
CCI	<i>Crataegus crus-galli inermis</i>	Thornless Cockspur Hawthorn	1.5" cal.	B+B	2	15'-20'	15'-30'
CC	<i>Cercis canadensis</i>	Eastern Redbud	1.5" cal.	B+B	1	20'-30'	15'-30'
MSS	<i>Malus 'Spring Snow'</i>	Spring Snow Crabapple	1.5" cal.	B+B	2	15'-20'	15'-30'
EVERGREEN TREES							
PN	<i>Pinus Nigra</i>	Austrian Pine	6' ht	B+B	3	40'-60'	25'-40'
EVERGREEN SHRUBS							
PG	<i>Picea pungens 'Globosa'</i>	Globe Spruce	5 gal.	5" o.c.	3	3'-5'	3'-5'
JPBR	<i>Juniperus horizontalis 'Blue Chip'</i>	Blue Chip Juniper	5 gal.	3" o.c.	27	1'-2'	3'-5'
DECIDUOUS SHRUBS							
BTC	<i>Berberis thunbergii 'Crimson Pygmy'</i>	Crimson Pygmy Japanese Barberr	5 gal.	5" o.c.	13	1'-2'	3'-5'
EAC	<i>Euonymus alatus 'Compactus'</i>	Dwarf Burning Bush	5 gal.	3" o.c.	19	6'-8'	4'-6'
SNS	<i>Spiraea nipponica 'Snowmound'</i>	Snowmound Spiraea	5 gal.	3" o.c.	5	4'-7'	4'-7'
RxM	<i>Rosa x 'Meidiland White'</i>	White Meidiland Rose	5 gal.	3" o.c.	10	3'-4'	2'-3'
PFK	<i>Potentilla fruticosa 'Katheryn Dykes'</i>	Kathryn Dikes Potentilla	5 gal.	4" o.c.	6	2'-3'	2'-3'
SPK	<i>Syringa patula 'Miss Kim'</i>	Miss Kim Lilac	5 gal.	5" o.c.	16	6'-8'	4'-6'
CxC	<i>Caryopteris x clandonensis 'Blue Mist'</i>	Blue Mist Spiraea	5 gal.	5" o.c.	8	4'-5'	4'-5'
SO	<i>Symphoricarpos oriculata</i>	Red Coralberry	5 gal.	4" o.c.	4	2'-3'	2'-3'
PERENNIALS AND ORNAMENTAL GRASSES							
MSG	<i>Miscanthus sinensis 'Gracillimus'</i>	Gracillimus Grass	1 gal.	24" o.c.	5		
PAH	<i>Pennisetum alopecuroides 'Hamelin'</i>	Dwarf Fountain Grass	1 gal.	18" o.c.	9		
HHR	<i>Hererocalis 'Stella d' Oro'</i>	Dwarf Daylily	1 gal.	24" o.c.	15		

PLANT LEGEND



LOGO
RIDGE TOP
 ENGINEERING & CONSULTING
 541 E. Garden Drive, Unit N Windsor, CO 80550
 T (970) 663-4552 W ridgetopeng.com

PROJECT TITLE
THE LEARNING EXPERIENCE

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300 DALLAS, TX 75225

SUBMITTAL
SITE PLAN REVIEW

DRAWN BY: BSA
 CHECKED BY: MRB
 PROJECT NO.: 18-075-001

REVISIONS

DATE
5/28/2019

SHEET TITLE
LANDSCAPE PLAN

SHEET INFORMATION
L 1.0

Of