

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

SITE PLAN REVIEW

LEGAL DESCRIPTION

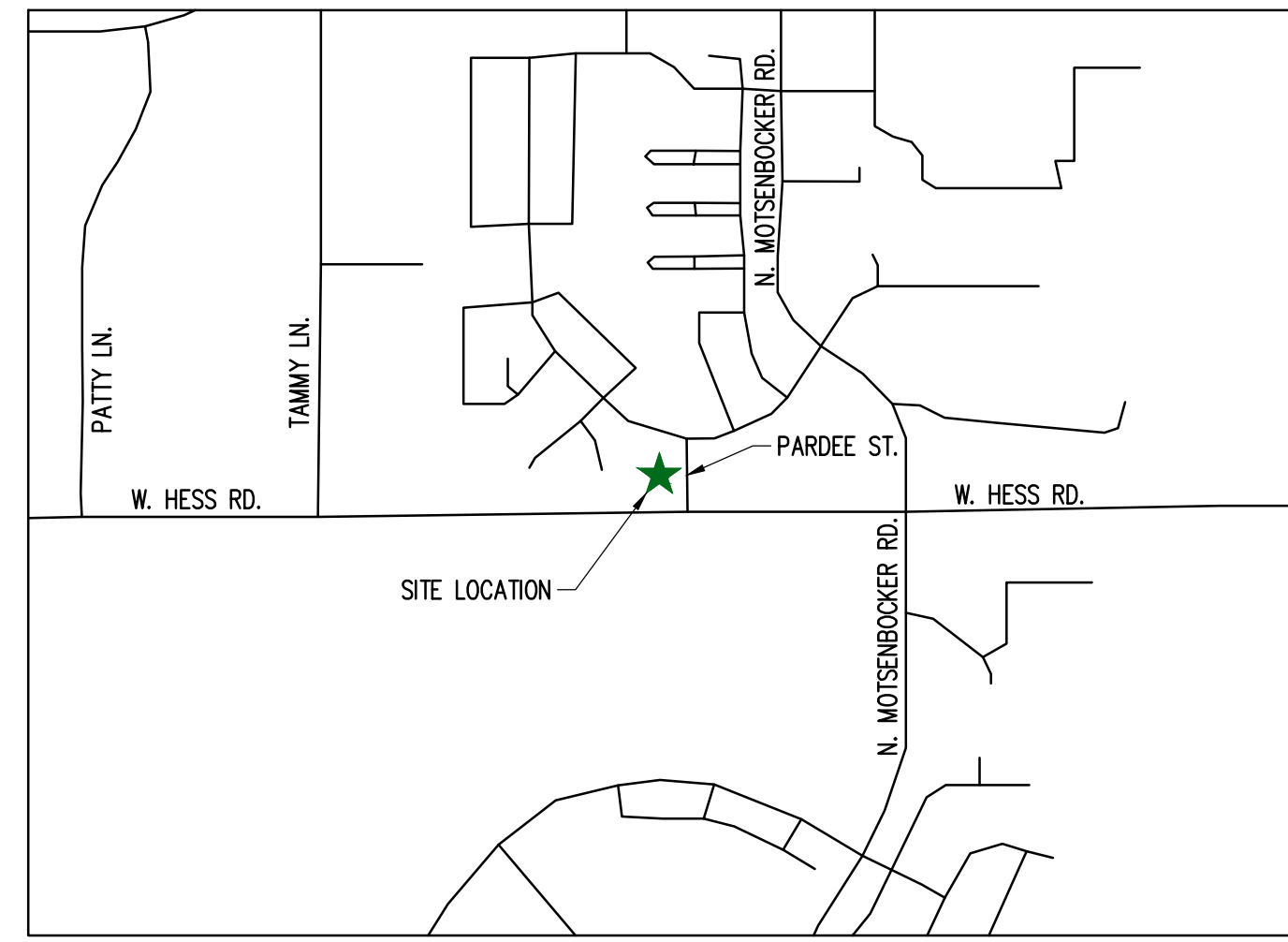
LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

CONTAINING 41,493 SF (0.953 AC), MORE OR LESS.

TOWN OF PARKER - CONSTRUCTION NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- A TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE DEVELOPMENT REVIEW ENGINEER'S ABSENCE. HOWEVER, TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: DENVER INTER-UTILITY GROUP, 303-534-6700 OR 1-800-922-1987. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER PUBLIC WORKS DIRECTOR, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:
EXAMPLES: WATER TIE-IN SHEET 3
STORM SEWER CONNECTION SHEET 6
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY PERMIT USE APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.



SCALE 1:1000

VICINITY MAP

SHEET INDEX

CV-1.0	COVER SHEET
C-1.0	SITE PLAN
A-1	PROPOSED EXTERIOR ELEVATIONS
A-2	SIGNAGE DETAILS
ESP1.1	PHOTOMETRIC PLAN
ESP1.2	PHOTOMETRIC CUT SHEET
LS 1.0	LANDSCAPE PLAN
LS 1.1	LANDSCAPE DETAILS

PROJECT CONTACTS:

PROPERTY OWNER
BRYTAR COMPANIES
8117 PRESTON ROAD, #300
DALLAS, TX 75225
(214) 632-4860
CONTACT: SCOTT REMPHREY

PARKER PUBLIC WORKS
ASSOCIATE PLANNER
20120 E. MAIN STREET
PARKER, CO 80138
(303) 805-3199
CONTACT: STACEY NERGER

APPLICANT
BRYTAR COMPANIES
8117 PRESTON ROAD, #300
DALLAS, TX 75225
(214) 632-4860
CONTACT: SCOTT REMPHREY

GAS
XCEL ENERGY
180 LARIMER ST.
DENVER, CO 80202
(800) 895-2999

CIVIL ENGINEER
RIDGETOP ENGINEERING AND CONSULTING, LLC
541 E. GARDEN DRIVE, UNIT N
WINDSOR, CO 80550
(970) 663-4552
CONTACT: MIKE BEACH, P.E.

SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
(720) 488-7200
CONTACT: RANDY CAPRA

ARCHITECT
ROGUE ARCHITECTURE
4100 WADSWORTH BLVD, SUITE 300
WHEAT RIDGE, CO 80033
(720) 599-3330
CONTACT: SCOTT BODUCH

INTERNATIONAL RURAL ELECTRIC ASSOC.
5496 NORTH US HWY 85
P.O. BOX DRAWER A
SEDALIA, CO 80135
(303) 688-3100
CONTACT: BROOK KAUFMAN

SURVEYOR
P.L.S GROUP
532 WEST 66TH STREET
LOVELAND, CO 80538
(970) 669-2100
CONTACT: BRYAN SHORT

Remove all +/- and provide exact dimensions throughout the site plan including the cover page.

SITE DATA	
BUILDING:	±4,713 SF (0.11 AC)
LANDSCAPE:	±15,471 SF (0.35 AC)
SIDEWALK:	±2,041 SF (0.05 AC)
PAVED:	±19,187 SF (0.44 AC)
TOTAL:	±41,412 SF (0.95 AC)
USE:	RESTAURANT/RETAIL
BUILDINGS:	±4,713 SF
ZONE:	PLANNED DEVELOPMENT

REQUIRED PARKING	
RETAIL:	1 PER 300 SF
3356/300 = 10.7	OR 11 STALLS
RESTAURANT:	1 PER 100 SF
1500/100 = 15	STALLS
STANDARD PARKING PROVIDED:	25
HC STALLS:	2
TOTAL PARKING PROVIDED:	27

BICYCLE PARKING:	
STANDARD STALL DIMENSIONS:	9' X 19'
STALLS NEXT TO LANDSCAPE:	10' X 19'
DRIVE AISLE WIDTH:	25'

Please provide a bicycle parking detail in order to determine if the proposed structure meets the requirements outlined in Section 13.06.060.

Please update the Site Data Table to include required bicycle parking and provided.

Per page two of the proposed site plan, all stalls next to landscaping are 8' x 19' in size.

BUILDING DATA	
RESTAURANT (DRIVE THROUGH)	= ± 1,500 SF
RETAIL	= ± 3,213 SF
TOTAL	= ± 4,713 SF

SIGHT DISTANCE CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, THE BIG TOOL BOX, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

MICHAEL R. BEACH, PE #45088

ENGINEER'S CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, THE BIG TOOL BOX, IS DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.

MICHAEL R. BEACH, PE #45088

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering

Date

LOGO



SEAL

PROJECT TITLE

RETAIL

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR

BRYTAR
COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY: BSA

CHECKED BY: MRB

PROJECT NO.: 18-075-001

REVISIONS

2ND SUBMITTAL 10/31/2019

DATE

5/28/2019

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1

1 of 2

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

SITE PLAN REVIEW

LEGEND

- CONCRETE PAVEMENT
- STANDARD DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK PAVEMENT
- LANDSCAPED AREA
- PROPERTY LINE
- CONCRETE CURB & GUTTER
- EASEMENT
- BUILDING SETBACK

SITE DATA

BUILDING:	±4,713 SF (0.11 AC)
LANDSCAPE:	±15,471 SF (0.35 AC)
SIDEWALK:	±2,041 SF (0.05 AC)
PAVED:	±19,187 SF (0.44 AC)
TOTAL:	±41,412 SF (0.95 AC)
USE:	RESTAURANT/RETAIL
BUILDINGS:	±4,713 SF
ZONE:	PLANNED DEVELOPMENT
REQUIRED PARKING:	
RETAIL: 1 PER 300 SF	
3356/300 = 10.7 OR 11 STALLS	
RESTAURANT: 1 PER 100 SF	
1500/100 = 15 STALLS	
STANDARD PARKING PROVIDED:	25
HC STALLS:	2
TOTAL PARKING PROVIDED:	27
BICYCLE PARKING:	7
STANDARD STALL DIMENSIONS:	9' x 16'
STALLS NEXT TO LANDSCAPE:	10' x 19'
DRIVE AISLE WIDTH:	25'

BUILDING DATA

RESTAURANT (DRIVE THROUGH):	= ± 1,500 SF
RETAIL:	= ± 3,213 SF
TOTAL:	= ± 4,713 SF

PIPE TABLE				
#	SIZE	LENGTH	MATERIAL	SLOPE
1	18"	31'	RCP	0.65%



PROJECT TITLE
RETAIL

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL
SITE PLAN REVIEW

DRAWN BY: BSA
CHECKED BY: MRB
PROJECT NO.: 18-075-001

REVISIONS

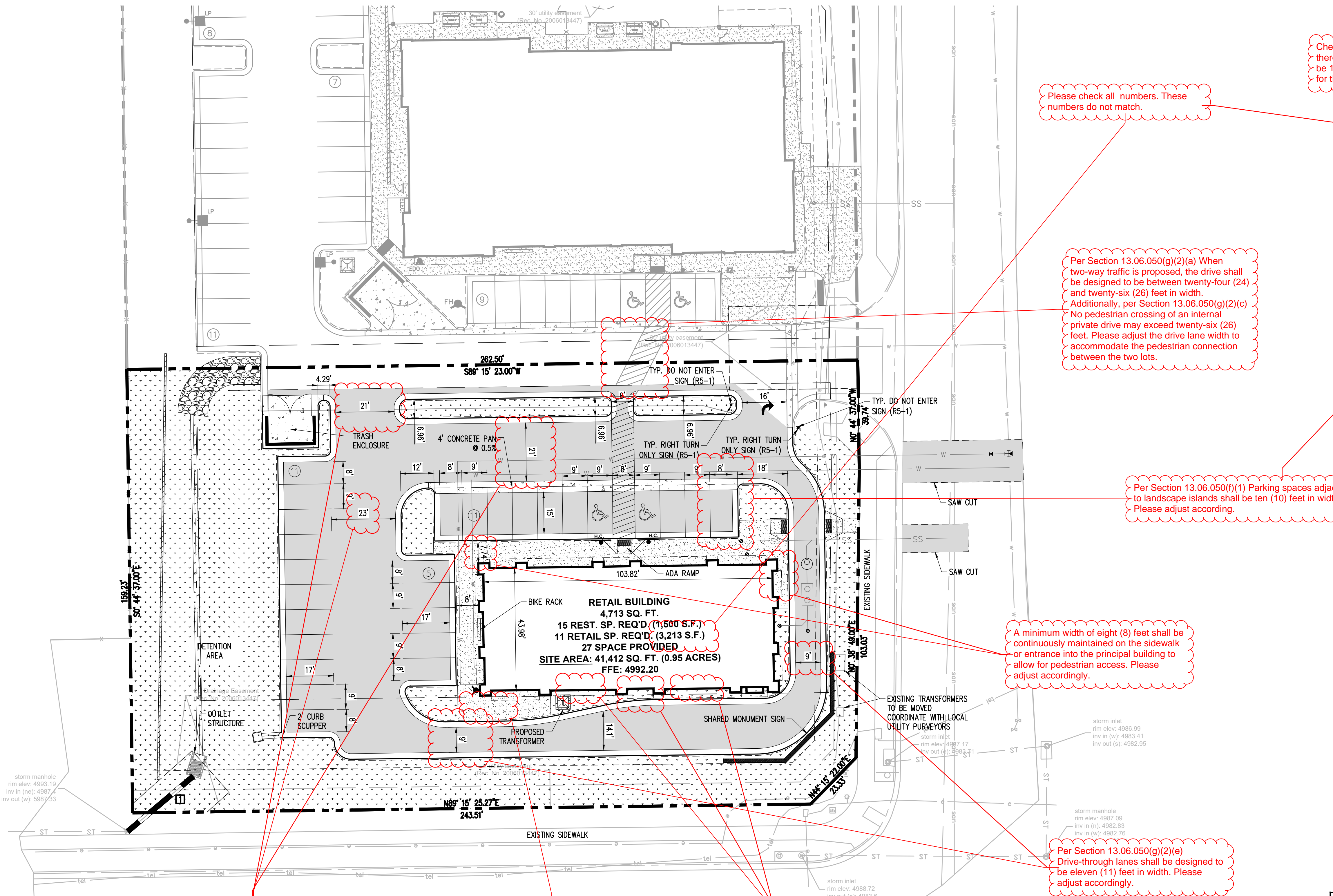
2ND SUBMITTAL	10/31/2019
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DATE
5/28/2019

SHEET TITLE
SITE PLAN

SHEET INFORMATION
C-1.0

2 of 2



Check math...11.19 therefore there would be 11 spaces required for the retail.

Please check all numbers. These numbers do not match.

Per Section 13.06.050(g)(2)(a) When two-way traffic is proposed, the drive shall be designed to be between twenty-four (24) and twenty-six (26) feet in width. Additionally, per Section 13.06.050(g)(2)(c) No pedestrian crossing of an internal private drive may exceed twenty-six (26) feet. Please adjust the drive lane width to accommodate the pedestrian connection between the two lots.

Per Section 13.06.050(f)(1) Parking spaces adjacent to landscape islands shall be ten (10) feet in width. Please adjust according.

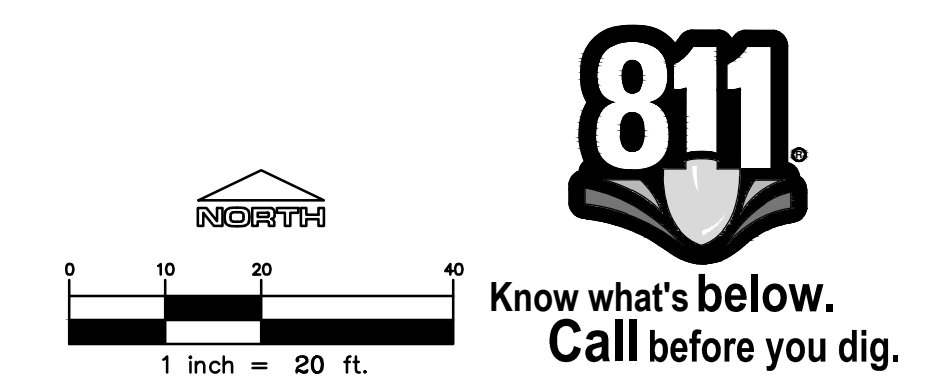
A minimum width of eight (8) feet shall be continuously maintained on the sidewalk or entrance into the principal building to allow for pedestrian access. Please adjust accordingly.

Per Section 13.06.050(g)(2)(e) Drive-through lanes shall be designed to be eleven (11) feet in width. Please adjust accordingly.

Per Section 13.06.050(g)(2)(a) When two-way traffic is proposed, the drive shall be designed to be between twenty-four (24) and twenty-six (26) feet in width. Please adjust accordingly.

Where is the drive through menu board going to be located? Will there be over head covering? Please provide a detail.

Egress doors for the public or employees cannot open to landscaping beds. This landscaping will not survive. There needs to be a sidewalk provided where employees or the public can exit the building.



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This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering Date

NEW CONSTRUCTION:

PARKER MIXED-USE RETAIL

HESS ROAD & PARDEE
STREET
PARKER, COLORADO



8111 Preston Road, Suite 300
Dallas, Texas 75225

DATE: 05.22.2019
05.28.2019
10.30.2019

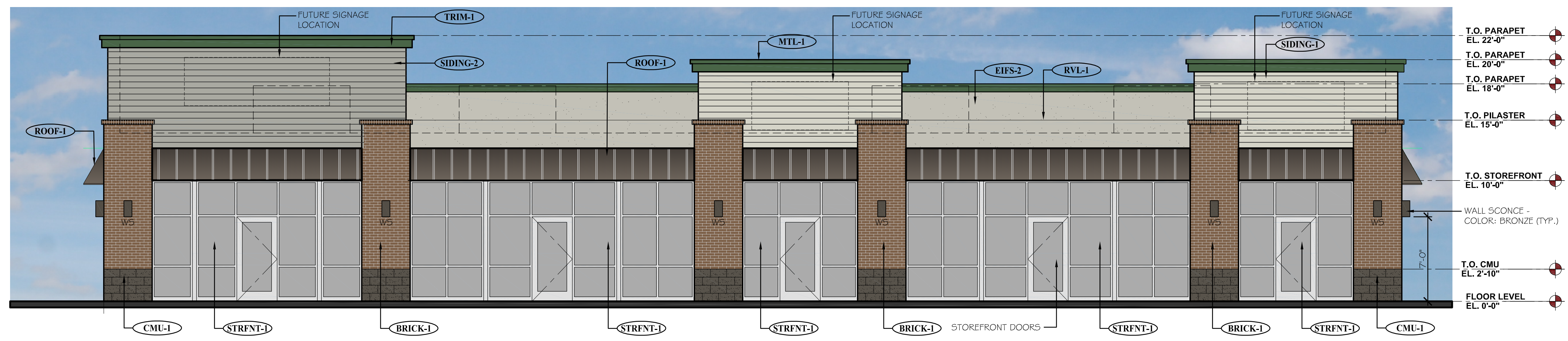
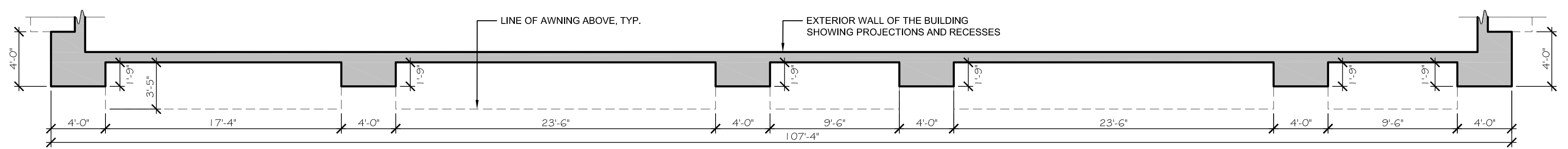
ISSUE: PROGRESS REVIEW
SITE PLAN SUBMITTAL
2nd SITE PLAN SUBMITTAL

4100
Wadsworth Boulevard
Suite 300
Wheat Ridge
CO 80033
720-599-3330 - P
303-987-2304 - X

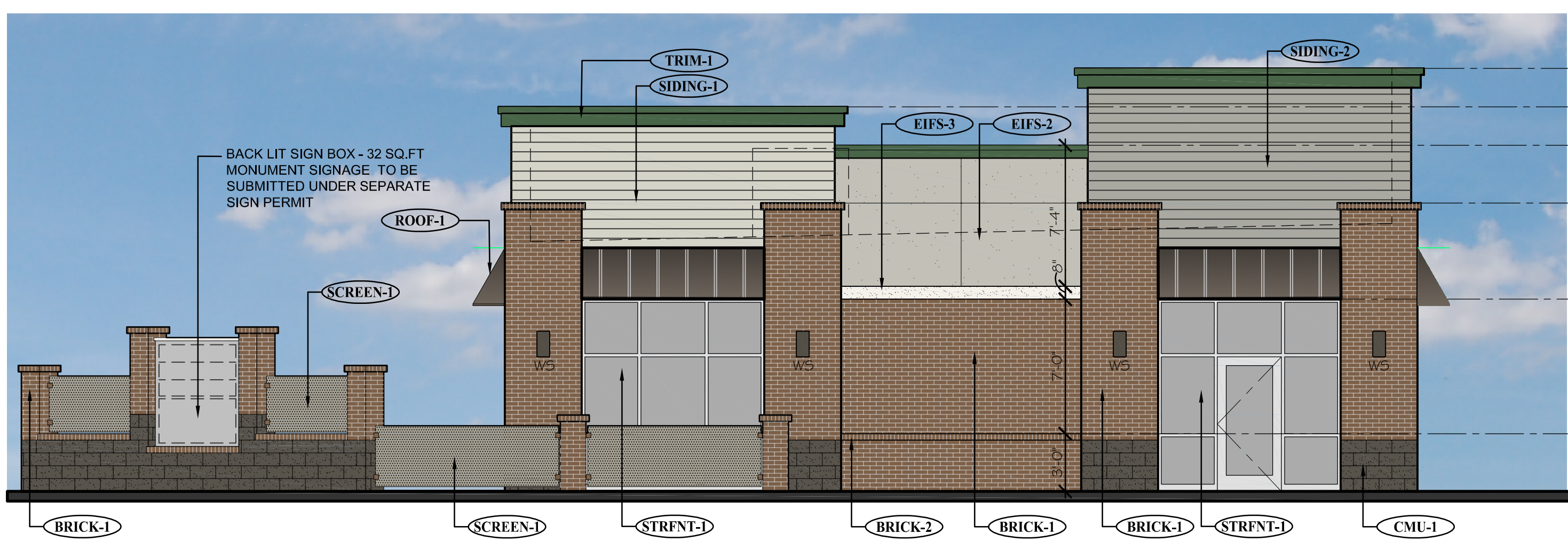
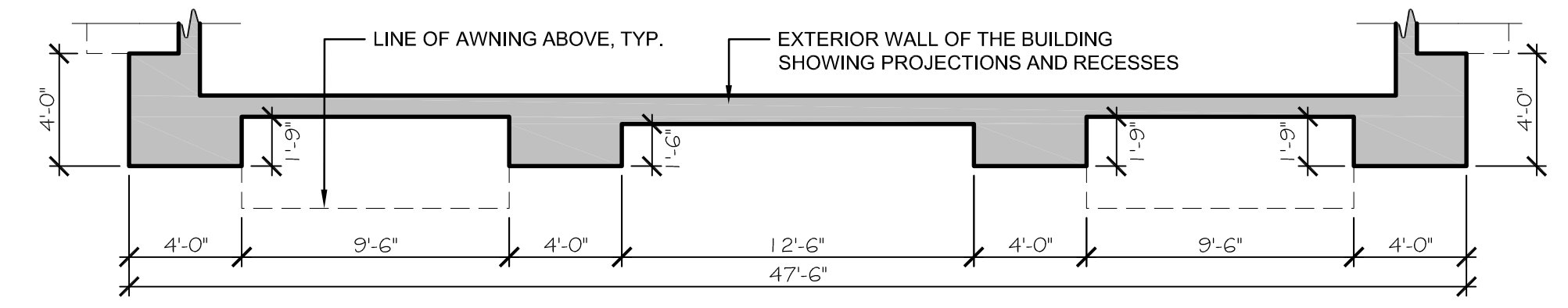
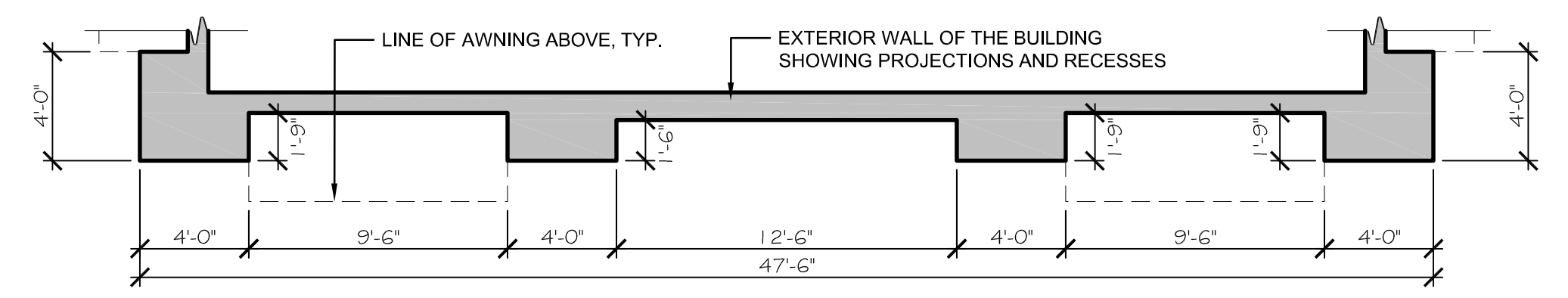
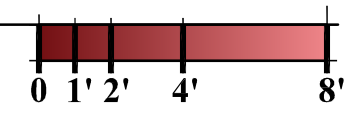
ROGUE
ARCHITECTURE
CHALLENGING THE STATUS QUO

DATE: 05.28.19
DRAWN: ROGUE
CHECKED: SAB
ROGUE PROJECT NO.: 2019.30

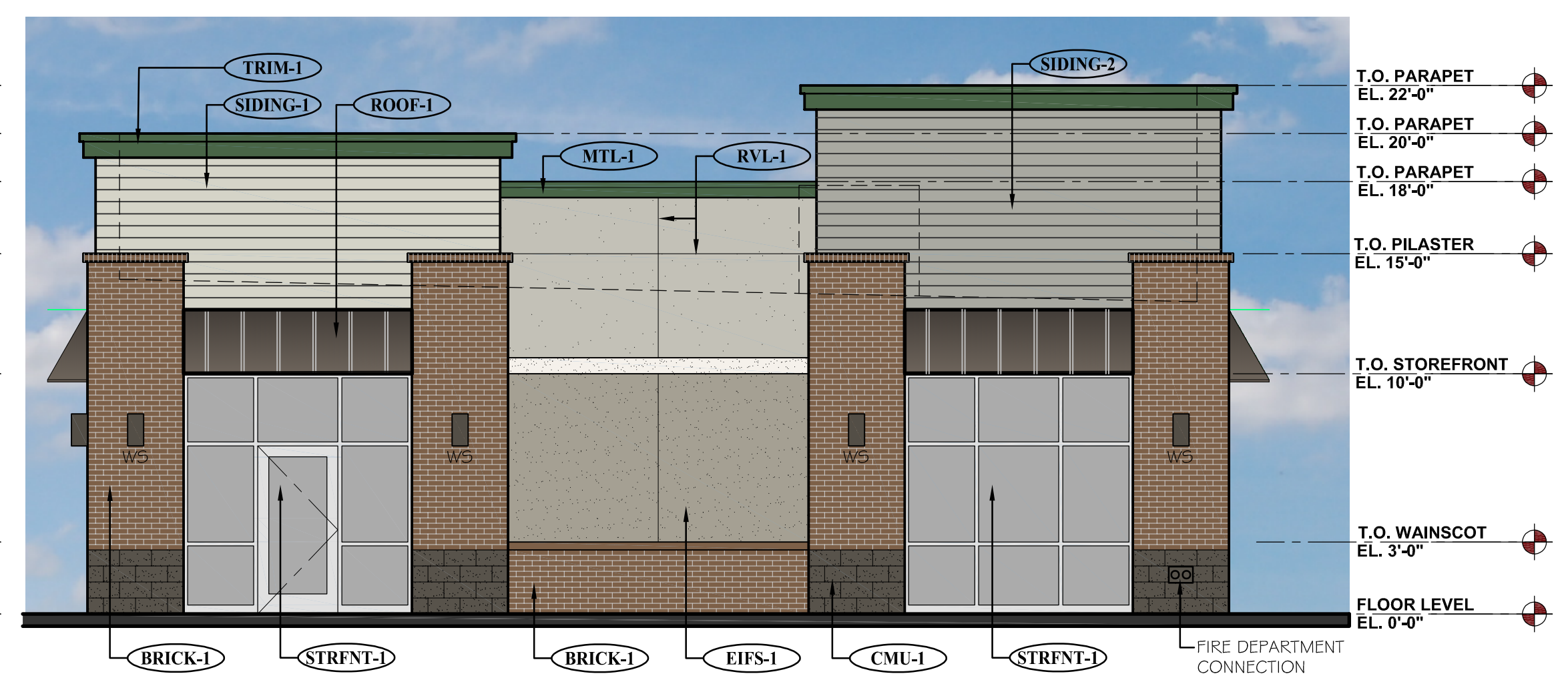
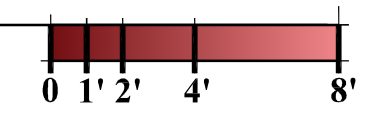
PROPOSED EXTERIOR
ELEVATIONS
SHEET: **A-1**
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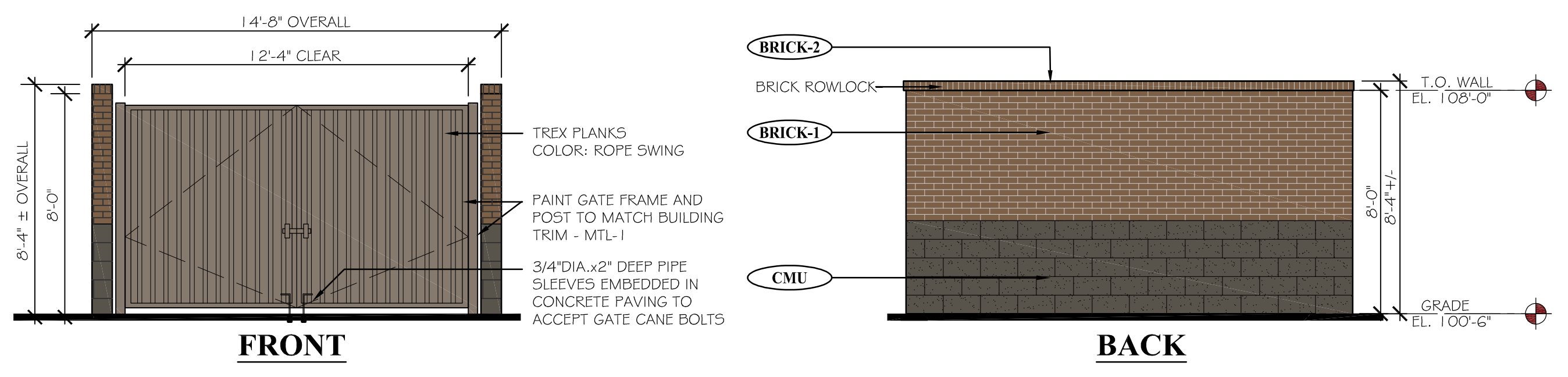
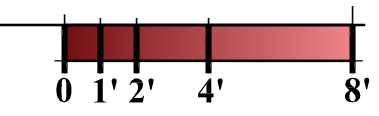
1 A-1 PROPOSED NORTH ELEVATION (FRONT)
SCALE: 3/16" = 1'-0"



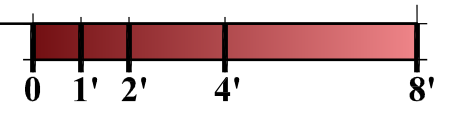
2 A-1 PROPOSED EAST ELEVATION (RIGHT SIDE)
SCALE: 3/16" = 1'-0"



3 A-1 PROPOSED WEST ELEVATION (LEFT SIDE)
SCALE: 3/16" = 1'-0"



4 A-1 PROPOSED TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"



EXTERIOR MATERIAL SCHEDULE				EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR	LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STRFNT-1	KAWNEER	TRIFAB 451	CLEAR ANODIZED W/ CLEAR GLASS	SIDING-1	JAMES HARDIE	HARDIEPLANK LAP SIDING PRODUCT: CEDARMILL	COLOR: BENJAMIN MOORE FEATHER GRAY 2127-60
BRICK-1	SUMMIT BRICK (OR EQUIV.)	MODULAR	GRAPHITE GRAIN	SIDING-2	JAMES HARDIE	HARDIEPLANK LAP SIDING PRODUCT: CEDARMILL	COLOR: COBBLESTONE
BRICK-2	SUMMIT BRICK (OR EQUIV.)	ROWLOCK SILL	GRAPHITE GRAIN	TRIM-1	JAMES HARDIE	HARDIETRIM BOARDS	PRODUCT: 5/4 SMOOTH COLOR: SW #7048 URBANE BRONZE
CMU-1	BASALITE (OR EQUIV.)	INTEGRAL COLOR w/ ASSOCIATED CAP	CHARCOAL #605 SPLIT-FACE	ROOF-1	MBCI	AWNING	BURNISHED SLATE
EIFS-1	DRYVIT OR SIMILAR	FIELD (DARK)	DRYVIT, SUEDE #105 PEBBLE TEXTURE	MTL-1	MBCI	METAL TRIM & DOWNSPOUTS	HUNTER GREEN
EIFS-2	DRYVIT OR SIMILAR	BANDING (LIGHT)	DRYVIT LIGHT SERENITY #300 PEBBLE TEXTURE	PAINT-1	BENJAMIN MOORE	DOORS & FRAMES	SHERWIN WILLIAMS #6073 PERFECT GREIGE
EIFS-3	DRYVIT OR SIMILAR	FIELD (MEDIUM)	DRYVIT PRAIRIE CLAY #111 PEBBLE TEXTURE	SCREEN-1	ACCURATE PERFORATING (OR EQUIV.)	R5234	BENJAMIN MOORE #2106-05 SILVER FOX
RVL-1	DRYVIT OR SIMILAR	3/4" ROUTED REVEAL	COLOR TO MATCH ADJACENT FINISH				

R:\Projects\2019_30 - Brytar - Parker, CO Retail\CAD\Site Submittal\2019_30 - A-1 - Proposed Elevations (Colored).dwg

SITE PLAN SUBMITTAL 10.30.2019

NEW CONSTRUCTION:

PARKER MIXED-USE RETAIL

HESS ROAD & PARDEE
STREET
PARKER, COLORADO



8111 Preston Road, Suite 300
Dallas, Texas 75225

DATE: 05.22.2019
05.28.2019
10.30.2019

ISSUE: PROGRESS REVIEW
SITE PLAN SUBMITTAL
2nd SITE PLAN SUBMITTAL

4100
Wadsworth Boulevard
Suite 300
Wheat Ridge
CO 80033
720-599-3330 - P
303-987-2304 - X

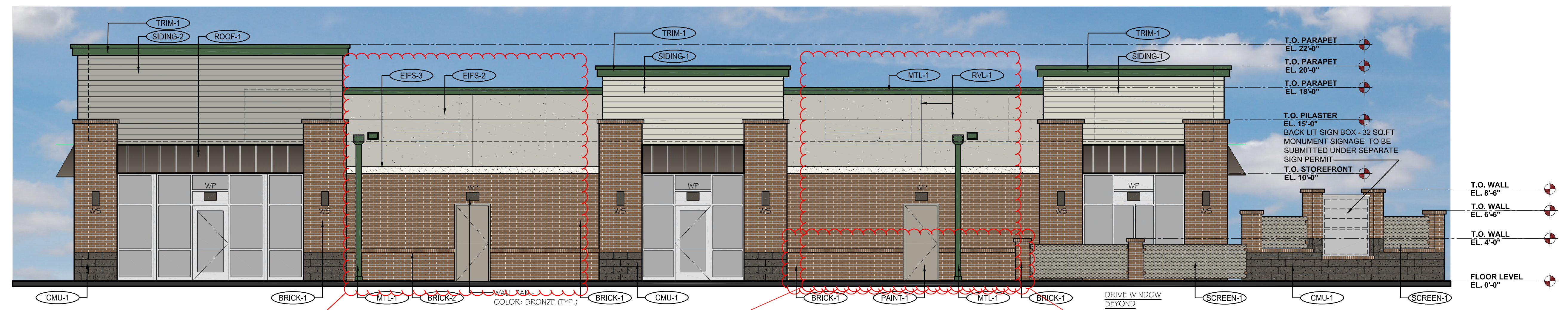
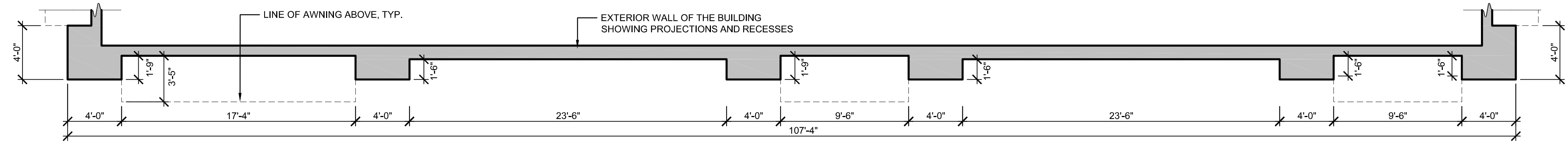
ROGUE
ARCHITECTURE
CHALLENGING THE STATUS QUO

DATE: 05.28.19
DRAWN: ROGUE
CHECKED: SIGNAGE SAB
ROGUE PROJECT DETAILS 2019.30

SHEET: **A-2**

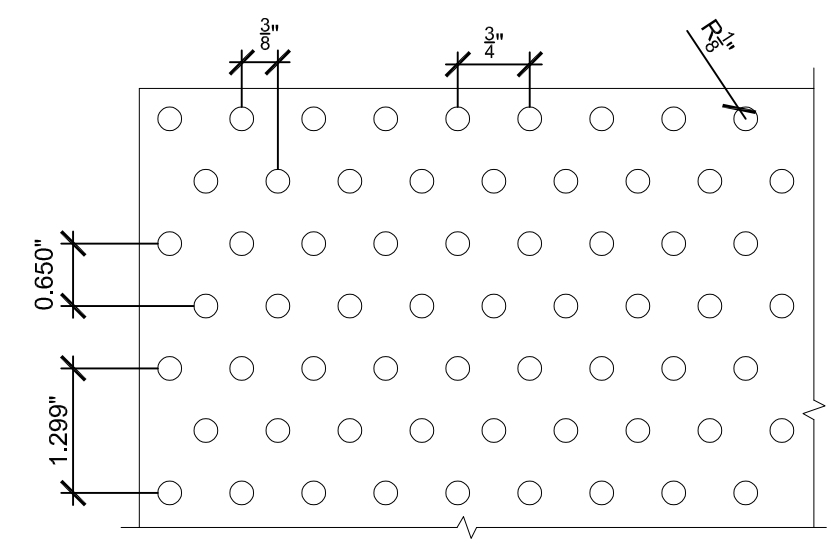
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SITE PLAN SUBMITTAL 10.30.2019



4
A-2
PROPOSED SOUTH ELEVATION (REAR)
SCALE: 3/16" = 1'-0"

These two sections of the building should be enhanced in order to meet the 360 degree architecture requirement. Since the South elevation fronts Hess Road, this elevation should not have a "rear" appearance.

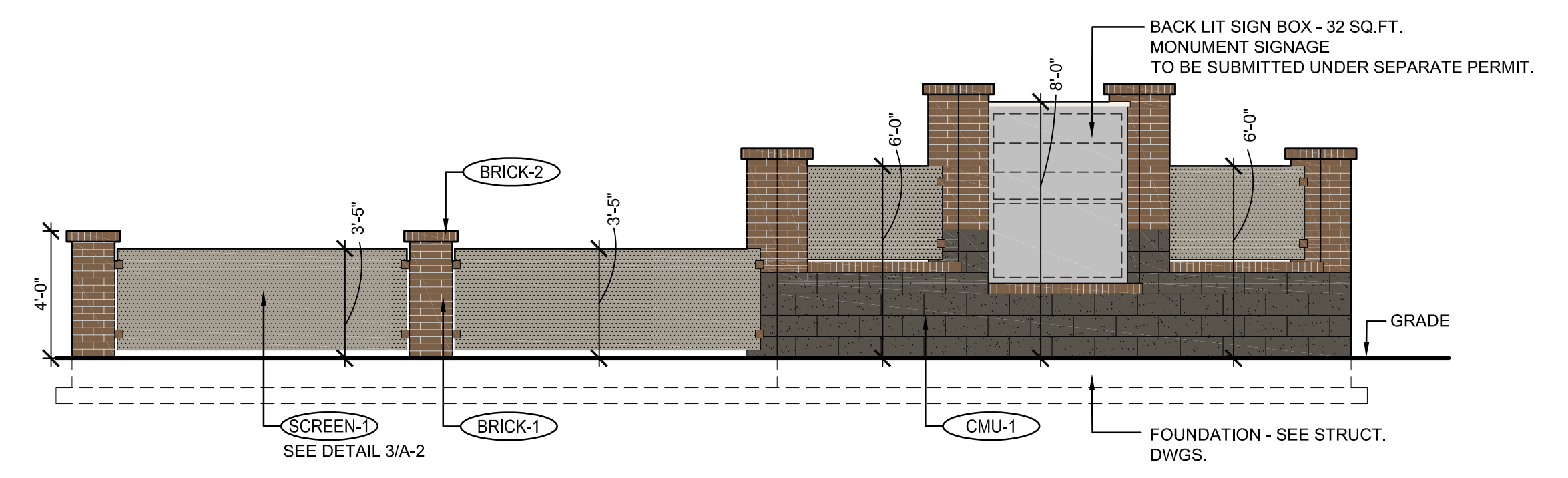


Extend the screen wall to screen the rear appearance along Hess Road.

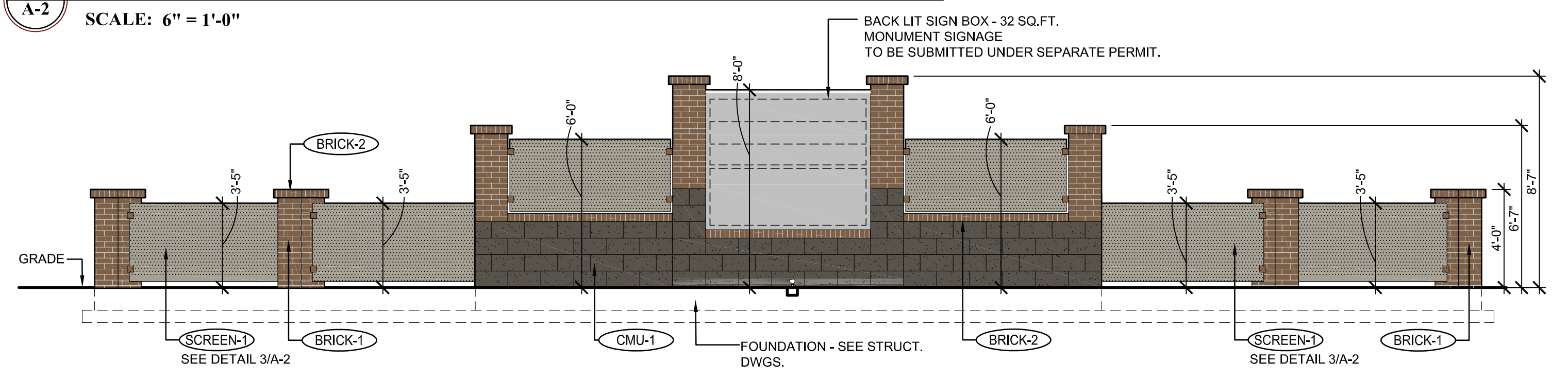
NOTE: SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT.

MONUMENT SIGNAGE/SCREEN WALL METAL SCREEN PERFORATION PATTERN

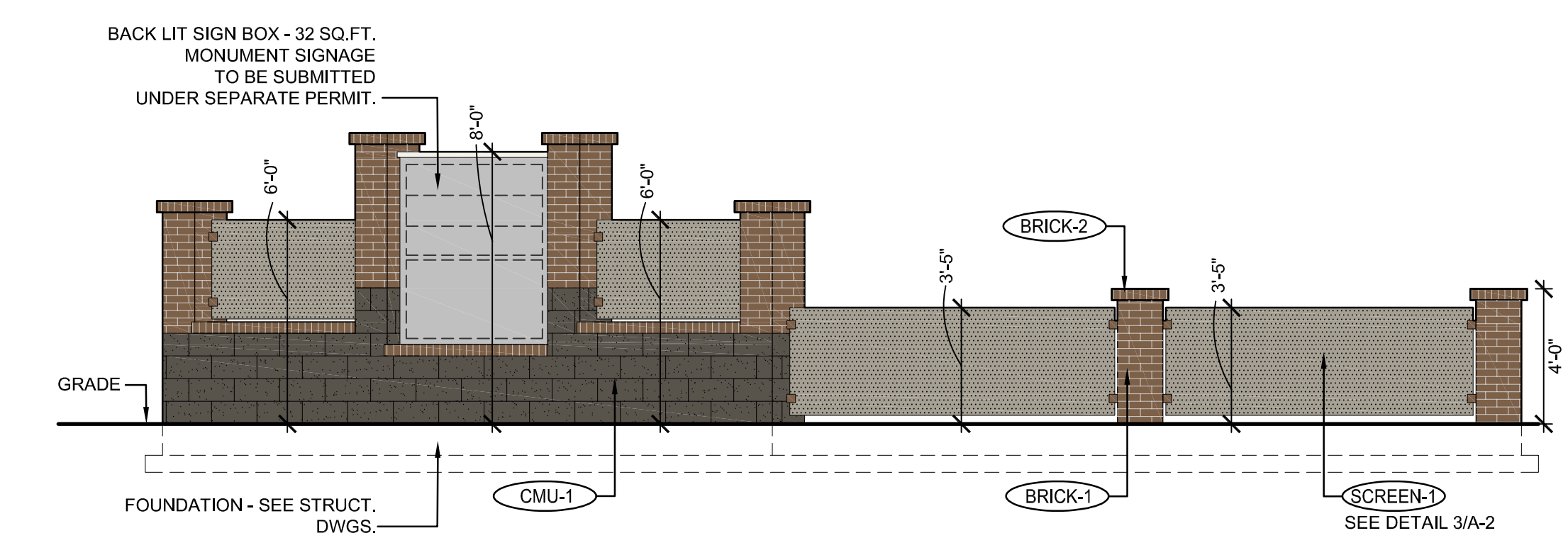
3
A-2
SCALE: 6" = 1'-0"



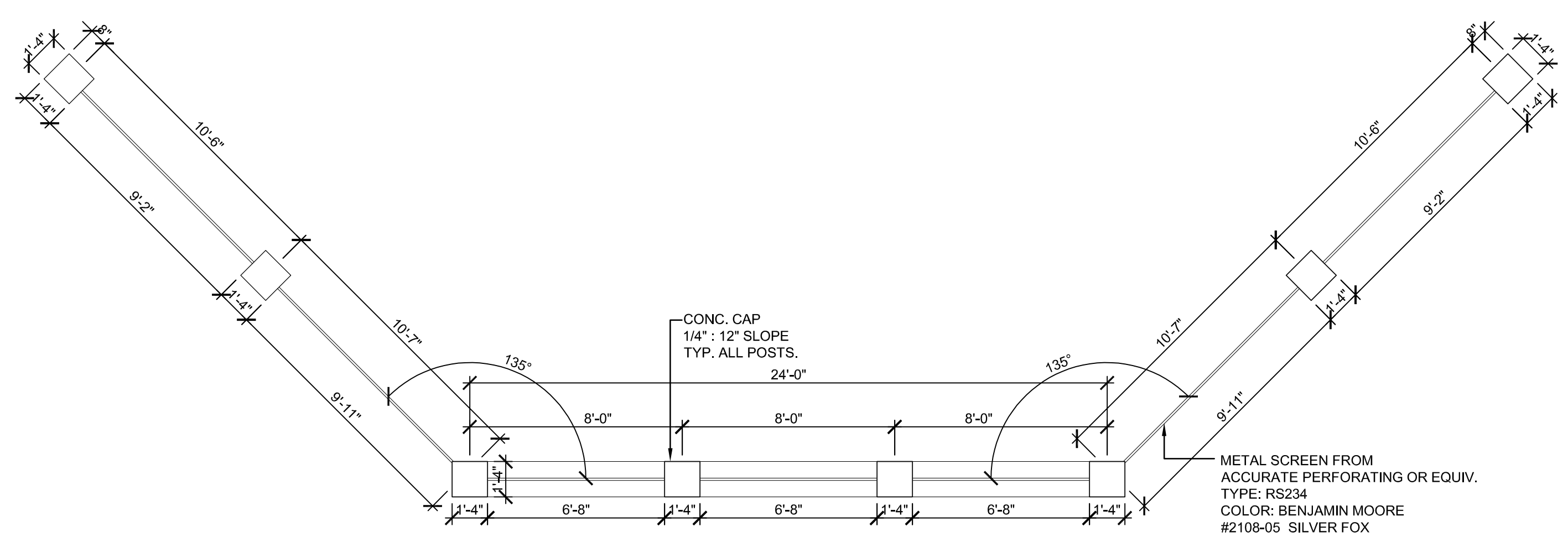
5
A-2
MONUMENT SIGNAGE/SCREENWALL - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A-2
MONUMENT SIGNAGE/SCREENWALL - SOUTH EAST CORNER ELEVATION
SCALE: 1/4" = 1'-0"



6
A-2
MONUMENT SIGNAGE/SCREENWALL - EAST ELEVATION
SCALE: 1/4" = 1'-0"



1
A-2
MONUMENT SIGNAGE/SCREENWALL AT SOUTH EAST CORNER - PLAN
SCALE: 1/4" = 1'-0"

R:\Projects\2019_30 - Brytar - Parker, CO Retail\CAD\Site Submittal\2019_30 - A-2 - Proposed Elevation & Signage Details.dwg

NEW CONSTRUCTION:

PARKER MIXED-USE RETAIL

HESS ROAD & PARDEE
STREET
PARKER, COLORADO



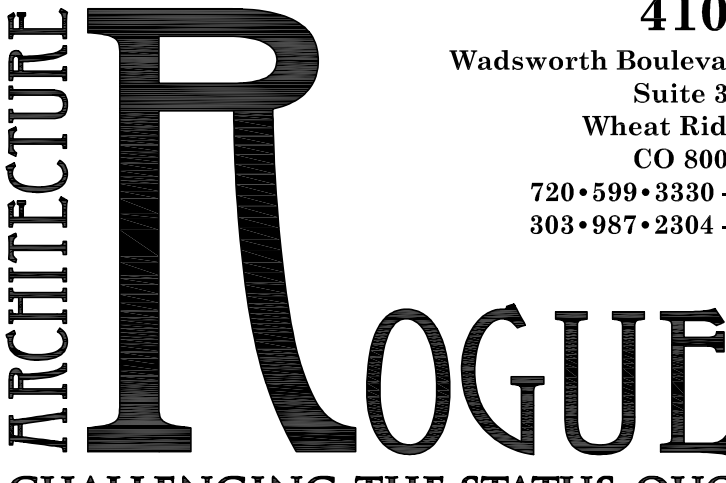
8111 Preston Road, Suite 300
Dallas, Texas 75225



JCAA
4100 Wadsworth Blvd.
Wheat Ridge, CO 80033
p 303.985.3260 #19.066

DATE: 05.22.2019
05.28.2019
10.30.2019

ISSUE: PROGRESS REVIEW
SITE PLAN SUBMITTAL
2nd SITE PLAN SUBMITTAL



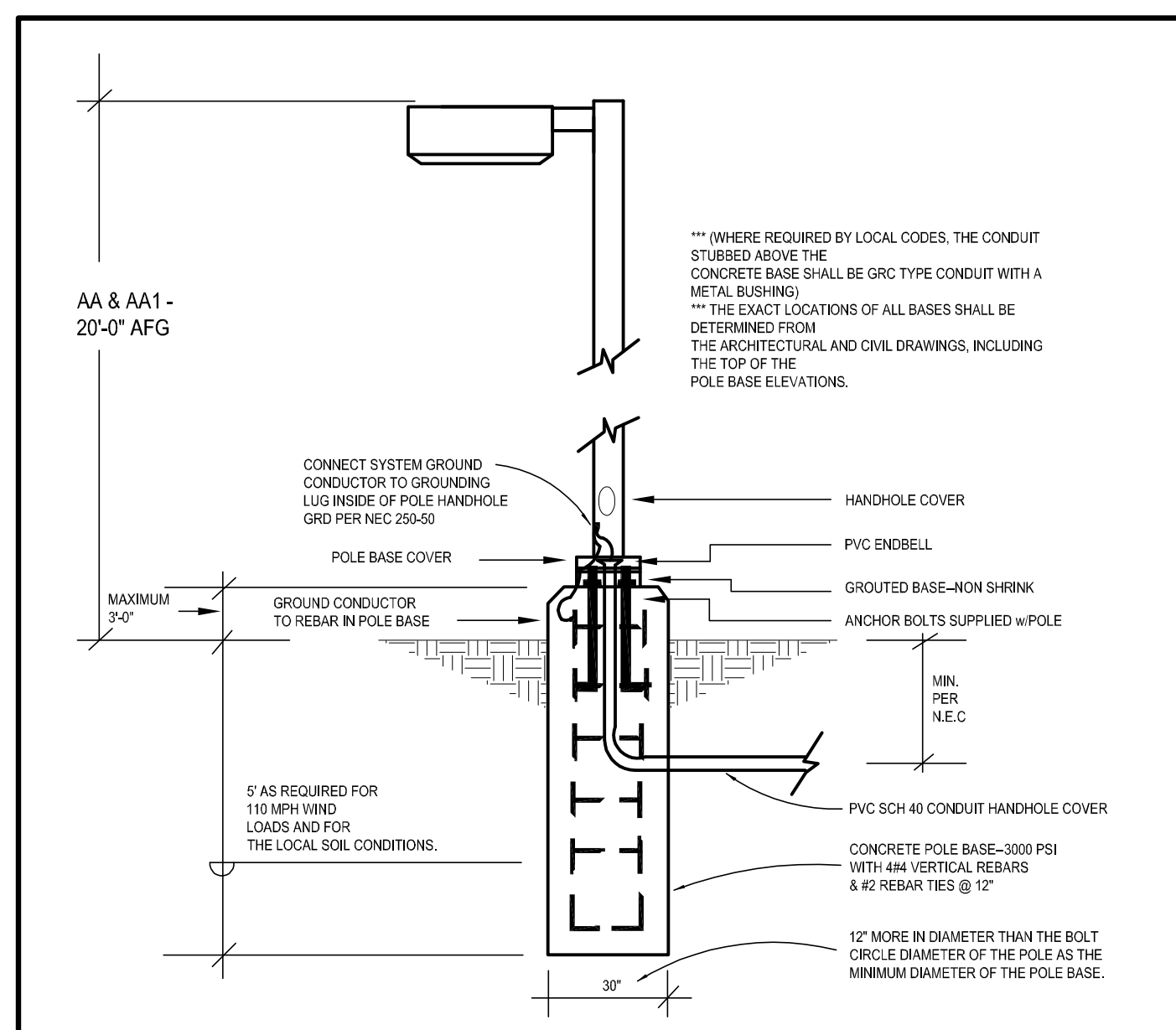
4100
Wadsworth Boulevard
Suite 300
Wheat Ridge
CO 80033
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CHALLENGING THE STATUS QUO

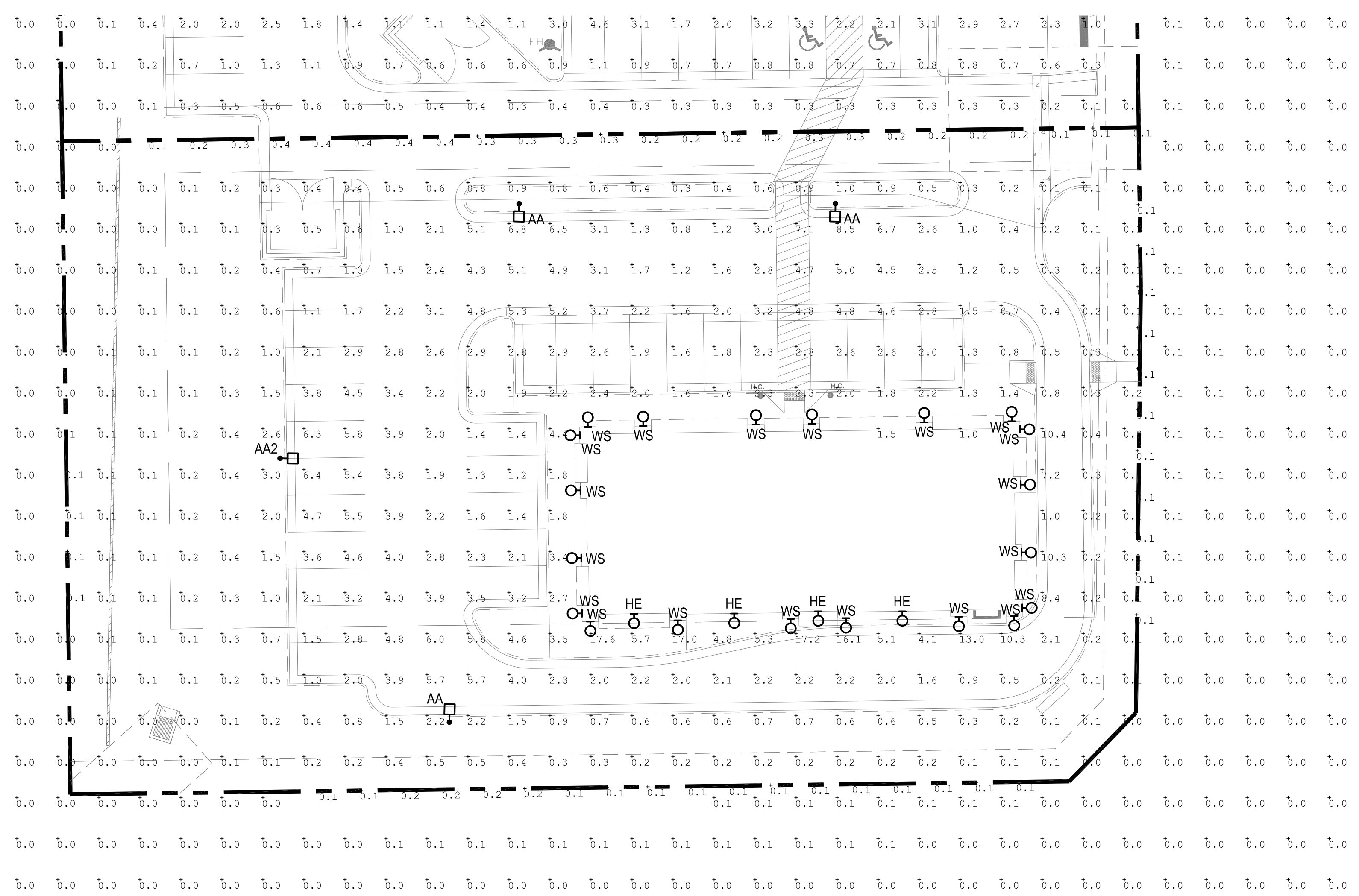
DATE: 05.28.19
DRAWN: ATE
CHECKED: JCAA
ROGUE PROJECT NO.: 2019.30

PHOTOMETRIC PLAN
SHEET: **ESP1.1**

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2 TYPE "AA & AA1" POLE BASE DETAIL
scale: N.T.S.

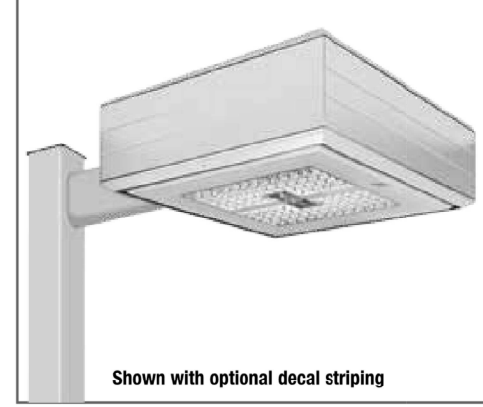


1 PHOTOMETRIC SITE PLAN
scale: 1"=20'-0"
NORTH

SITE LUMINAIRE SCHEDULE									
FIXT. TYPE	MANUFACTURER		FINISH	LAMP DATA	LAMP WATTS	MOUNTING METHOD	MTG HEIGHT	DESCRIPTION	VOLTS
	NAME	CATALOG NUMBER							
AA	LSI INDUSTRIES	XGBM-FT-SS-128-NW-UJE-BLK-SSQB5-S07G-20-S-B LK-SF-DGP	BLK	LED	188	POLE	20'-0"	SITE LIGHTING SINGLE HEAD TYPE FT WITH HOUSE SIDE SHIELD	UNV
AA2	LSI INDUSTRIES	XGBM-3-SS-128-NW-UJE-BLK-SSQB5-S07G-20-S-BL K-SF-DGP	BLK	LED	188	POLE	20'-0"	SITE LIGHTING SINGLE HEAD TYPE 3 WITH HOUSE SIDE SHIELD	UNV
HE	WILLIAMS	WVPHL30/740 TFT-WHT-SDGL-EM/10WC-DIM-UNV	BLK	LED	72	SURFACE	9'-0"	WALL PACK	UNV
WS	CONTECH	CYL6230MM/DUXI/WCLR-BZ-RDB	BRZ	LED	14	SURFACE	6'-0"	WALL SCONCE	UNV

SITE PLAN SUBMITTAL 10.30.2019

LED AREA LIGHTS - (XGBM)



Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific catalog listings.

LIGHT OUTPUT - XGBM	Lumen (lm)			Type FTA	Watts (Nominal)
	Typ 3	Typ 5	Typ 7		
SS	14000	18000	20500	15500	140
SS	20100	25400	29200	23000	187
HO	26700	32400	36200	31800	300
SS	11450	11290	12220	13470	136
SS	16300	15170	17230	18750	188
HO	22240	20650	23510	25410	288

LED chips are frequency optimized therefore color may vary.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.

RoHS **FC** **CE** **UL** **IP67** **ARRA** **IP67** **DLC**

Relates comply with ANSI C136.3-1200 American National Standard for Building Lighting Equipment - Luminaire Vibration 3G requirements.

Project Name _____ Fixture Type _____ 10/16/17 © 2017 LSI INDUSTRIES INC.

TYPE 'AA, AA1 & AA2'

LED AREA LIGHTS - (XGBM)

LUMINAIRE ORDERING INFORMATION

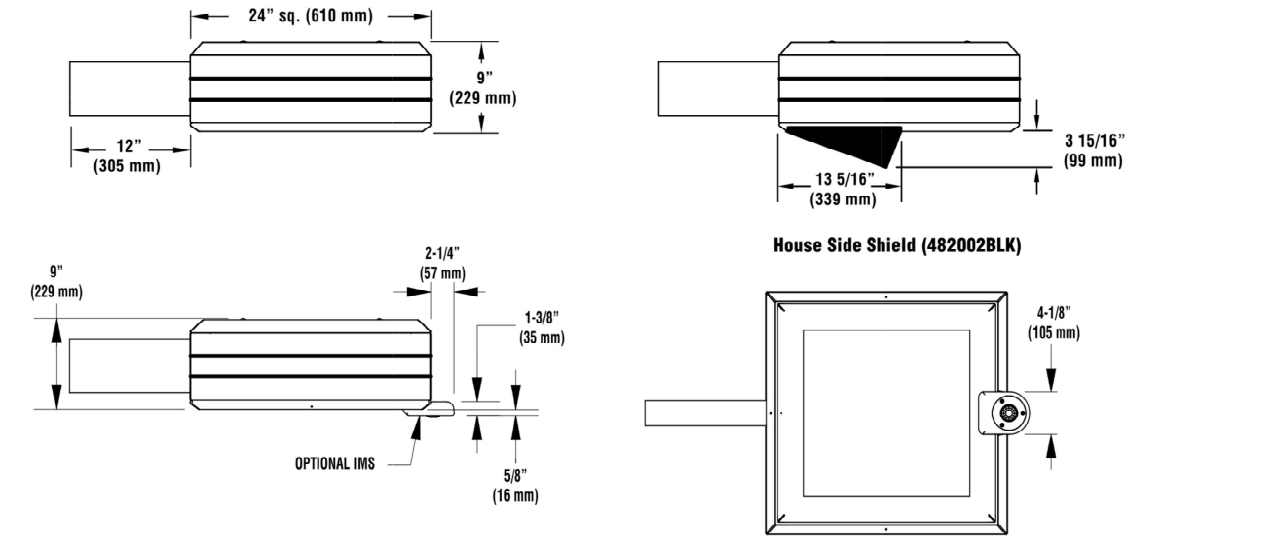
TYPICAL ORDER EXAMPLE: **XGBM 5 LED HO CW UE WHT PCM**

Prefix	Dimension	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
XGBM	5	FT - Upward Throw LED	Low Voltage 20 - Super Bright HO - High Output	CW - Cool White (5000K) UE - Neutral White (4000K)	120V/277V	Black RCP - Bronze GPT - Graphite MSL - Metallic Silver PLP - Platinum Plus SSM - Satin Aluminum Green WHT - White	Wireless Control System ¹ 1- 120V/277V Dimmer 2- 120V/277V Occupancy Sensor 3- 120V/277V Motion Sensor 4- 120V/277V Photo Sensor 5- 120V/277V Occupancy Sensor 6- 120V/277V Motion Sensor 7- 120V/277V Photo Sensor 8- 120V/277V Occupancy Sensor 9- 120V/277V Motion Sensor 10- 120V/277V Photo Sensor 11- 120V/277V Occupancy Sensor 12- 120V/277V Motion Sensor 13- 120V/277V Photo Sensor 14- 120V/277V Occupancy Sensor 15- 120V/277V Motion Sensor 16- 120V/277V Photo Sensor 17- 120V/277V Occupancy Sensor 18- 120V/277V Motion Sensor 19- 120V/277V Photo Sensor 20- 120V/277V Occupancy Sensor 21- 120V/277V Motion Sensor 22- 120V/277V Photo Sensor 23- 120V/277V Occupancy Sensor 24- 120V/277V Motion Sensor 25- 120V/277V Photo Sensor 26- 120V/277V Occupancy Sensor 27- 120V/277V Motion Sensor 28- 120V/277V Photo Sensor 29- 120V/277V Occupancy Sensor 30- 120V/277V Motion Sensor 31- 120V/277V Photo Sensor 32- 120V/277V Occupancy Sensor 33- 120V/277V Motion Sensor 34- 120V/277V Photo Sensor 35- 120V/277V Occupancy Sensor 36- 120V/277V Motion Sensor 37- 120V/277V Photo Sensor 38- 120V/277V Occupancy Sensor 39- 120V/277V Motion Sensor 40- 120V/277V Photo Sensor 41- 120V/277V Occupancy Sensor 42- 120V/277V Motion Sensor 43- 120V/277V Photo Sensor 44- 120V/277V Occupancy Sensor 45- 120V/277V Motion Sensor 46- 120V/277V Photo Sensor 47- 120V/277V Occupancy Sensor 48- 120V/277V Motion Sensor 49- 120V/277V Photo Sensor 50- 120V/277V Occupancy Sensor 51- 120V/277V Motion Sensor 52- 120V/277V Photo Sensor 53- 120V/277V Occupancy Sensor 54- 120V/277V Motion Sensor 55- 120V/277V Photo Sensor 56- 120V/277V Occupancy Sensor 57- 120V/277V Motion Sensor 58- 120V/277V Photo Sensor 59- 120V/277V Occupancy Sensor 60- 120V/277V Motion Sensor 61- 120V/277V Photo Sensor 62- 120V/277V Occupancy Sensor 63- 120V/277V Motion Sensor 64- 120V/277V Photo Sensor 65- 120V/277V Occupancy Sensor 66- 120V/277V Motion Sensor 67- 120V/277V Photo Sensor 68- 120V/277V Occupancy Sensor 69- 120V/277V Motion Sensor 70- 120V/277V Photo Sensor 71- 120V/277V Occupancy Sensor 72- 120V/277V Motion Sensor 73- 120V/277V Photo Sensor 74- 120V/277V Occupancy Sensor 75- 120V/277V Motion Sensor 76- 120V/277V Photo Sensor 77- 120V/277V Occupancy Sensor 78- 120V/277V Motion Sensor 79- 120V/277V Photo Sensor 80- 120V/277V Occupancy Sensor 81- 120V/277V Motion Sensor 82- 120V/277V Photo Sensor 83- 120V/277V Occupancy Sensor 84- 120V/277V Motion Sensor 85- 120V/277V Photo Sensor 86- 120V/277V Occupancy Sensor 87- 120V/277V Motion Sensor 88- 120V/277V Photo Sensor 89- 120V/277V Occupancy Sensor 90- 120V/277V Motion Sensor 91- 120V/277V Photo Sensor 92- 120V/277V Occupancy Sensor 93- 120V/277V Motion Sensor 94- 120V/277V Photo Sensor 95- 120V/277V Occupancy Sensor 96- 120V/277V Motion Sensor 97- 120V/277V Photo Sensor 98- 120V/277V Occupancy Sensor 99- 120V/277V Motion Sensor 100- 120V/277V Photo Sensor	None

ACCESSORY ORDERING INFORMATION²

Description	Order Number	Description	Order Number
XGBM-HSS House Side Shield (Black only)	48202B BLC	EPK208, 240 Double Flange (208V, 240V)	EPK208, 240
EPK - Round Pole Plate	16211 BLC	EPK480 Double Flange (480V)	EPK480
EPK-SW-CR - Wall Mount Plate	12311 BLC	TKM Single Flange (240V)	TKM47
BKA-BP-RA-B-CLR - Radiant Arm	16811 BLC	PMK3100 - 100V Pole Mount Occupancy Sensor	5180000, 51
BRU-BP - 3" CUL - Support Bracket for round or square poles	14419 BLC	PMK3000P - 208, 240V Pole Mount Occupancy Sensor	5142900, 51
FK-SS-Strip Fixing (170V)	74100	PMK5077 - 277V Pole Mount Occupancy Sensor	5180500, 51
FKZ77 Single Flange (277V)	PKZ77	PMK5480 - 480V Pole Mount Occupancy Sensor	5142600, 51

FOOTNOTES:
 1- Use with 3' traditional drilling pattern.
 2- House Side Shields and feature EPA, Consult factory.
 3- Requires a SmartManager and override switch. Not compatible with BL5 or M5 option.
 4- Not compatible with M5 or BL5 option.
 5- Not compatible with wireless controls system, DIM or BL5 option.
 6- Not compatible with wireless controls system, DIM or BL5 option.
 7- House Side Shields and feature EPA, Consult factory.
 8- Flange must be located in the hand hole of pole.
 9- For use with all of the PMOCM wireless controls systems in the future. Consult factory.
 10- Preheat must be ordered separately. If per state, see accessories.



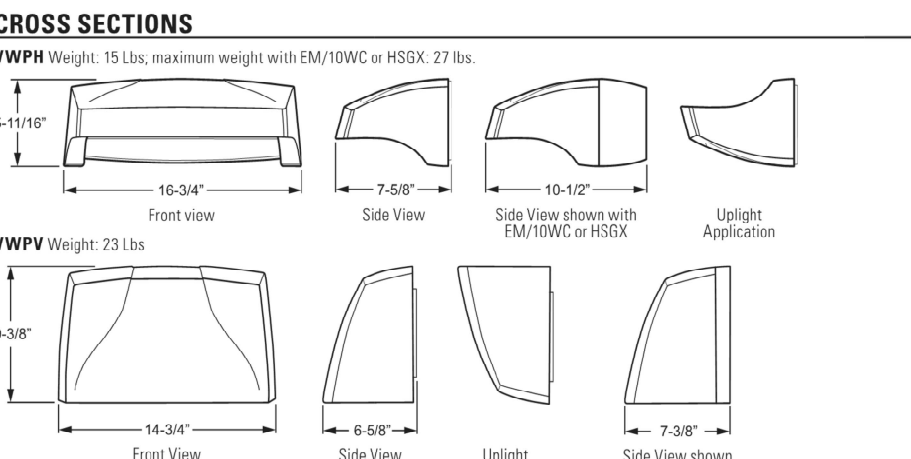
Project Name _____ Fixture Type _____ 10/16/17 © 2017 LSI INDUSTRIES INC.

TYPE 'AA, AA1 & AA2'

VOLTAIRE ARCHITECTURAL WALL PACK

WVP **LED**

EXAMPLE: **WVP H - L30/740 - T3 - DBZ - SDGL - OPTIONS - DIM - UNV**



ORDERING INFORMATION

SERIES
 WVP - Voltaire Architectural Wall Pack
 H - Horizontal
 V - Vertical
 T3 - 3" Type III
 T4 - 4" Type IV

FINISH OPTIONS
 BLS - Black (RAL 4004)
 DBZ - Dark Bronze
 DMR - Medium Bronze
 GRAY - Standard Gray
 SILV - Satin Aluminum (RAL #9006)
 WHT - White (RAL #9003)

LED PACKAGE

LUMEN PACKAGE	NOMINAL LUMENS	MINIMUM CRI	AVERAGE CCT	AVERAGE WATTAGE
L30	3,000	70+ CR 3000K	35	35
L60	6,000	70+ CR 3000K	70	70

DISTRIBUTION
 T3 - Type III
 T4 - Type IV

FINISH OPTIONS
 BLS - Black (RAL 4004)
 DBZ - Dark Bronze
 DMR - Medium Bronze
 GRAY - Standard Gray
 SILV - Satin Aluminum (RAL #9006)
 WHT - White (RAL #9003)

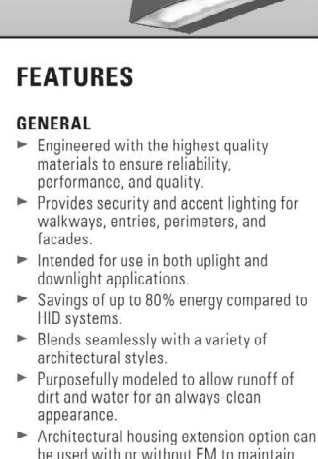
SHIELDING
 SDGL - Solid™ diffused textured tempered glass lens
 SCL - Clear tempered glass lens

OPTIONS
 120 - 120V
 208 - 208V
 277 - 277V
 UNV - 120/277V
 347 - 347V (includes stepdown transformer)
 480 - 480V (includes stepdown transformer)

H. E. Williams, Inc. • Carthage, Missouri • www.hew.com • 417-358-4065

TYPE 'HE'

WVP **LED**



ORDERING INFORMATION

SERIES
 WVP - Voltaire Architectural Wall Pack
 H - Horizontal
 V - Vertical
 T3 - 3" Type III
 T4 - 4" Type IV

LED PACKAGE

LUMEN PACKAGE	NOMINAL LUMENS	MINIMUM CRI	AVERAGE CCT	AVERAGE WATTAGE
L30	3,000	70+ CR 3000K	35	35
L60	6,000	70+ CR 3000K	70	70

DISTRIBUTION
 T3 - Type III
 T4 - Type IV

FINISH OPTIONS
 BLS - Black (RAL 4004)
 DBZ - Dark Bronze
 DMR - Medium Bronze
 GRAY - Standard Gray
 SILV - Satin Aluminum (RAL #9006)
 WHT - White (RAL #9003)

SHIELDING
 SDGL - Solid™ diffused textured tempered glass lens
 SCL - Clear tempered glass lens

OPTIONS
 120 - 120V
 208 - 208V
 277 - 277V
 UNV - 120/277V
 347 - 347V (includes stepdown transformer)
 480 - 480V (includes stepdown transformer)

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TYPE 'WS'

CONTECH LIGHTING | **LEVITON** company

CYL6

6" Integrated LED Indoor and Outdoor Cylinders

Specifications/Features
 Specification grade 6" diameter aluminum housing for indoor and outdoor applications.
 Four mounting options available: ceiling, flexible cable, pendant, or wall mount. Wall mount option is available in an up light, down light, or an up/down light version.
 Driver canopy for flexible cable option is 16 gauge steel. Ceiling, pendant, up/down, wall mount down light, and wall mount up light versions are available in either dry/damp/indoor or wet (outdoor) location types. Flexible cable version is only available in dry/damp location type.
 Wet location type cylinders feature a silicone sealed clear glass lens in a gasketed die-cast trim ring to ensure unit is watertight. Available in matte white, matte black, matte silver, and satin bronze finishes. Black flexible cable with black or bronze cylinders, white with white and gray with silver.
 Optical system employs either a clear or platinum reflector. Clear reflector is available in narrow, medium and wide beam distributors. Platinum is only available in a single beam distribution.
 Wall Wash and Pencil Beam optic accessories are also available on select models.

Series 1	Series 2	Series 3	Series 4	Series 5	Series 6
10	14	20	28	37	43
06/04	12/06	17/08	23/11	31/14	36/17



Input Voltage (V)

Series 1	Series 2	Series 3	Series 4	Series 5	Series 6
10	14	20	28	37	43
06/04	12/06	17/08	23/11	31/14	36/17

Input Voltage
 277V AC, 50/60Hz
 120V AC, 50/60Hz
 120V AC, 50/60Hz
 277V AC, 50/60Hz
 120V AC, 50/60Hz
 277V AC, 50/60Hz
 270W, 300W, 250W, 400W
 63 (80mm) / 90"

Color Temp
 3000K/3500K/4000K

CR1 Standard/High
 83 (80mm) / 90"

Driver
 THD > 0.50
 < 20%

Dimming
 Trac, ELC, 0-10V
 100-100%
 1-100%
 1-100%
 0.1-100%

Mounting
 Pendant mount cylinders feature a sloped ceiling canopy (canopy and stem kit ordered separately). Stem thread: 1/4-18NPS.
 Ceiling and Pendant cylinders provide a hang support for hands-free wiring.
 Pendant mount max length is 8'6". Consult factory for longer lengths.
 Wall mount cylinders employ a bracket which provides support for hands-free wiring.
 Flexible cable mount cylinders come with 120' of field adjustable cable.

Lamp/Electrical
 Light engine consists of a high output multi-chip LED array arranged into a single LED package, enabling precise optical control without requiring lensing to diffuse multiple LED sources.
 Excellent feature-to-feature color consistency within a 3-to-6 MacAdam Ellipse tolerance.
 System designed and rated for 50,000 hours at 70% lumen maintenance.
 UL8750 and Class 2 compliant; RoHS compliant, U.S. only.
 Output over voltage, over current and short circuit protected.
 Flexible cable cylinder utilizes 18/3 SJTOW cable.

Dimming
 All CYL6 cylinders are available for non-dimming and dimming applications.

Warranty
 This complete fixture is covered by Contech's full five (5) year replacement guarantee after date of purchase.

Labels/Usage
 cUL589s Certified for use in the U.S. and Canada.
 Ceiling, Pendant, Up/Down, and Wall mount models available as Damp/Dry or Wet location models. Flexible Cable mount only available as Damp/Dry location model. Wet location models must be installed per specific product installation instructions and all applicable National Electrical Codes.
 Energy Star Certified for all mounting options except the Up/Down Wall Mount, Pencil Beam, and Wall Wash Trims Assembled in the U.S.A.

1-847-559-5500 www.contechlighting.com Please Recycle All specifications subject to change without notice.

TYPE 'WS'

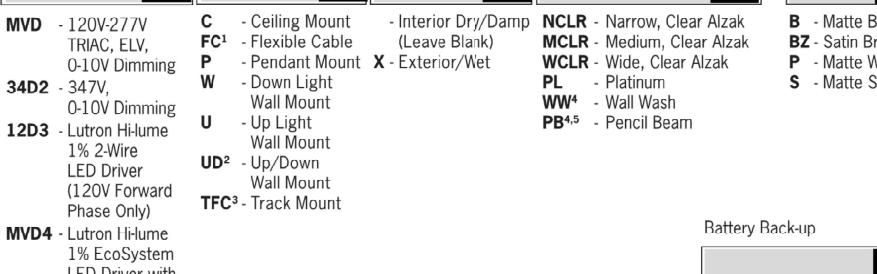
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Series 1	Series 2	Series 3	Series 4	Series 5	Series 6
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Input Voltage (V)

Series 1	Series 2	Series 3	Series 4	Series 5	Series 6
10	14	20	28	37	43
06/04	12/06	17/08	23/11	31/14	36/17

Input Voltage
 277V AC, 50/60Hz
 120V AC, 50/60Hz
 120V AC, 50/60Hz
 277V AC, 50/60Hz
 120V AC, 50/60Hz
 277V AC, 50/60Hz
 270W, 300W, 250W, 400W
 63 (80mm) / 90"

Color Temp
 3000K/3500K/4000K

CR1 Standard/High
 83 (80mm) / 90"

Driver
 THD > 0.50
 < 20%

Dimming
 Trac, ELC, 0-10V
 100-100%
 1-100%
 1-100%
 0.1-100%

Mounting
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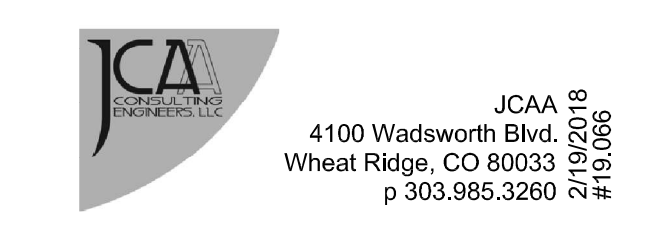
NEW CONSTRUCTION:

PARKER MIXED-USE RETAIL

HESS ROAD & PARDEE STREET PARKER, COLORADO

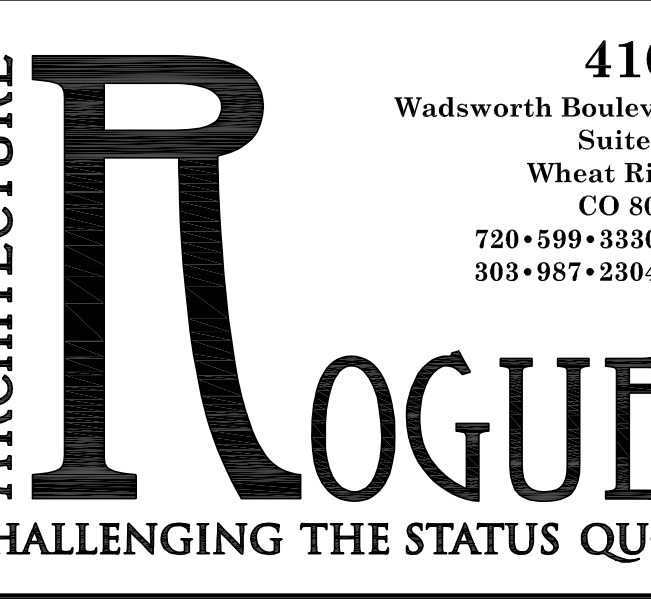


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DATE: 05.22.2019 05.28.2019 10.30.2019 **ISSUE: PROGRESS REVIEW SITE PLAN SUBMITTAL 2nd SITE PLAN SUBMITTAL**



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DATE: 05.28.19 **DRAWN: ATE** **CHECKED: JCAA** **ROGUE PROJECT NO.: 2019.30**

PHOTOMETRIC CUT SHEETS **ESP1.2** **SHEET:**

SITE PLAN SUBMITTAL 10.30.2019

