

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT
 A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF
 THE 6TH PRINCIPAL MERIDIAN
 PARKER WATER AND SANITATION DISTRICT

LEGEND

	PROPERTY LINE
	WATER LINE
	SEWER LINE
	SEWER CLEANOUT
	GAS LINE
	COMMUNICATION LINE
	POWER LINE



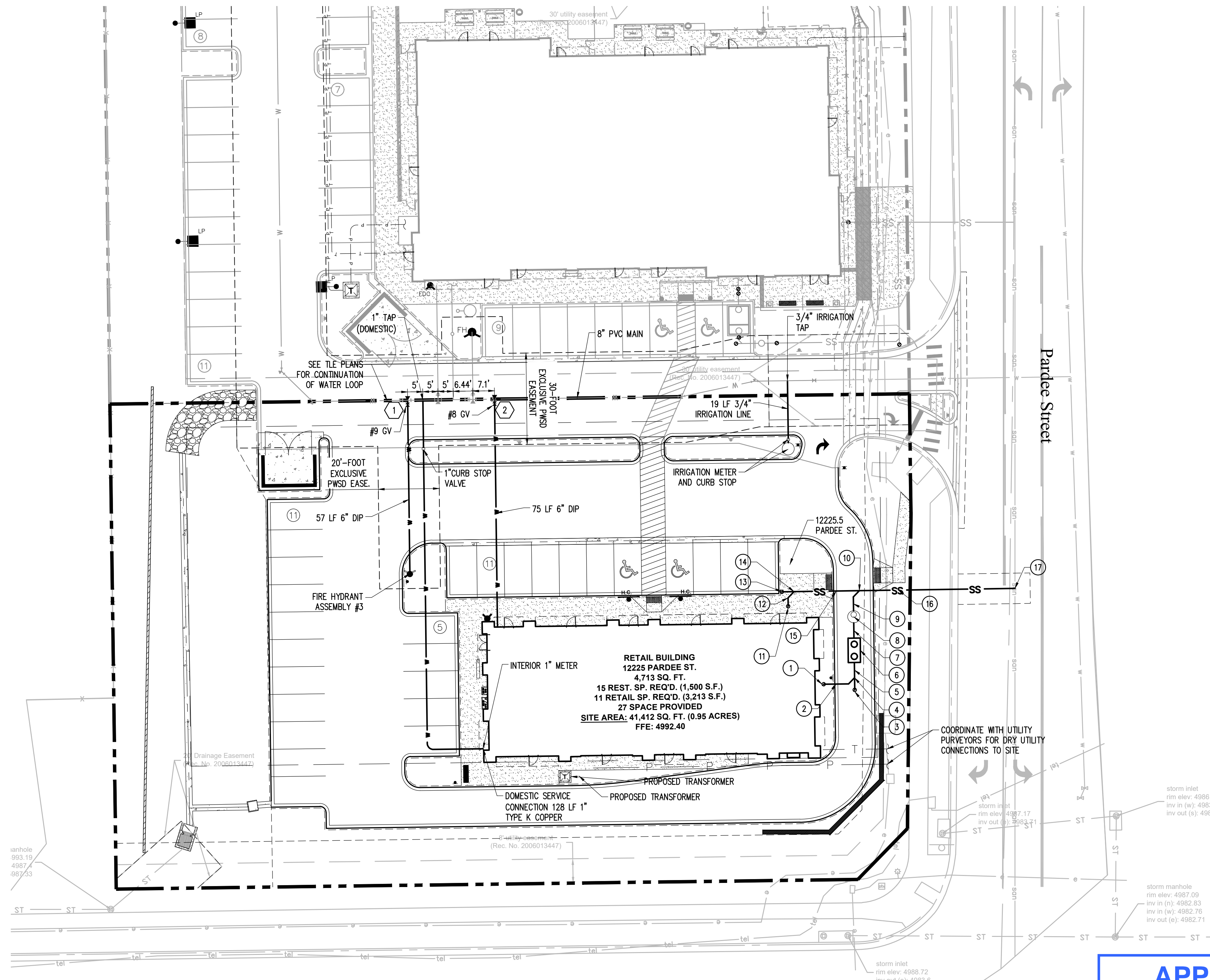
SANITARY SERVICE CONSTRUCTION NOTES

- | | |
|--|--|
| ① SANITARY CONNECTION AT BUILDING WITH CLEANOUT
IE: 4988.20 | ⑪ SANITARY CONNECTION AT BUILDING WITH CLEANOUT
IE: 4988.16 |
| ② 10 LF 6" PVC @ 2.0% | ⑫ 10 LF 6" PVC @ 2.0% |
| ③ SANITARY CLEANOUT
IE: 4988.08 | ⑬ SANITARY CLEANOUT
IE: 4988.14 |
| ④ SANITARY WYE CONNECTION
IE: 4988.00 | ⑭ SANITARY WYE CONNECTION
IE: 4988.06 |
| ⑤ 5 LF 6" PVC @ 2.0% | ⑮ 22 LF 6" PVC @ 2.0% |
| ⑥ GREASE INTERCEPTOR
IE IN: 4987.95
IE OUT: 4987.85 | ⑯ 51 LF 6" PVC @ 2.0% |
| ⑦ 5 LF 6" PVC @ 2.0% | ⑰ CONNECTION AT EXISTING SANITARY MAIN
IE: 4986.60 |
| ⑧ SAMPLING MANHOLE
IE: 4987.80 | |
| ⑨ 9 LF 6" PVC @ 2.0% | |
| ⑩ SANITARY WYE CONNECTION
IE: 4987.62 | |

NOTE

THE PROPOSED UTILITY CONNECTION WILL REQUIRE A TOWN RIGHT-OF-WAY PERMIT PRIOR TO COMMENCING WORK. THE TOWN PREFERENCES CONNECTIONS TO BE BORED TO THE EXTENT POSSIBLE, AND ANY STREET CUT ALLOWED BY THE TOWN WILL BE REQUIRED TO BE PATCHED ACCORDING TO THE TOWN'S CONSTRUCTION STANDARDS AND DETAILS. THE LIMITS OF PATCHING WILL BE DETERMINED BY THE TOWN AT THE TIME OF CONSTRUCTION. THE TOWN OF PARKER DOES NOT ALLOW ROADWAY CLOSURES FOR UTILITY WORK.

#	FIXTURE
1	6" X 8" TEE WITH GV (FH)
2	6" X 8" TEE WITH GV (FIRE SERVICE)



APPROVED
 Sep 13 2021
 PARKER WATER AND
 SANITATION DISTRICT

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

[Signature] 06/23/2021
 FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE DATE

(NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENT OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

[Signature] 09/21/2021
 Town of Parker, Director of Engineering Date

PROJECT TITLE
RETAIL

12225 PARDEE ST.
 PARKER, CO 80134

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300
 DALLAS, TX 75225

SUBMITTAL
 PWSD

DRAWN BY: BSA
 CHECKED BY: MRB
 PROJECT NO.: 18-075-001

REVISIONS

DATE
04/06/2021

SHEET TITLE
OVERALL UTILITY PLAN

SHEET INFORMATION
C-3.0

File: RE - PWSD - ROPAL300.dwg Path: P:\Colorado\Parker\Parker CO Hess Rd\Parker TLE & Retail #01-164-001\2 Drawings\ Plotted by: Amanda Date: 10-Sep-21 1:21:51pm

