

CONSTRUCTION PLANS
FOR
PARKER ADVENTIST HOSPITAL SALT SHED

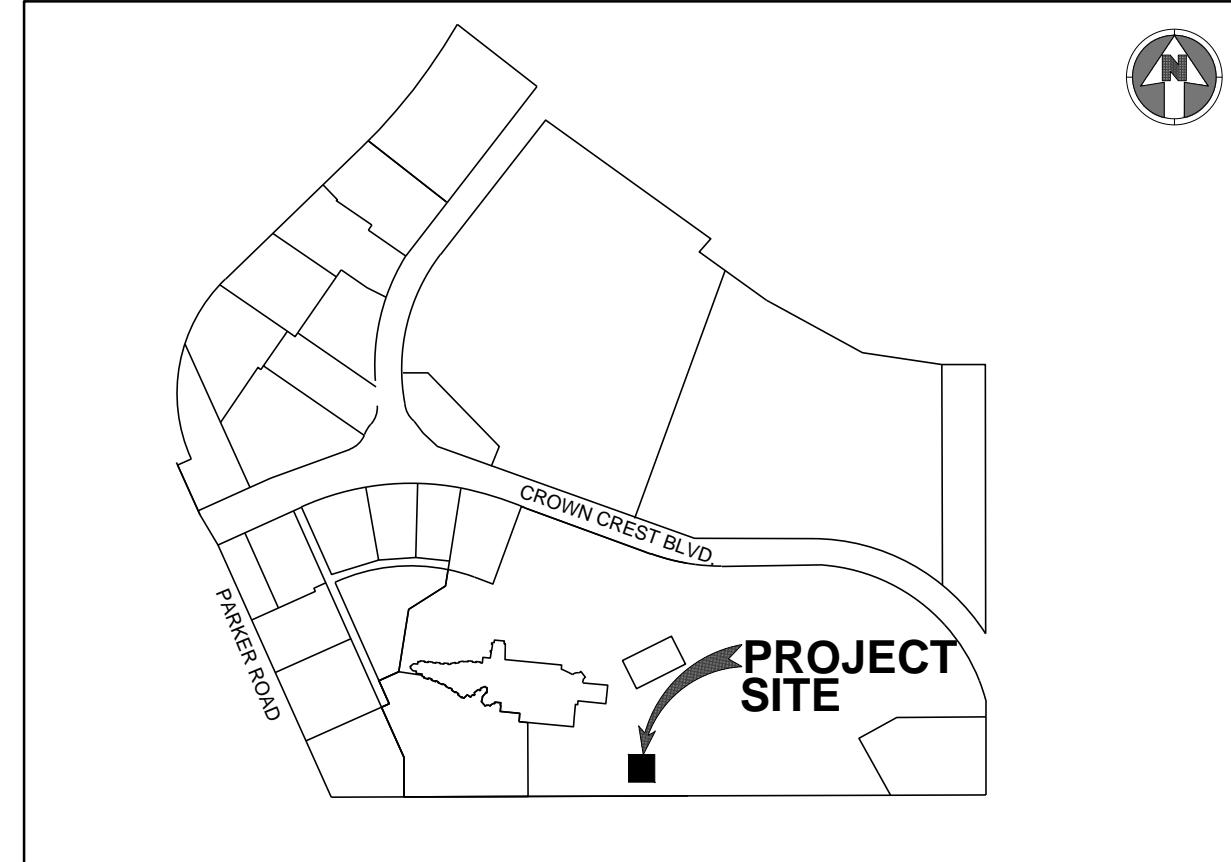
A PARCEL OF LAND BEING A PORTION OF LOT 1, BLOCK 1, CROWN POINT F#1, AMENDMENT 28
SITUATED IN THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

ENGINEER'S STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF COLORADO.

JASON DEAN CARR
COLORADO P.E.# 33854

DATE



VICINITY MAP
NO SCALE

Sheet List Table	
Sheet Number	Sheet Title
C-000	COVER SHEET
C-001	CIVIL NOTES AND LEGEND
C-021	SITE PLAN
C-311	GRADING PLAN

OWNER INFORMATION

PARKER ADVENTIST HOSPITAL
9395 CROWN CREST BLVD.
PARKER, CO. 80138
PHONE: 303-269-4014
CONTACT: JONATHON FISHER / CFO

DESIGN INFORMATION

ARCHITECT: BOULDER ASSOCIATES ARCHITECTS
PHONE: 303-449-7795

CIVIL ENGINEER: S.A. MIRO, INC
PHONE: 303-741-3737

AGENCY LIST

ELECTRIC-IREA
PO DRAWER A
5496 US HWY 85
SEDALIA, CO. 80135
303-688-3100
CONTACT: BROOKS KAUFMAN

GAS-XCEL ENERGY
2070 SOUTH VALENTIA STREET
DENVER, CO. 80231
1-800-628-2121
CONTACT: DESIGN MANAGER

FIRE-SOUTH METRO FIRE RESCUE
9195 E. MINERAL AVE
CENTENNIAL, CO 80112
720-989-2000
CONTACT: RANDY CAPRA

TOWN OF PARKER
PLANNING AND BUILDING DEPT.
20120 E. MAIN STREET
PARKER, CO. 80134
303-841-2332
CONTACT: PAUL WORKMAN

TOWN OF PARKER-PUBLIC WORKS
9200 MOTSENBOCKER ROAD
PARKER, CO 80134
303-840-9546
CONTACT: MIKE WAUGH

COTTONWOOD WATER & SANITATION DISTRICT
2 INVERNESS DRIVE EAST
ENGLEWOOD, CO
303-792-9509
CONTACT: PATRICK MULHERN/ LAURI TATLOCK

CABLE-COMCAST
6850 S. TUSCON WAY
ENGLEWOOD, CO. 80112
303-603-5605
CONTACT: KEVIN YOUNG

TELEPHONE - CENTURY LINK
LOCAL NETWORK OPERATIONS
9750 E. COSTILLA AVENUE
ENGLEWOOD, CO. 80112
303-792-1840
CONTACT: KAREN CAIME

TRI-COUNTY HEALTH DEPARTMENT
7000 E. BELLEVIEW AVENUE
GREENWOOD VILLAGE, CO. 80111
303-220-9200
CONTACT: CAROL MACLENNAN

COTTONWOOD WATER AND SANITATION
DISTRICT ENGINEER-KENNEDY JENKS CONSULTING
143 UNION BOULEVARD
SUITE 600
LAKEWOOD, CO 80228
PHONE: 303-985-3636
CONTACTS: TOM NAPOLILLI

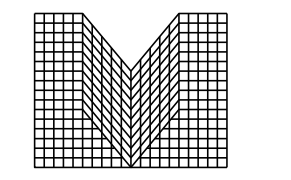
CROWN POINT ARCHITECTURAL
CONTROL COMMITTEE
27905 MEADOW DRIVE, SUITE 11
EVERGREEN, CO 80439 303-674-7856
CONTACT: TIM LEONARD

BENCHMARK:

DOUGLAS COUNTY CONTROL MONUMENT NO. 1.115026. 473.35± NORTH AND 1959.02± WEST ¼ CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPLE MERIDIAN. 3-1/2" ALUMINUM CAP. ELEVATION 5759.78 (NAVD 88). (THIS NOTE IS TAKEN FROM THE "SITE WORK CONSTRUCTION PLANS FOR MEDICAL OFFICE BUILDING 2 PARKER ADVENTIST HOSPITAL" PREPARED BY S.A. MIRO.) SITE BENCHMARK 1004 A SPIKE IN CONCRETE. ELEVATION=5825.31 FEET.

BASIS OF BEARING:

BEARINGS ARE BASED ON THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED ON THE SOUTH END BY A #6 REBAR WITH A 3.25" ALUMINUM CAP IN RANGE BOX "PLS 29412" AND ON THE NORTH END BY A #6 REBAR WITH A 3.25" ALUMINUM CAP "LS 9329". SAID LINE HAVING A BEARING OF NORTH 00°07'01" WEST, 2678.56 FEET AS DEPICTED ON THE CROWN POINT F#1, 4TH AMENDMENT PLAT. THE BEARINGS SHOWN ON THE SURVEY ARE BASED ON THE CROWN POINT FILING NO. 1, 17TH AMENDMENT.



M I R O

S.A. MIRO INC.
CONSULTING ENGINEERS

4582 South Ulster Street Pkwy.
Suite 750 Denver, CO 80237
ph. 303-741-3737
fax 303-694-3134



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CLIENT NAME: **PARKER ADVENTIST HOSPITAL**
PROJECT NAME: **PARKER SALT SHED
9395 CROWN CREST BLVD.**
DRAWING TITLE: **COVER SHEET**

FILE PATH: J:\Jobs\19131 PKR Salt Shed\05 CAD\Plans and Details\C000-COVR.dwg C000 - 12/4/2019

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DESIGNED BY:	MHV
DRAWN BY:	SSM
CHECKED BY:	MHV
DATE:	12/4/2019
MIRO JOB NUMBER	CLIENT JOB NUMBER
19131	

DRAWING NUMBER:
C-000

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLANS DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS, ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORTS(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER

MASTER LEGEND:

PROPOSED	
	PROPERTY LINE
	SECTION LINE
	RIGHT OF WAY LINE
	CENTER LINE
	CURB AND GUTTER
	SIDEWALK
	WALL
	FENCE
	SIGN
	LIGHT
	TREE
	MINOR CONTOURS
	MAJOR CONTOURS
	RIDGE LINE
	SPOT ELEVATION
	LIMITS OF GRADING
	CABLE TV LINE
	COMMUNICATION LINE
	ELECTRICAL LINE
	OVERHEAD ELECTRICAL LINE
	FIBER OPTIC LINE
	GAS LINE
	TELEPHONE LINE
	IRRIGATION LINE
	RAW WATER LINE
	SANITARY SEWER LINE
	STEAM LINE
	STORM SEWER LINE
	WATER LINE
	EASEMENT
	INLET
	FLARED END SECTIONS
	CLEANOUT
	FIRE HYDRANT
	VALVE
	WATER FITTINGS
	PEDESTAL
	UTILITY CROSSING
	MANHOLES
EXISTING	
	CURB AND GUTTER
	SIDEWALK
	WALL
	FENCE
	SIGN
	LIGHT
	TREE
	MINOR CONTOURS
	MAJOR CONTOURS
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	WATER LINE
	EASEMENT
	INLET
	FLARED END SECTIONS
	CLEANOUT
	FIRE HYDRANT
	VALVE
	PEDESTAL
	UTILITY CROSSING
	MANHOLES

ABBREVIATIONS:

BFV	BUTTERFLY VALVE	PCC	POINT OF COMPOUND CURVATURE
BOV	BLOW OFF VALVE	PCR	POINT OF CURB RETURN
BW	BOTTOM OF WALL @ FINISHED GRADE	PI	POINT ON INTERSECTION
CL	CENTERLINE	PRC	POINT OF REVERSE CURVATURE
CMP	CORRUGATED METAL PIPE	PT	POINT OF TANGENCY
EJ	EXPANSION JOINT	PVC	POLYVINYL CHLORIDE
ELEC	ELECTRICAL	RCP	REINFORCED CONCRETE PIPE
ELEV	ELEVATION	RCB	REINFORCED CONCRETE BOX
EX	EXISTING	ROW	RIGHT OF WAY
FES	FLARED END SECTION	RT	RIGHT
FL	FLOWLINE	SD	STORM DRAINAGE SEWER
GB	GRADE BREAK	SS	SANITARY SEWER
HP	HIGH POINT	STA.	STATION
FH	FIRE HYDRANT	STRM	STORM SEWER
INV.	INVERT	TOF	TOP OF FLANGE
IRR	IRRIGATION	TOP	TOP OF PIPE
KB	KICK BLOCK	TW	TOP OF WALL @ FINISHED GRADE
LF	LINEAR FEET	TYP.	TYPICAL
LP	LOW POINT	VCP	VITRIFIED CLAY PIPE
LT	LEFT	VPC	VERTICAL POINT OF CURVATURE
ME	MATCH EXISTING	VPI	VERTICAL POINT OF INTERSECTION
MH	MANHOLE	VPT	VERTICAL POINT OF TANGENCY
PC	POINT OF CURVATURE	WATR	WATER LINE

GENERAL NOTES:

- DURING CONSTRUCTION IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING UTILITY LINES SHOWN ON THE PLANS AND THOSE UTILITY LINES WHICH MAY NOT BE SHOWN ON THE PLANS.
- UNLESS OTHERWISE NOTED, EXISTING UTILITIES AND STRUCTURES SHALL REMAIN.
- CONTRACTOR SHALL PROTECT ALL ADJACENT IMPROVEMENTS (BUILDINGS, ROADWAYS, FENCES, PARKING LOTS, UTILITIES, ETC.) FROM DAMAGE AND EROSION. ALL DISTURBED AREAS OFF-SITE SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- THE EXISTING UTILITIES AS SHOWN HAVE BEEN LOCATED USING UTILITY PLANS OF RECORD AND FIELD SURVEY DATA LOCATING MANHOLES, WATER VALVES, ELECTRICAL EQUIPMENT, AND OTHER FEATURES FOUND AT THE SURFACE.
- COORDINATE WORK WITH OTHER PROJECTS.
- REMOVAL QUANTITIES SHOWN ARE APPROXIMATE QUANTITIES, FOR BIDDING PURPOSES ONLY.
- THE CONTRACTOR SHALL NOTIFY APPROPRIATE PERSONNEL FOR UTILITY LOCATIONS AND NOTICE OF CONSTRUCTION COMMENCEMENT 48 HOURS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- EXISTING SITE INFORMATION SHOWN ON THESE DRAWINGS IS BASED UPON AVAILABLE SURVEY BY FARNSWORTH GROUP SURVEYING DATED 03/16/16, S.A. MIRO MAKES NO WARRANTIES OR CERTIFICATION OF THE COMPLETENESS OR ACCURACY OF THE EXISTING CONDITIONS PRESENTED. THE CONTRACTOR SHALL INSPECT THE SITE TO ASSESS EXISTING CONDITIONS, AND SATISFY THEMSELVES THAT THE DOCUMENTS ACCURATELY REPRESENT THE SITE CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES FOUND DURING INITIAL INSPECTIONS, OR SUBSEQUENTLY, SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY FOR RESOLUTION RELATIVE TO THE INTENDED CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ELECTRONIC AND HARD COPY AS-BUILTS IN ACCORDANCE WITH APPENDIX G, TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL.
- ANY AFFECTED ELECTRICAL/COMM LINE WILL NEED TO BE LOWERED OR RELOCATED TO ACHIEVE ADEQUATE COVERAGE REQUIREMENTS.

UTILITY NOTES:

- LOCATION OF ALL EXISTING UTILITIES (PRIVATE AND PUBLIC) SHALL BE IDENTIFIED AND VERIFIED BY THE CONTRACTOR PRIOR TO MOBILIZATION, CONSTRUCTION AND ORDERING OF MATERIALS. IF ANY CONFLICTS OR DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL BEAR THE FULL COST OF REMOVAL, REPLACEMENT, REPAIR AND DELAYS RELATED TO ANY AND ALL UNVERIFIED EXISTING CONDITIONS.
- THE CONTRACTOR SHALL CALL THE UTILITY NOTIFICATION CENTER AT 1-800-922-1987 TO HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY LENGTHS AND QUANTITIES SHOWN ON THESE PLANS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL LENGTHS AND QUANTITIES PRIOR TO ORDERING OF ANY MATERIALS.
- PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- WHERE FLARED END SECTIONS ARE REQUIRED, THE LENGTH OF PIPE INCLUDES THE FLARED END SECTION.
- ALL UTILITY WORK SHALL BE COMPLETED PRIOR TO ANY PAVING.
- CONTRACTOR SHALL SURVEY THE LOCATION AND ELEVATION OF ALL INSTALLED UTILITIES PRIOR TO TRENCH BACKFILL, AND PROVIDE SURVEY INFORMATION TO THE ENGINEER UPON COMPLETION OF THE PROJECT FOR AS-BUILT DOCUMENTATION.
- THERE ARE EXISTING I.R.E.A. POWER LINES ON SITE WITHIN AN EXISTING 30' BLANKET EASEMENT, PORTIONS OF WHICH MUST BE RELOCATED SUCH THAT THE PROPOSED RETAINING WALL IS OUTSIDE OF THE EASEMENT. THE CONTRACTOR SHALL COORDINATE WITH I.R.E.A. REGARDING UTILITY RELOCATION. I.R.E.A. REQUIRES 48"-60" OF COVER. THE EXISTING ELECTRICAL LINE MUST ALSO BE RELOCATED IN LOCATIONS WHERE THE TOLERANCE FOR COVER IS COMPROMISED IN THE PROPOSED DESIGN. CONTRACTOR SHALL POTHOLE PRIOR TO CONSTRUCTION AND PROVIDE DETAILED POTHOLE AND SURVEY INFORMATION TO THE ENGINEER AND I.R.E.A. FOR FURTHER ANALYSIS.
- IF ANY MODIFICATIONS TO EXISTING NATURAL GAS MAINS OR SERVICES ARE REQUIRED, THE CONTRACTOR SHALL COMPLETE THE XCEL ENERGY APPLICATION PROCESS AND CONTACT DESIGNER ASSIGNED TO THE PROJECT FOR FURTHER APPROVAL OF DESIGN DETAILS. ADDITIONAL EASEMENTS MAY NEED TO BE ACQUIRED BY SEPARATE DOCUMENT FOR THE NEW FACILITIES.

GRADING NOTES:

- SITE GRADING (EXCAVATION, EMBANKMENTS, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST GEOTECHNICAL REPORT FOR THIS PROPERTY.
- SPOT ELEVATIONS MAY BE ABBREVIATED FOR CLARITY. REFER TO THE ADJACENT CONTOUR LABELS FOR FULL ELEVATIONS.
- MAXIMUM PROPOSED SLOPES SHALL BE 4:1 UNLESS NOTED OTHERWISE.
- SPOT ELEVATIONS ARE TO FLOWLINE UNLESS NOTED OTHERWISE.
- PROPOSED GRADING SHALL MEET AND MATCH EXISTING GRADE AT LIMITS OF DISTURBANCE.
- PROPOSED GRADING AS SHOWN REFLECTS PLANNED FINISHED GRADE. THE CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTH, SUBGRADE REQUIREMENTS, OVEREXCAVATION, TOPSOIL, AND ANY PLANNED SURFACING CONSTRUCTION.
- MAXIMUM TEMPORARY SLOPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND IN COMPLIANCE WITH OSHA REQUIREMENTS.

DEMOLITION NOTES:

- UNLESS OTHERWISE NOTED, EXISTING UTILITIES AND STRUCTURES SHALL REMAIN AND BE PROTECTED IN PLACE.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT IMPROVEMENTS (BUILDINGS, ROADWAYS, FENCES, PARKING LOTS, UTILITIES, ETC.) FROM DAMAGE AND EROSION. ALL DISTURBED AREAS OUTSIDE OF THE LIMITS OF WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.

PAVING NOTES:

- THE CONTRACTOR SHALL ADJUST EXISTING AND PROPOSED MANHOLES, WATER VALVES AND OTHER SURFACE APPURTENANCES WITHIN THE LIMITS OF WORK TO FINISHED GRADE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL/LANDSCAPE PLANS FOR CONCRETE SCORING PATTERNS, COLOR AND FINISHING.
- PROPOSED PAVEMENT DESIGN IS BASED UPON THE GEOTECHNICAL REPORT BY KUMAR & ASSOCIATES, INC. DATED 04/24/14. S.A. MIRO, INC. MAKES NO WARRANTIES OR CERTIFICATION OF PAVEMENT PERFORMANCE.

TOWN OF PARKER GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- A DEVELOPMENT REVIEW ENGINEER SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A DEVELOPMENT REVIEW ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE DEVELOPMENT REVIEW ENGINEER'S ABSENCE. HOWEVER, TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: DENVER INTER-UTILITY GROUP, 303-534-6700 OR 1-800-922-1987. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER PUBLIC WORKS DIRECTOR, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED ON THE OVERALL UTILITY PLAN, SHEET CS.01. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY PERMIT USE APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION." COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

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PARKER SALT SHED
9395 CROWN CREST BLVD.
CIVIL NOTES AND LEGEND

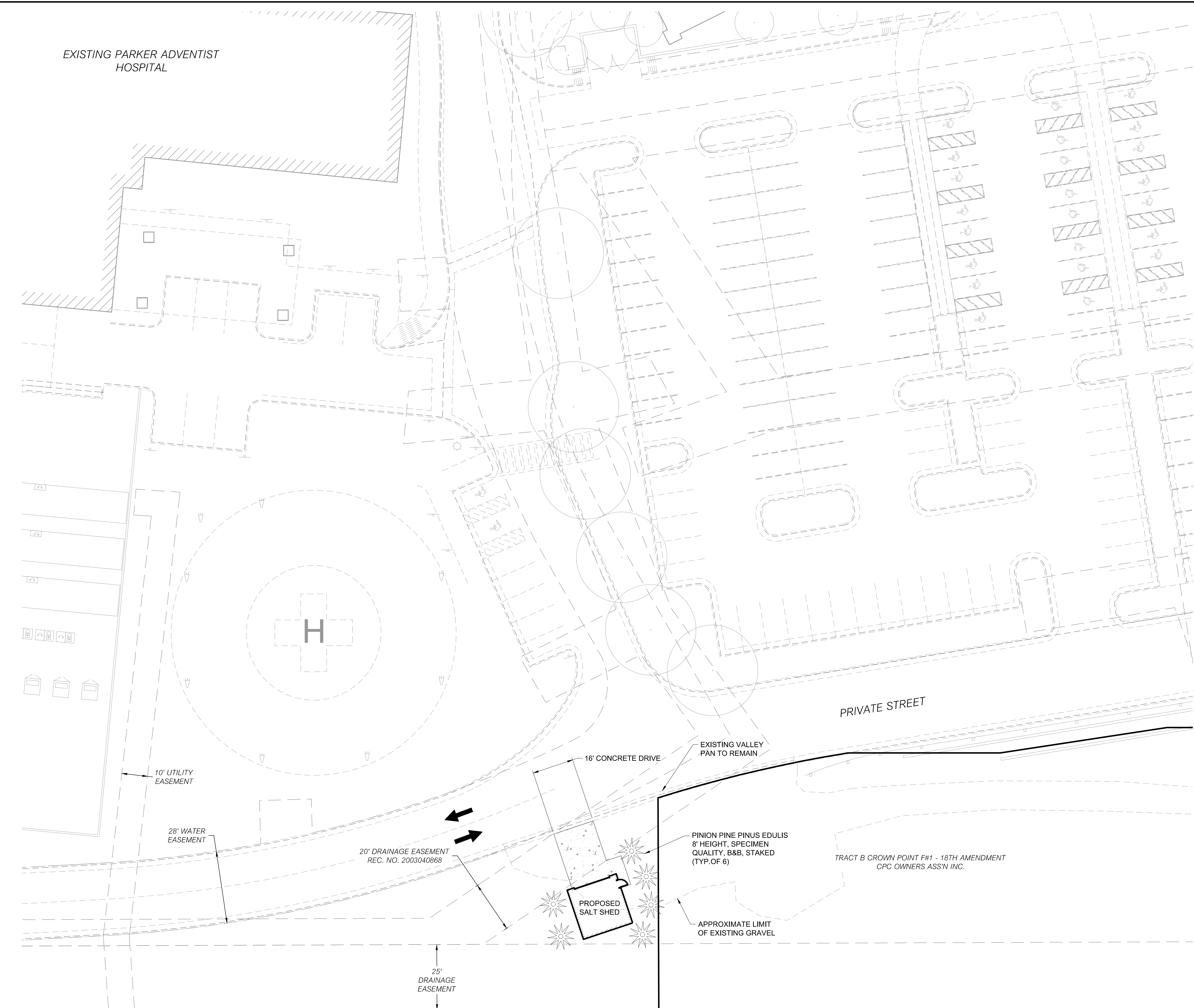
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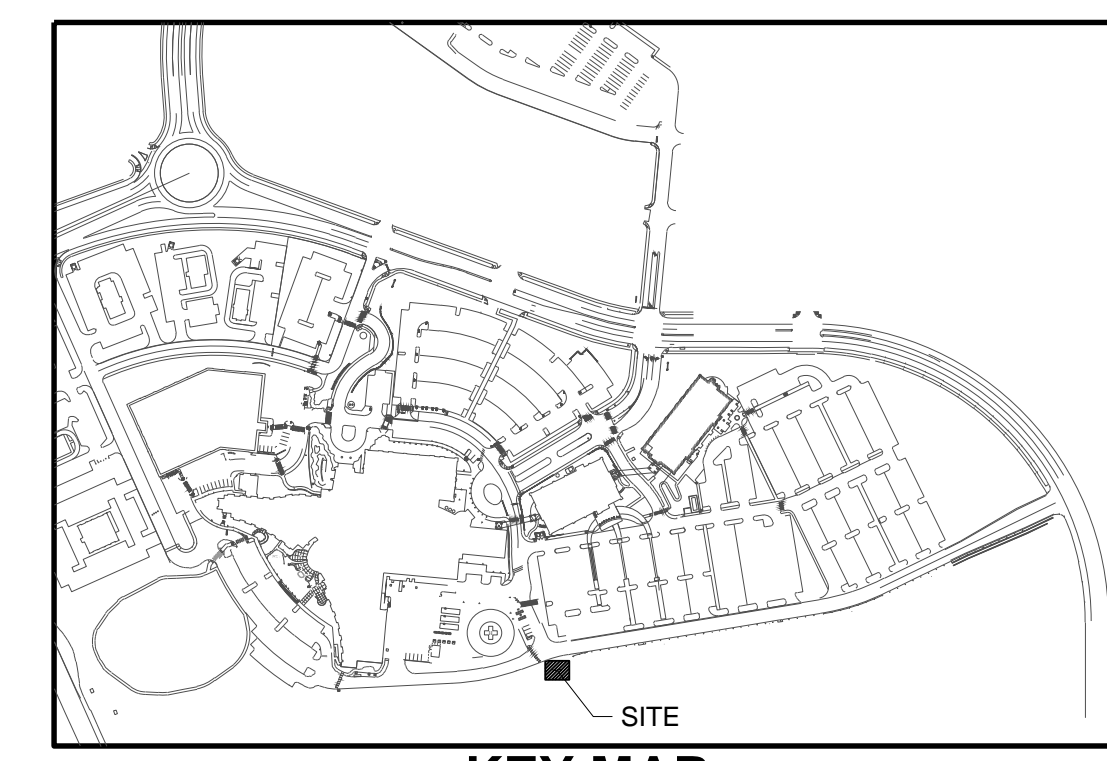
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DATE: 12/4/2019

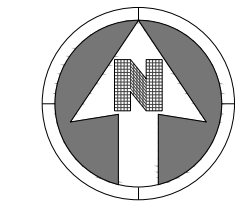
MIRO JOB NUMBER 19131
CLIENT JOB NUMBER
DRAWING NUMBER: **C-001**



UNPLATTED
BOWLEY FAMILY PARTNERSHIP LLLP



KEY MAP
NOT TO SCALE



20 0 20
SCALE: 1" = 20'

LEGEND:



TRAFFIC FLOW AREA

LANDSCAPE PROPERTIES	AREA (SF)	PERCENT LANDSCAPED
TOTAL SITE DISTURBANCE	1,730	53%
TOTAL LANDSCAPE AREA	920	
TOTAL HARDSCAPED AREA	414	
BUILDING AREA	400	

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S.A. MIRO INC.
CONSULTING ENGINEERS
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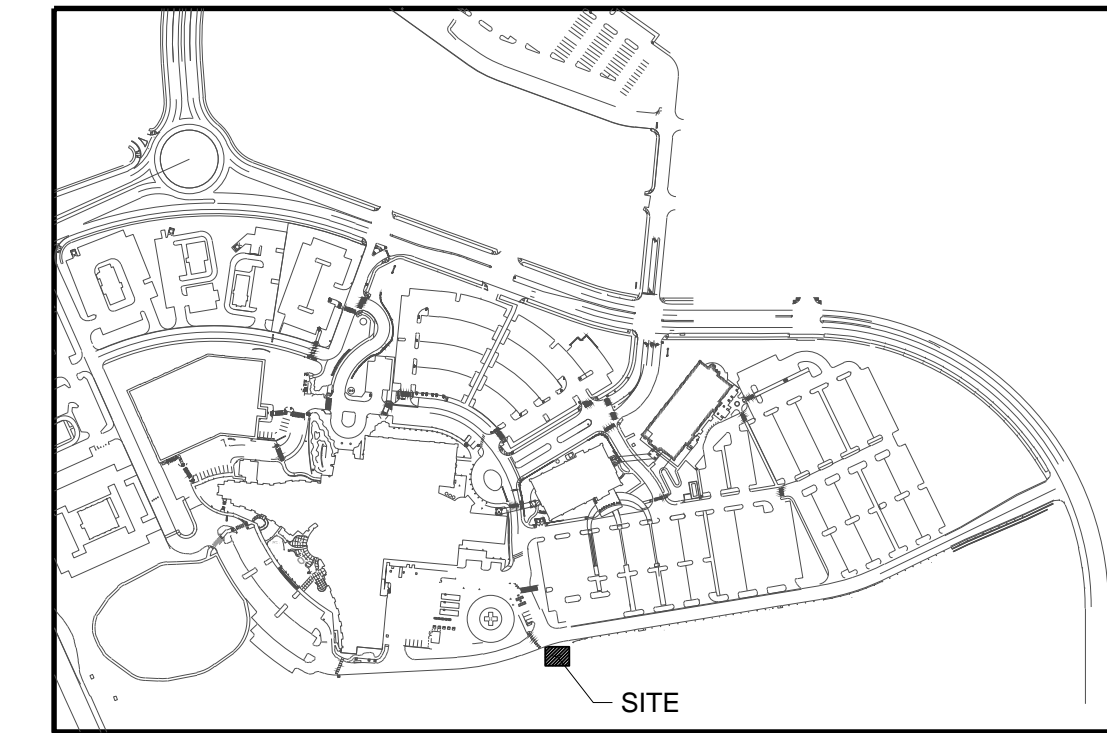
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CLIENT NAME: **PARKER ADVENTIST HOSPITAL**
PROJECT NAME: **PARKER SALT SHED**
DRAWING TITLE: **9395 CROWN CREST BLVD. SITE PLAN**
FILE PATH: J:\Jobs\19131 PKR Salt Shed\05 CAD\Plans and Details\C021-SITE-PLAN.dwg C021 - 12/4/2019

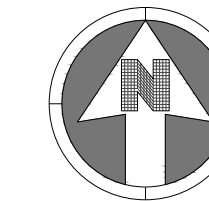
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MIRO JOB NUMBER: 19131
CLIENT JOB NUMBER: 19131

DRAWING NUMBER:
C-021



KEY MAP
NOT TO SCALE



5 0 5
SCALE: 1" = 5'

LEGEND:

SWALE FLOWLINE

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CLIENT NAME: **PARKER ADVENTIST HOSPITAL**
PROJECT NAME: **PARKER SALT SHED**
DRAWING TITLE: **9395 CROWN CREST BLVD. GRADING PLAN**
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