

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO



## PROJECT CONTACTS:

**RECORD OWNER**  
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 2710 E CAMELBACK ROAD, SUITE 210  
 PHOENIX, AZ 85016  
 TEL: (602) 468-6100  
 CONTACT: RYAN AMATO

**DEVELOPER/APPLICANT**  
 MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730  
 CONTACT: GARY HEGENER

**ENGINEER/CONSULTANT**  
 GALLOWAY & COMPANY, INC.  
 6162 S. WILLOW DRIVE, SUITE 320  
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 6162 S. WILLOW DRIVE, SUITE 320  
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 EMAIL: TIM.NELSON@GALLOWAYUS.COM

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 EMAIL: BRIAN.DENNIS@GALLOWAYUS.COM

## MUNICIPAL & UTILITY CONTACTS:

**ENGINEERING**  
 TOWN OF PARKER – ENGINEERING  
 20120 E. MAIN STREET  
 PARKER, CO 80138  
 TEL: (303) 805-3169  
 CONTACT: RANDY CAPRA

**STORM SEWER**  
 TOWN OF PARKER – PUBLIC WORKS  
 20120 E. MAIN STREET  
 PARKER, CO 80138  
 TEL: (303) 840-9546

**FIRE**  
 SOUTH METRO FIRE RESCUE AUTHORITY  
 9195 E. MINERAL AVE.  
 CENTENNIAL, CO 80112  
 TEL: (720) 989-2244  
 CONTACT: CHR KERKHOVE

**WATER & SANITARY SEWER**  
 PARKER WATER AND SANITATION DISTRICT  
 1800 E. WOODMAN DRIVE  
 PARKER, CO 80134  
 TEL: (303) 841-4627  
 CONTACT: DRAYTON SANDERSON

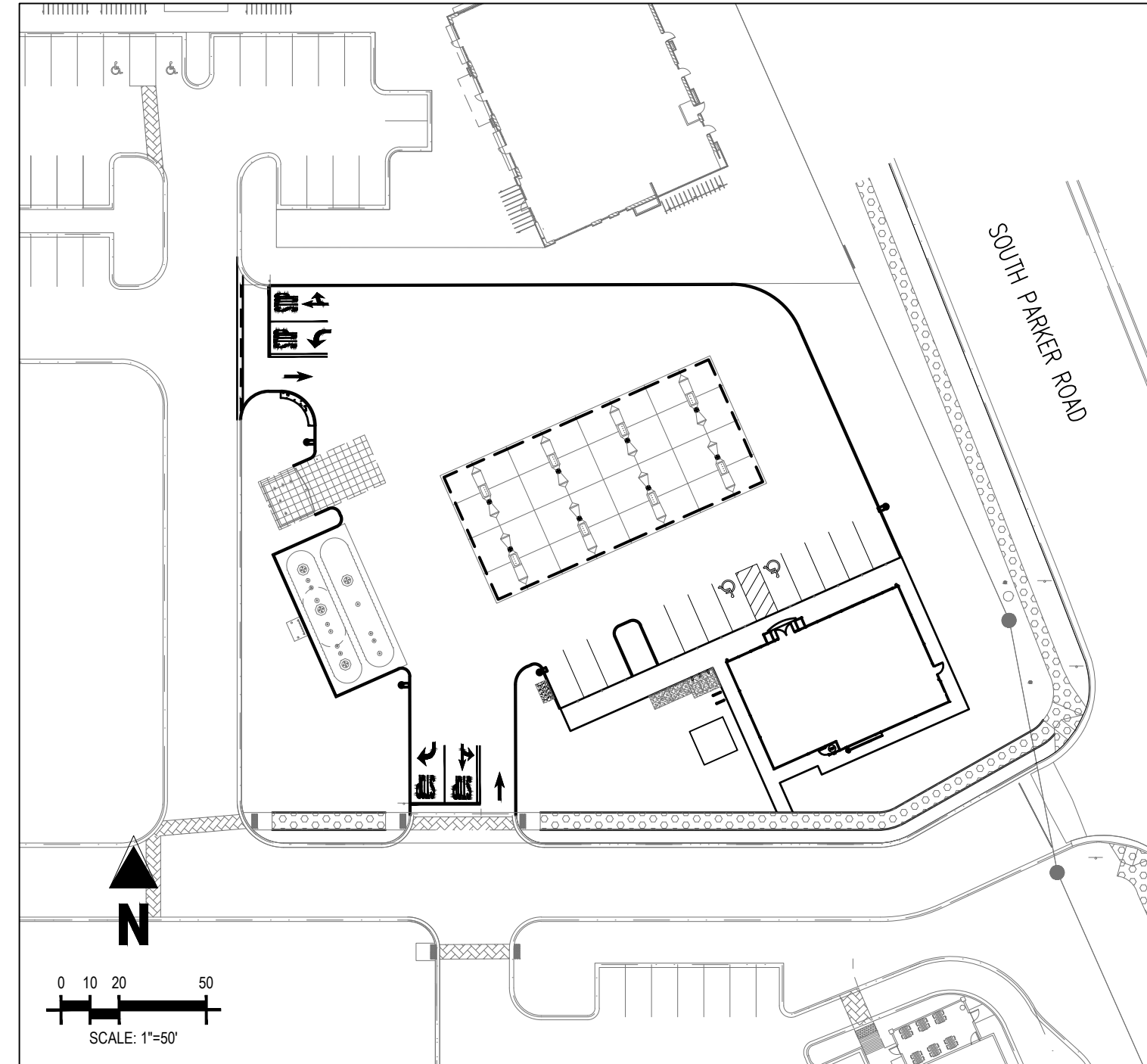
**GAS**  
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 1800 LARIMER STREET  
 DENVER, CO 80202  
 EMAIL: RON.H.JOHNSON@XCELENERGY.COM  
 CONTACT: RON JOHNSON

**ELECTRIC**  
 INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION  
 5496 NORTH US HIGHWAY 85  
 SEDALIA, CO 80135  
 TEL: (303) 688-3100  
 CONTACT: AMANDA STENER

**TELEVISION**  
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 1801 CALIFORNIA STREET, SUITE 240  
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## SITE PLAN



SITE MAP  
 SCALE: 1"=50'



VICINITY MAP  
 (NOT TO SCALE)

## GENERAL CONSTRUCTION NOTES

1. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REP. PRIOR TO BID.
2. NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
3. CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
4. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
5. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
6. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY ENGINEER COMPLIANT TO THE RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT.
7. SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A REGISTERED SURVEYOR.
8. THIS DESIGN IS BASED ON THE GEOTECHNICAL REPORT MPOIL-19-CO-02305-02 DATED APRIL 30, 2019 BY UNITED CONSULTING. A COPY OF THIS REPORT SHOULD BE ON-SITE AT ALL TIMES.
9. GENERAL CONTRACTOR SHALL RECEIVE, UNLOAD, STORE AND UNCRATE ALL EQUIPMENT FURNISHED BY THE OWNER AND SHIPPED TO THE SITE. SEE SPECIFICATIONS FOR EQUIPMENT FURNISHED BY OWNER.
10. GENERAL CONTRACTOR TO REFER TO STANDARD DETAILS INCLUDED IN THE SPECIFICATIONS FOR INSTALLING EQUIPMENT, INCLUDING PRODUCT DISPENSERS AND REMOTE READ-OUT EQUIPMENT.
11. GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
12. SEE THE SITE SURVEY FOR SURVEY INFORMATION & LEGAL DESCRIPTION.
13. ALL TOP OF CURB GRADES ARE 6" HIGHER THAN FINISH GRADES SHOWN ON DRIVE UNLESS OTHERWISE NOTED.
14. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ON-SITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY, ITS AGENTS, OWNER OR GALLOWAY AT ALL TIMES. DIMENSIONS SHALL BE ANNOTATED ON AS-BUILT RECORD DRAWINGS. AS-BUILT DRAWINGS ARE REQUIRED PRIOR TO ISSUANCE OF FINAL PAYMENT. AS BUILT DRAWINGS WILL BE SUPPLIED TO OWNER AND CITY/TOWN PRIOR TO FINAL PAYMENT.
16. GRADING/UTILITY CONTRACTOR TO COMPLETE GRADING BELOW FINISHED GRADE IN ACCORDANCE WITH PAVING RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE, SHOWN TO TOLERANCE OF ± 0.1' IN ALL PAVING AREAS.
17. GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
18. CONTRACTOR RESPONSIBLE FOR ALL WORK NECESSARY FOR FINAL ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY, INCLUDING BUT NOT LIMITED TO AS-BUILT DRAWINGS, INSPECTIONS, TESTING AND CERTIFICATIONS.
19. SURVEYOR TO OBTAIN AutoCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

## STORM DRAINAGE INFRASTRUCTURE NOTES

1. ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
2. THE CONTRACTOR SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8 CRS), THE PROTECTION OF FISHING STREAMS (TITLE 33, ARTICLE 5, CRS), THE CLEAN WATER ACT (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72 (5 CSR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN, IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL, LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
3. INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUTED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
4. STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEGE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR (CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
5. ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
6. TESTING: PROBABILITARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS: 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC) 1 TEST EVERY 200 LF OF MANLINE TRENCH EVERY 1 FOOT OF BACKFILL LEFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
7. ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
8. ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLY FLUSH. AVERAGE JOINT GAP THAT EXCEEDS 1/8 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
9. JOINT RESTRAINTS AND TEE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP LINED END SECTION OUTFALLS.
10. EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
11. CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
12. PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
13. TWO- (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
14. ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
15. ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
16. CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL, REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
17. PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING REPORT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

## SOIL PREPARATION NOTE

SOIL PREPARATION SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL ENGINEERING REPORT PREPARED FOR MURPHY OIL USA, INC., AT PARKER ROAD & PINE LANE, PARKER, COLORADO AS FOLLOWS:

GEOTECHNICAL ENGINEER: UNITED CONSULTING

PROJECT NO.: MPOIL-19-CO-02305-02

THE CONTRACTOR MUST FULLY REVIEW THESE REPORTS PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

## SIGHT DISTANCE CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, PARKER AUTO FILING, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS.

(REGISTERED PROFESSIONAL ENGINEER) \_\_\_\_\_ (LICENSE NO.) \_\_\_\_\_ (DATE) \_\_\_\_\_

## SHEET NUMBER

- C-0.0
- C-0.1
- 1 OF 1
- C-1.1
- C-1.2
- C-1.3
- C-1.4
- C-2.1
- C-2.2
- C-2.3
- C-2.4
- C-2.5
- C-2.6
- C-2.7
- C-3.0
- C-3.1
- C-3.2
- C-3.3
- C-3.4
- C-3.5

## SHEET INDEX

### DESCRIPTION

- COVER SHEET
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- HORIZONTAL CONTROL PLAN
- FIRE MOBILITY PLAN
- SITE DETAILS
- SITE DETAILS
- GRADING PLAN
- CBMP PLAN
- CBMP DETAILS
- CBMP DETAILS
- CBMP DETAILS
- CBMP DETAILS
- CBMP DETAILS
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- UTILITY DETAILS
- UTILITY DETAILS
- STORM AND SANITARY PLAN
- STORM PLAN & PROFILE

## SITE DATA TABLE

SITE AREA	47,621 SF / 1.09 AC
ZONING	PLANNED DEVELOPMENT – HIGHWAY ORIENTED COMMERCIAL
BUILDING:	SINGLE STORY – 2,824 SF (BUILDING) SINGLE STORY – 4,830 SF (CANOPY)
FAR:	25% MAX. / 16.1% ACTUAL
BUILDING COVERAGE:	50% MAX. / 16.1% ACTUAL
OPEN SPACE:	15% MIN. / 30.6% ACTUAL (16,839 SF LANDSCAPED AREA)
BUILDING SETBACK:	25' PUBLIC R.O.W. 25' SIDE & REAR
BUILDING HT:	45' MAX / 18.5' ACTUAL
CAR PARKING:	12 REQUIRED / 12 SPACES (INCLUDES 2 ADA) PROVIDED
BICYCLE PARKING:	2 REQUIRED / 2 PROVIDED

## BENCHMARK

ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN, VERTICAL DATUM IS APPROXIMATELY 2.61 FEET BELOW NAVD 88.

### SITE BENCHMARKS:

- SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM, CAP STAMPED "PLS 36062"; EL = 5634.76
- SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM, CAP STAMPED "PLS 36062"; EL = 5640.22

## BASIS OF BEARING

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24980 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

## CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

## FIRE NOTES

1. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
2. EMERGENCY VEHICLE ACCESS ROAD IS REQUIRED TO ALLOW ACCESS WITHIN 150' OF ALL EXTERIOR OF THE BUILDING BY AN APPROVED ROUTE.
3. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. ACCESS ROAD SHALL BE EITHER CONCRETE, ASPHALT, OR OTHER APPROVED ALTERNATIVE MATERIAL ACCOMPANIED WITH AN ENGINEER'S STAMP STATING THE MATERIAL WILL MEET A 75,000 LBS IMPOSED LOAD.
4. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF VERTICAL CONSTRUCTION.
5. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE DEPARTMENT ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS LESS THAN 20 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE DEPARTMENT ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SPACING IS REQUIRED FOR ACCESS ROADWAY FIRE DEPARTMENT ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS EXCEEDING 32 FEET WIDE.
6. WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO BUILDING CONSTRUCTION GOING VERTICAL.

## FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE \_\_\_\_\_ (DATE) \_\_\_\_\_

(NOTE – UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

SHEET NO.

C-0.0

REV-1 07/09/2020 DATE PRN PM DES DRW

COVER SHEET  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER COLORADO

Galloway

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200 PEACH STREET  
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MURPHY USA

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



Know what's below.  
Call before you dig.

### GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- A DEVELOPMENT REVIEW ENGINEER SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A DEVELOPMENT REVIEW ENGINEER IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE DEVELOPMENT REVIEW ENGINEER'S ABSENCE. HOWEVER, TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: DENVER INTER-UTILITY GROUP, 303-534-6700 OR 1-800-922-1987. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER PUBLIC WORKS DIRECTOR, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY PERMIT USE APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR A PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE MENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

### STORM DRAINAGE INFRASTRUCTURE NOTES

- ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
- THE CONTRACTOR SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8 CRS), THE "PROTECTION OF FISHING STREAMS" TITLE 33, ARTICLE 5, CRS), THE "OLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72" (5 CSR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUDED BOULDERS, DETENTION POND, OUTLET STRUCTURES, FOREBAYS, TROUBLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. MILE HIGH FLOOD DISTRICT (MHFD) MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
- STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEZES) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES. HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
- ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
- TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS:
  - 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC)
  - 1 TEST EVERY 200 LF OF MANLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
- ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
- ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLE FLUSH. AVERAGE JOINT GAP THAT EXCEEDS 1/8 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
- JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
- EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
- CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
- PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
- TWO- (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "M" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
- ALL GROUING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.

### SIGNAGE AND STRIPING NOTES

- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), COLORADO SUPPLEMENTAL MUTCD, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL. FURTHER SPECIFICATIONS AND ILLUSTRATIONS ARE LOCATED IN THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) M AND S STANDARDS.
- A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS AND MARKINGS SHALL BE PERFORMED BY THE TOWN OF PARKER.
- THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR THE LOCATING AND PROTECTING OF ALL UNDERGROUND UTILITIES.
- TYPE III (LIGHTED) BARRICADES SHALL BE SET AT THE ENDS OF ROADWAYS SEPARATING FINISHED (AND/OR ACCEPTED) AND UNFINISHED CONSTRUCTION AREAS AND SHALL BE MAINTAINED BY THE CONTRACTOR/DEVELOPER. A "ROAD CLOSED AHEAD" AND "TO BE EXTENDED" WARNING SIGNS SHALL BE INSTALLED APPROPRIATELY IN ADVANCE OF THE TYPE III BARRICADES.
- SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATIONS TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
- WHERE STOP SIGN CONTROL IS APPROPRIATE, 36 INCH STOP SIGNS SHALL BE USED FOR APPROACHES TO ANY ROADWAY THAT IS CLASSIFIED AS A COLLECTOR OR GREATER.
- A 7 FOOT MINIMUM POST LENGTH SHALL BE MAINTAINED FROM THE BOTTOM OF THE SIGN PANEL TO THE GROUND. THIS REQUIREMENT FOR VERTICAL CLEARANCE IS FOR ALL SIGNS.
- DELINEATION OF ROADWAYS SHALL BE AS SPECIFIED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
- SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO THE INITIATION OF ANY WARRANTY PERIOD, THE TOWN OF PARKER RESERVES THE RIGHT TO REQUIRE MODIFICATIONS TO EXISTING, OR INSTALLATION OF, ADDITIONAL SIGNAGE AND/OR PAVEMENT MARKING IF IT IS DETERMINED THAT CONDITIONS WARRANT SUCH MODIFICATION ACCORDING TO THE MUTCD OR THE CDOT M AND S STANDARDS. ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE TWO YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION. ADDITIONALLY, ALL PAVEMENT MARKINGS SHALL NOT LIFT OR PEEL DURING THE FIRST YEAR AFTER INSTALLATION.
- DIAMOND GRADE MATERIAL SHALL BE USED ON ALL STOP SIGNS AND OVERHEAD SIGNS. ALL OTHER ROADSIDE TRAFFIC CONTROL DEVICES SHALL USE HIGH INTENSITY GRADE SHEETING. NO FLORESCENT YELLOW GREEN SHEETING SHALL BE USED UNLESS SPECIFICALLY APPROVED BY THE TOWN OF PARKER.
- ALL STREET NAME SIGNS SHALL BE HIGH INTENSITY, EXTRUDED, GREEN AND WHITE BLADES. ARTERIAL AND COLLECTOR STREET NAME SIGNS SHALL BE 9 INCH BLADES AND HAVE MIXED CASE LETTERING. LOCAL STREET NAME SIGNS SHALL BE 6 INCHES BLADES WITH MIXED CASE LETTERING.
- ALL LAYOUTS FOR INTERNALLY ILLUMINATED STREET NAME SIGNS SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL REMOVED SIGNS SHALL BE RETURNED TO THE TOWN OF PARKER.
- CROSSWALKS:
  - SHALL BE CONSTRUCTED USING PREFORMED THERMO-PLASTIC OR AN APPROVED EQUAL
  - SHALL BE LONGITUDINAL 2 FEET BY 10 FEET (CONTINENTAL) TYPE OR OTHER APPROVED BY THE TOWN OF PARKER.
  - SHALL LINE UP WITH HANDICAP RAMPS.
  - SHALL BE CENTERED WITHIN LANES AND PLACED ON LANE AND CURB LINES SO AS TO AVOID VEHICLE WHEEL PATHS.
- ALL PAVEMENT MARKING MATERIAL (INCLUDING WORDS AND SYMBOLS) SHALL BE AS FOLLOWS:
  - FOR CONCRETE SURFACE:
    - LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC) SHALL BE EPOXY PAINT.
    - OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER.
  - WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE METHYL-METHACRYLATE, PREFORMED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), OR AS SPECIFIED.
  - (SAND OR WATER BLAST CURING COMPOUND PRIOR TO INSTALLATION OF MARKINGS.)
- FOR ASPHALT SURFACE:
  - LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC) SHALL BE EPOXY PAINT.
  - OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER.
  - WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE HOT APPLIED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), METHYL-METHACRYLATE, OR AS SPECIFIED.
- INSPECTION AND APPROVAL OF STRIPING AND CROSSWALK LAYOUT TO BE DONE BY TOWN OF PARKER DEVELOPMENT REVIEW ENGINEER (CALL 303-840-9546) PRIOR TO APPLICATION OF FINAL STRIPING.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

SHEET NO.  
C-0.1

REV-1 07/09/2020 DATE PRN DES KWL DRW  
GENERAL NOTES  
MURPHY EXPRESS  
12405 SOUTH PARKER ROAD  
PARKER COLORADO

**Galloway**  
6162 S. Willow Drive, Suite 320  
Englewood, CO 80111  
303.770.9848  
GallowayUS.com

MURPHY OIL USA, INC.  
200 PEACH STREET  
EL DORADO, AR 71730  
**MURPHY USA**



# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

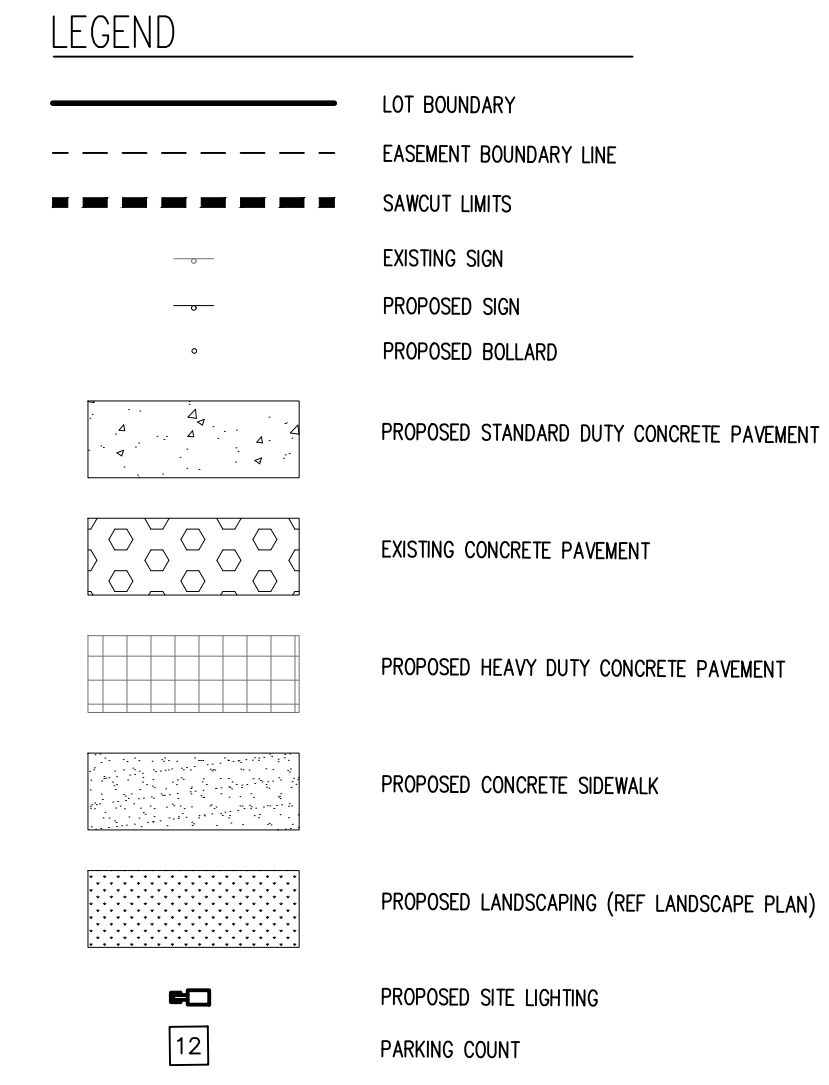
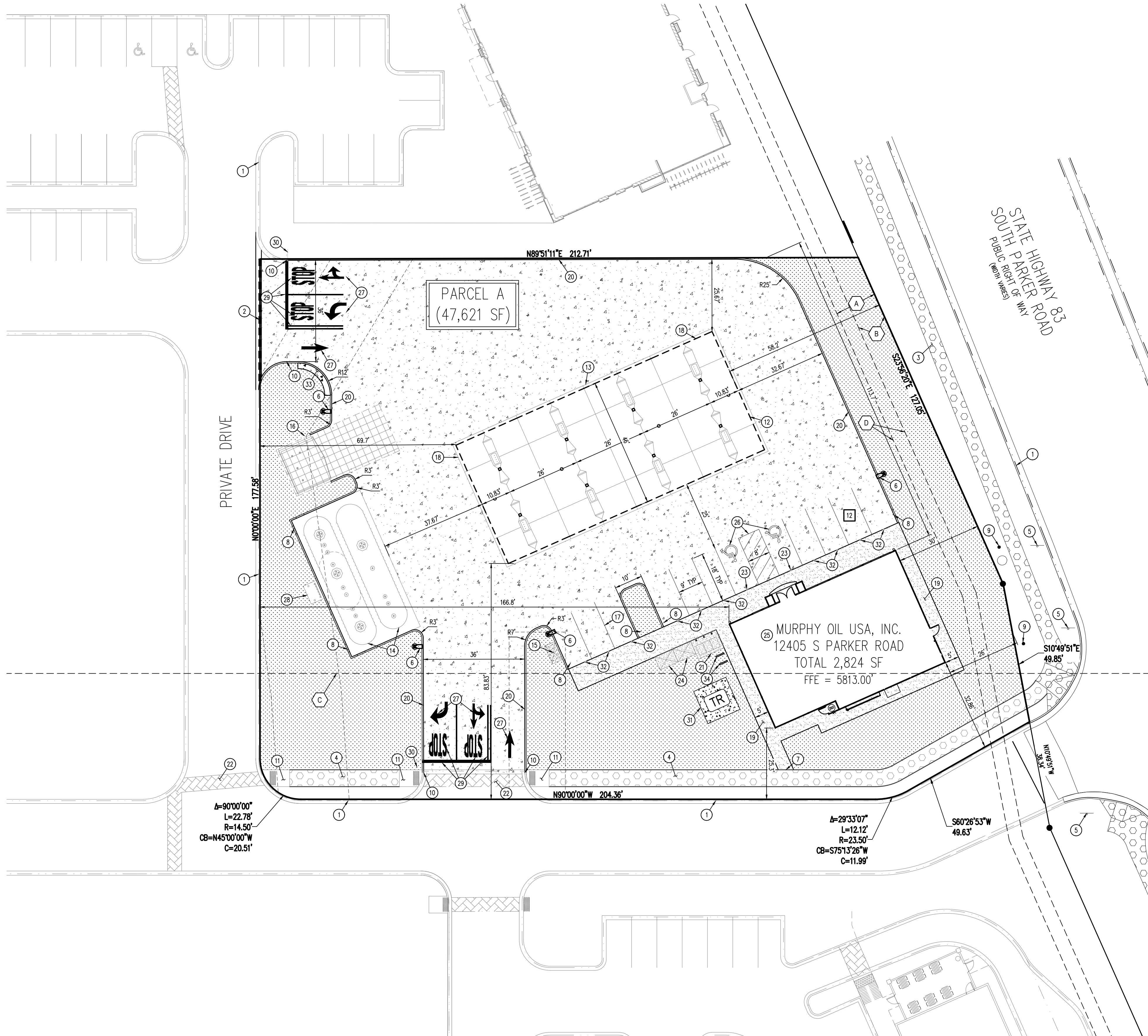
MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



Know what's below.  
 Call before you dig.



- EASEMENT SCHEDULE**
- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
  - (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
  - (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
  - (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047

- SCHEDULE**
- (1) EXISTING CURB AND GUTTER TO REMAIN
  - (2) SAWCUT EXISTING ASPHALT AT NEW DRIVEWAY ACCESS
  - (3) EXISTING CONCRETE SIDEWALK TO REMAIN
  - (4) PROPOSED AS PART OF MDP CONCRETE SIDEWALK INSTALLED BY DEVELOPER
  - (5) EXISTING SIGN TO REMAIN
  - (6) PROPOSED SITE LIGHT
  - (7) CONNECTION TO EXISTING SIDEWALK
  - (8) CURB TRANSITION
  - (9) EXISTING BOLLARD TO REMAIN
  - (10) PROPOSED CURB TO MATCH EXISTING
  - (11) PROPOSED AS PART OF MDP CONCRETE RAMP INSTALLED BY DEVELOPER
  - (12) PROPOSED OVERHEAD CANOPY
  - (13) EDGE OF CONCRETE SLAB UNDERNEATH THE CANOPY
  - (14) PROPOSED UNDERGROUND STORAGE TANKS
  - (15) PROPOSED AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB
  - (16) PROPOSED 6' TALL TRASH ENCLOSURE
  - (17) PROPOSED PARKING STALL STRIPING
  - (18) PROPOSED PRICE SIGN PER APPROVED ELEVATION
  - (19) PROPOSED SIDEWALK PER MURPHY STANDARDS
  - (20) PROPOSED INTEGRAL CONCRETE CURB
  - (21) PROPOSED 7'X10' CONCRETE SLAB FOR PROPANE TANKS
  - (22) PROPOSED AS PART OF MDP STAMPED CONCRETE CROSSWALK INSTALLED BY DEVELOPER
  - (23) PROPOSED ACCESSIBLE/VAN ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
  - (24) PROPOSED 5'X7' CONCRETE PAD (2 TOTAL) FOR ICE UNIT
  - (25) PROPOSED 2,824 SQUARE FOOT MURPHY EXPRESS KIOSK
  - (26) PROPOSED ACCESSIBLE PARKING SYMBOLS AND STRIPING
  - (27) PROPOSED DIRECTIONAL TRAFFIC FLOW ARROW
  - (28) PROPOSED REMOTE TANK VENTS
  - (29) PROPOSED "STOP" BAR, LANE STRIPING, AND "STOP" LETTERING
  - (30) PROPOSED "STOP" SIGN
  - (31) PROPOSED CONCRETE TRANSFORMER PAD
  - (32) PROPOSED SINGLE GUARD POST
  - (33) PROPOSED 2' WIDE CONCRETE BUFFER
  - (34) PROPOSED BICYCLE RACK (2 SPOTS)

**BENCHMARK**  
 ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN. VERTICAL DATUM IS APPROXIMATELY 2.64 FEET BELOW NAVD 88.

**SITE BENCHMARKS:**  
 SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76  
 SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

**BASIS OF BEARING**  
 BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24980 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

**CAUTION – NOTICE TO CONTRACTOR**

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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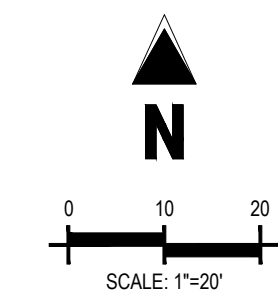
TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

SHEET NO. C-1.1

HORIZONTAL CONTROL PLAN  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO

**Galloway**  
 6162 S. Willow Drive, Suite 320  
 Englewood, CO 80111  
 303.770.8844  
 GallowayUS.com

MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730

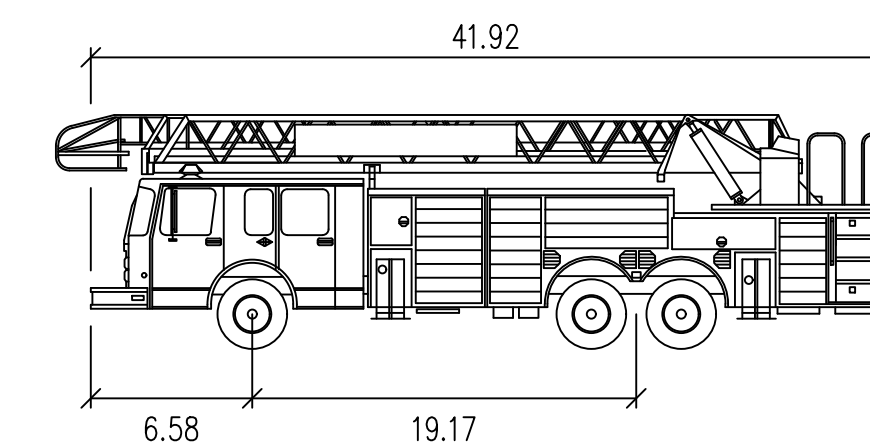
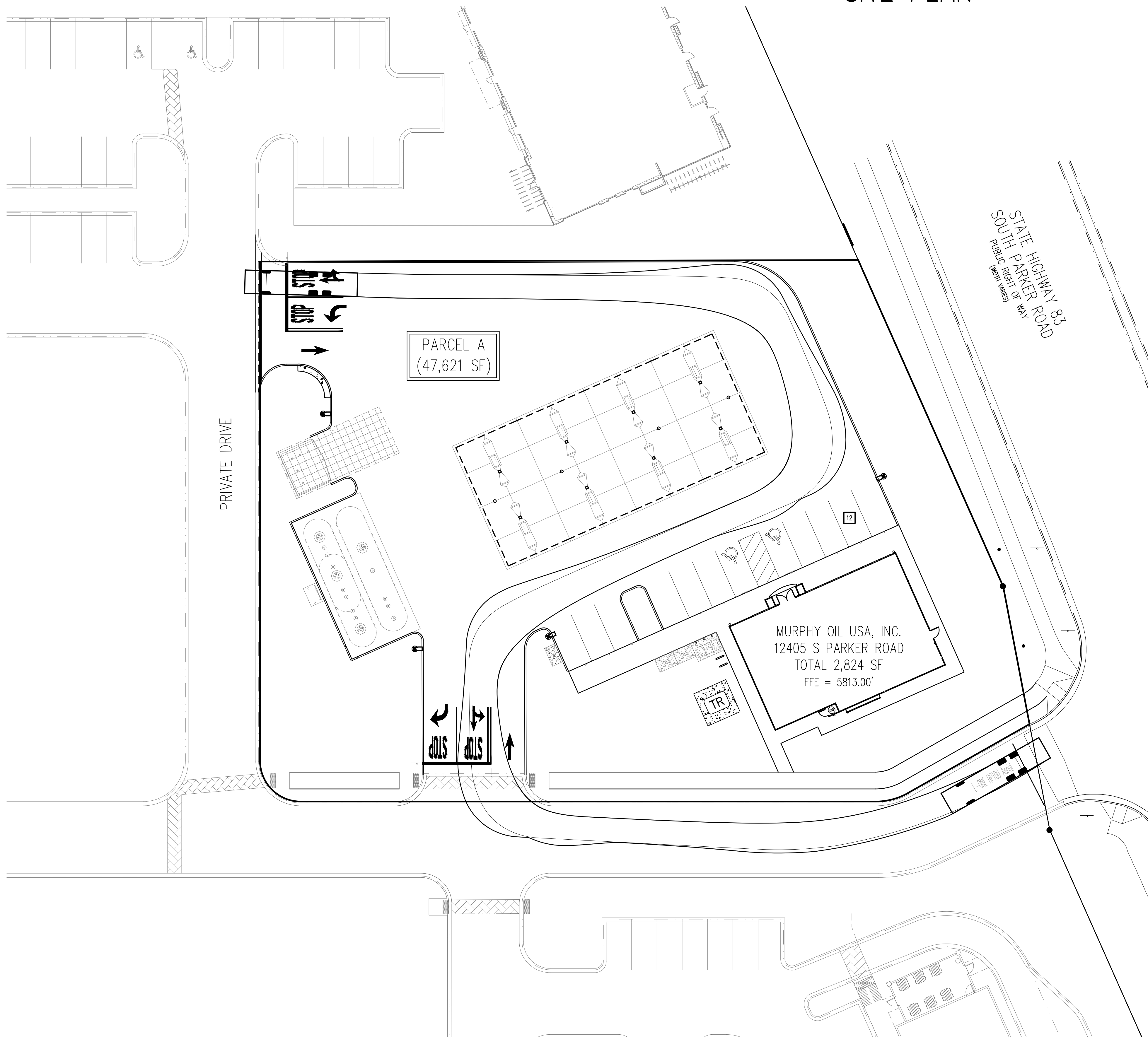


# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.  
 A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO  
**SITE PLAN**



**SHEET NO.**  
**C-1.2**



TOP FIRE TRUCK	FEET
Width	: 10.08
Track	: 10.00
Lock to Lock Time	: 6.0
Steering Angle	: 30.9

TOWN OF PARKER FIRE TRUCK  
 NOT TO SCALE

**BENCHMARK**

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**FIRE CODE REVIEW BLOCK**

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

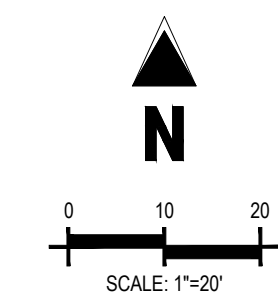
FIRE CODE OFFICIAL or DESIGNATED REPRESENTATIVE (DATE)

(NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

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TOWN OF PARKER, DIRECTOR OF ENGINEERING (DATE)



REV-1 07/09/2020 DATE PRN PM DES DRW  
**FIRE MOBILITY PLAN**  
**MURPHY EXPRESS**  
**12405 SOUTH PARKER ROAD**  
**PARKER COLORADO**

**Galloway**

6162 S. Willow Drive, Suite 320  
 Littleton, CO 80111  
 303.770.9848  
 GallowayUS.com

**MURPHY OIL USA, INC.**

200 PEACH STREET  
 EL DORADO, AR 71730



# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1

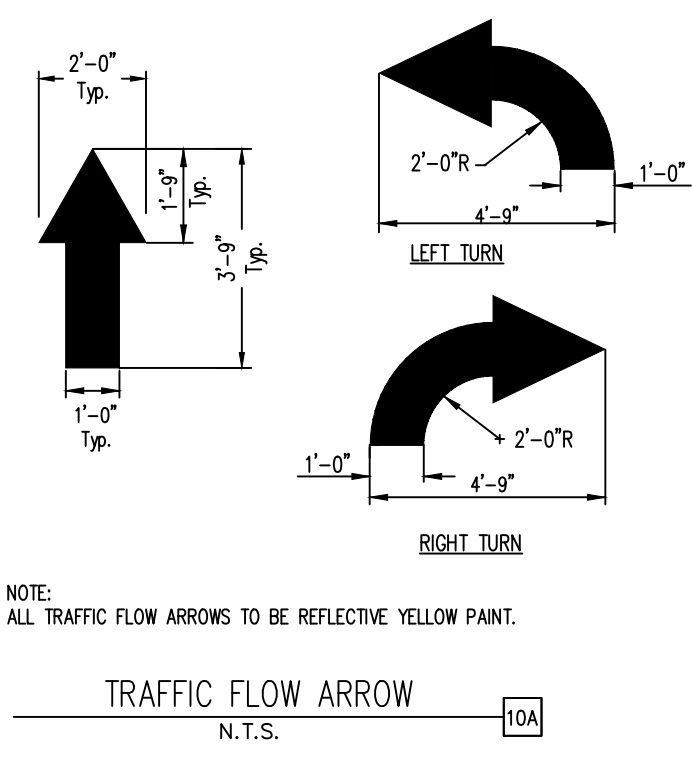
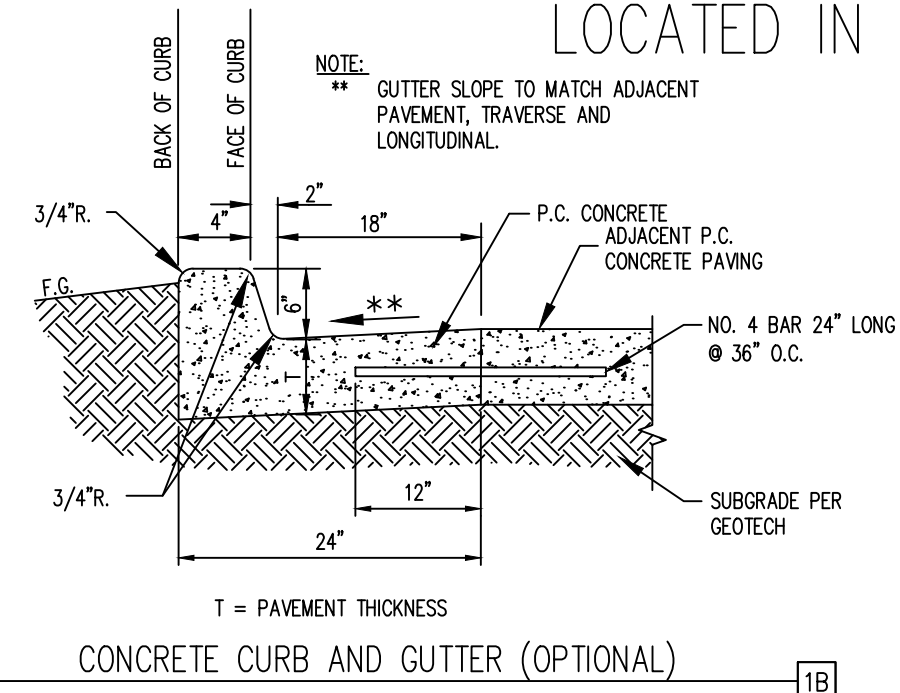
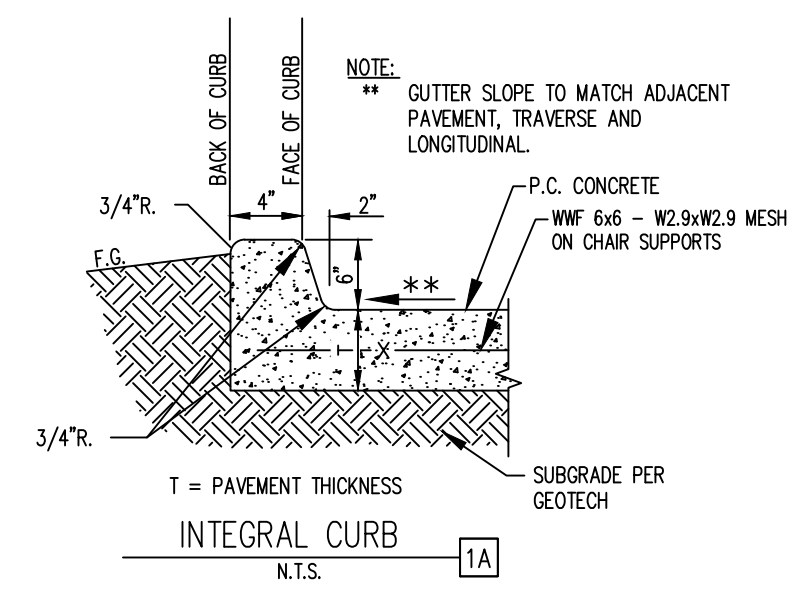
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN

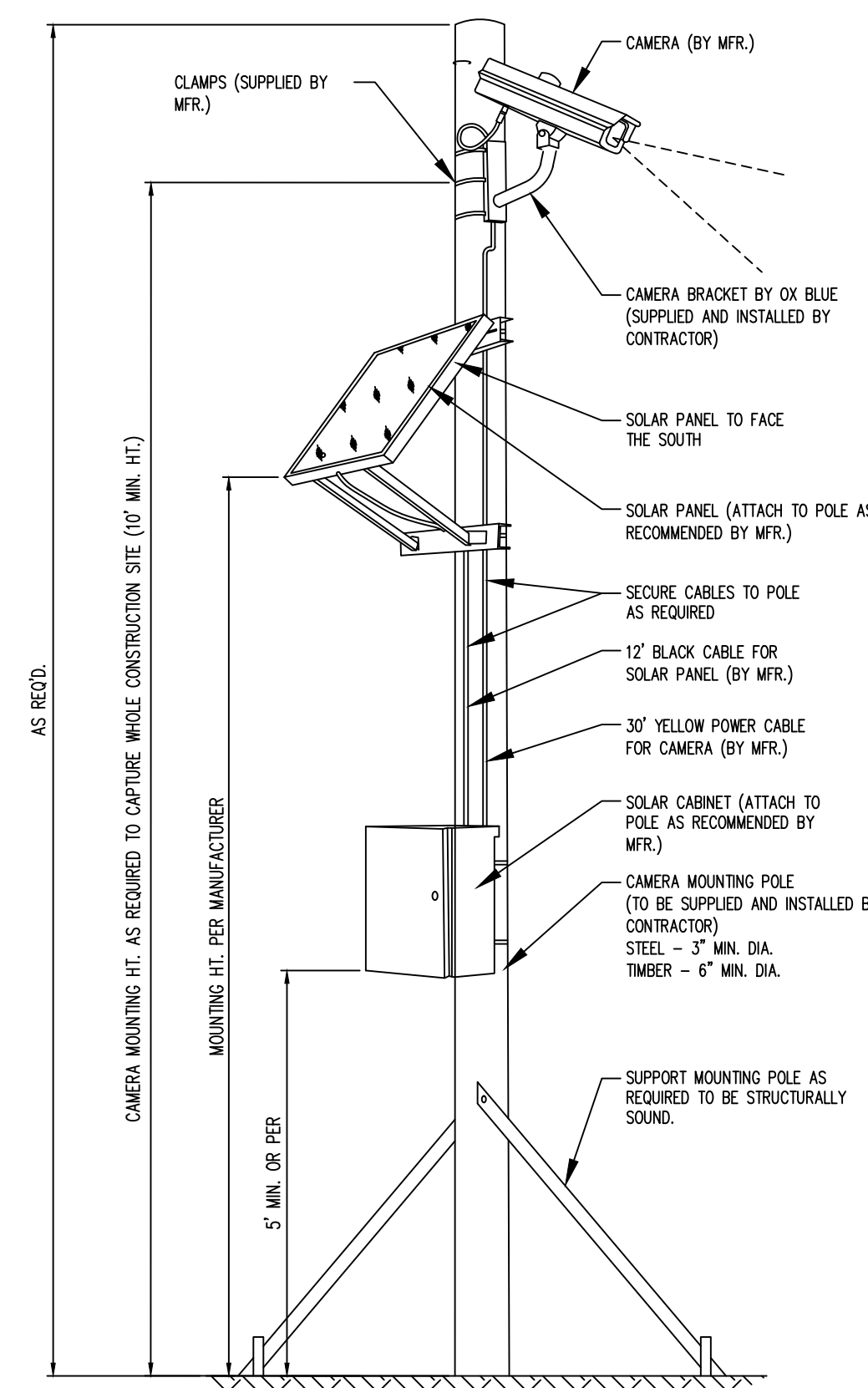
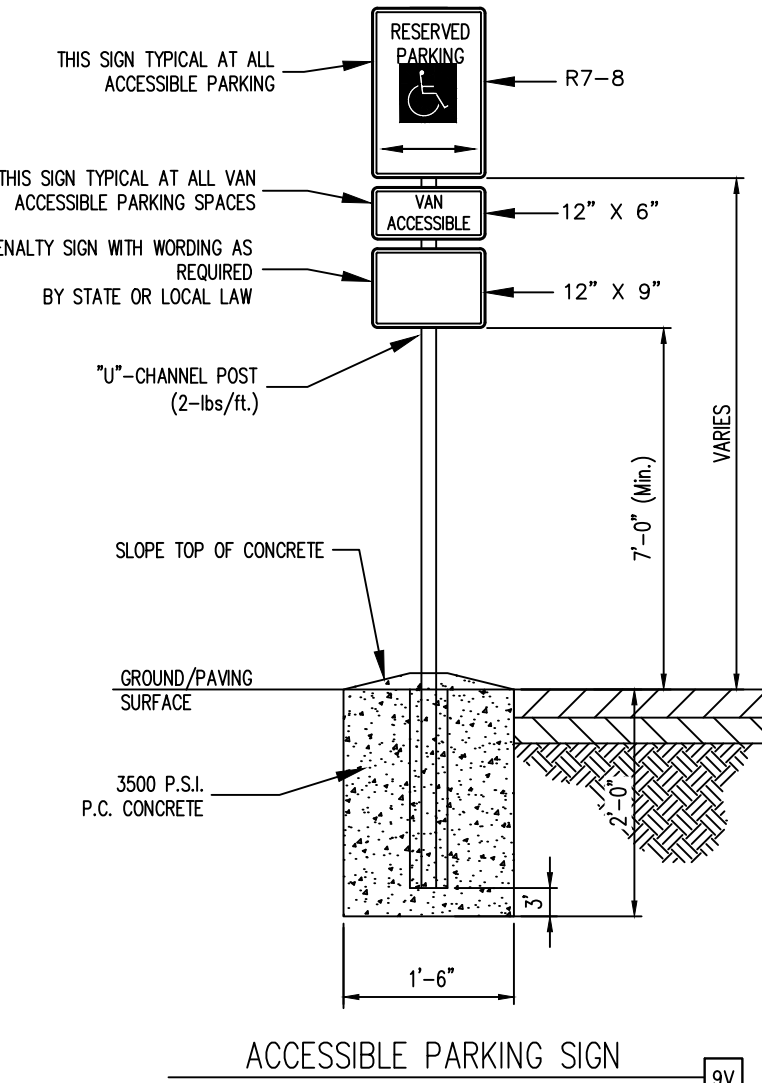


Know what's below.  
Call before you dig.

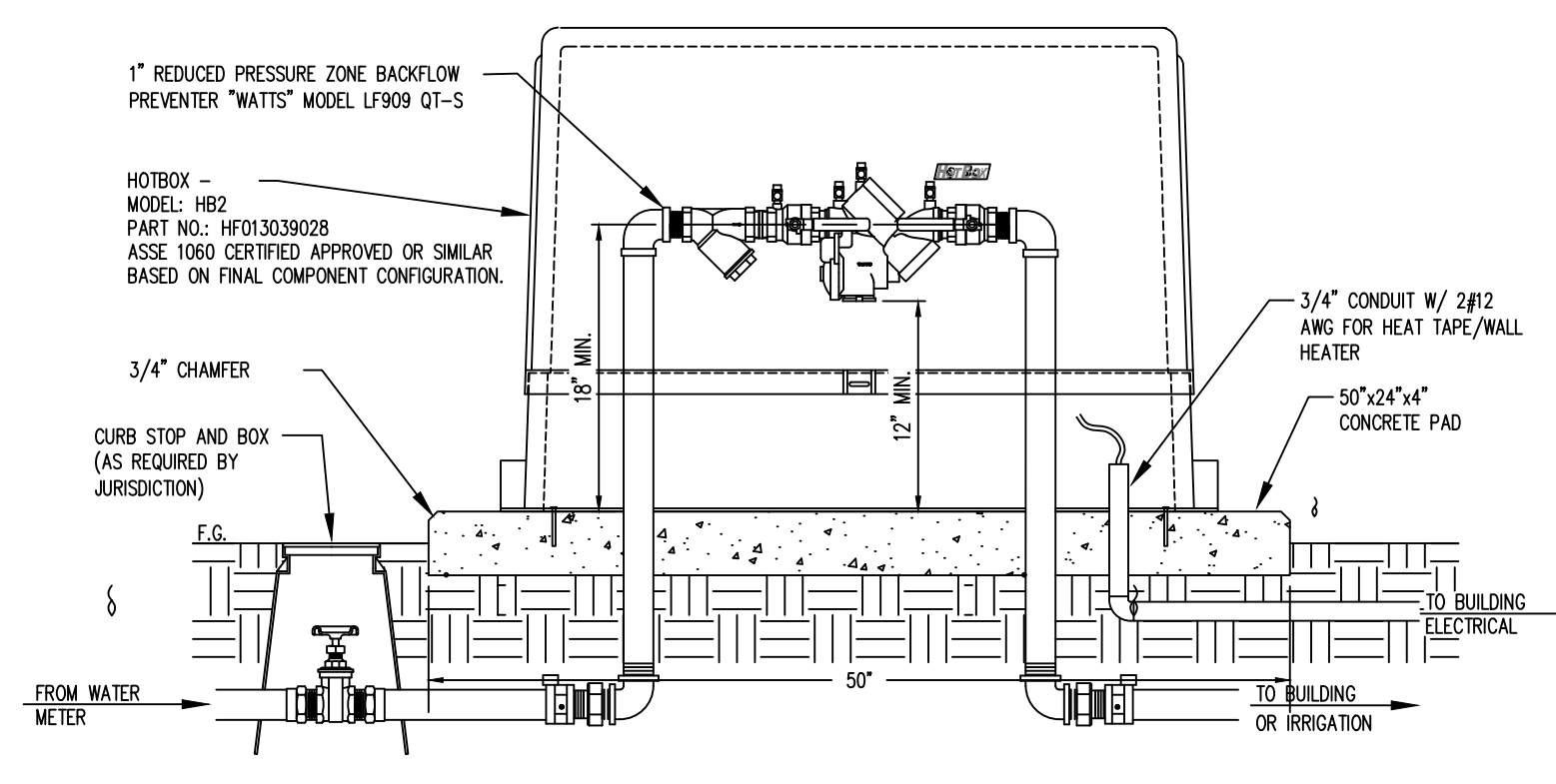
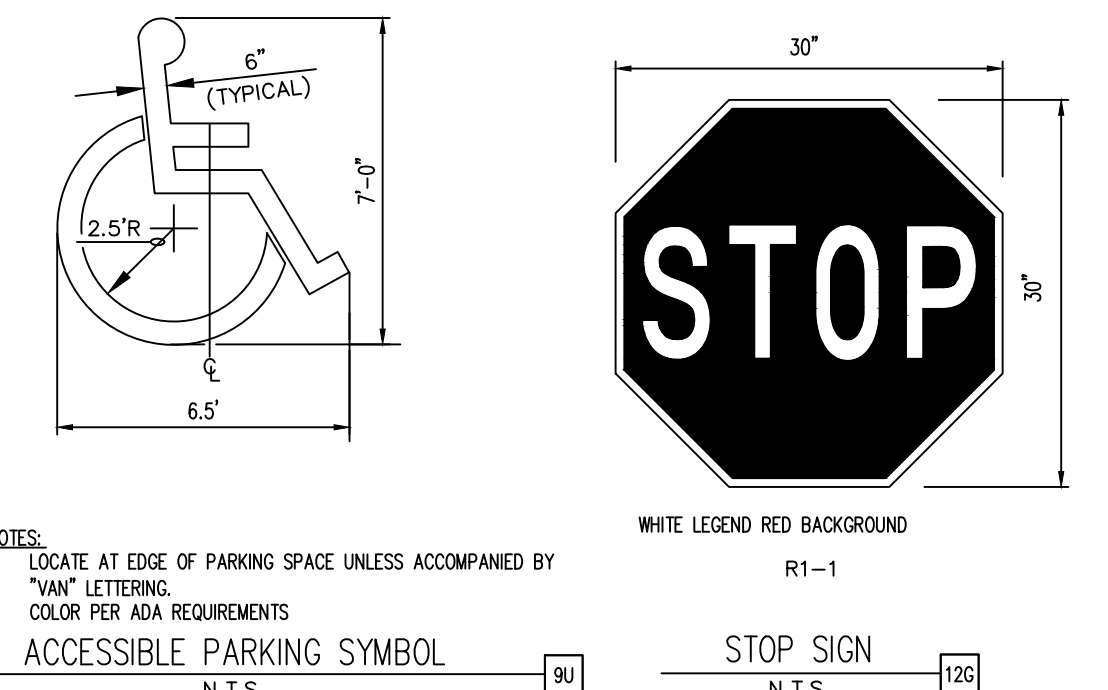
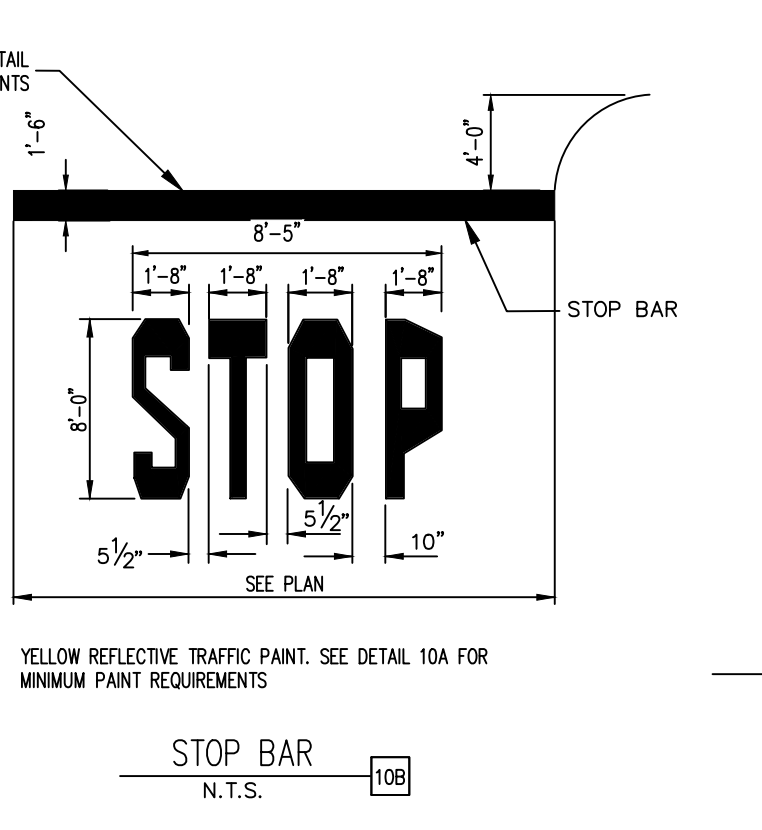
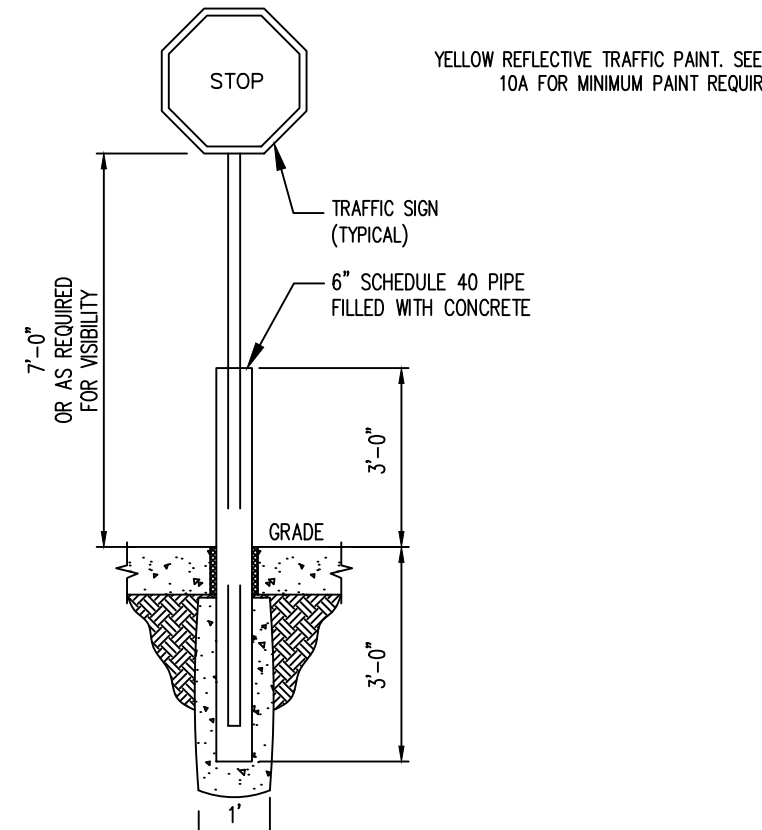
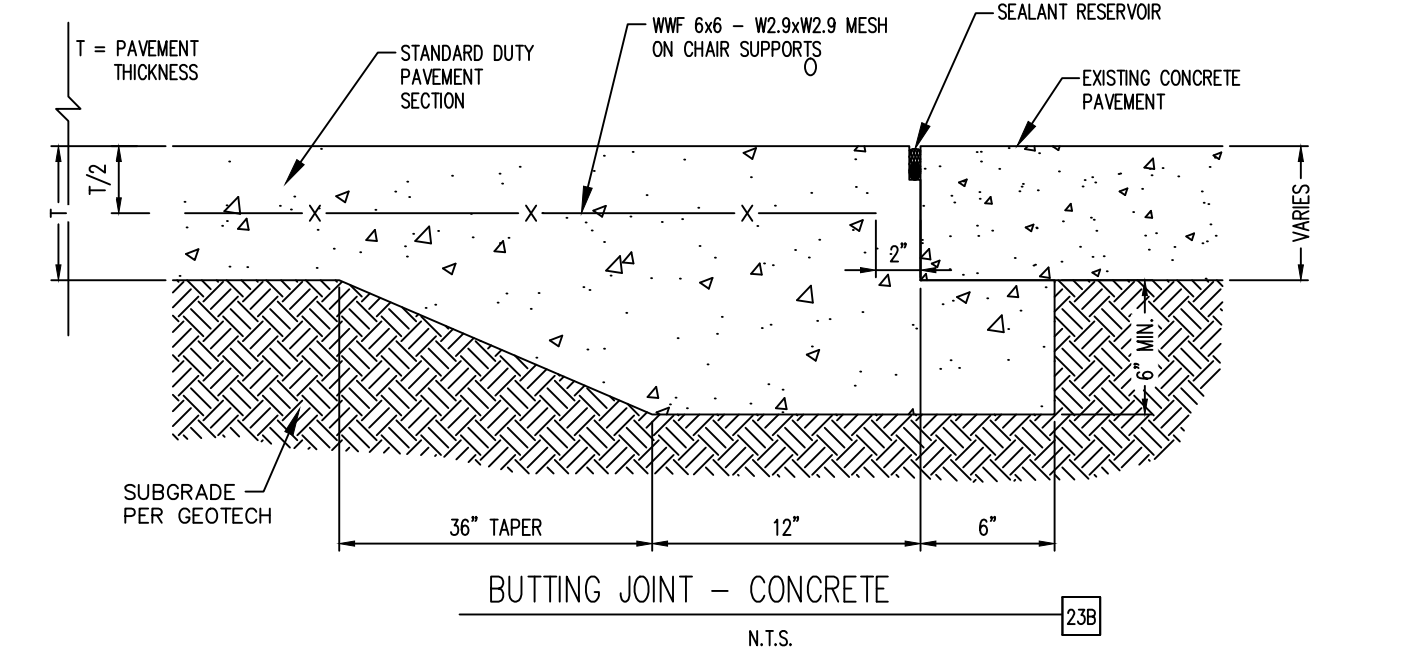
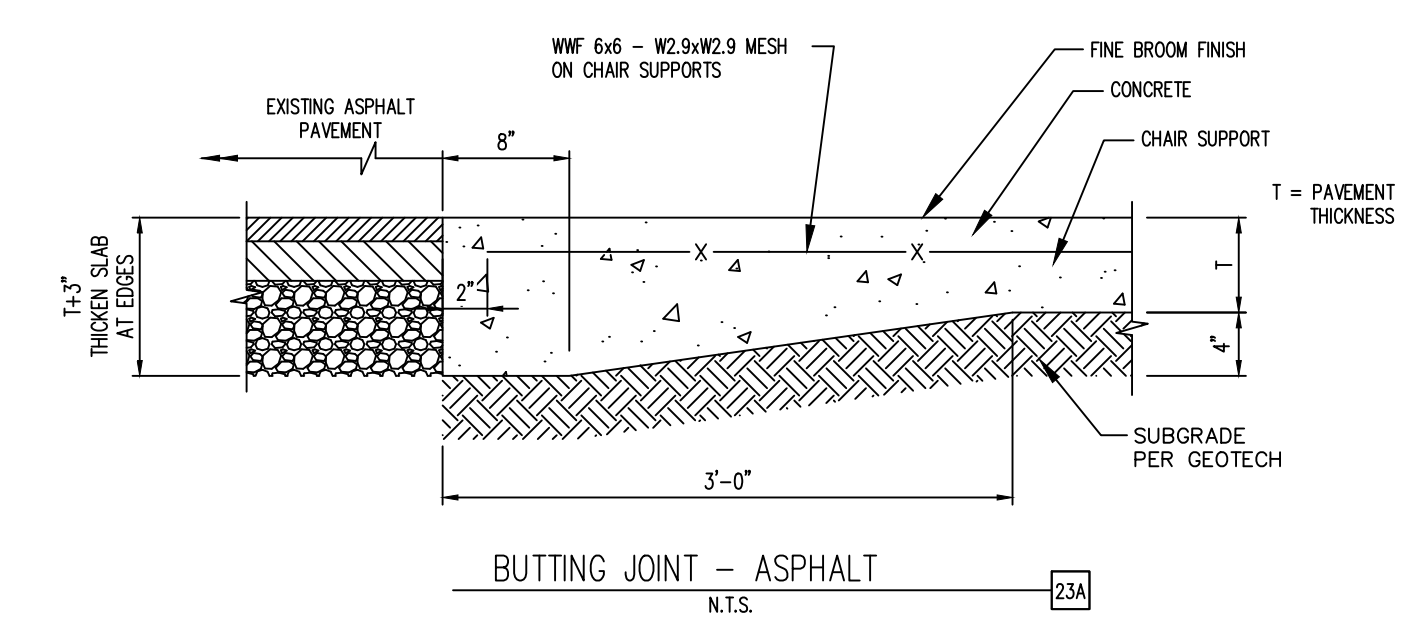
SHEET NO. C-1.3



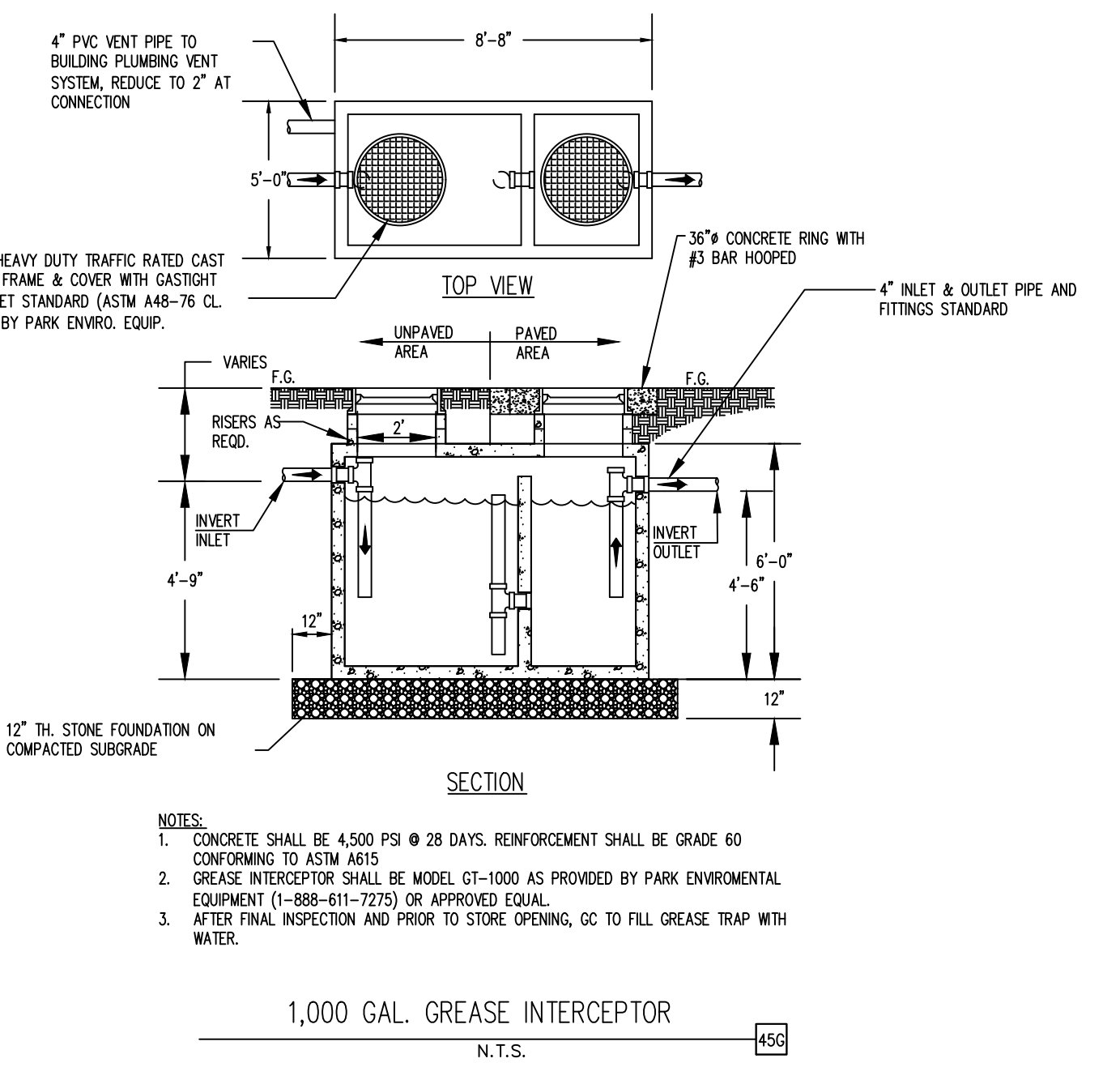
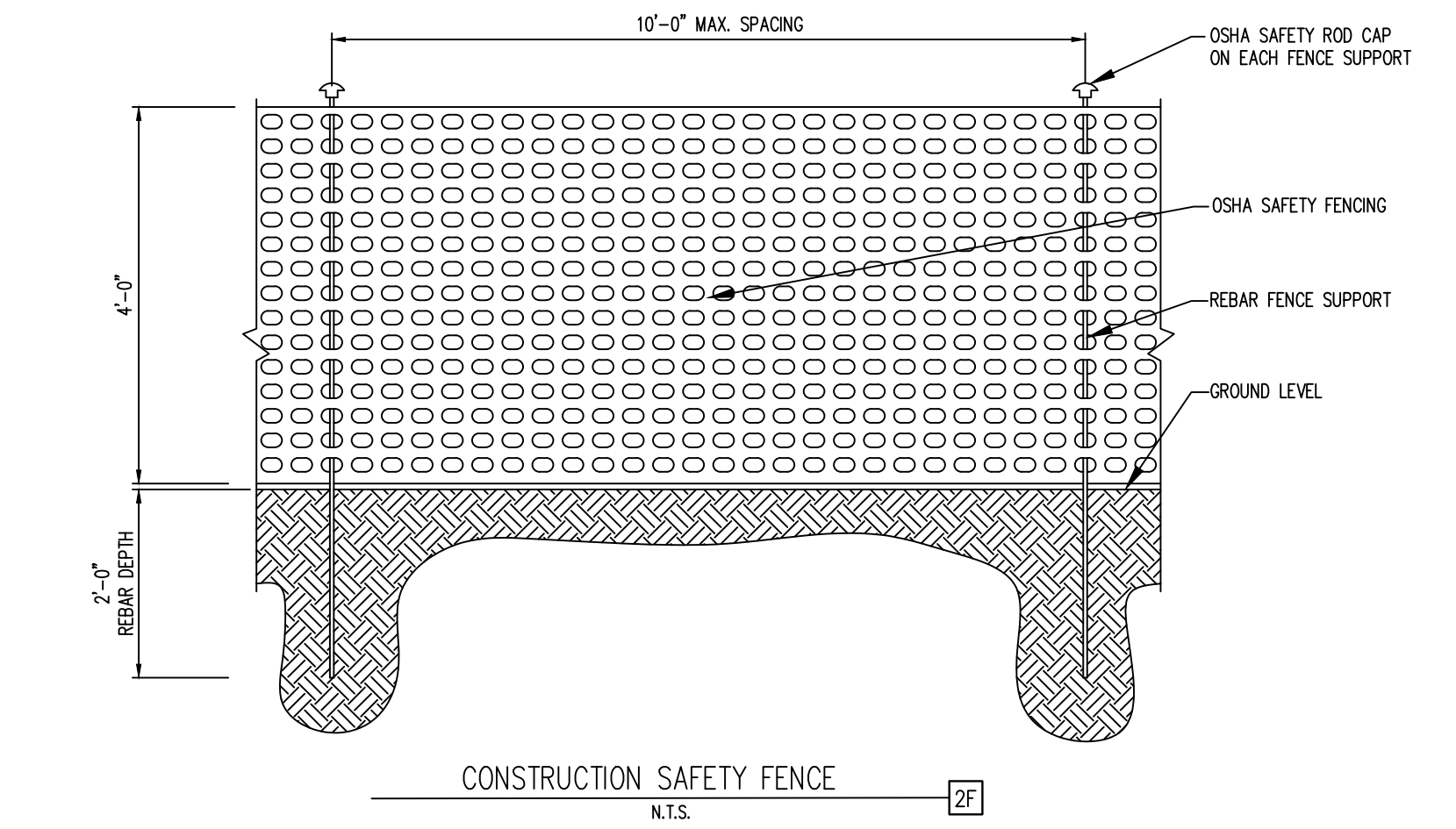
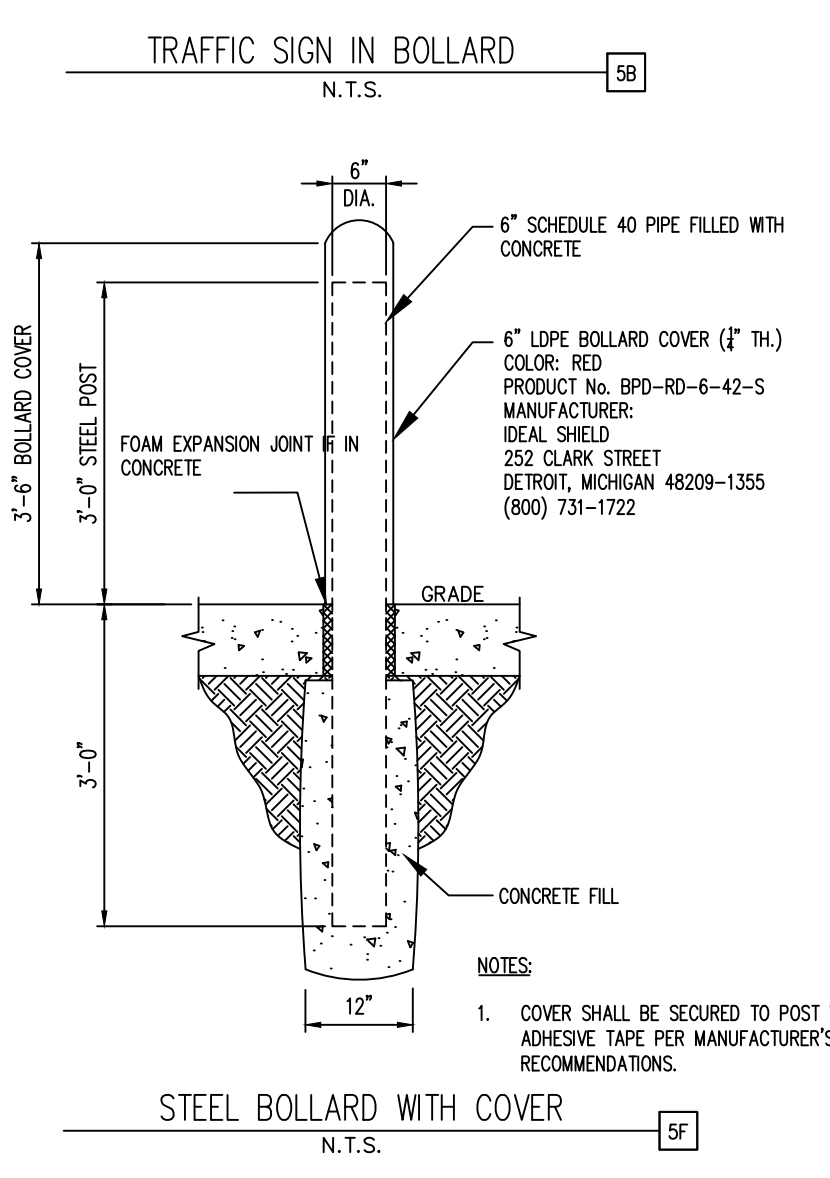
- MINIMUM STRIPING REQUIREMENTS:**
- USE TRAINED AND EXPERIENCED PERSONNEL IN APPLYING THE PRODUCTS AND OPERATING THE EQUIPMENT REQUIRED FOR PROPERLY PERFORMED WORK.
  - PAINT SHALL BE WATERBORNE OR SOLVENT BORNE. COLOR SHALL BE REFLECTIVE YELLOW UNLESS OTHERWISE SPECIFIED. PAVEMENT MARKING PAINTS SHALL COMPLY WITH APPLICABLE STATE AND LOCAL LAWS ENACTED TO ENSURE COMPLIANCE WITH FEDERAL CLEAN AIR STANDARDS. PAINT MATERIALS SHALL CONFORM TO THE RESTRICTIONS OF THE LOCAL AIR POLLUTION CONTROL DISTRICT.
  - WATERBORNE PAINT: PAINTS SHALL CONFORM TO FEDERAL SPECIFICATION TT-P-1952 (LATEST REVISION) AND ALL APPLICABLE ASTM STANDARDS WITHIN THIS SPECIFICATION.
  - SOLVENT BORNE PAINT: PAINT SHALL CONFORM TO FEDERAL SPECIFICATION A-A-2886 OR ASSHTO M248. PAINT SHALL BE NON-BLEEDING, QUICK-DRYING AND ALKYL PETROLEUM BASE PAINT SUITABLE FOR TRAFFIC-BEARING SURFACE AND BE MIXED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION FOR COLOR YELLOW (UNLESS OTHERWISE SPECIFIED).
  - GLASS BEADS: ASSHTO M 247, TYPE 1 OR FS TT-B-1325, TYPE 1, GRADATION A.
  - APPLY TWO COATS OF PAINT, AT MANUFACTURER'S RECOMMENDED RATE, WITHOUT ADDITION OF THINNER, WITH MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS AND DRY FILM THICKNESS OF 7 1/2 MILS PER COAT. PAINT SHALL BE APPLIED FOR A TOTAL DRY FILM THICKNESS OF 15 MILS. APPLY WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES.
  - APPLY GLASS BEADS AT PEDESTRIAN CROSSWALK STRIPING AND AT LANE STRIPING AND ARROWS. BROADCAST GLASS BEADS UNIFORMLY INTO WET MARKINGS AT A RATE OF 6 LB/GAL.



- NOTES:**
- CAMERA AND SOLAR POWER STATION BY OX BLUE CORPORATION.
  - CAMERA TO BE INSTALLED AND ACTIVATED PER MFR. REQUIREMENTS BY GC PRIOR TO CONSTRUCTION.
  - MOUNTING POLE TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
  - LAC BOLTS/CLAMPS USED TO ATTACH CAMERA, SOLAR PANEL AND CABINET TO POLE ARE TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
  - CONSTRUCTION CAMERA SHALL BE COORDINATED WITH MURPHY CONSTRUCTION MANAGER AND PLACED ON MURPHY PROPERTY WHERE THE ENTIRE WORK SITE CAN BE VIEWED WITH CAMERA.
  - MOUNTING POLE TO BE STRUCTURALLY SOUND & WITHSTAND 300 LBS OF FORCE AT 5' ABOVE GROUND.
  - FOR ANY MOUNTING OF CAMERA ON OFF-SITE STRUCTURE, CONTRACTOR MUST SECURE PERMITS AND/OR PERMISSION FROM RESPECTIVE OWNER AND PROVIDE TO MURPHY.
  - MOUNTING CAMERA SYSTEM ON JOB SHACK IS NOT ALLOWED.



- NOTES:**
- THIS PLAN REPRESENTS AN ACCEPTABLE METHOD FOR PLACEMENT OF A BACKFLOW PREVENTER AND VAULT, HOWEVER, ALL LOCAL CODES VARY AND MUST BE ADHERED TO FOR VALVE/METER ASSEMBLY.
  - HEAT IS PROVIDED BY A 90 WATT, 120V SINGLE PHASE HEAT TAPE OR WALL MOUNTED HEATER. FOR UNHEATED VERSION, REPLACE THE PREFIX "H" IN THE PART NO. WITH AN "L".
  - FOUR CONCRETE ANCHORS REQUIRED FOR MOUNTING.
  - STANDARD COLOR IS BEIGE. (OPTIONS ARE AVAILABLE).



- NOTES:**
- CONCRETE SHALL BE 4,500 PSI @ 28 DAYS. REINFORCEMENT SHALL BE GRADE 60 CONFORMING TO ASTM A615
  - GREASE INTERCEPTOR SHALL BE MODEL GT-1000 AS PROVIDED BY PARK ENVIRONMENTAL EQUIPMENT (1-888-611-7275) OR APPROVED EQUAL.
  - AFTER FINAL INSPECTION AND PRIOR TO STORE OPENING, GC TO FILL GREASE TRAP WITH WATER.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

**Galloway**  
6162 S. Willow Drive, Suite 320  
Littleton, CO 80111  
303.770.9848  
GallowayUS.com

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
EL DORADO, AR 71730

**MURPHY USA**

# PARKER AND PINE FILING NO. 1 LOT 2 - SITE PLAN

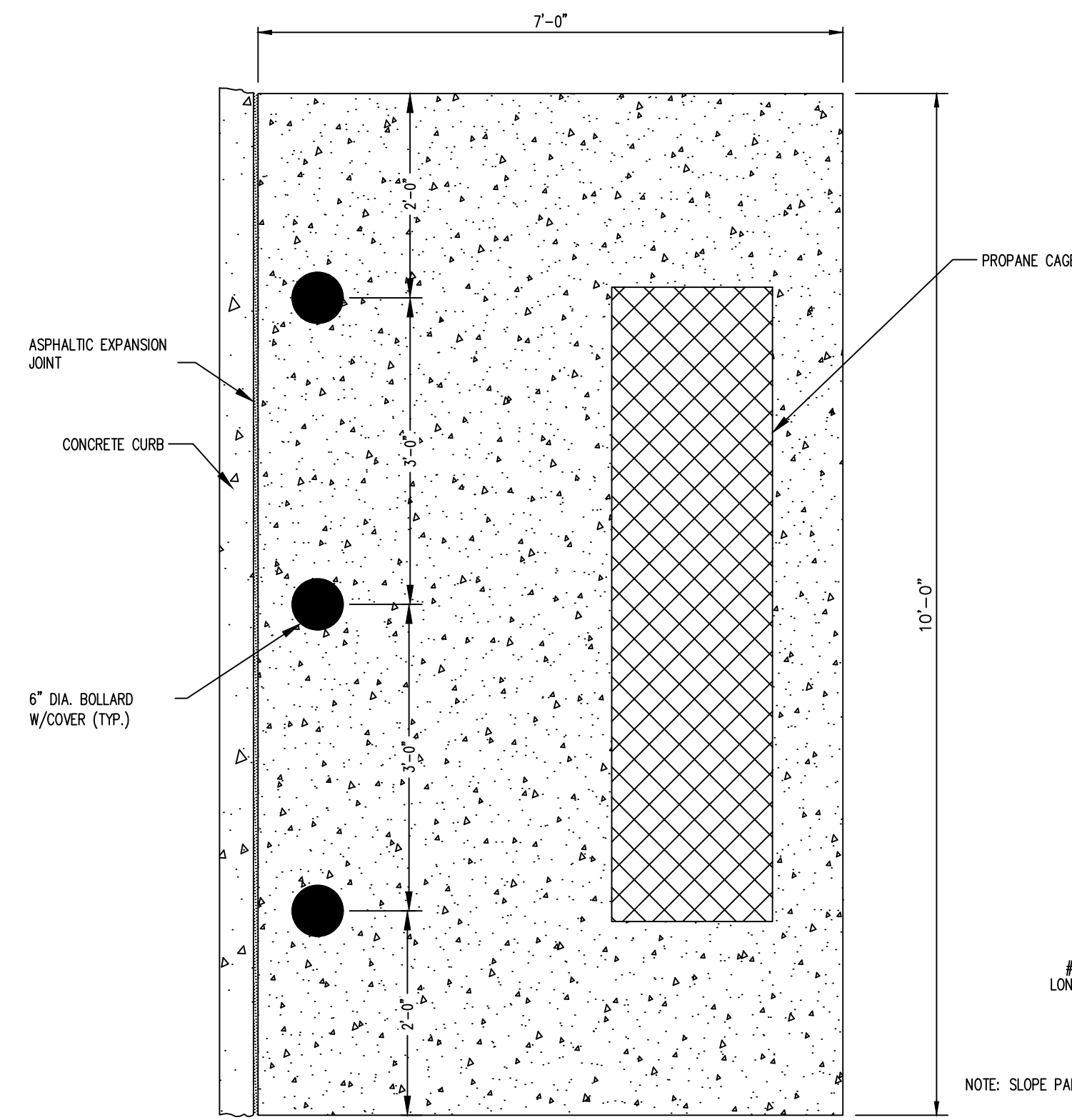
MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

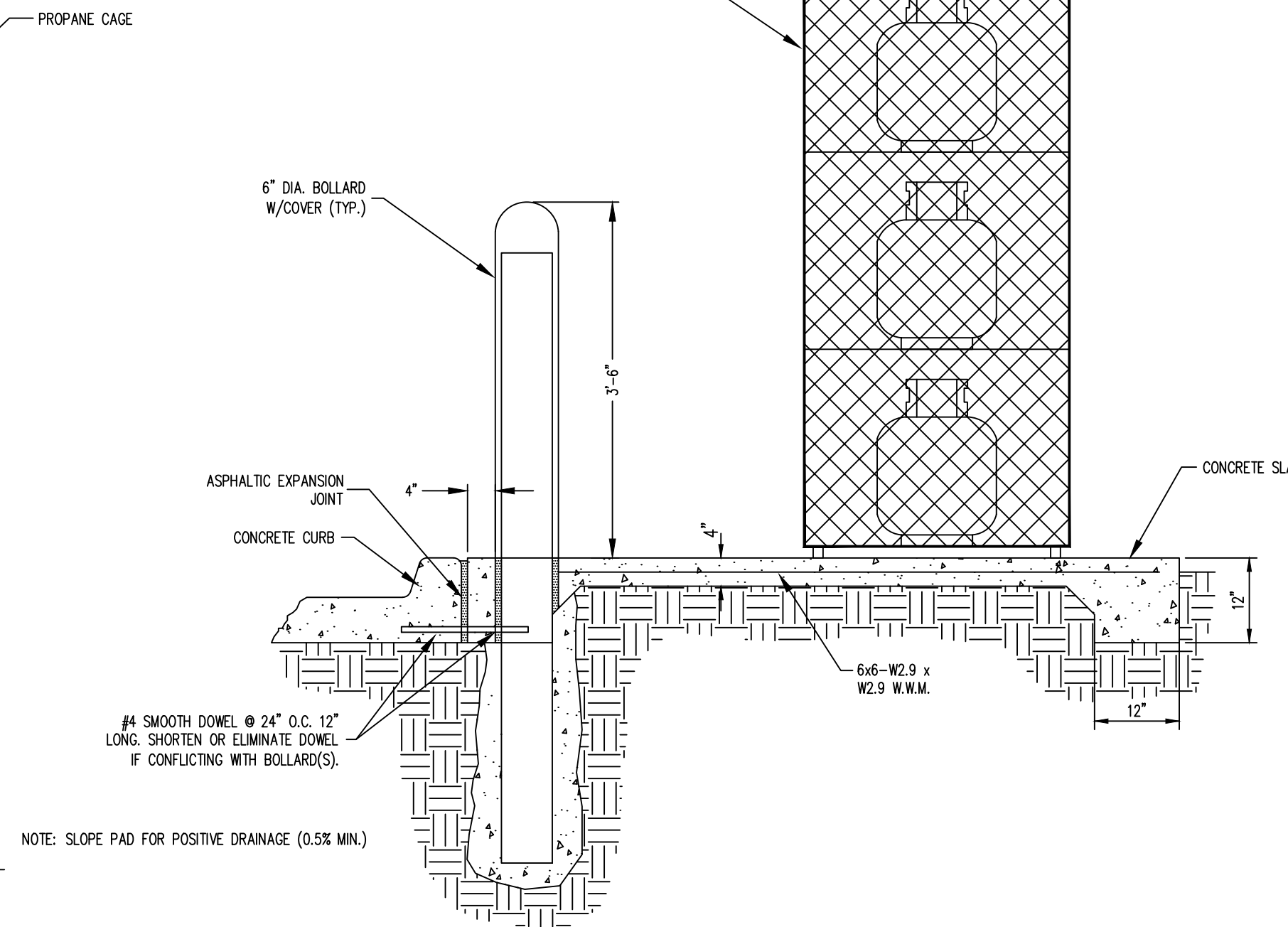
## SITE PLAN



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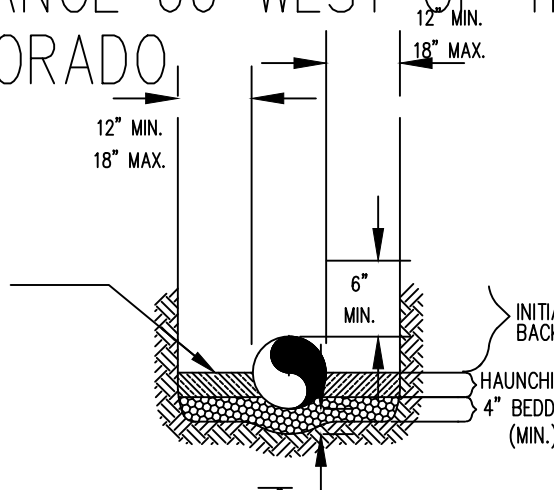


TOP VIEW



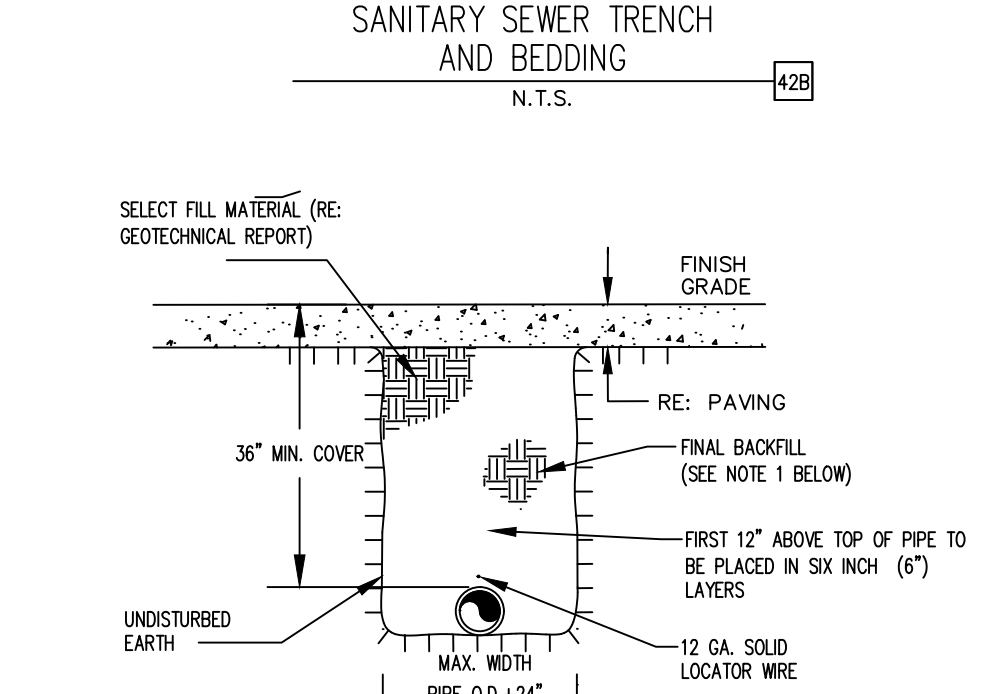
ELEVATION

PROPANE MOUNTING SLAB DETAIL  
 N.T.S.

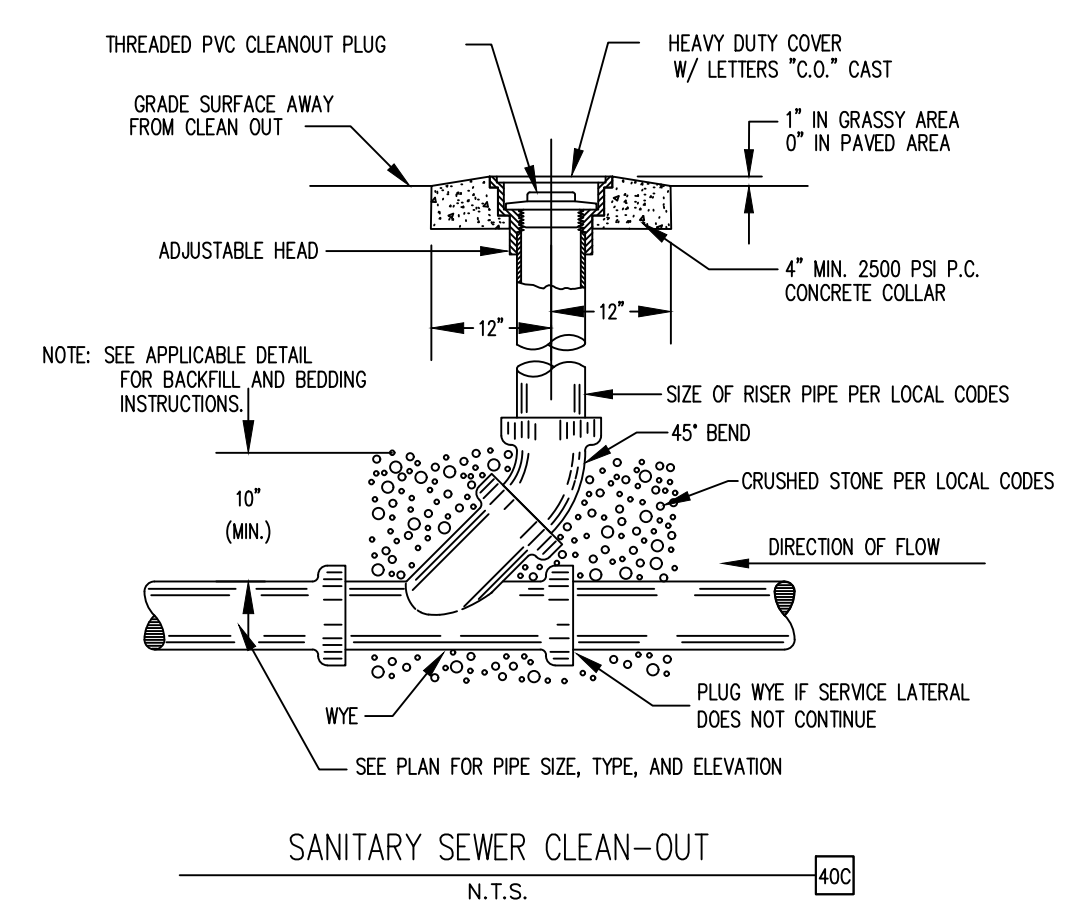


GENERAL NOTES

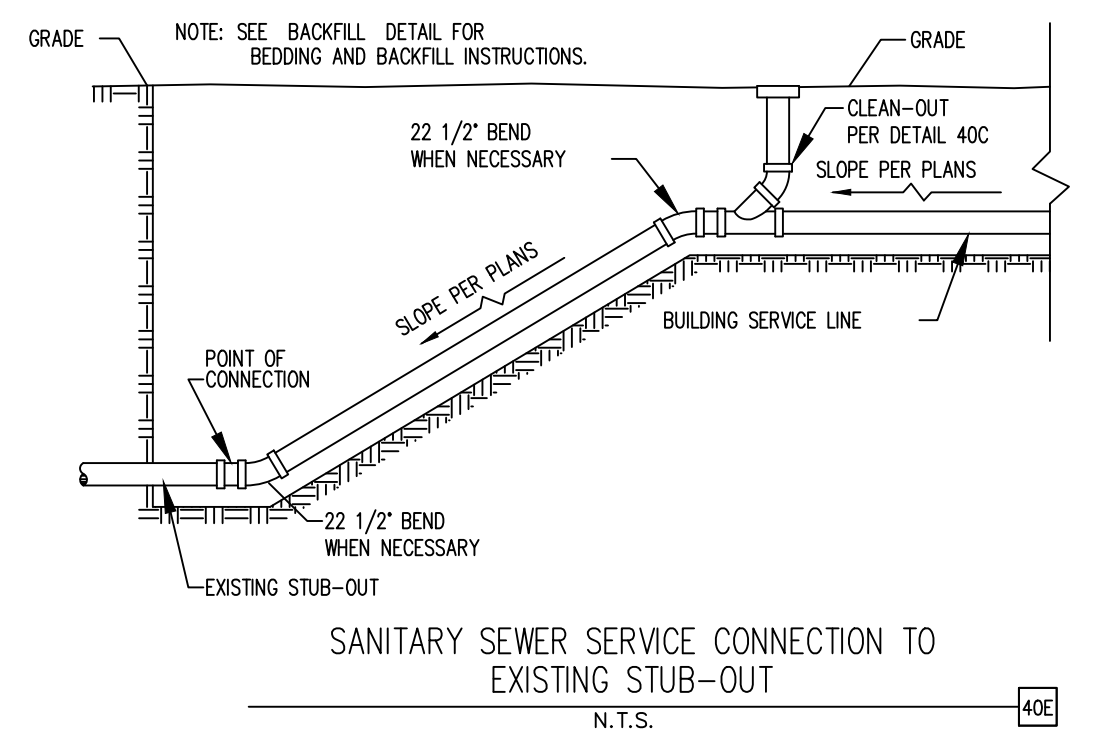
- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR.
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES.



TYPICAL TRENCH DETAIL  
 (FOR WATER/ELECTRICAL/TELEPHONE SERVICE)  
 N.T.S.



SANITARY SEWER CLEAN-OUT  
 N.T.S.



SANITARY SEWER SERVICE CONNECTION TO EXISTING STUB-OUT  
 N.T.S.

REINFORCEMENT SCHEDULE, WALLS			
SECTION	WIDTH ("W")	HOR.	VERT.
"A"	4'	#4 @ 8"	#4 @ 10"
	BETWEEN 4' & 7'	#5 @ 8"	#4 @ 10"
	GREATER THAN 7'	#5 @ 4 1/2"	#4 @ 10"
"B"	4'	#4 @ 6"	#4 @ 10"
	BETWEEN 4' & 7'	#5 @ 6"	#4 @ 10"

TABLE OF "W" & "W" DIMENSIONS				
SECTION	WIDTH ("W")	"T"	"W"	"W"
"A"	BETWEEN 4' & 7'	6" + PIPE THICKNESS	8"	6"
	GREATER THAN 7'	6" + PIPE THICKNESS	8"	8"
"B"	BETWEEN 4' & 7'	6" + PIPE THICKNESS	8"	8"
	GREATER THAN 7'	6" + PIPE THICKNESS	10"	8"

REINFORCEMENT SCHEDULE, TOP		
DIMENSIONS	STEEL	SPECIAL PATTERN
W1 = 7' OR LESS	#4 @ 8" E.W.	DIAGONAL @ COVER
W2 = 7' OR LESS	#4 @ 8" E.W.	DIAGONAL @ COVER
W1 = 7' OR LESS	#4 @ 8" E.W.	DIAGONAL @ COVER
W2 = 7' OR GREATER	#4 @ 6" E.W.	DIAGONAL @ COVER
W1 = 7' OR GREATER	#4 @ 8" E.W.	DIAGONAL @ COVER
W2 = 7' OR GREATER	#4 @ 6" E.W.	DIAGONAL @ COVER

REINFORCEMENT SCHEDULE, BASE			
SECTION	WIDTH ("W")	HOR.	VERT.
"A"	4'	#4 @ 6" E.W.	#4 @ 6" E.W.
"B"	4'	#5 @ 6" E.W.	#4 @ 6" E.W.

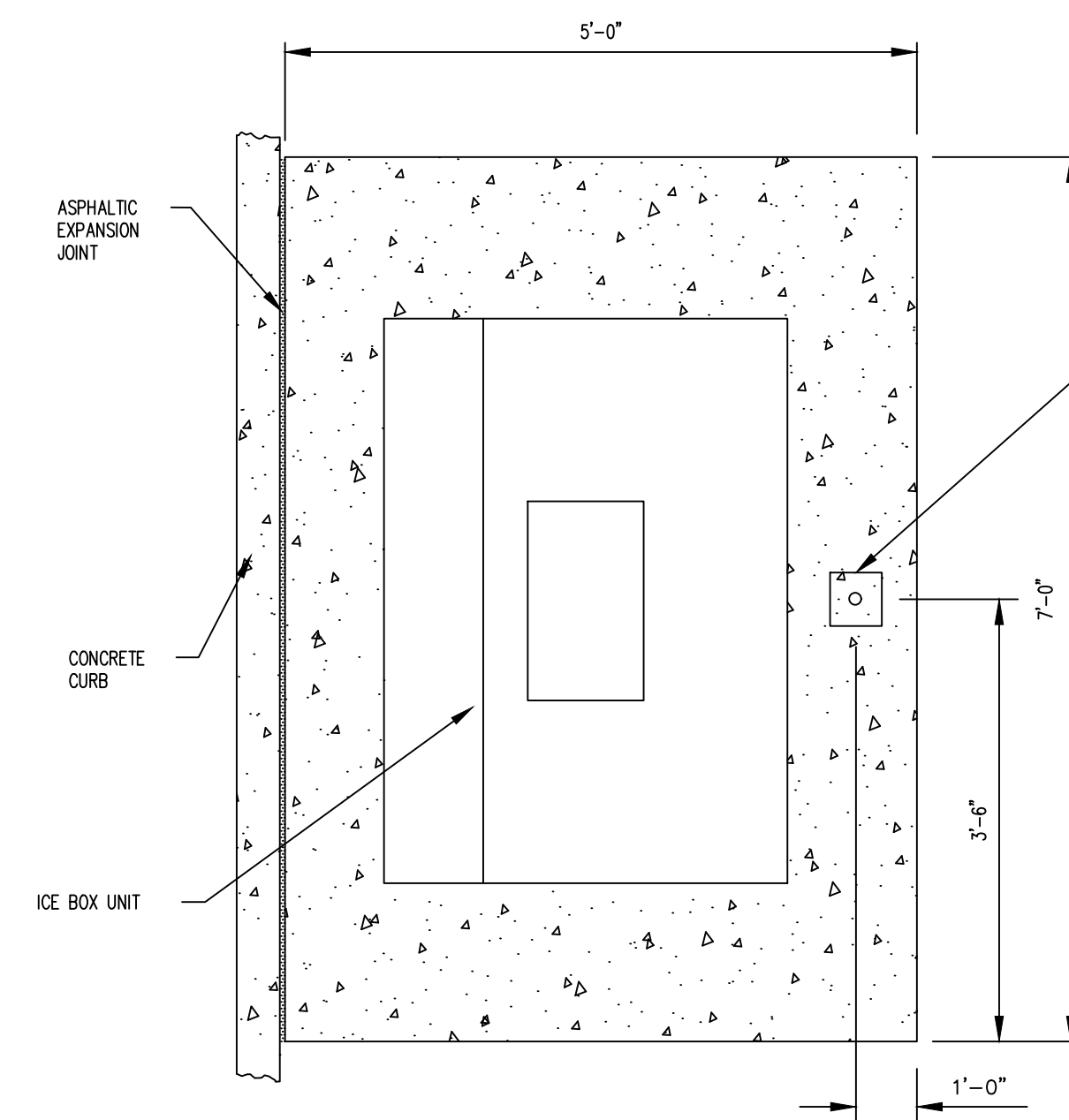
  

TABLE OF "W" DIMENSIONS			
PIPE SIZE	SKEW OF CROSS DRAIN	"T"	"W"
30"	STRAIGHT	30"	45"
24"	4-0"	4-0"	4-10"
30"	4-0"	4-7"	5-8"
36"	4-0"	5-3"	6-5"
42"	5-3"	5-11"	7-3"
48"	5-10"	6-7"	8-0"
60"	7-0"	7-10"	9-8"

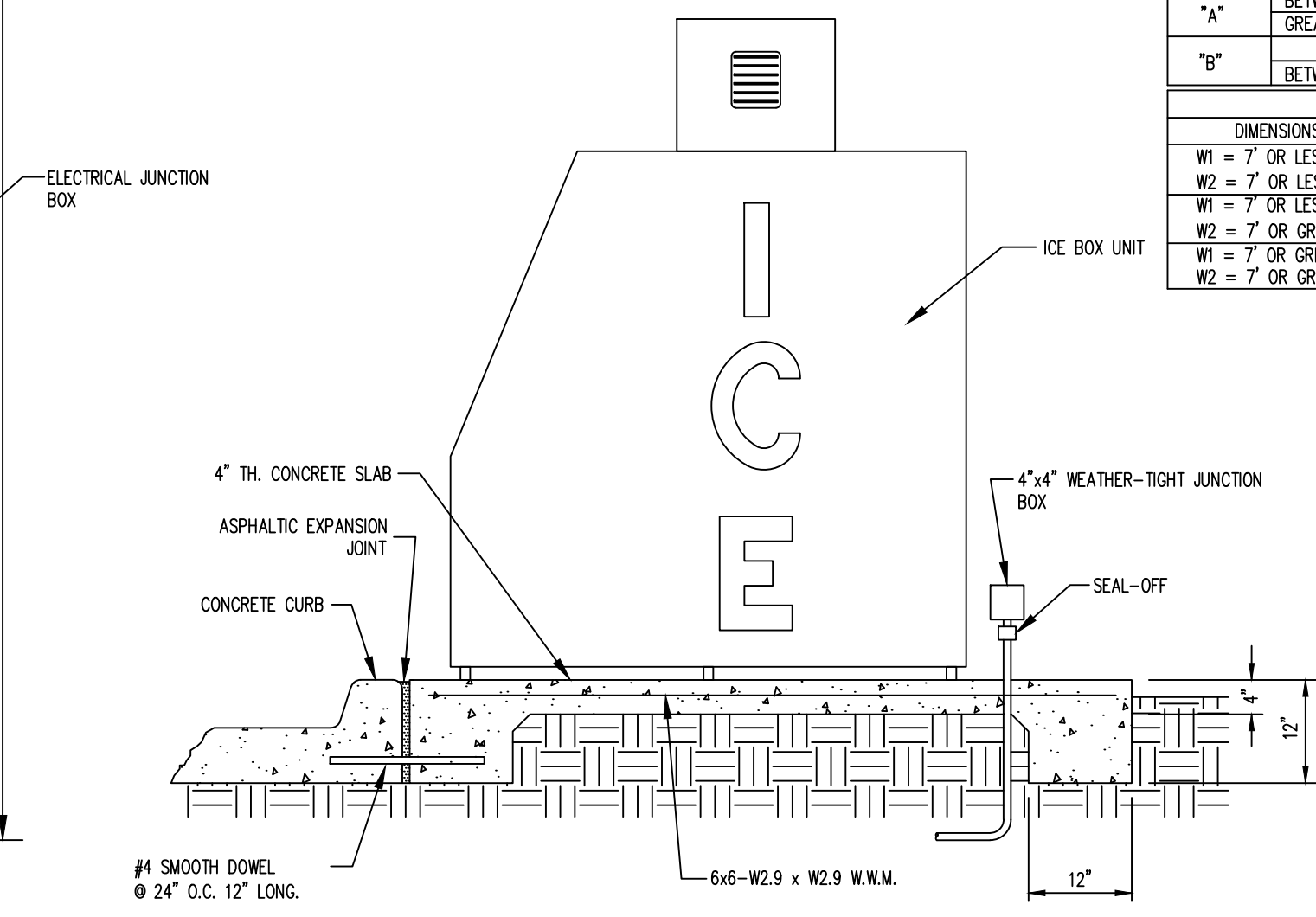
  

DOUBLE FOR "A" SECTION ONLY			
PIPE SIZE	SKEW OF CROSS DRAIN	"T"	"W"
24"	7-0"	7-10"	9-5"
30"	8-2"	9-2"	11-0"
36"	9-4"	10-6"	12-6"
42"	10-6"	11-10"	14-2"
48"	11-8"	13-2"	15-10"

- GENERAL NOTES:
- ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER
  - ALL #4 & #5 REINFORCING BARS TO HAVE 1-1/2" COVER, LARGER SIZES TO HAVE 2" COVER.
  - SEE GRADING AND DRAINAGE PLAN FOR PIPE SIZES, LOCATIONS, AND FLOW LINES.
  - PIPES SHALL CONNECT TO THE ENDS OR SIDES OF THE INLET. CONNECTION SHALL NOT BE MADE AT CORNERS OF INLET.
  - ALL REINFORCING BARS TO BE GRADE 60.

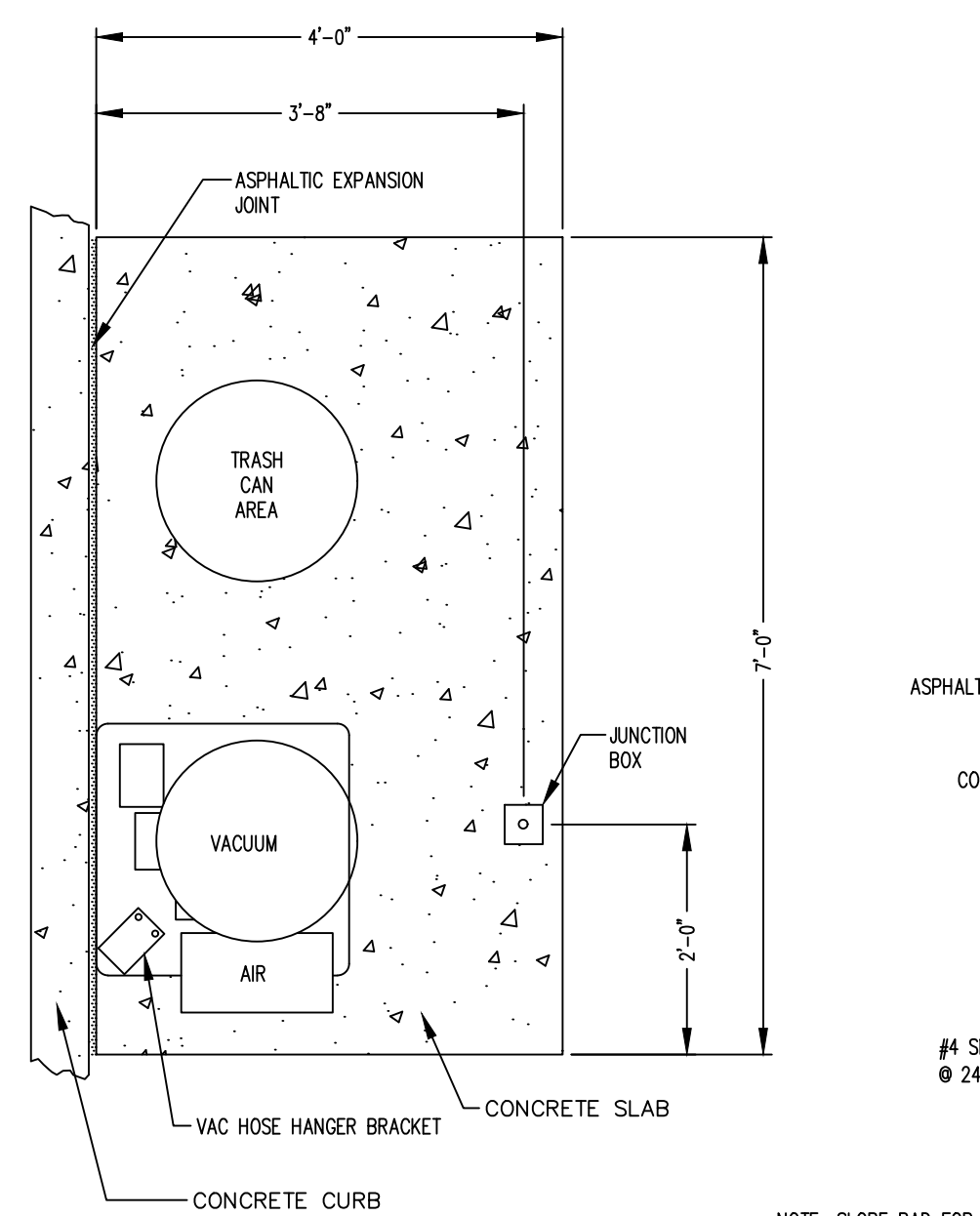


TOP VIEW



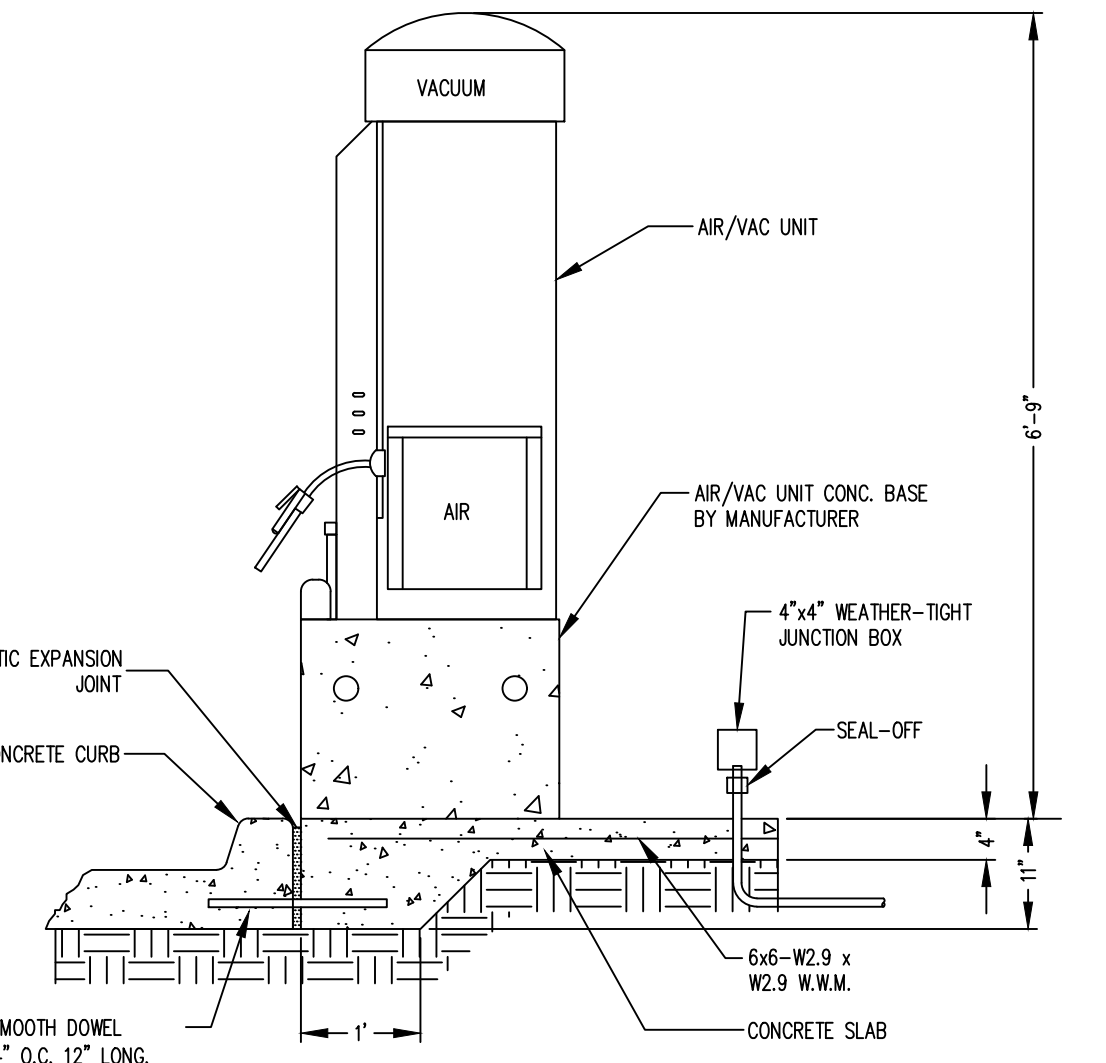
ELEVATION

ICE BOX MOUNTING SLAB DETAIL  
 N.T.S.



NOTE: SLOPE PAD FOR POSITIVE DRAINAGE (0.5% MIN.)

AIR/VAC MOUNTING SLAB DETAIL  
 N.T.S.



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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

SHEET NO. C-1.4

REV-1 07/09/2020 DATE PRN PM DES DRW  
 SITE DETAILS  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER COLORADO

Galloway  
 6162 S. Willow Drive, Suite 320  
 Littleton, CO 80111  
 303.770.8844  
 GallowayUS.com

MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730  
 MURPHY USA

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



Know what's below.  
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### EASEMENT SCHEDULE

- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
- (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
- (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION)  
(BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)

### GRADING LEGEND

---	5460	EXISTING MAJOR CONTOUR
---	5200	EXISTING MINOR CONTOUR
---	65	PROPOSED MAJOR CONTOUR
---	66	PROPOSED MINOR CONTOUR
---		GRASS SWALE CENTERLINE
---		PROPERTY LINE
---	15.00	PROPOSED SPOT ELEVATION
---	FL	PROPOSED FLOWLINE ELEVATION
---	FFE	FINISHED FLOOR
---	TOG	TOP OF GRATE
---	HP	HIGH POINT
---	LP	LOW POINT
---	ME	MATCH EXISTING
---	TOI	TOP OF ISLAND
---	X.XX%	PROPOSED SLOPE ARROW

### GRADING NOTES

- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
- CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORMWATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
- ALL FILL IN OLD TANK AREAS, OLD GASMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
- THIS DESIGN IS BASED ON A SOIL AND FOUNDATION INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
- ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
- GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT GUTTER DEPRESSION AT INLET.
- CONTRACTOR RESPONSIBLE FOR ALL WORK NECESSARY FOR FINAL ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY, INCLUDING BUT NOT LIMITED TO AS-BUILT DRAWINGS, INSPECTIONS, TESTING REPORTS AND CERTIFICATIONS.

### BENCHMARK

ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN. VERTICAL DATUM IS APPROXIMATELY 2.6± FEET BELOW NAVD 88.

### SITE BENCHMARKS:

SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76

SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

### BASIS OF BEARING

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24960 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

### CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



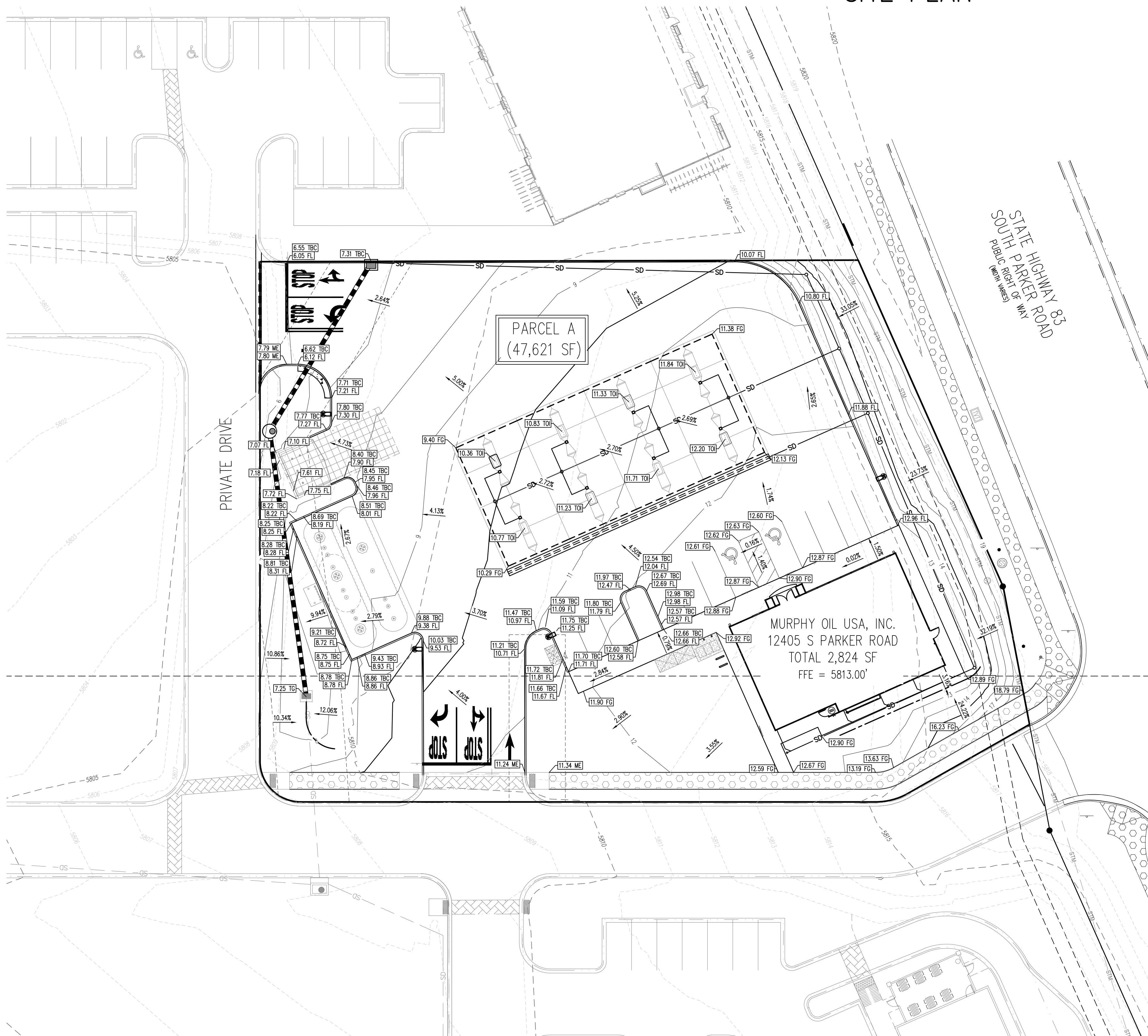
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TOWN OF PARKER, DIRECTOR OF ENGINEERING

DATE



SHEET NO.

C-2.1

REV-1 07/09/2020  
DATE PRN PM  
DES  
KML  
KML  
KML  
DRW

GRADING PLAN  
MURPHY EXPRESS  
12405 SOUTH PARKER ROAD  
PARKER  
COLORADO

Galloway

6162 S. Willow Drive, Suite 320  
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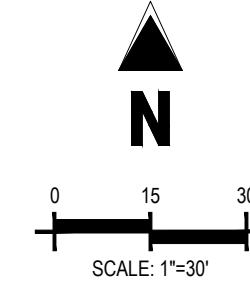


# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

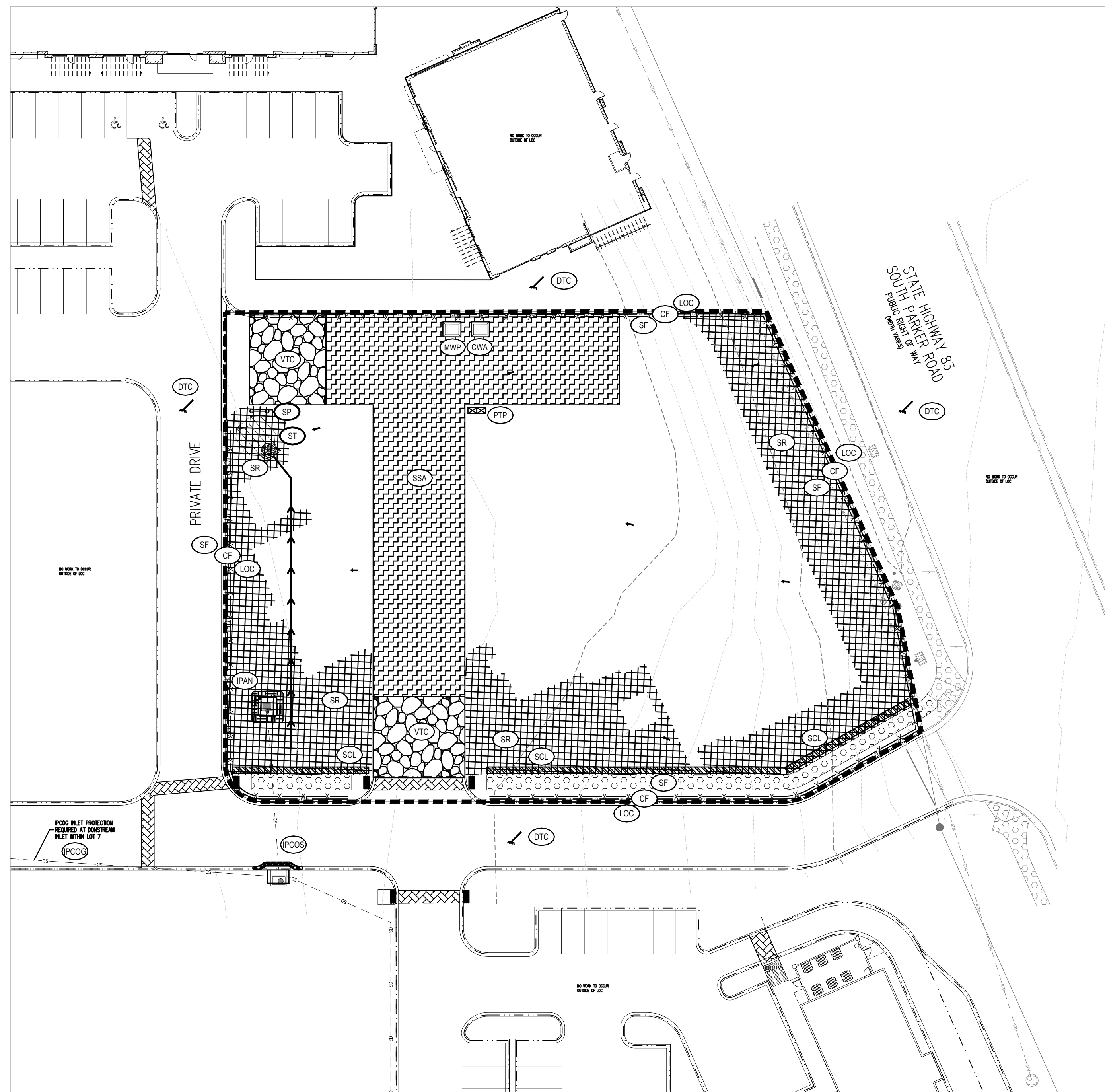
MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

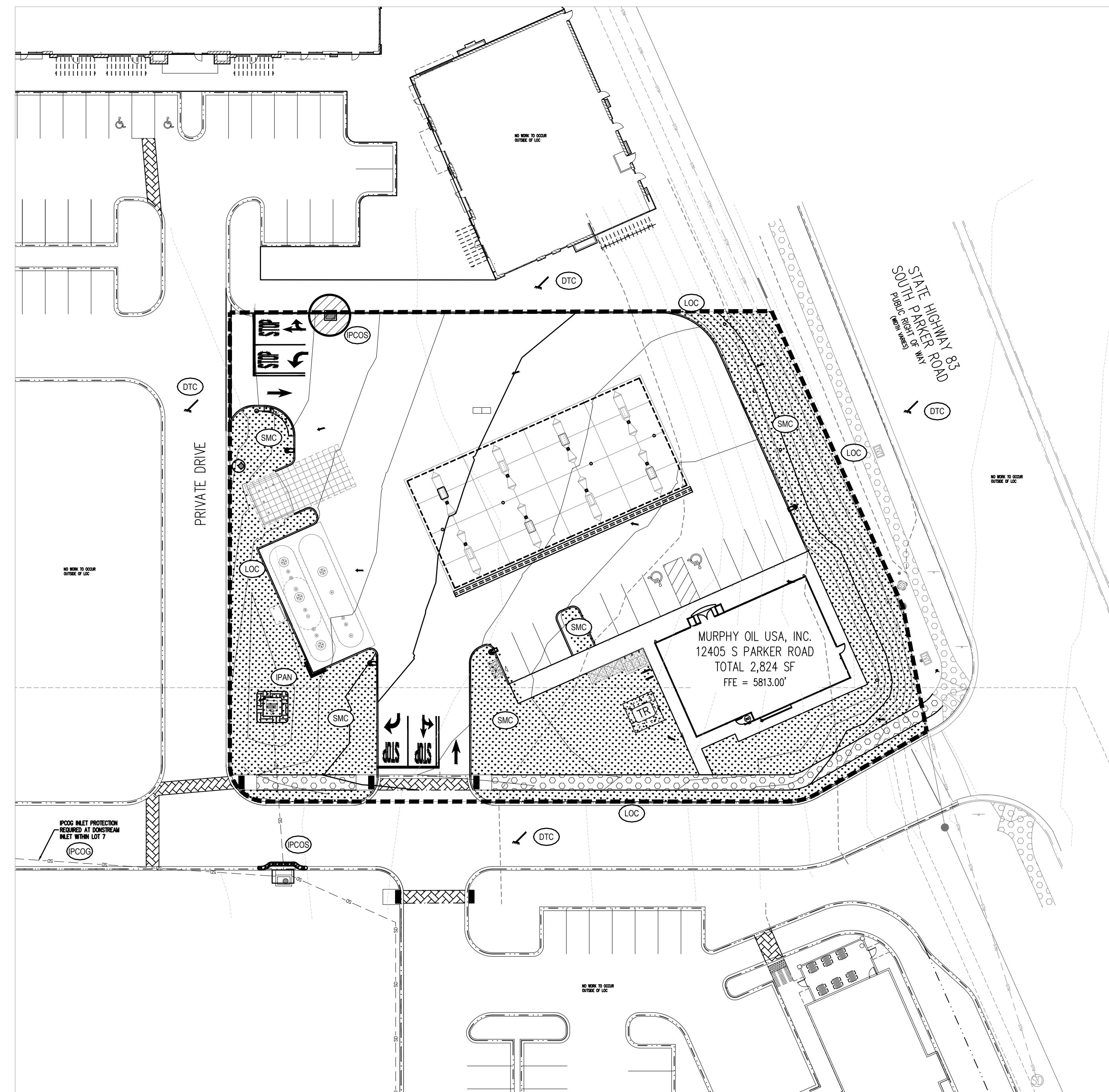
## SITE PLAN



SHEET NO. C-2.2



INITIAL CBMP PLAN



INTERIM/FINAL CBMP PLAN

### CBMP LEGEND

	CONSTRUCTION FENCE		SEDIMENT TRAP
	LIMITS OF CONSTRUCTION		INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
	SILT FENCE		INLET PROTECTION, CURB ON-SUMP, TYPE R INLET
	CONSTRUCTION VEHICLE ENTRY		INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
	STABILIZED STAGING AREA		
	SEEDING, MULCH, CRIMPING		
	SURFACE ROUGHING		
	SEDIMENT CONTROL LOSS		
	SITE POSTING (CONTACTS AND PERMITS)		
	CONCRETE WASHOUT		
	MASONRY WORK PROTECTION		
	PORTABLE TOILET PROTECTION		
	DEBRIS TRASH CONTROL		
	DIVERSION DITCH		

### AREA OF CONSTRUCTION SITE

TOTAL DISTURBED AREA = 48,008 SF (1.10 ACRES)  
 TOTAL AREA OF PROJECT SITE (ACRES) = 47,621 SF (1.09 ACRES)

### NOTES

- WEIGHED WATTLES OR OTHER PERIMETER CONTROLS SUCH AS SILT FENCE OR BERMS ARE NECESSARY AROUND ALL PILES OR ERODIBLE MATERIALS.
- DANDY SACK OR APPROVED EQUAL PROPRIETARY INLET PROTECTION MAY BE REQUIRED IF THE TOWN'S INSPECTOR FINDS THAT THE INLET PROTECTION FOR AREA INLETS IN PAVEMENT IS NOT ADEQUATE DURING THE DEMOLITION PHASE.
- DURING DEMOLITION, ALL DIRT AND ERODIBLE DEBRIS MUST BE CLEANED UP THROUGHOUT EACH DAY.
- LOT PROTECTION IS REQUIRED ON COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.
- REFER TO SHEET C-2.3 THROUGH C-2.6 FOR DETAILS.

### BASIS OF BEARING

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24960 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

### BENCHMARK

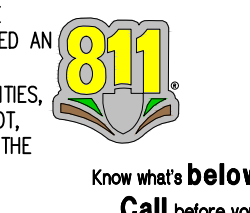
ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN, VERTICAL DATUM IS APPROXIMATELY 2.64 FEET BELOW NAVD 88.

### SITE BENCHMARKS:

- SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM, CAP STAMPED "PLS 36062"; EL = 5634.76
- SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM, CAP STAMPED "PLS 36062"; EL = 5640.22

### CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

REV-1 07/09/2020  
 DATE PRN PM DES DRW  
 CBMP PLAN  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER COLORADO

**Galloway**  
 6162 S. Willow Drive, Suite 320  
 Englewood, CO 80111  
 303.770.8844  
 GallowayUS.com

**MURPHY OIL USA, INC.**  
 200 PEACH STREET  
 EL DORADO, AR 71730  
**MURPHY USA**

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO  
**SITE PLAN**



SHEET NO. **C-2.3**

1. GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
2. THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LARSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
3. ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
4. THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
5. THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
6. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (E.G., CONSTRUCTION SITE RUNOFF CONTROL, INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
7. THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
8. IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
9. AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
10. AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOLOGICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
- (i) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - (ii) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - (iii) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

**Town of Parker COLORADO** | **CBMP** | **GEN NOTES**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 4 | Oct. 2013

11. ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
12. ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
13. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
14. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
15. ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
16. ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
17. ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
18. ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS, CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
19. THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
20. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
21. NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
22. ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
23. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
24. A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

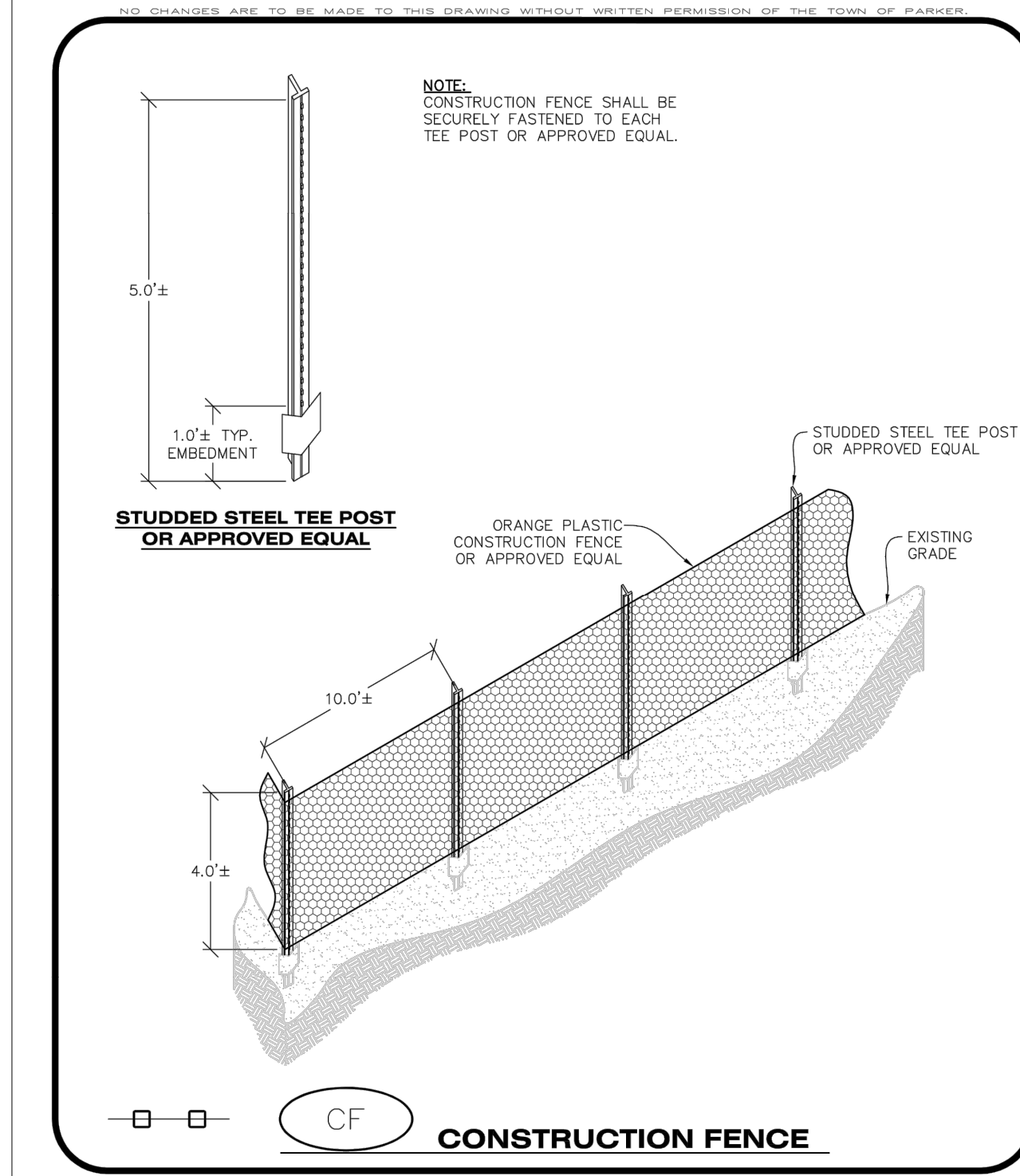
**Town of Parker COLORADO** | **CBMP** | **GEN NOTES**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 4 | Oct. 2013

25. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-801, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
26. THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
27. VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
28. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
29. HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
30. APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
31. GRADING SECURITY RELEASE REQUIREMENTS:
- 1) DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
- A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
  - B. UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
  - C. ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
  - D. IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
  - E. WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
  - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
  - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

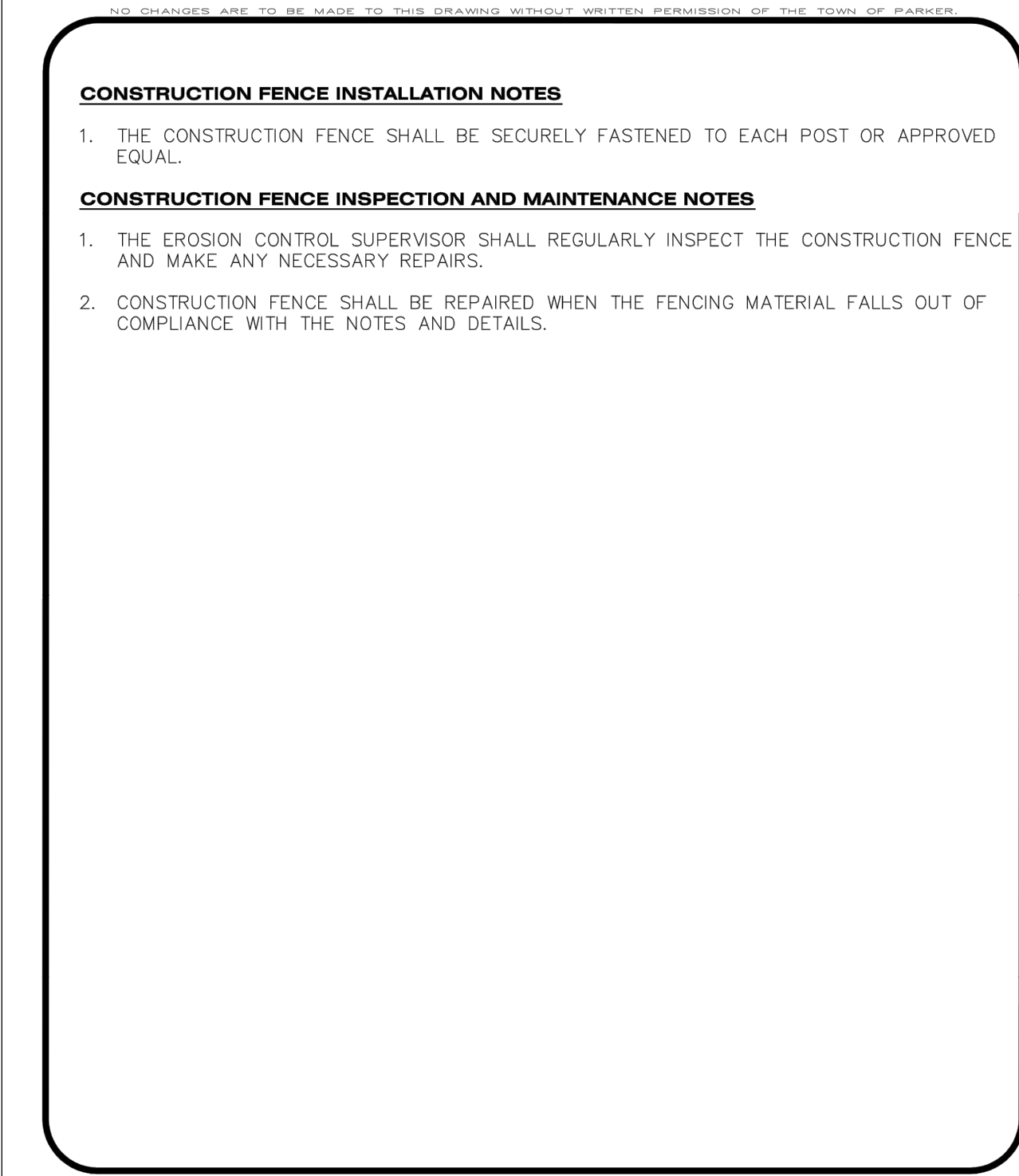
**Town of Parker COLORADO** | **CBMP** | **GEN NOTES**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 4 | Oct. 2013

- 2) NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
- A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
  - B. ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
  - C. EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
  - D. THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION. INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
  - E. WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
  - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
  - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
  - J. ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
- (D) NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.
- DEFINITIONS:**
- DEVELOPABLE PROPERTY** MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
- NONDEVELOPABLE PROPERTY** MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
32. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
33. ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEAMOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
34. THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS. THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

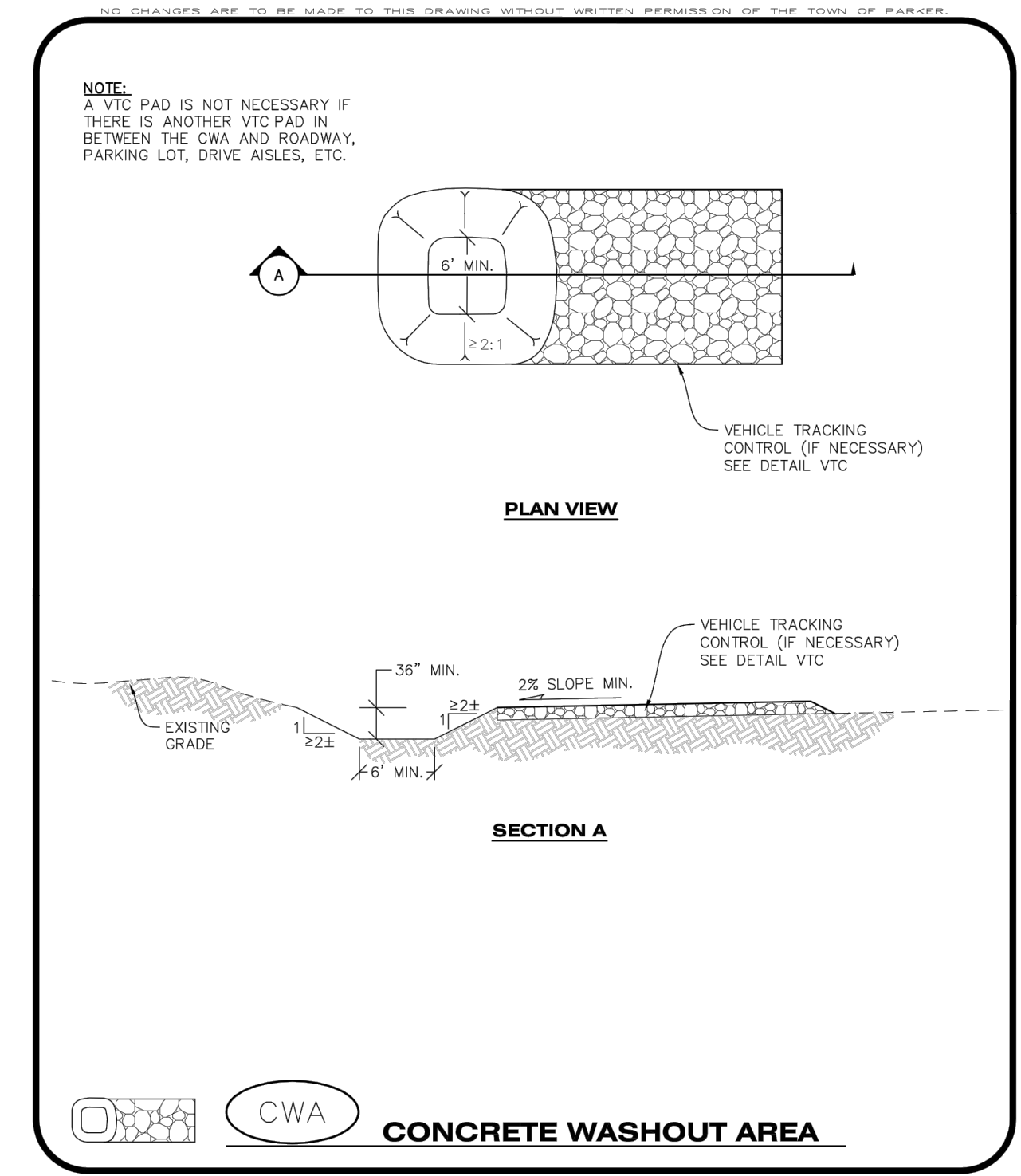
**Town of Parker COLORADO** | **CBMP** | **GEN NOTES**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 4 OF 4 | Oct. 2013



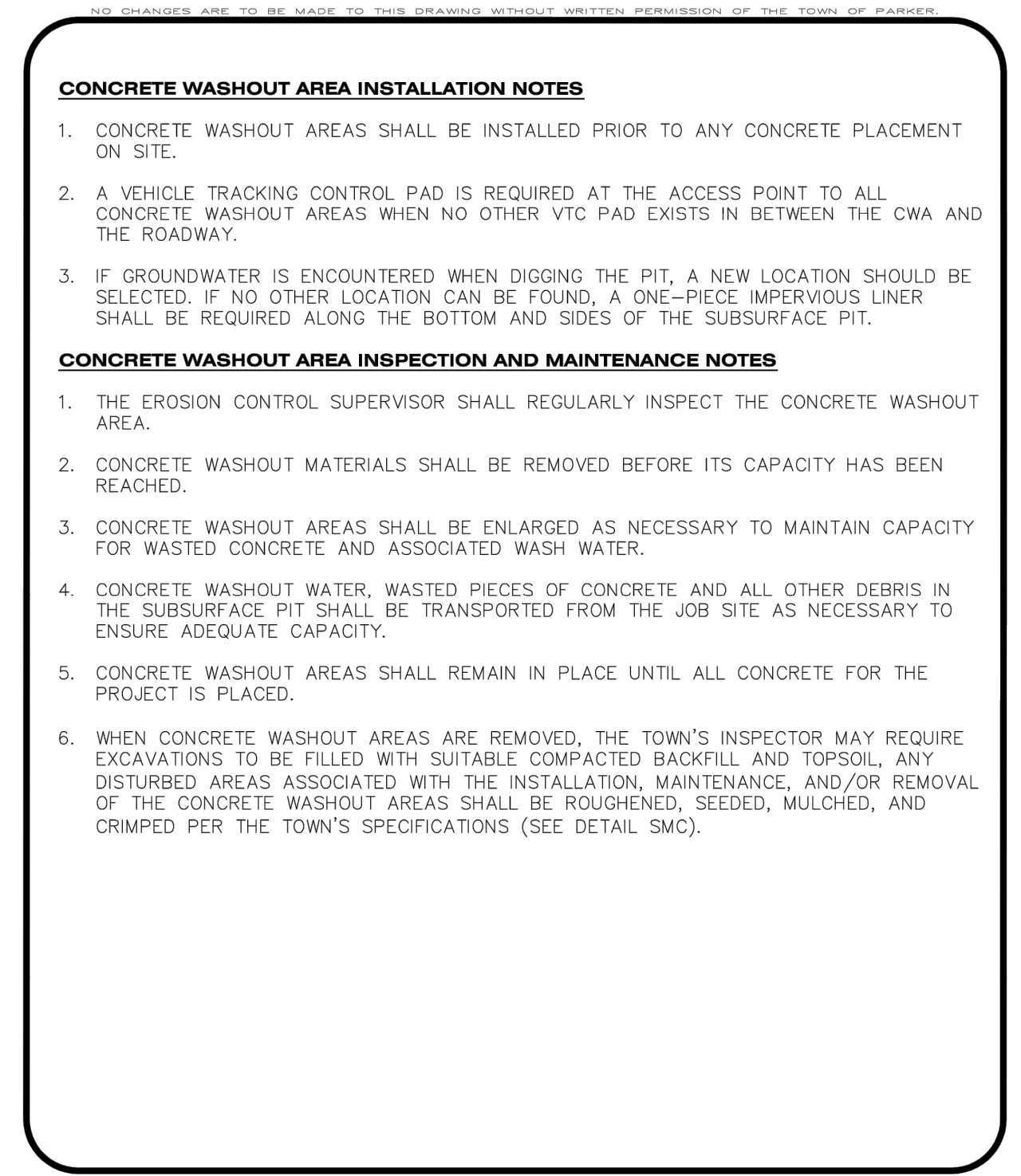
**Town of Parker COLORADO** | **CBMP** | **CF**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2 | Oct. 2013



**Town of Parker COLORADO** | **CBMP** | **CWA**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2 | Oct. 2013



**Town of Parker COLORADO** | **CBMP** | **CWA**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2 | Oct. 2013



**Town of Parker COLORADO** | **CBMP** | **CWA**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2 | Oct. 2013

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 303.770.9848  
 GallowayUS.com

**MURPHY OIL USA, INC.**  
 200 PEACH STREET  
 EL DORADO, AR 71730



REV-1 07/09/2020 DATE PRN PM DES KWL DRW  
**CBMP DETAILS**  
**MURPHY EXPRESS**  
**12405 SOUTH PARKER ROAD**  
**PARKER COLORADO**

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO  
**SITE PLAN**



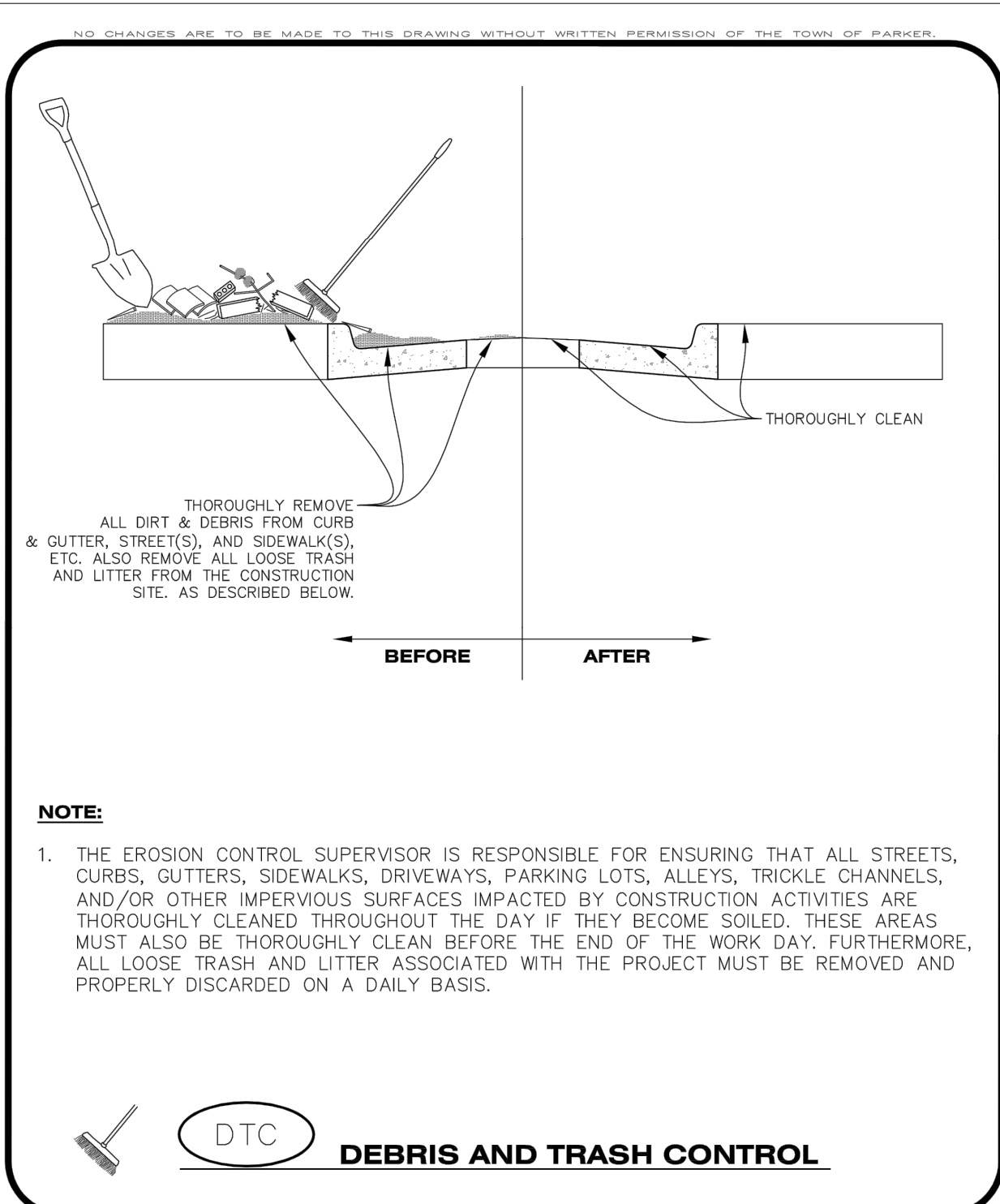
**SHEET NO. C-2.4**

**CBMP DETAILS**  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO

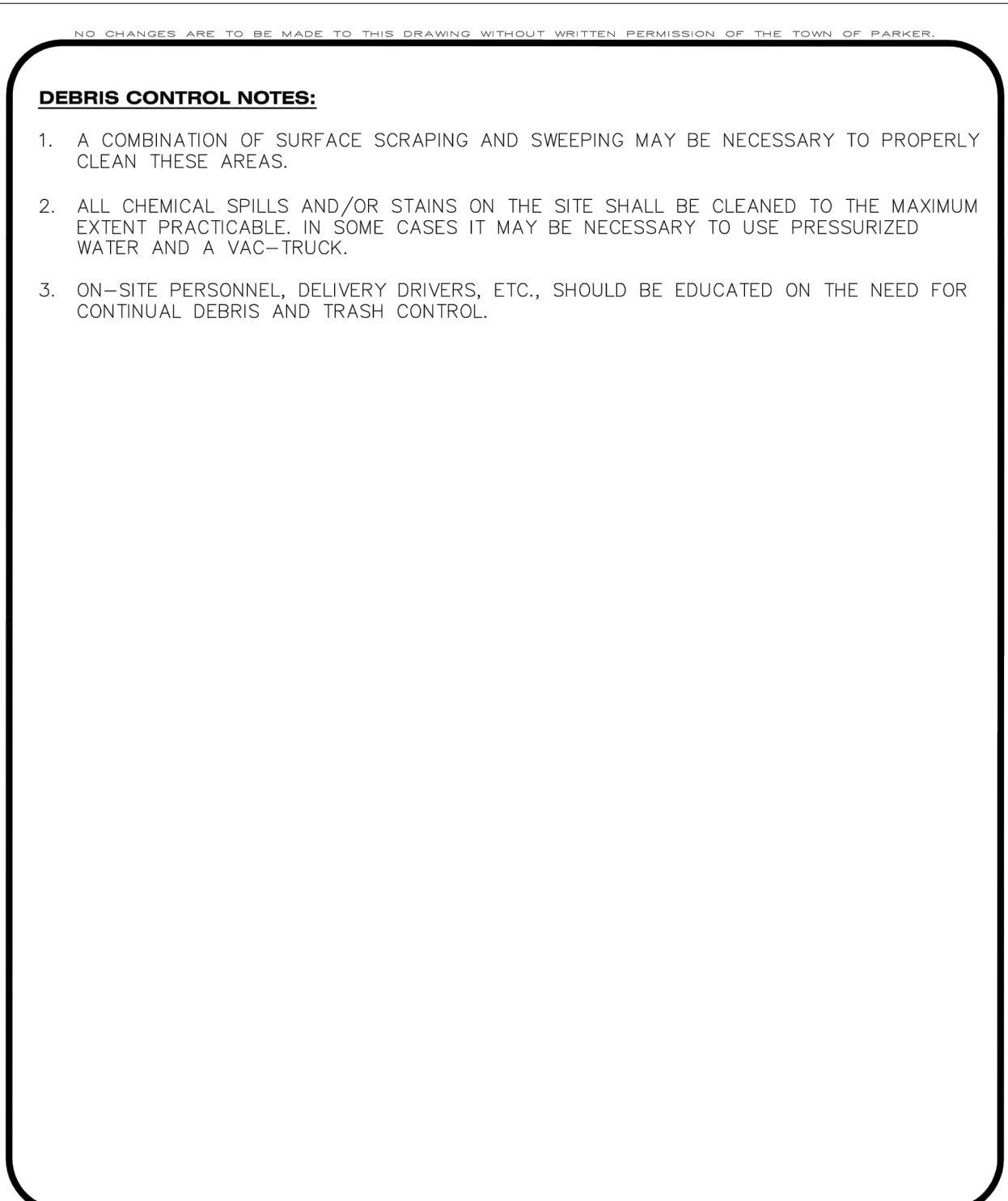
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 EL DORADO, AR 71730  
**MURPHY USA**

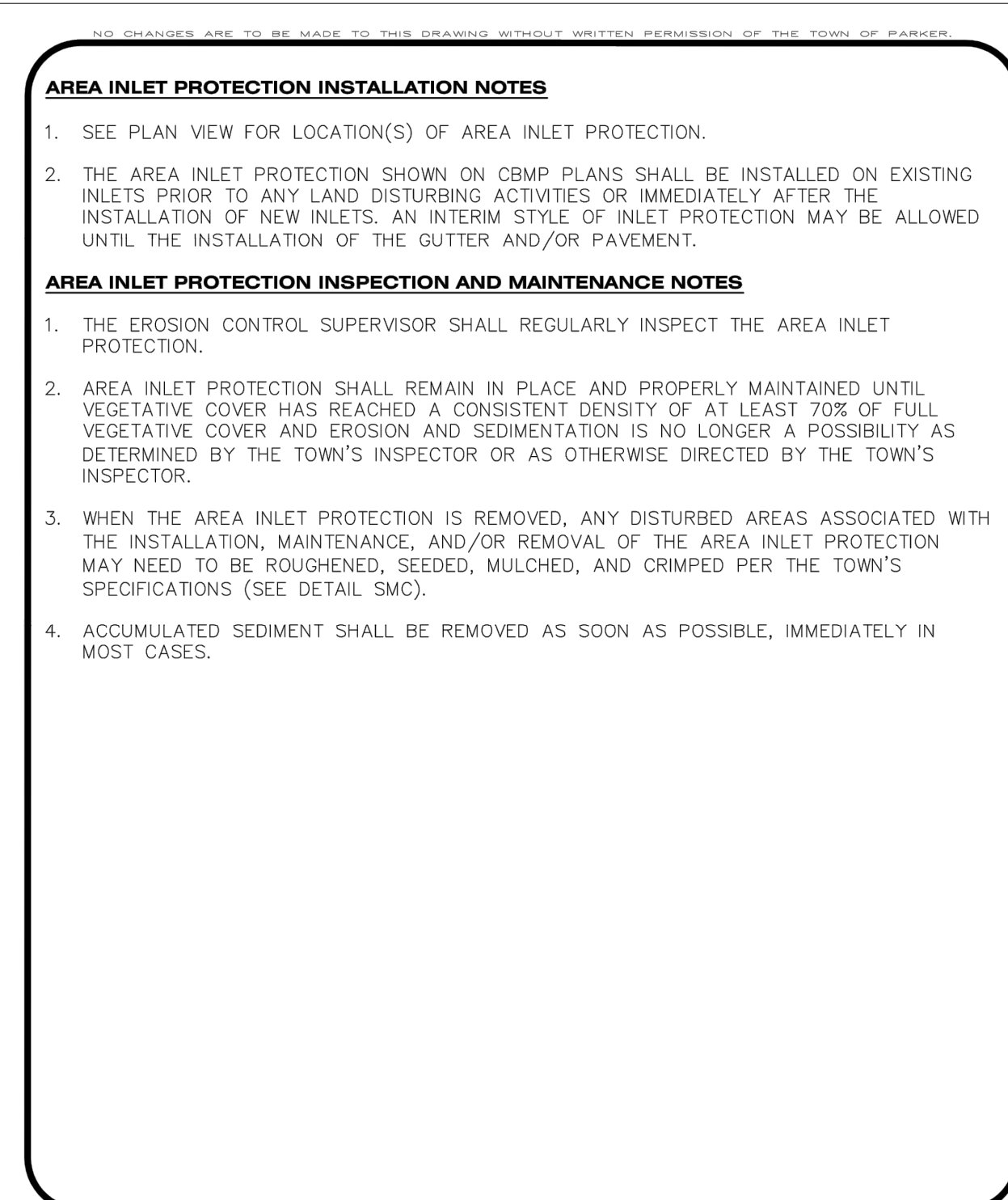
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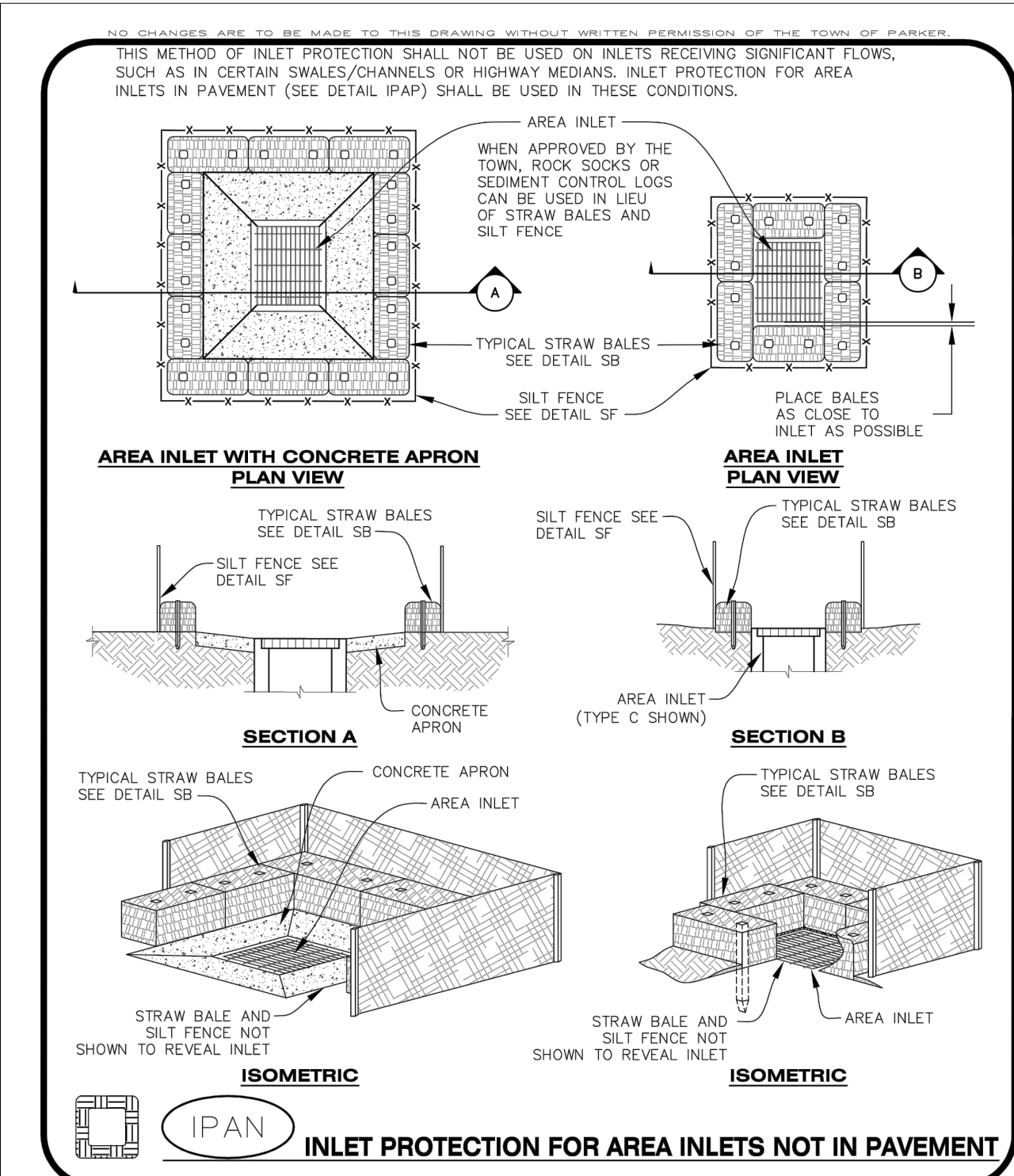
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
 Oct. 2013



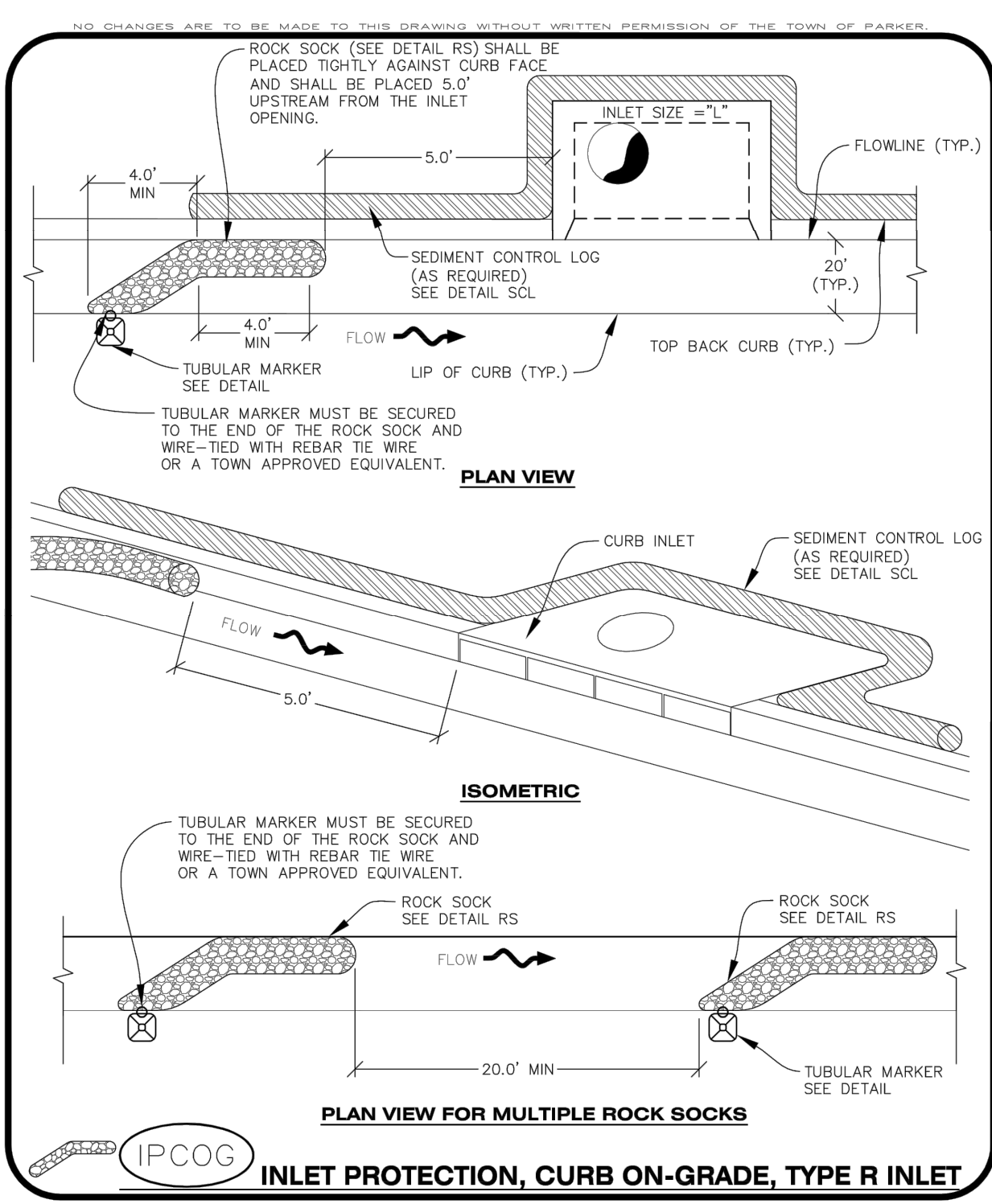
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
 Oct. 2013



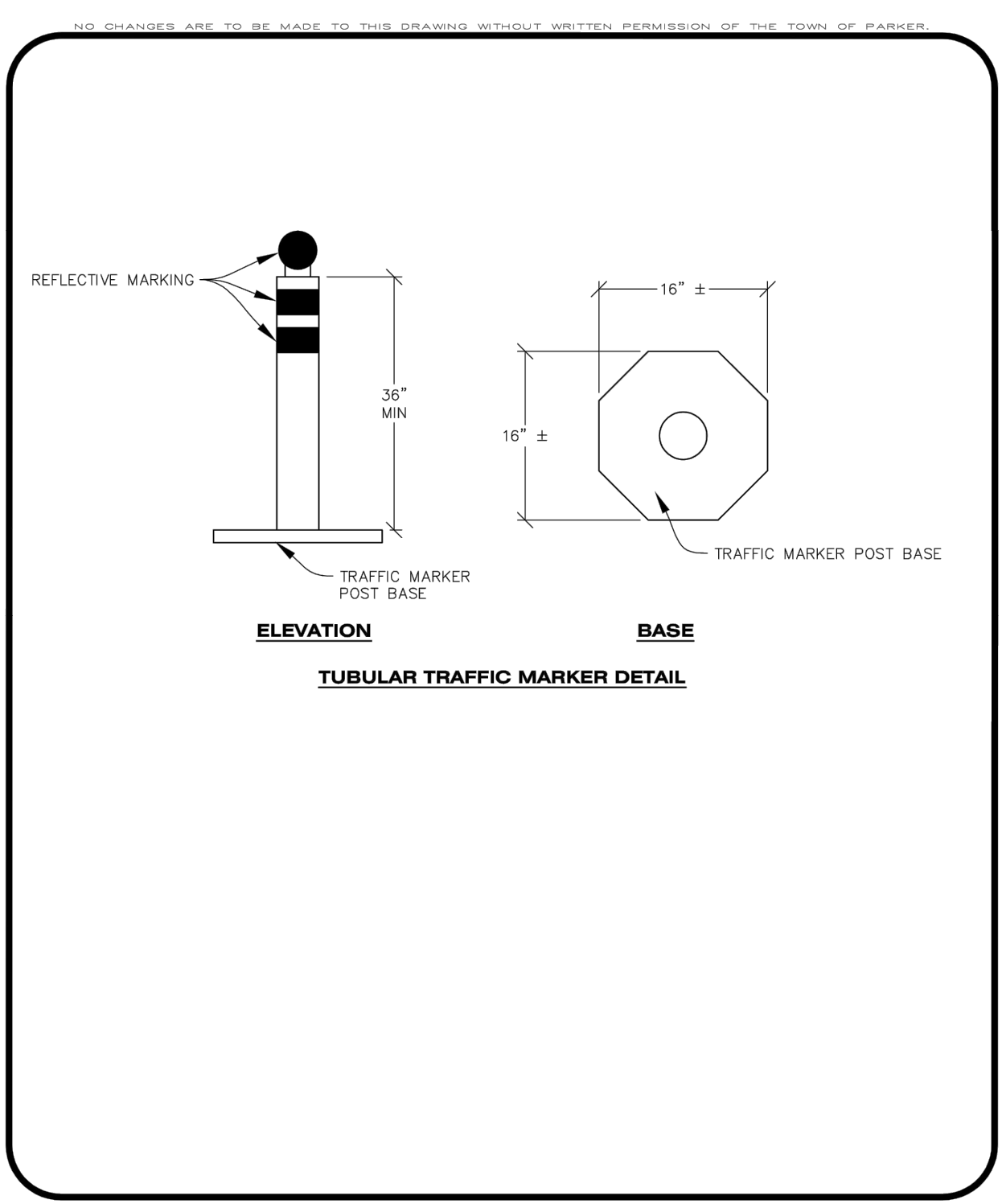
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
 Oct. 2013



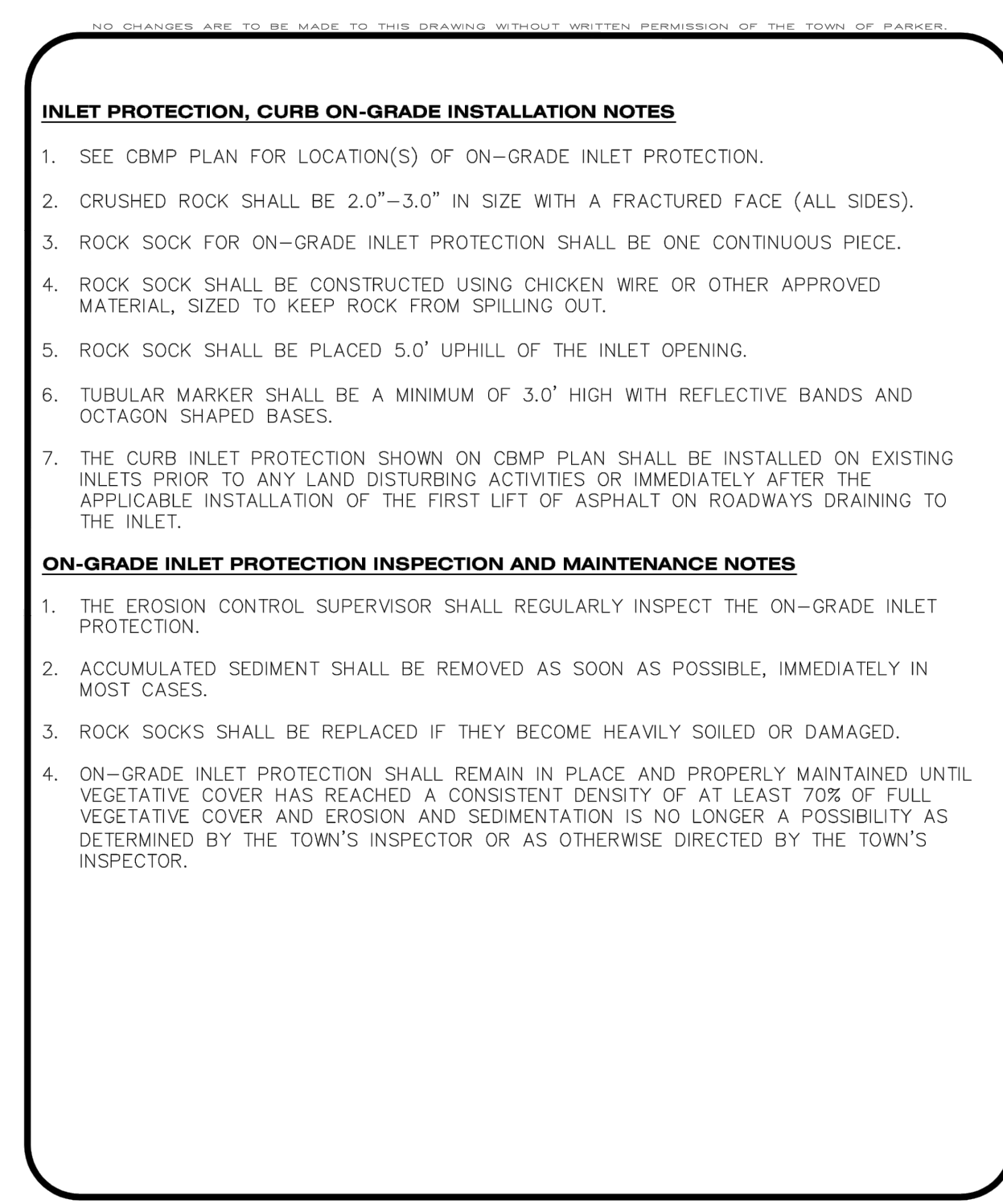
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
 Oct. 2013



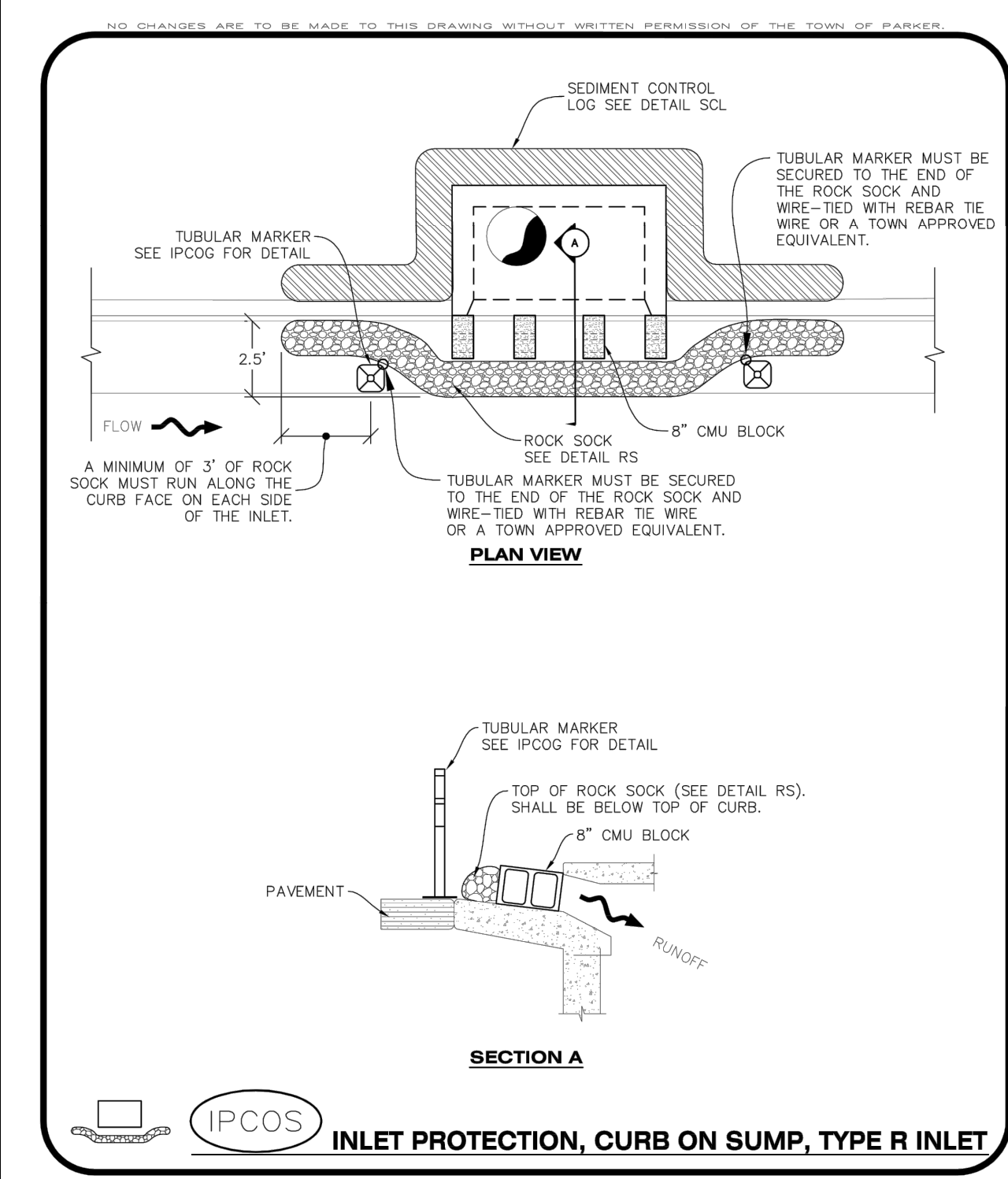
**Parker COLORADO** | **CBMP** | **IPCOC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
 Oct. 2013



**Parker COLORADO** | **CBMP** | **IPCOC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
 Oct. 2013



**Parker COLORADO** | **CBMP** | **IPCOC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
 Oct. 2013



**Parker COLORADO** | **CBMP** | **IPCOC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
 Oct. 2013

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



Know what's below.  
Call before you dig.

SHEET NO. C-2.5

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CURB INLET PROTECTION INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"–3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
- TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.

**CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPCOS** 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**LOT PROTECTION**

**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **LP** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES**

- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN APPROVED EQUAL	S150 BN APPROVED EQUAL
- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
  - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE, EROSION CONTROL BLANKET-SPECIFIC STAPLES, IN LIEU OF TRADITIONAL METAL STAPLES.
  - ALL EROSION CONTROL BLANKET EDGES (SIDES AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6-INCHES WITH THE UP-GRADE EDGES BEING PLACED ON TOP OF THE DOWN-GRADE EDGE OF THE ADJACENT BLANKET.
  - THE EDGES (SIDES AND ENDS) OF THE EROSION CONTROL BLANKETS DO NOT NEED TO BE TRENCHED INTO THE GROUND ASSUMING THE SITE CONDITIONS WILL NOT CAUSE EROSION BENEATH THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST TRENCHING BASED UPON SITE CONDITIONS.
  - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.
- ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE FOLLOWING INSTALLATION.
- THE EROSION CONTROL BLANKETING REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED OVER ALL UN-LANDSCAPED AREAS WITHIN EACH RESIDENTIAL, MULTI-FAMILY, AND COMMERCIAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

**EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
- EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **LP** 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**PORTABLE TOILET PROTECTION**

**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **PTP** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**PORTABLE TOILET PROTECTION INSTALLATION NOTES**

- PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10.0' BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
- ALL PORTABLE TOILETS MUST BE GROUPED TOGETHER.
- PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES.
- U-SHAPED REBAR STAKES SHALL BE POSITIONED ON AT LEAST 2 OPPOSING (DIGITAL) CORNERS.

**PORTABLE TOILET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE PORTABLE TOILET PROTECTION.
- PORTABLE TOILETS SHALL BE SERVICED AT THE NECESSARY INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
- WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MAY NEED TO BE LANDSCAPED OR ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- PORTABLE TOILETS THAT ARE NOT CONSISTENTLY MAINTAINED IN ACCORDANCE WITH THESE REQUIREMENTS MAY NEED TO BE CLUSTERED TOGETHER, IN ONE CENTRALIZED LOCATION IN ORDER TO INCREASE COMPLIANCE AND REDUCE THE CHANCE OF A SPILL.

**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **PTP** 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**ROCK SOCK**

**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **RS** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**ROCK SOCK INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF ROCK SOCK.
- CRUSHED ROCK SHALL BE APPROXIMATELY 2.0"–3.0" GRANITE IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE APPROXIMATELY ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
- MINIMUM ROCK SOCK DIAMETER SHALL VARY BASED ON APPLICATION (7" MIN).
- TUBULAR MARKERS MAY NEED TO BE USED IN CONJUNCTION WITH ROCK SOCKS ANYTIME THE ROCK SOCK IS PLACED ON A ROADWAY, SIDEWALK, PARKING LOT OR OTHER LOCATION SUSCEPTIBLE TO VEHICLE OR PEDESTRIAN TRAFFIC. TUBULAR MARKERS SHALL CONFORM TO THE TUBULAR MARKER DETAIL.

**ROCK SOCK INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROCK SOCKS.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ROCK SOCKS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **RS** 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**SEDIMENT CONTROL LOG**

**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **SCL** 1 OF 3 Oct. 2013

REV-1 07/09/2020 DATE PRN --- JES KML KML DRW  
**CBMP DETAILS**  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER COLORADO

**Galloway**  
 6162 S. Willow Drive, Suite 320  
 Aurora, CO 80011  
 303.770.9848  
 GallowayUS.com

**MURPHY OIL USA, INC.**  
 200 PEACH STREET  
 EL DORADO, AR 71730  
**MURPHY USA**

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO  
**SITE PLAN**



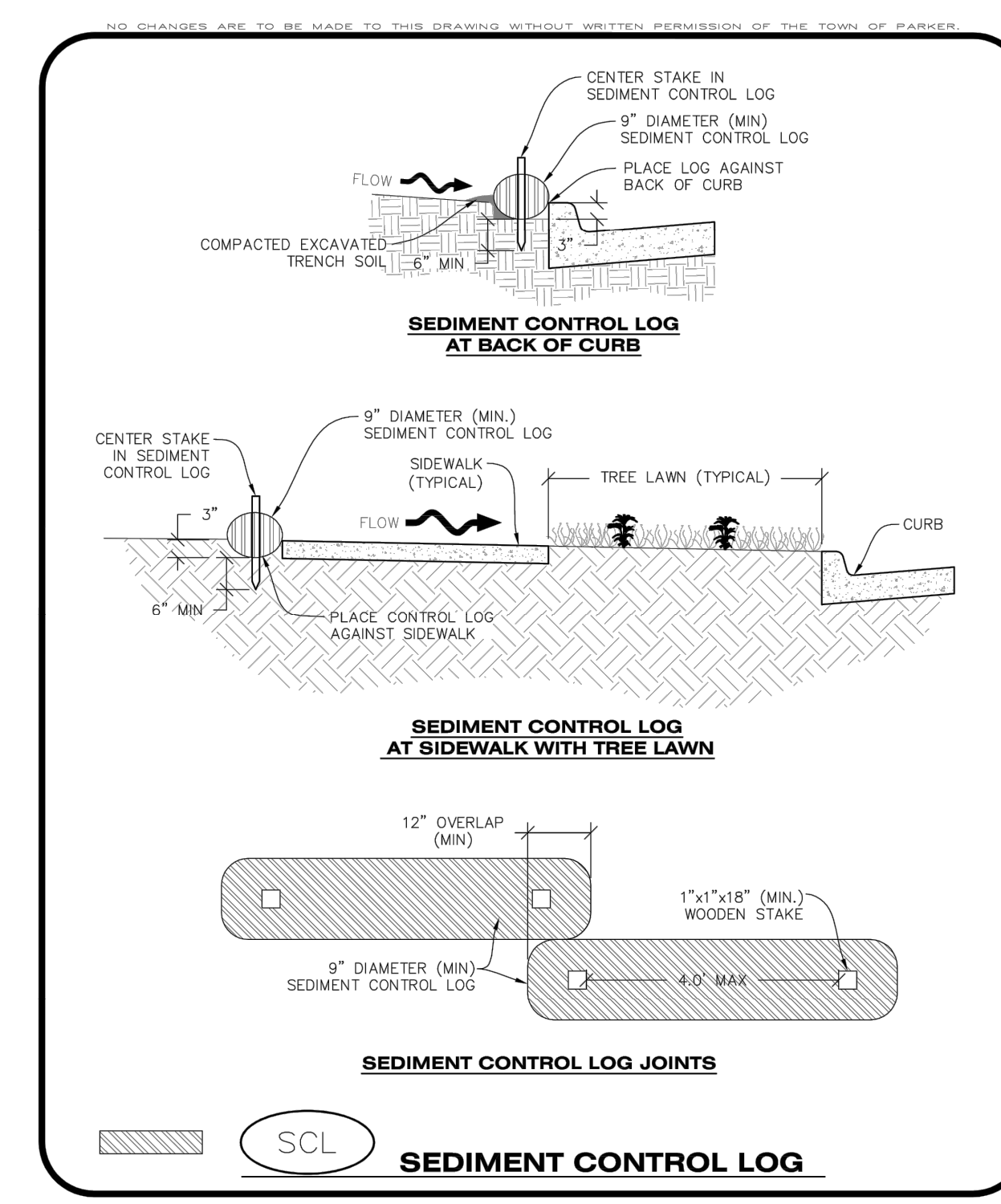
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**CBMP DETAILS**  
**MURPHY EXPRESS**  
**12405 SOUTH PARKER ROAD**  
**PARKER COLORADO**

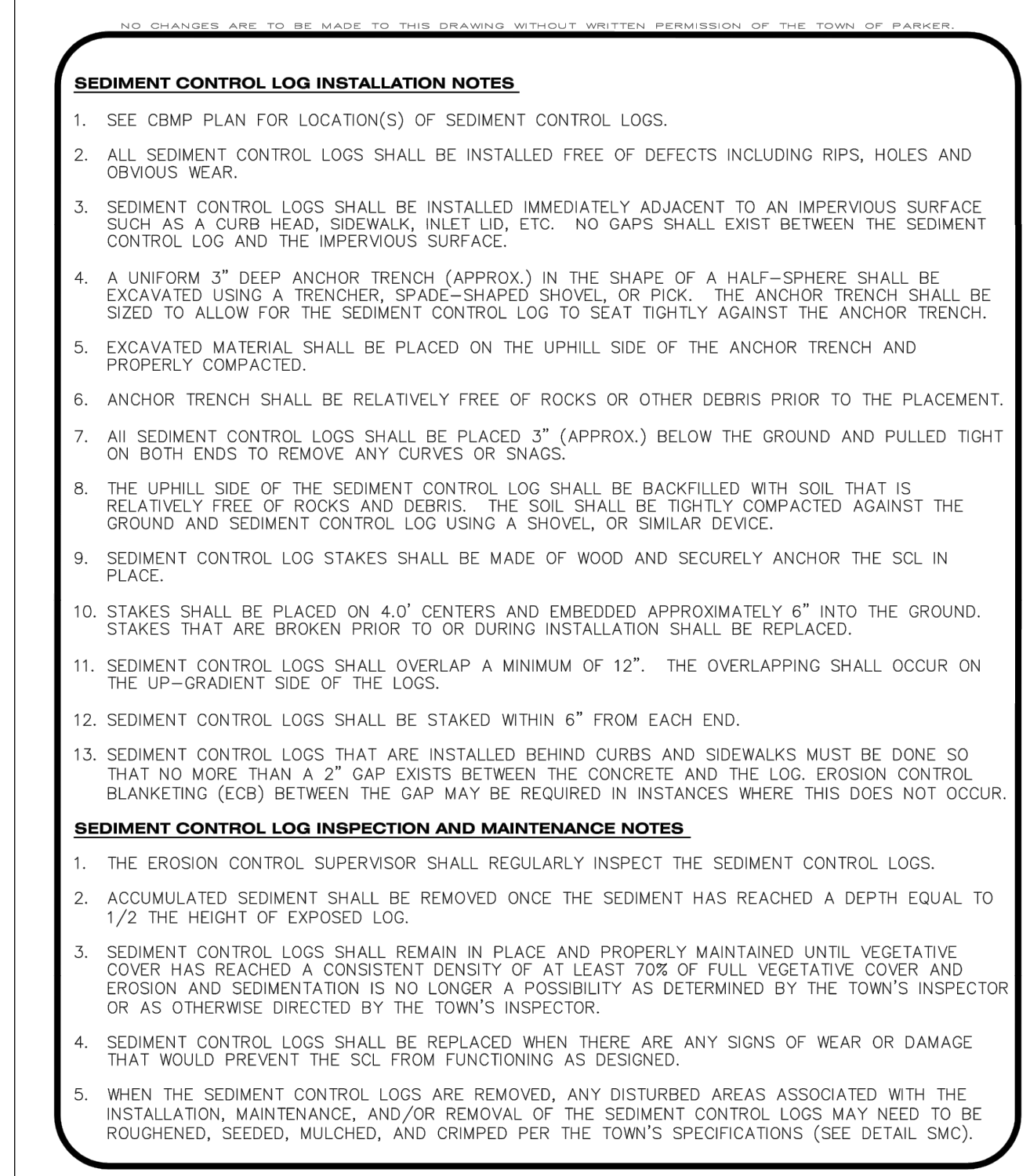
**Galloway**  
 6162 S. Willow Drive, Suite 320  
 Aurora, CO 80011  
 303.770.9848  
 GallowayUS.com

**MURPHY OIL USA, INC.**  
**MURPHY USA**  
 200 PEACH STREET  
 EL DORADO, AR 71730

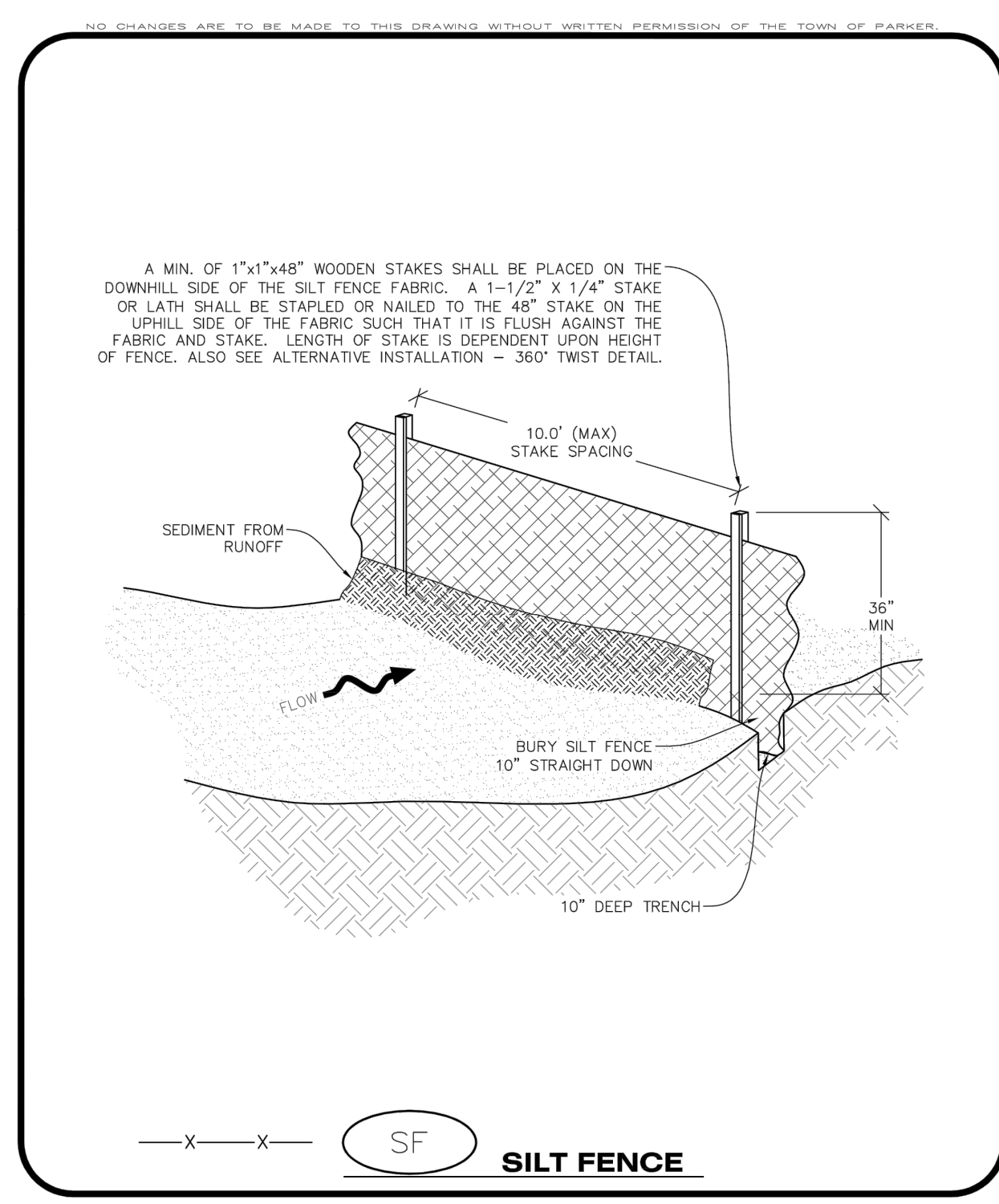
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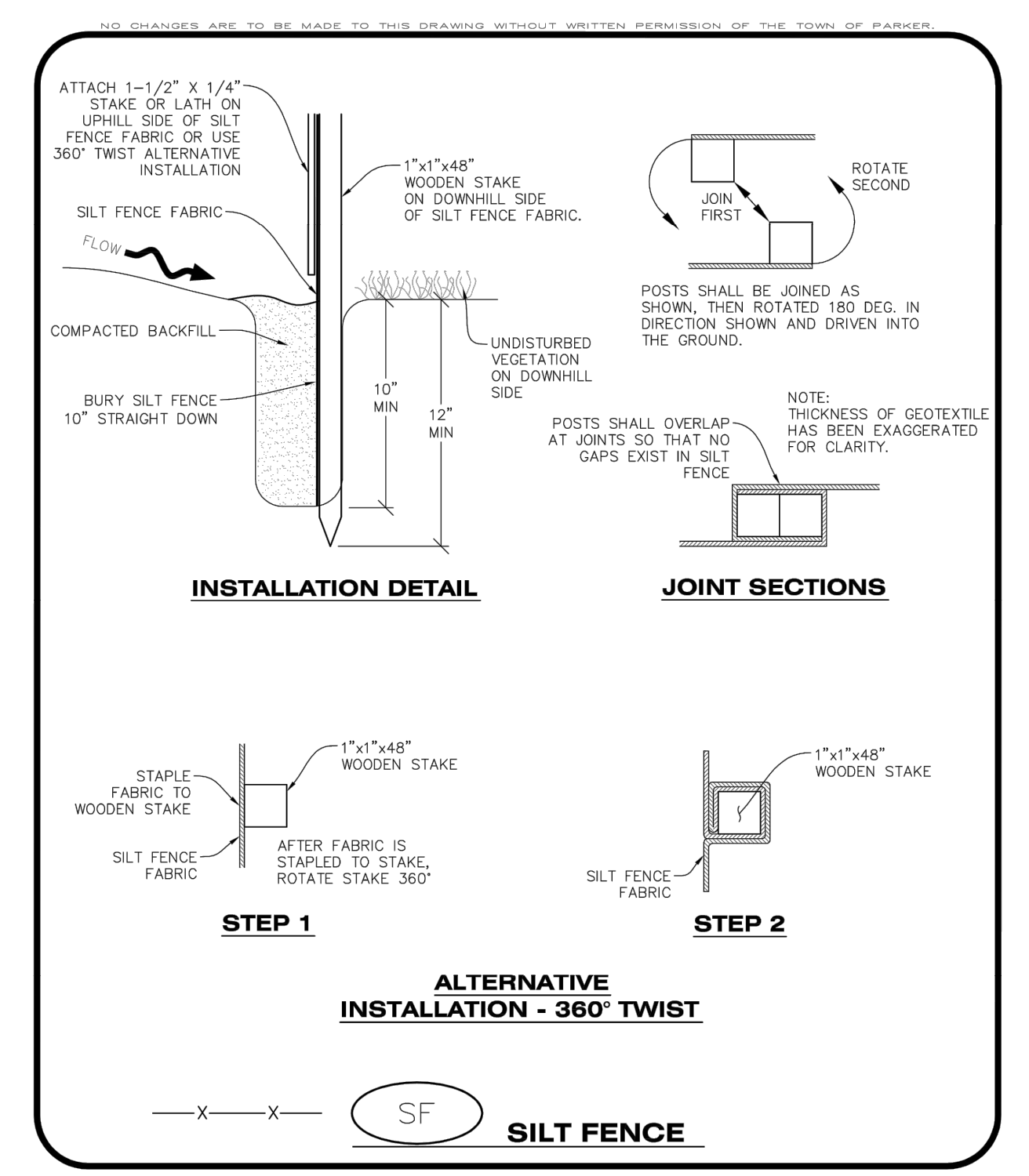
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 CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3  
 09/1, 2013



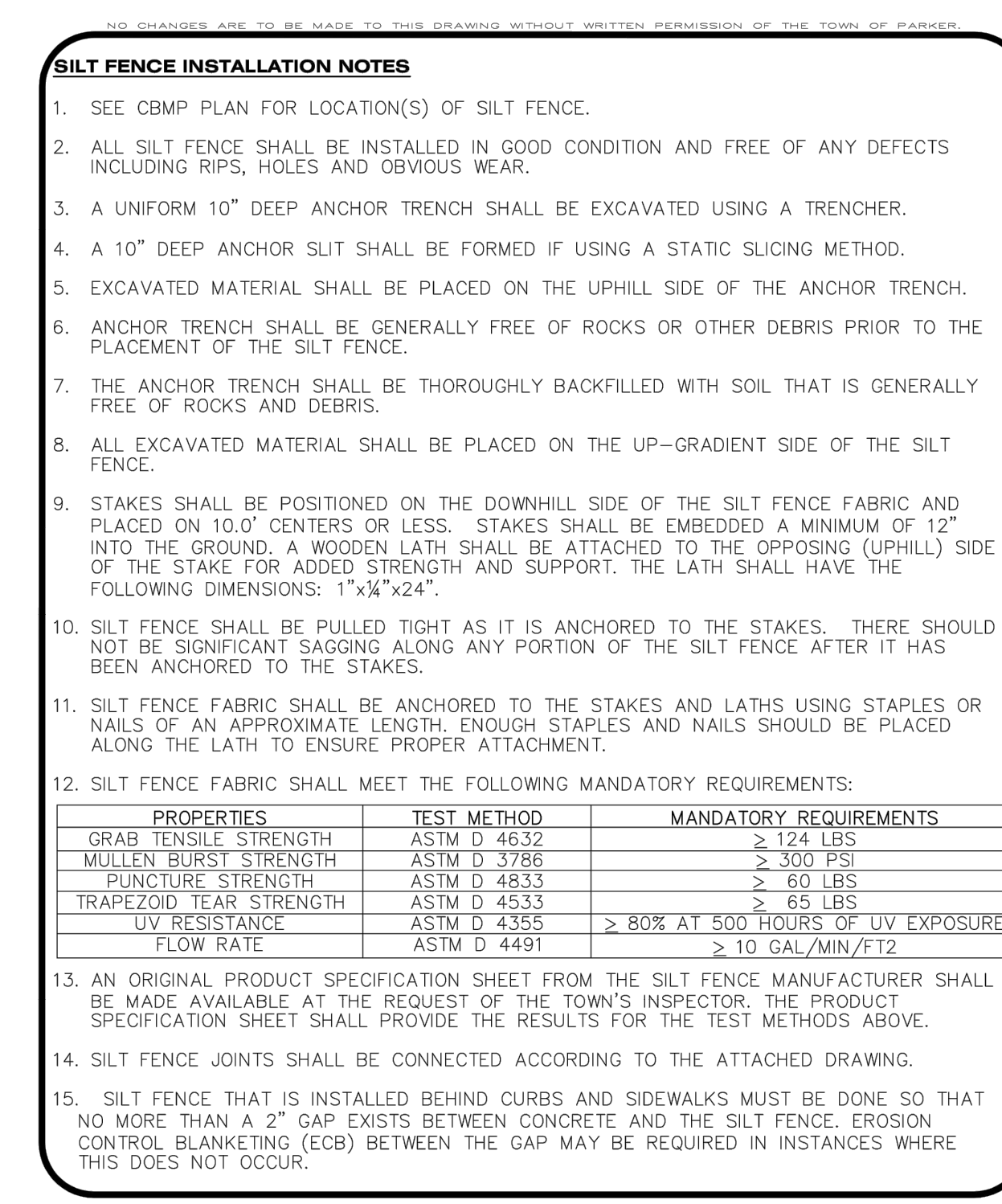
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 09/1, 2013



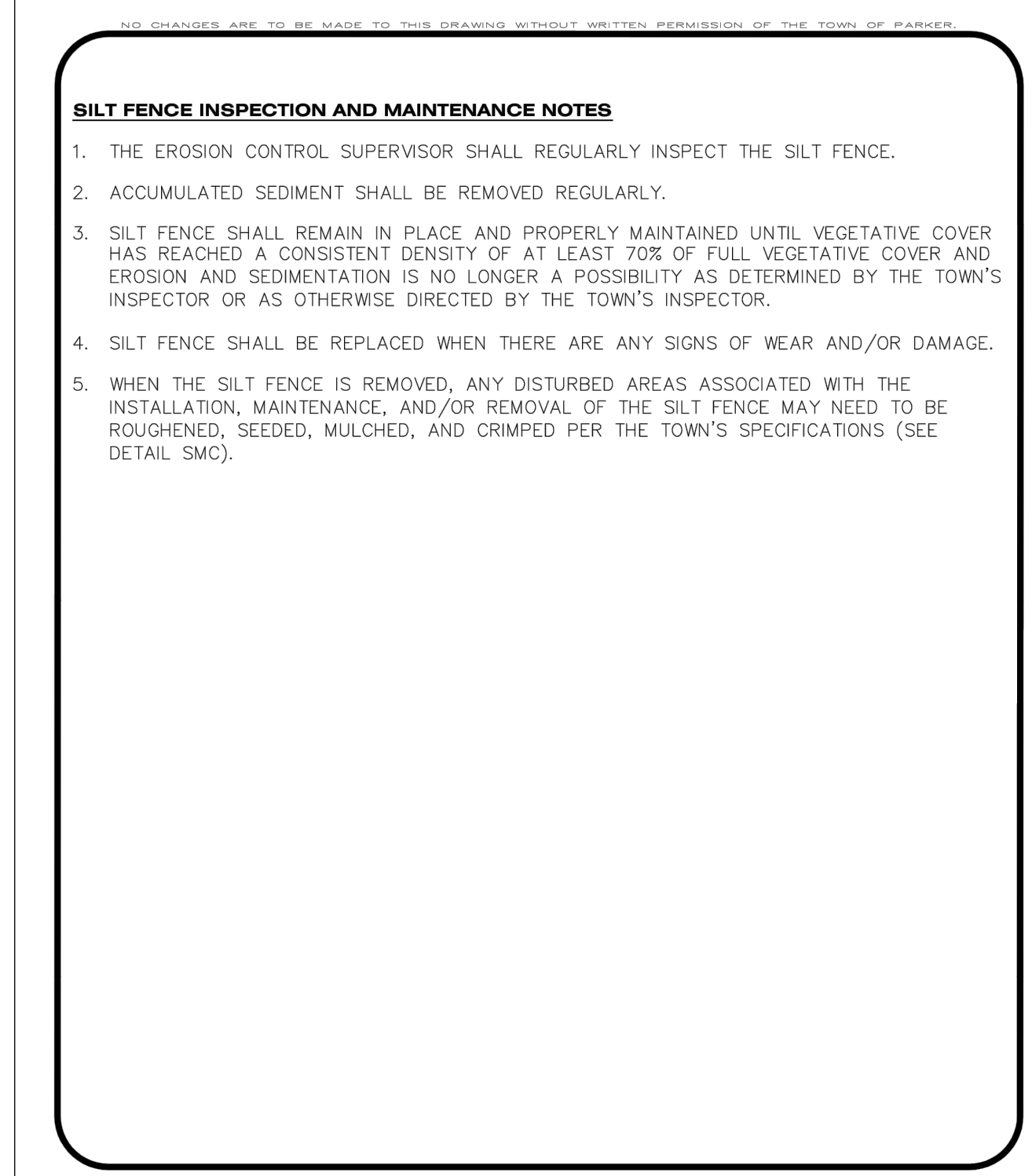
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 09/1, 2013



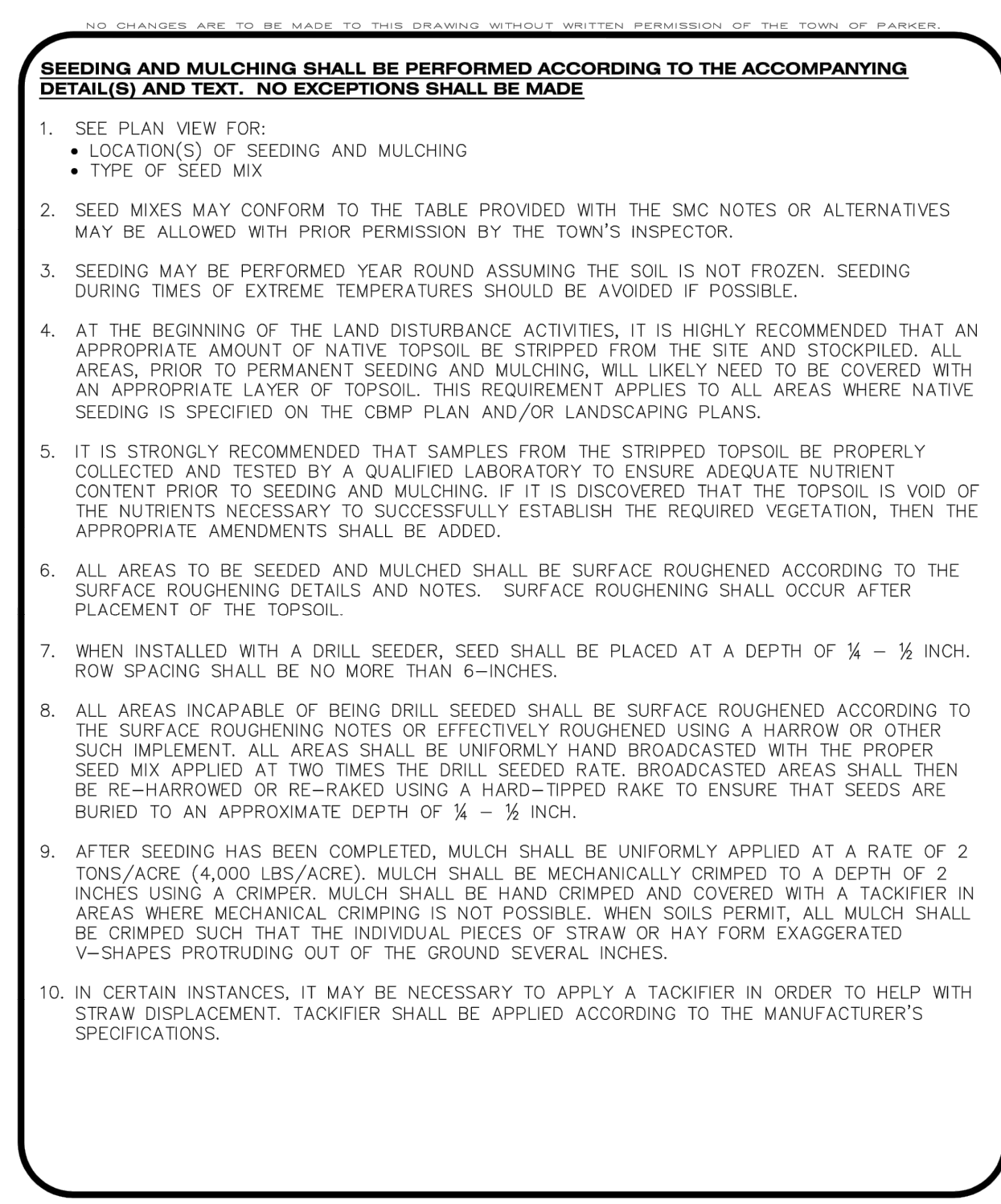
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 09/1, 2013



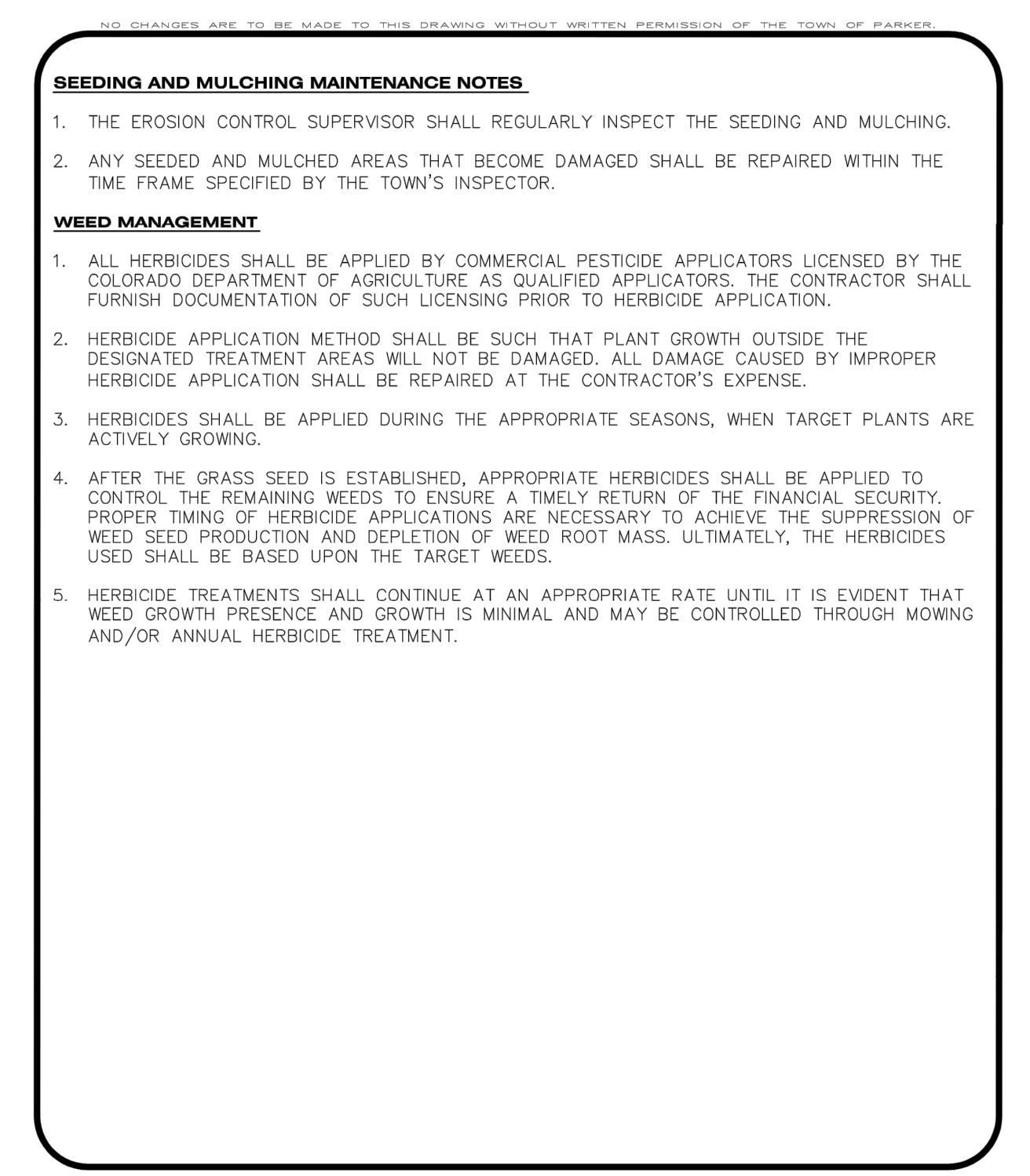
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 09/1, 2013



**Parker COLORADO** **CBMP** **SF**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES 4 OF 4  
 09/1, 2013



**Parker COLORADO** **CBMP** **SMC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3  
 09/1, 2013



**Parker COLORADO** **CBMP** **SMC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3  
 09/1, 2013

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.

TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



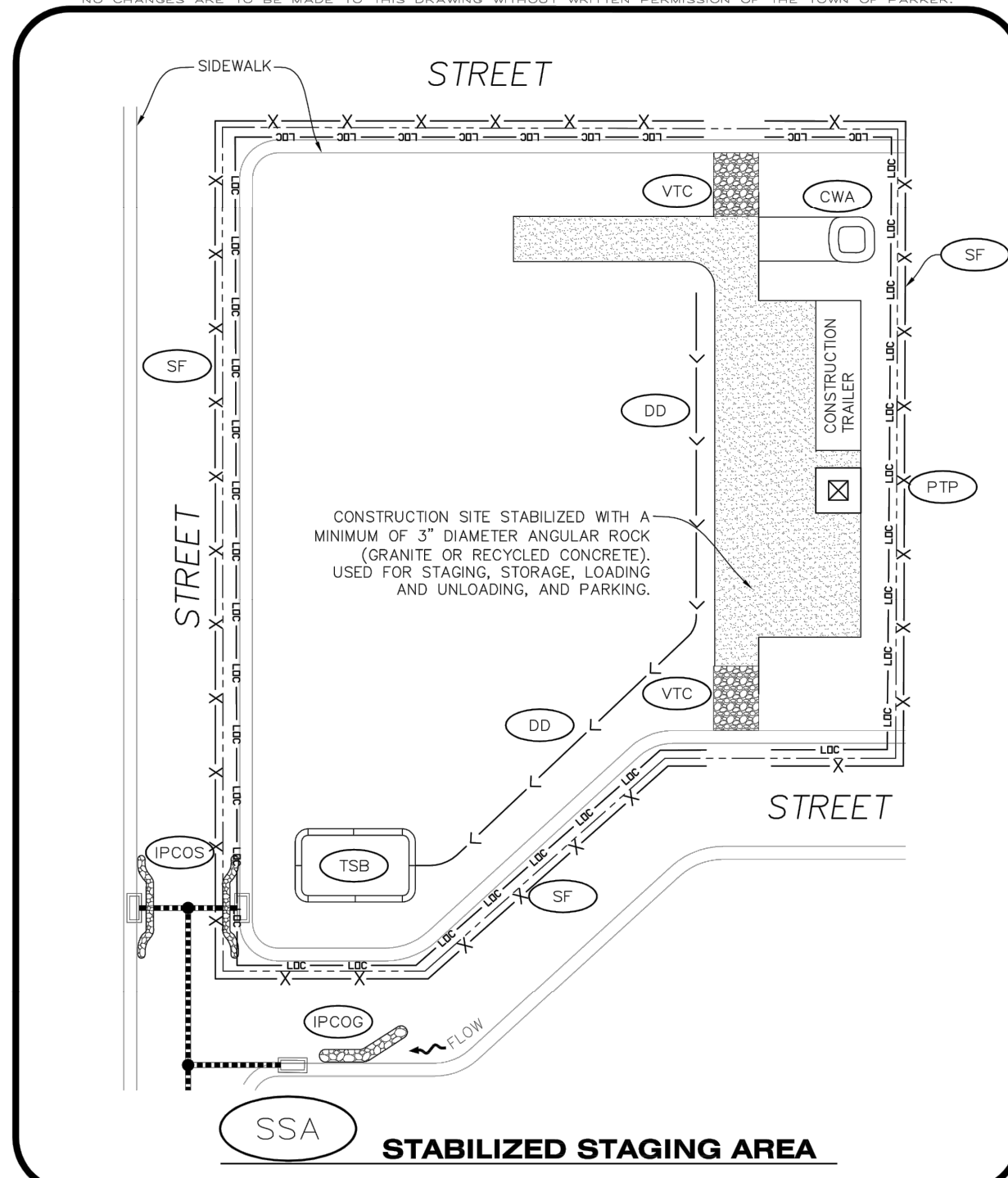
Know what's below.  
Call before you dig.

SHEET NO.  
**C-2.7**

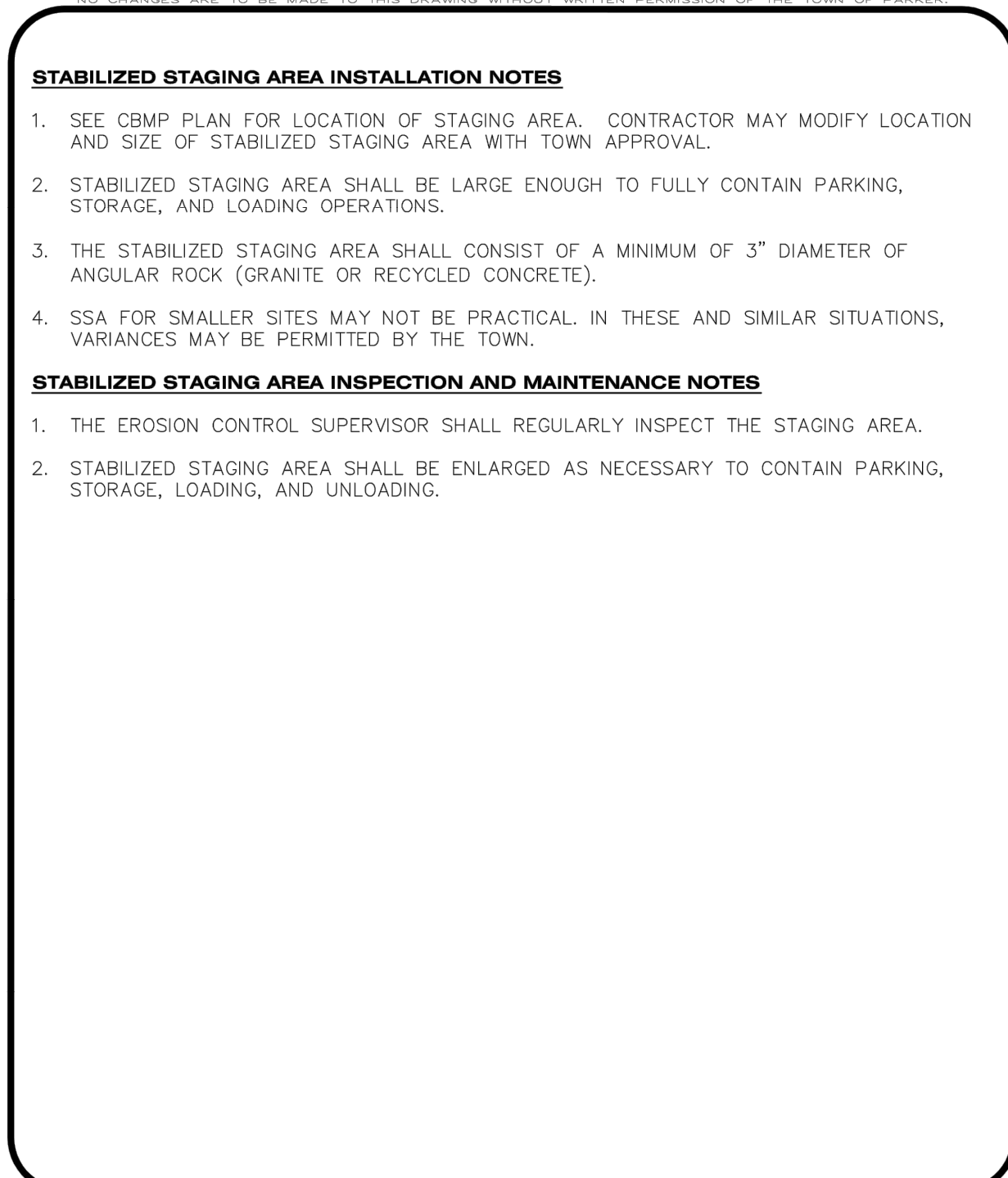
REV-1 07/09/2020  
DATE PRN PM DES KML DRW  
**CBMP DETAILS**  
MURPHY EXPRESS  
12405 SOUTH PARKER ROAD  
PARKER COLORADO

**Galloway**  
6162 S. Willow Drive, Suite 320  
Littleton, CO 80111  
303.710.8848  
GallowayUS.com

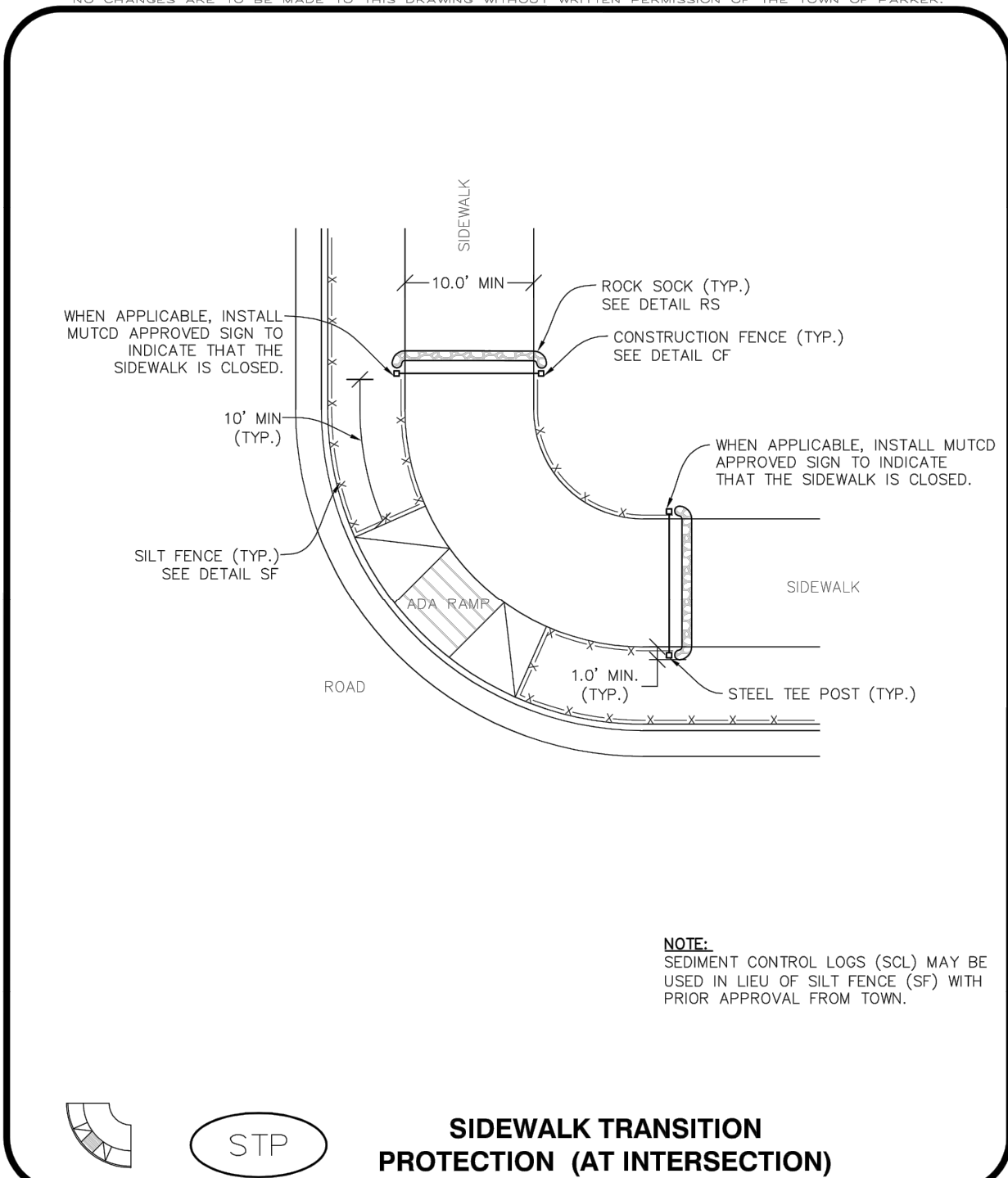
**MURPHY OIL USA, INC.**  
200 PEACH STREET  
EL DORADO, AR 71730  
**MURPHY USA**



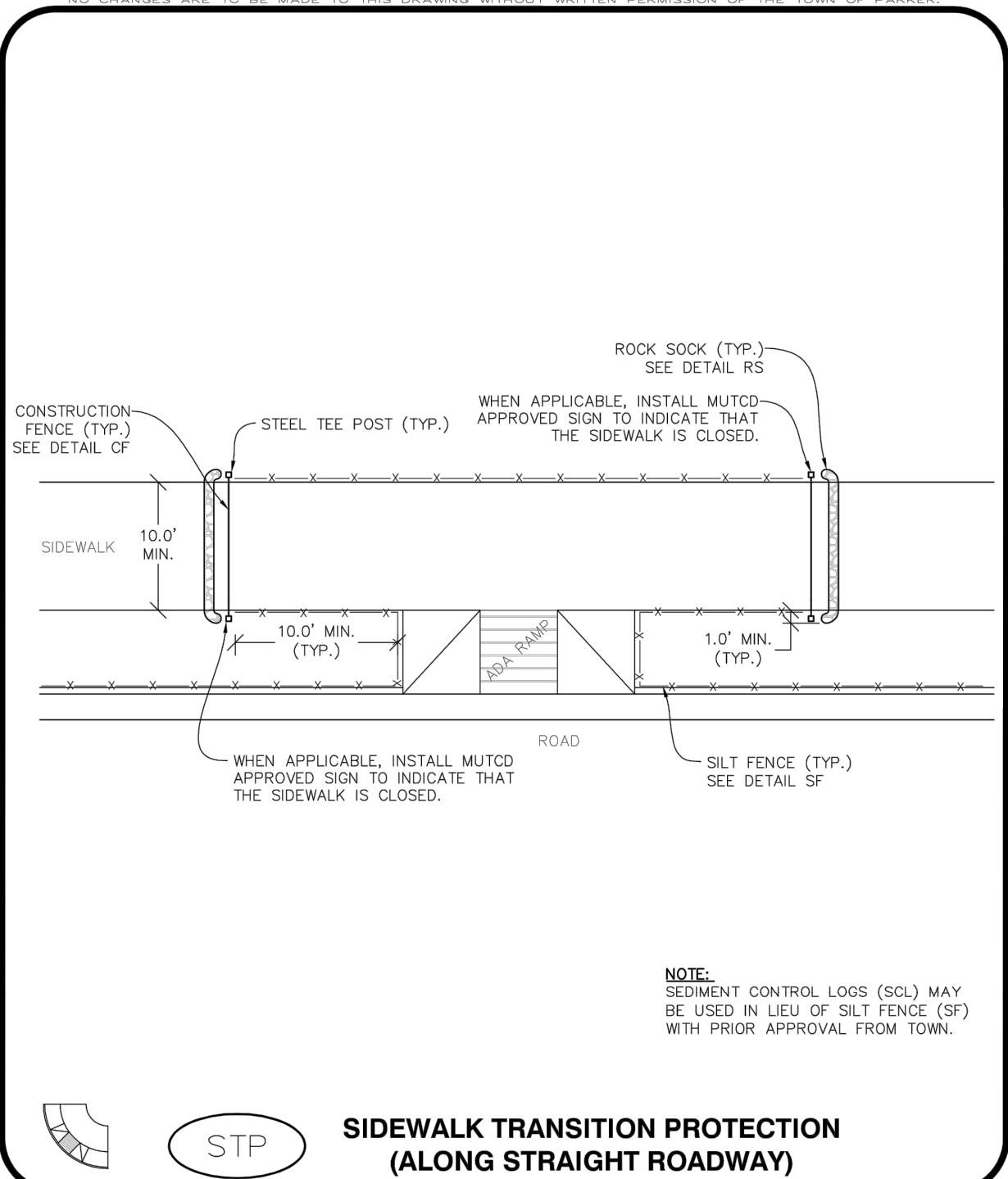
**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 2  
Oct. 2013



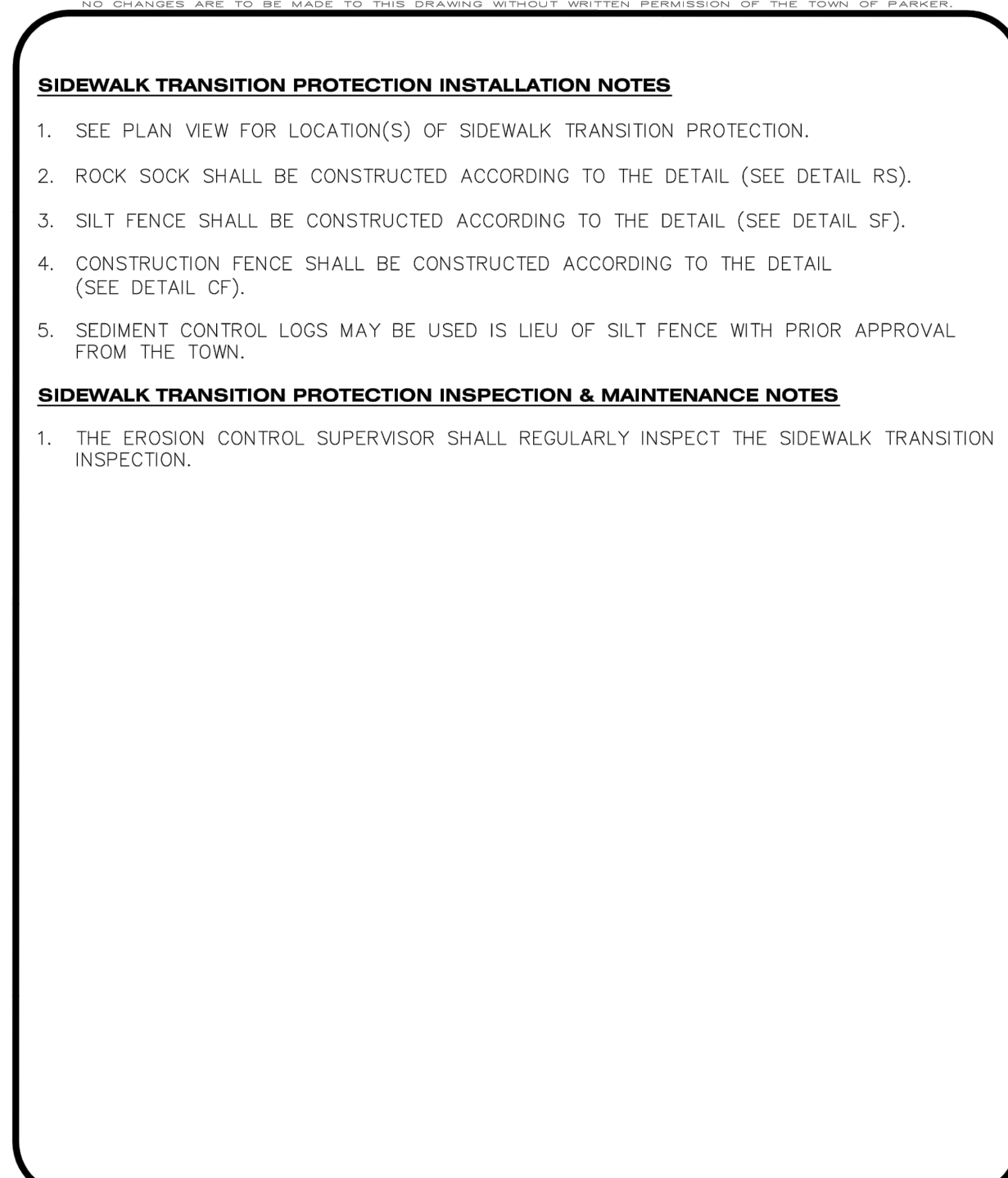
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2 OF 2  
Oct. 2013



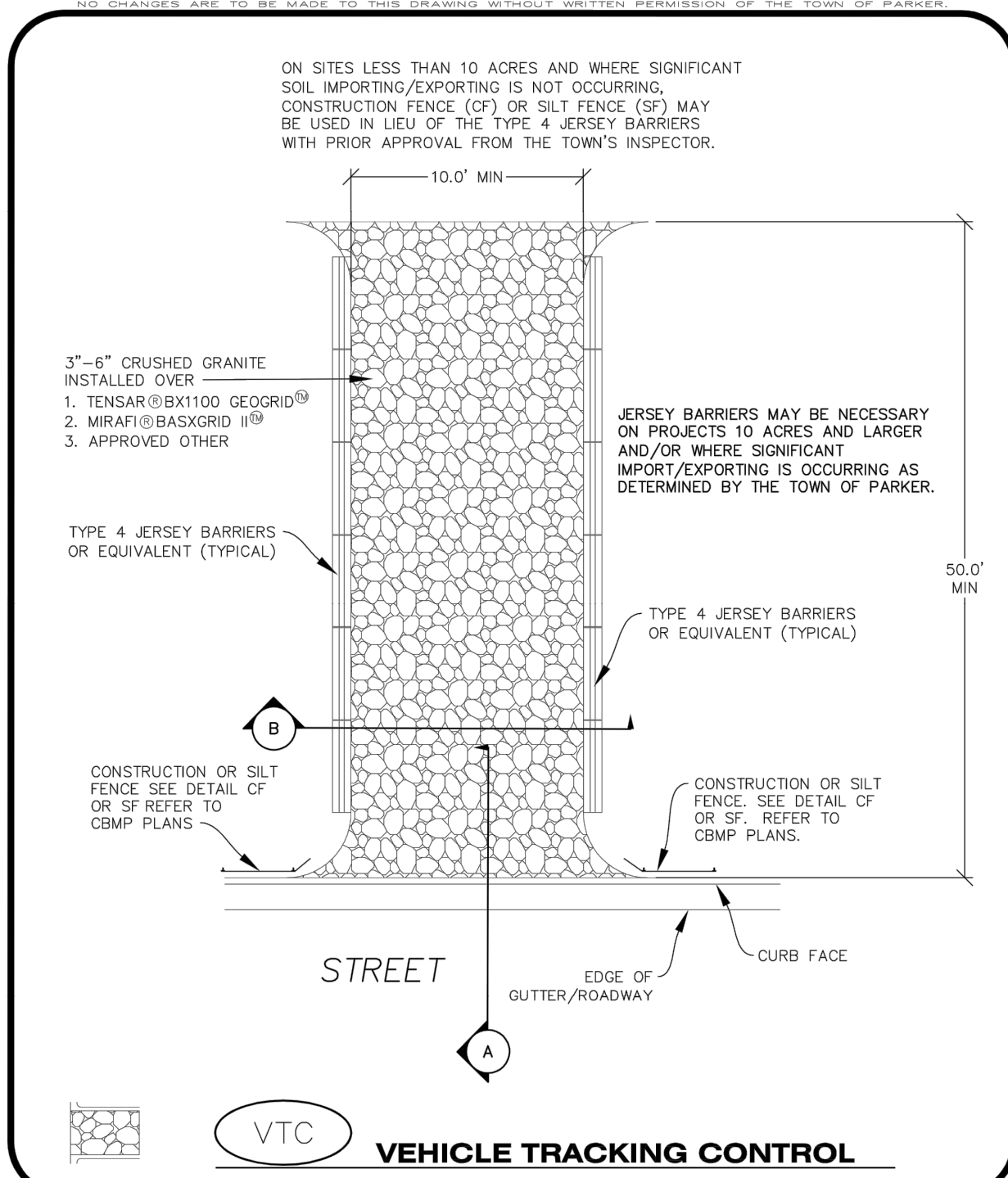
**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 3  
Oct. 2013



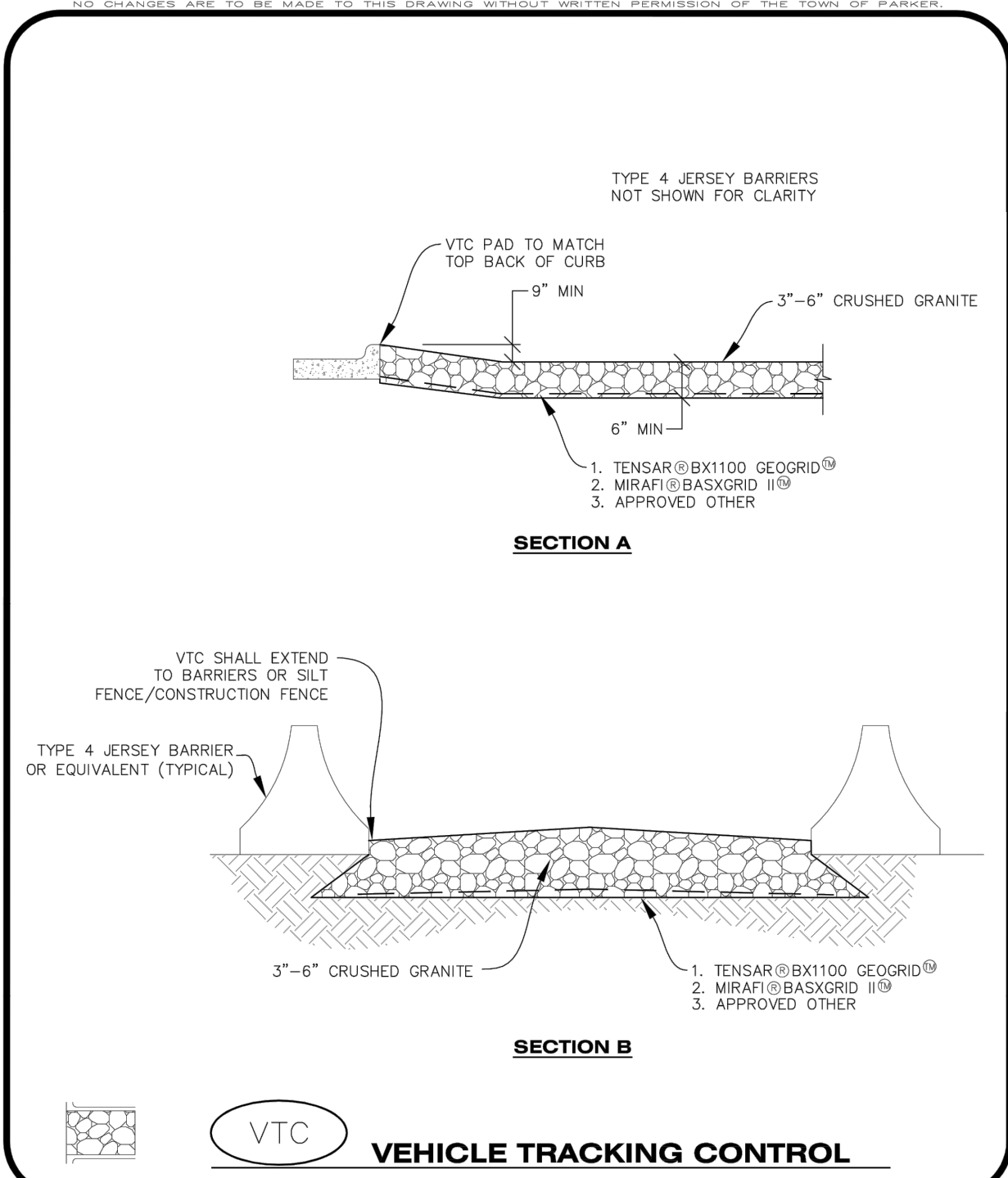
**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
2 OF 3  
Oct. 2013



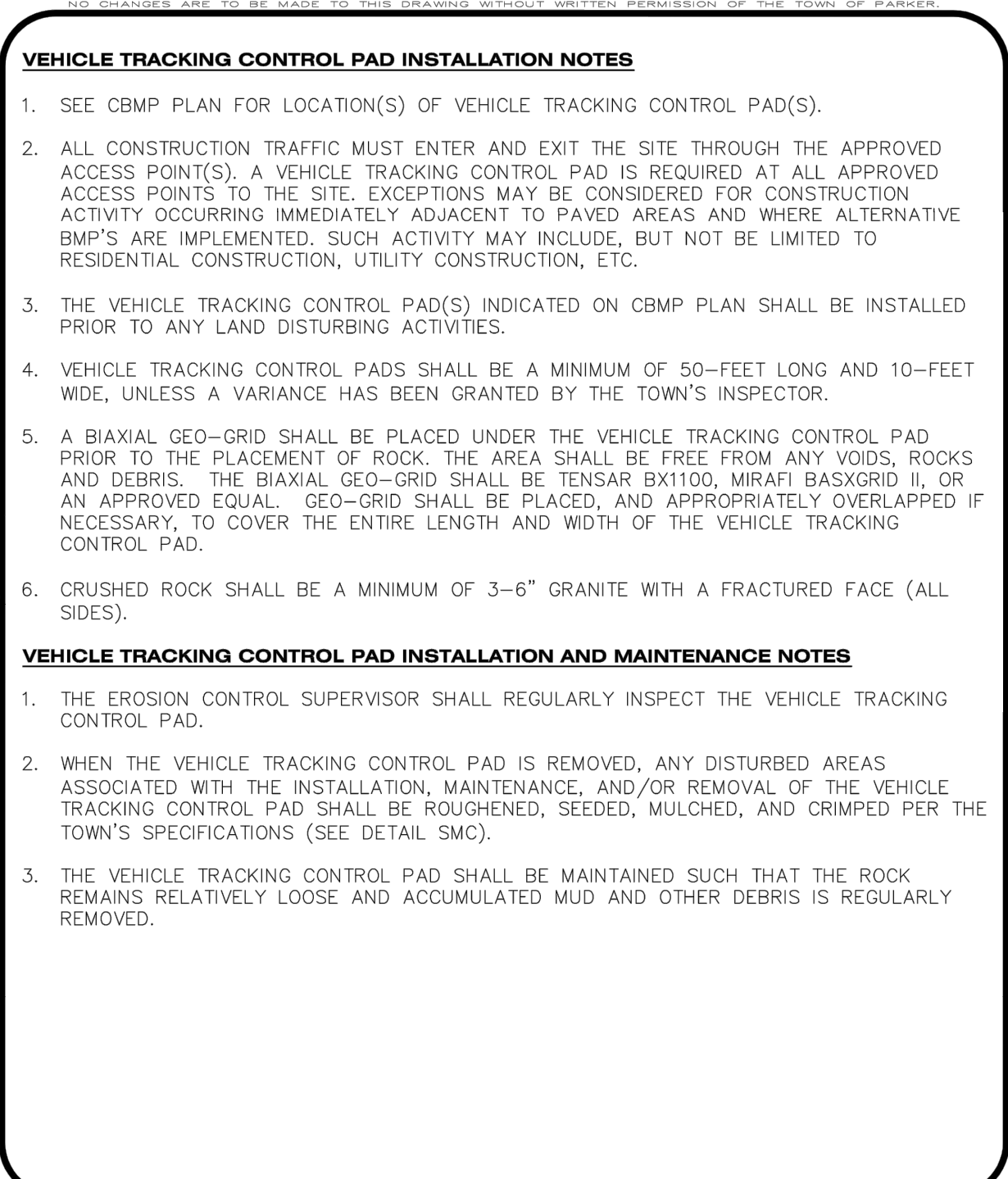
**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
3 OF 3  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
1 OF 3  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
2 OF 3  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
3 OF 3  
Oct. 2013

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN

# PARKER WATER AND SANITATION CONSTRUCTIONS PLANS



Know what's below.  
 Call before you dig.

### PROJECT CONTACTS:

**RECORD OWNER**  
 ETV PARKER COLORADO, LLC  
 2710 E CAMELBACK ROAD, SUITE 210  
 PHOENIX, AZ 85016  
 TEL: (602) 468-6100  
 CONTACT: RYAN AMATO

**DEVELOPER/APPLICANT**  
 MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71720  
 CONTACT: GARY HEGENER

**ENGINEER/CONSULTANT**  
 GALLOWAY & COMPANY, INC.  
 6162 S. WILLOW DRIVE, SUITE 320  
 GREENWOOD VILLAGE, CO 80111  
 TEL: (303) 770-8884  
 FAX: (303) 770-3636  
 CONTACT: JIM ERWIN-SVORODA, P.E.  
 EMAIL: JIMERWIN@GALLOWAYUS.COM

**LANDSCAPE/CONSULTANT**  
 GALLOWAY & COMPANY, INC.  
 6162 S. WILLOW DRIVE, SUITE 320  
 GREENWOOD VILLAGE, CO 80111  
 TEL: (303) 770-8884  
 FAX: (303) 770-3636  
 CONTACT: TIM NELSON, RLA, ASLA, COP  
 EMAIL: TIMNELSON@GALLOWAYUS.COM

**SURVEYOR**  
 GALLOWAY & COMPANY, INC.  
 1750 TELESTAR DR., SUITE 107  
 COLORADO SPRINGS, CO 80920  
 TEL: (303) 770-8884  
 FAX: (303) 770-3636  
 CONTACT: BRIAN DENNIS, PLS  
 EMAIL: BRIANDENNIS@GALLOWAYUS.COM

### MUNICIPAL & UTILITY CONTACTS:

**ENGINEERING**  
 TOWN OF PARKER – ENGINEERING  
 20120 E. MAIN STREET  
 PARKER, CO 80138  
 TEL: (303) 805-3169  
 CONTACT: RANDY CAPRA

**STORM SEWER**  
 TOWN OF PARKER – PUBLIC WORKS  
 20120 E. MAIN STREET  
 PARKER, CO 80138  
 TEL: (303) 840-9546

**FIRE**  
 SOUTH METRO FIRE RESCUE AUTHORITY  
 9195 E. MINERAL AVE.  
 CENTENNIAL, CO 80112  
 TEL: (720) 989-2244  
 CONTACT: CHR KERKHOVE

**WATER & SANITARY SEWER**  
 PARKER WATER AND SANITATION DISTRICT  
 1600 E. WOODMAN DRIVE  
 PARKER, CO 80138  
 TEL: (303) 841-4627  
 CONTACT: DRAYTON SANDERSON

**GAS**  
 XCEL ENERGY  
 1800 LARKMER STREET  
 DENVER, CO 80202  
 EMAIL: RON.H.JOHNSON@XCELENERGY.COM  
 CONTACT: RON JOHNSON

**ELECTRIC**  
 INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION  
 5496 NORTH US HIGHWAY 85  
 SEDALIA, CO 80135  
 TEL: (303) 688-3100  
 CONTACT: AMANDA STEINER

**TELEVISION**  
 COMCAST  
 1601 MILE HIGH STADIUM CIRCLE  
 DENVER, CO 80204  
 EMAIL: DEAN.FLENTHOPE@CABLE.COMCAST.COM  
 CONTACT: DEAN FLENTHOPE

**TELEPHONE**  
 CENTURYLINK  
 1801 CALIFORNIA STREET, SUITE 240  
 DENVER, CO 80202  
 CONTACT: IZZY MILLER  
 EMAIL: IZZY.MILLER@CENTURYLINK.COM



VICINITY MAP  
 (NOT TO SCALE)

### SHEET INDEX

SHEET NUMBER	DESCRIPTION
C-3.0	UTILITY COVER SHEET
C-3.1	OVERALL UTILITY PLAN
C-3.2	UTILITY DETAILS
C-3.3	UTILITY DETAILS
C-3.4	STORM AND SANITARY PLAN
C-3.5	STORM PLAN & PROFILE
IR-1.1	IRRIGATION PLAN
IR-1.2	IRRIGATION DETAILS
IR-1.3	IRRIGATION NOTES & DETAILS

### PWSD WATER MAIN NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSD ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST REVISION.
- ALL WATER MAINS SHALL BE PER PWSD MATERIALS SPECIFICATIONS. ALL MATERIALS IN CONTACT WITH POTABLE WATER SHALL BE SUITABLE FOR CHLORINATED AND CHLORAMINATED WATER.
- ALL FITTINGS SHALL BE WRAPPED PER PWSD MATERIALS SPECIFICATIONS.
- THERE SHALL BE A MINIMUM COVER OF 4.5 FEET OVER ALL WATER MAINS.
- FIRE HYDRANTS SHALL CONFORM TO AWWA C-502 "DRY BARREL FIRE HYDRANTS" PIPE HYDRANT ASSEMBLIES PER PWSD SPECIFICATIONS.
- ALL BENDS, TEES, FIRE HYDRANTS, BLOW-OFFS, AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST WITH CONCRETE THRUST BLOCKS.
- PRECAUTIONS SHALL BE TAKEN TO PROTECT THE INTERIOR OF PIPES, FITTINGS, AND VALVES AGAINST CONTAMINATION. ALL OPENINGS IN THE PIPELINE SHALL BE CLOSED WITH WATERTIGHT PLUGS WHEN PIPE LAYING IS STOPPED AT THE CLOSE OF THE DAY'S WORK OR FOR OTHER REASONS, SUCH AS REST BREAKS OR MEAL PERIODS.
- VALVES IN STREETS ARE TO BE LOCATED AT PROPERTY LINE EXTENSIONS EXCEPT FOR TAPPING TEES; WHERE AN ADDITIONAL VALVE SHALL BE PLACED ON THE TAPPING TEE. OTHER LOCATIONS SHOWN ON THE PLANS.
- WHEN NECESSARY TO LOWER OR RAISE WATER LINES AT STORM DRAINS AND OTHER UTILITY CROSSING, A MINIMUM CLEARANCE OF 1.5 FEET SHALL BE MAINTAINED BETWEEN OUTSIDE OF PIPES.
- THE CONTRACTOR SHALL NOTIFY THE PWSD AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION. IF WORK IS SUSPENDED FOR ANY PERIOD OF TIME AFTER INITIAL START-UP, THE CONTRACTOR MUST NOTIFY THE DISTRICT ENGINEER 48 HOURS PRIOR TO RE-START.
- PIPE BEDDING SHALL BE A CLEAN, WELL-GRADED SAND OR SQUEEGEE SAND IN ACCORDANCE WITH PWSD STANDARDS AND SPECIFICATIONS, LATEST REVISION.
- THE CONTRACTOR SHALL NOTIFY THE PUBLIC UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH THE EXCAVATION. ALL WORK PERFORMED IN THE AREA OF THE PUBLIC UTILITIES SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THESE AGENCIES.
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED IN ACCORDANCE WITH THE SOILS REPORTS AND COMPACTION TEST RESULTS SUBMITTED TO THE DISTRICT ENGINEER PRIOR TO PROBATIONARY ACCEPTANCE.
- AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD AT THE OFFICE OF THE DISTRICT ENGINEER AND ATTENDED BY THE CONTRACTOR, DESIGN ENGINEER, AND REPRESENTATIVE OF OTHER APPROVING AGENCIES.
- CHLORINATION AND FLUSHING: ALL WATER MAINS SHALL BE INSTALLED AND CHLORINATED PER PWSD SPECIFICATIONS. CHLORINATION OF FINISHED PIPELINE COMPLETED BEFORE HYDROSTATIC TESTING.
- HYDROSTATIC TESTING: ALL WATER MAINS SHALL BE TESTED PER THE REQUIREMENTS OF THE PWSD SPECIFICATIONS UP TO MINIMUM OF 150 PSI IN THE PRESENCE OF A PWSD INSPECTOR/ENGINEER.

### PWSD DISTRICT ACCEPTANCE NOTES

- UPON COMPLETION OF SANITARY SEWER AND WATER CONSTRUCTION AND TESTING, THE DEVELOPER OR CONTRACTOR SHALL CONTACT THE DISTRICT FOR PROBATIONARY ACCEPTANCE INSPECTION. A PUNCHLIST WILL BE PROVIDED THE DEVELOPER AND CONTRACTOR UPON COMPLETION OF THE INITIAL WALK-THROUGH AND PROBATIONARY ACCEPTANCE WILL BE ISSUED FOLLOWING COMPLETION AND ACCEPTANCE OF THE WORK OUTLINED IN THE PUNCHLIST.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF THE LINES FOR UP TO 1-YEAR FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE LINES BY THE DISTRICT. ANY MALFUNCTION DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE CONTRACTOR TO THE SATISFACTION OF THE DISTRICT ENGINEER AT NO EXPENSE TO THE DISTRICT.
- THE DATE OF FINAL ACCEPTANCE WILL BE INDICATED IN THE CONDITIONS OF THE PROBATIONARY ACCEPTANCE LETTER. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING THE DISTRICT FOR FINAL INSPECTION AND FINAL ACCEPTANCE.

MATERIALS SPECIFICATIONS	
MATERIAL SPECIFICATION	DESCRIPTION
MS-W1, MS-S1, MS-S4	PIPE TYPE – PVC
MS-W2	PIPE TYPE – DUCTILE IRON
MS-W7	TAPPING SLEEVES
MS-W3, MS-S5	FITTINGS
MS-W4, MS-W5, MS-W6, MS-W8, MS-W9	VALVES, AIR RELEASE VALVES
MS-W17, MS-W18	WATER METER
MS-S2	PRECAST MANHOLES
MS-S3	CASTINGS

### BENCHMARK

ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN, VERTICAL DATUM IS APPROXIMATELY 2.6± FEET BELOW NAVD 88.

SITE BENCHMARKS:

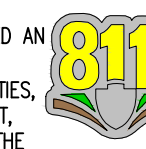
- SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76  
 SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

### BASIS OF BEARING

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24660 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

### CAUTION – NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
 Call before you dig.

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS.

ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION.

REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.

BY: \_\_\_\_\_ (DISTRICT REPRESENTATIVE)

DATE: \_\_\_\_\_

APPROVED FOR CONSTRUCTION:  
 PARKER WATER AND SANITATION DISTRICT

BY: \_\_\_\_\_ (DISTRICT ENGINEER)

DATE: \_\_\_\_\_

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE DATE

(NOTE – UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

### PWSD GENERAL UTILITY NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSD ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST REVISION.
- THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND THE TOWN OF PARKER, DOUGLAS COUNTY AND OTHER NEIGHBORING CITIES AND TOWNS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING DEPTHS) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL ITEMS SHOWN ON THE PLANS AS EXISTING ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE ACTUAL LOCATIONS MAY VARY FROM THE PLANS, ESPECIALLY IN THE CASE OF UNDERGROUND UTILITIES. WHENEVER THE CONTRACTOR DISCOVERS A DISCREPANCY IN LOCATIONS CONTACT THE PWSD IMMEDIATELY.
- PWSD ENGINEER AND OTHER APPROVING AGENCIES ARE TO BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS NECESSARY TO PERFORM THE PROPOSED WORK.
- ALL CONCRETE SHALL BE A MINIMUM OF CLASS A, 6 SACK, TYPE II, 3000-POUND COMPRESSION STRENGTH.
- THE DESIGN ENGINEER SHALL SUBMIT ONE (1) SET OF "AS-BUILT" DRAWINGS AND ELECTRONIC FILES TO THE DISTRICT ENGINEER FOR APPROVAL BY DISTRICT. AFTER APPROVAL HAS BEEN GRANTED BY THE DISTRICT ENGINEER, FULL SIZE PRINTS SHALL BE TRANSMITTED TO THE PWSD OFFICE.
- NO WORK SHALL BE BACKFILLED UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE DISTRICT ENGINEER OR REPRESENTATIVE OF THE DISTRICT ENGINEER. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. COMPACTION TESTS MUST BE SUBMITTED TO DISTRICT ENGINEER PRIOR TO PROBATIONARY ACCEPTANCE.
- TRENCHES SHALL BE EXCAVATED AND THE PIPE EXPOSED FOR THE INSPECTION AT ANY LOCATION ON THE PROJECT IF SO ORDERED BY THE INSPECTOR.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF LINES (WATER AND SEWER) FOR UP TO TWO (2) YEARS FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE LINES BY THE DISTRICT. ANY MALFUNCTION DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE CONTRACTOR TO THE SATISFACTION OF THE DISTRICT ENGINEER AT NO EXPENSE TO THE DISTRICT.
- SURFACE GRADES ARE TO BE WITHIN PLUS OR MINUS ONE FOOT OF FINISHED GRADE AND VERIFICATION OF PARKER WATER AND SANITATION DISTRICT PAGE 1.7 DISTRICT PLAN APPROVAL PROCEDURES 2017 REVISION CONSTRUCTION RESULTS OBTAINED PRIOR TO THE INSTALLATION OF WATER AND SEWER LINES. RESULTS MUST BE SUBMITTED TO THE DISTRICT ENGINEER.
- ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS: "X" FOR SANITARY SERVICE SEWERS "V" FOR WATER SERVICES
- NO TREES ALLOWED IN EASEMENTS OR WITHIN 8' OF WATER OR SANITARY SEWER MAINS IN RIGHT OF WAY.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS WHICH HAVE BEEN APPROVED BY THE PWSD AND THE DISTRICT ENGINEER AND ONE (1) COPY OF THE LATEST PWSD SPECIFICATION MANUAL.

### FIRE NOTES

- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LINES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- EMERGENCY VEHICLE ACCESS ROAD IS REQUIRED TO ALLOW ACCESS WITHIN 150' OF ALL EXTERIOR OF THE BUILDING BY AN APPROVED ROUTE.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRES APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. ACCESS ROAD SHALL BE EITHER CONCRETE, ASPHALT, OR OTHER APPROVED ALTERNATIVE MATERIAL ACCOMPANIED WITH AN ENGINEER'S STAMP STATING THE MATERIAL WILL MEET A 75,000 LBS IMPOSED LOAD.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF VERTICAL CONSTRUCTION.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE DEPARTMENT ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE DEPARTMENT ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR ACCESS ROADWAY FIRE DEPARTMENT ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS EXCEEDING 32 FEET WIDE.
- WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO BUILDING CONSTRUCTION GOING VERTICAL.

SHEET NO.  
**C-3.0**

UTILITY COVER SHEET  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER  
 COLORADO

**Galloway**  
 6162 S. Willow Drive, Suite 320  
 Greenwood Village, CO 80111  
 303.770.8884  
 GallowayUS.com

**MURPHY OIL USA, INC.**  
 200 PEACH STREET  
 EL DORADO, AR 71730  
**MURPHY USA**

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



Know what's below.  
 Call before you dig.

### EASEMENT SCHEDULE

- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
- (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
- (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
- (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047

### LEGEND

- PROPERTY LINE
- - - EASEMENT BOUNDARY LINE
- EXISTING ELECTRICAL LINE
- EXISTING FIBER OPTIC LINE
- EXISTING CABLE LINE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE
- PROPOSED ELECTRICAL LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED TELEPHONE LINE
- PROPOSED STORM SEWER LINE
- EXISTING WATER LINE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING FIRE VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER BEND
- PROPOSED SIGN
- PROPOSED SITE LIGHTING
- PROPOSED GREASE INTERCEPTOR
- PROPOSED TRANSFORMER
- PROPOSED STORM SEWER INLET

UTILITY INSTALLATION RESPONSIBILITIES			
ELECTRIC RESPONSIBILITY			
	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
PERMITS AND INSPECTIONS	X		
OVERHEAD SERVICE DROP		X	
SERVICE CONNECTION		X	
SERVICE ENTRANCE CONDUIT, CONDUCTOR, AND OH POINT OF ATTACHMENT	X		
METER SOCKET	X		
BILLING METER		X	
LOAD SIDE CONDUIT AND CONDUCTOR	X		
ICE AND SNOW SHIELD, IF REQUIRED	X		
GROUND ROD(S)	X		

TELEPHONE RESPONSIBILITY			
	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
CONDUIT/TRENCH	X		
PULL STRING	X		

WATER RESPONSIBILITY			
	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
TAP		X	
DOMESTIC METER		X	
DOMESTIC BFP	X		
IRRIGATION METER		X	
IRRIGATION BFP	X		
HYDRANT		X	

SEWER RESPONSIBILITY			
	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
TAP	X		

### FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL or DESIGNATED REPRESENTATIVE (DATE)

(NOTE – UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

### SCHEDULE

- (1) EXISTING STORM SEWER MANHOLE TO REMAIN
- (2) EXISTING WATER LINE INSTALLED BY DEVELOPER
- (3) EXISTING CATV LINE TO REMAIN
- (4) EXISTING UNDERGROUND TELEPHONE LINE TO REMAIN
- (5) EXISTING GAS LINE TO REMAIN
- (6) EXISTING FIBER OPTIC LINE TO REMAIN
- (7) EXISTING STORM LINE TO REMAIN
- (8) EXISTING STORM LINE INSTALLED BY DEVELOPER
- (9) EXISTING SANITARY SEWER LINE INSTALLED BY DEVELOPER
- (10) EXISTING COMMUNICATION BOX/Vault TO REMAIN
- (11) EXISTING SANITARY SEWER MANHOLE PROVIDED BY DEVELOPER
- (12) PROPOSED YARD DRAIN WITH OPEN GRATE TOP
- (13) EXISTING SANITARY SEWER MANHOLE TO REMAIN
- (14) EXISTING WATER VALVE INSTALLED BY DEVELOPER
- (15) EXISTING FIRE HYDRANT TO REMAIN
- (16) EXISTING STORM SEWER INLET INSTALLED BY DEVELOPER
- (17) PROPOSED 4" STORM SEWER LINE
- (18) PROPOSED 18" STORM SEWER LINE
- (19) PROPOSED STORM SEWER INLET
- (20) PROPOSED STORM CLEANOUT
- (21) PROPOSED 4" SANITARY SEWER SERVICE LINE
- (22) PROPOSED 1,000 GALLON GREASE INTERCEPTOR
- (23) PROPOSED SANITARY SEWER CLEANOUT (TYP)
- (24) PROPOSED SITE LIGHT
- (25) PROPOSED DOMESTIC WATER SERVICE LINE TO BUILDING
- (26) PROPOSED 1" IRRIGATION LINE
- (27) PROPOSED 1 1/2" WATER METER IN PIT
- (28) PROPOSED FREEZELESS HOSE BIBB AT PUMP ISLAND (3/4" SCH. 40 PVC)
- (29) PROPOSED 3/4" WATER LINE TO CANOPY
- (30) PROPOSED UNDERGROUND TELEPHONE LINE. PLACE HAND HOLES AS NEEDED.
- (31) CONNECTION TO EXISTING TELEPHONE LINE TO BE COORDINATED WITH TELEPHONE COMPANY.
- (32) PROPOSED UNDERGROUND ELECTRICAL LINE.
- (33) CONNECTION TO EXISTING ELECTRICAL LINE TO BE COORDINATED WITH ELECTRICAL COMPANY.
- (34) PROPOSED ROOF DRAIN CONNECTION
- (35) PROPOSED 6" ROOF DRAIN LINE
- (36) PROPOSED TRANSFORMER ON CONCRETE PAD
- (37) PROPOSED STORM MANHOLE
- (38) PROPOSED 8" TRENCH DRAIN
- (39) PROPOSED 6" PVC LATERAL FIRE HYDRANT
- (40) PROPOSED FIRE HYDRANT FH#1
- (41) PROPOSED 8x6 TEE
- (42) PROPOSED 6" GATE VALVE GV#1
- (43) PROPOSED 10" ROOF DRAIN
- (44) PROPOSED ELECTRICAL CABINET PER AREA REQUIREMENTS

### BENCHMARK

ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN, VERTICAL DATUM IS APPROXIMATELY 2.64 FEET BELOW NAVD 88.

### SITE BENCHMARKS:

SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76

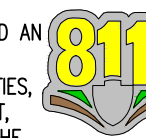
SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

### BASIS OF BEARING

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24960 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

### CAUTION – NOTICE TO CONTRACTOR

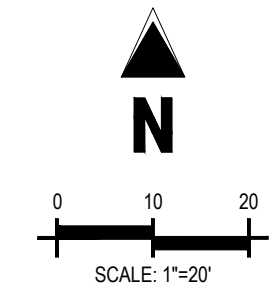
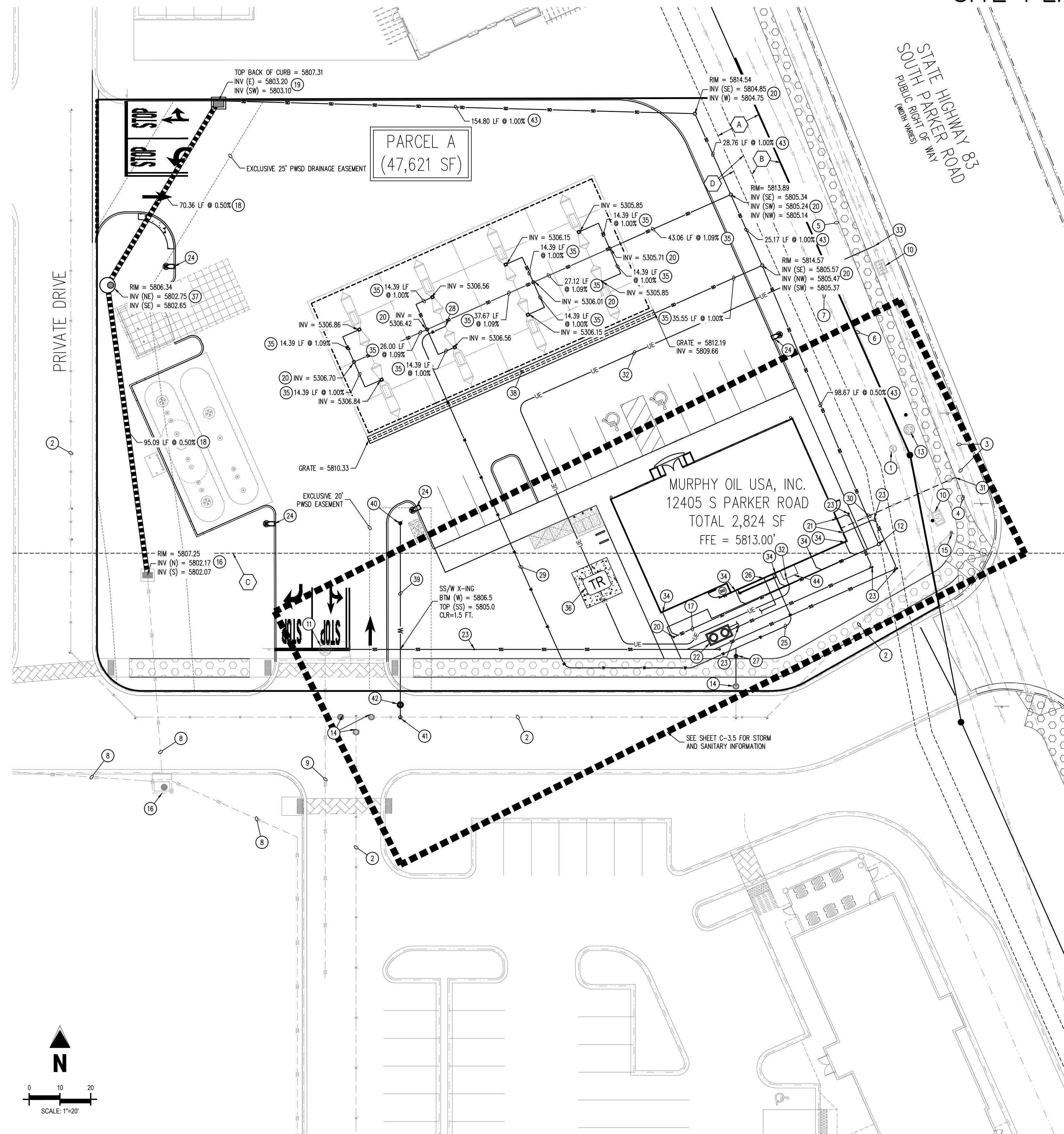
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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
 Call before you dig.

### UTILITY INSTALLATION RESPONSIBILITIES

- WATER SERVICE:**
- WATER COMPANY WILL UTILIZE EXISTING TAP AND METER FOR DOMESTIC WATER SERVICE TO BUILDING. WATER CO. WILL ALSO PROVIDE AND INSTALL BACKFLOW DEVICE WITHIN DOMESTIC METER BOX. WATER COMPANY WILL INSTALL TAP FOR IRRIGATION AND METER FOR A FEE.
  - CONTRACTOR TO PROVIDE AND INSTALL CONNECTION TO BACK SIDE OF METER, INCLUDING FITTINGS, VALVES, CURB STOP, CURB BOX, RPZ (ON IRRIGATION MAIN), WATER SERVICE MAINS, ETC. FOR IRRIGATION AND DOMESTIC SERVICE.
- SEWER SERVICE:**
- CONTRACTOR TO PROVIDE AND INSTALL GRAVITY SERVICE LINES, GREASE TRAP, CONNECTION TO EXISTING STUBOUT, ETC.
- ELECTRIC SERVICE:**
- ELECTRIC COMPANY PROVIDES AND INSTALLS POLE MOUNTED TRANSFORMER.
  - CONTRACTOR TO PROVIDE & INSTALL 1-5" SCH. 40 CONDUIT WITH PULL STRINGS AND SWEEPS (CP R) ALONG USE ROUTE FROM TRANSFORMER POLE TO BUILDING ENTRY POINT.
  - CONTRACTOR TO PROVIDE AND INSTALL SECONDARY WIRE FROM TRANSFORMER TO BUILDING.
- TELEPHONE SERVICE:**
- TELEPHONE COMPANY WILL PROVIDE, INSTALL AND PULL WIRE TO BUILDING.
  - CONTRACTOR TO INSTALL 4" CONDUIT WITH PULL-STRING FROM BUILDING TO POINT OF CONNECTION.
  - TURNS SHALL UTILIZE SWEEPING 90'S (36" R).
  - CONTRACTOR TO PROVIDE #6 GROUND WIRE CONNECTED TO ELECTRICAL GROUND AND 4"X8" MOUNTED PLYWOOD BACKBOARD INSIDE BUILDING FOR TELEPHONE COMPANY TO MOUNT EQUIPMENT.
  - CONTACT ATT TWO (2) WEEKS PRIOR TO NEEDING SERVICE.



SHEET NO. C-3.1

OVERALL UTILITY PLAN  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO

Galloway

MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING REVIEW, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

# PARKER AND PINE FILING NO. 1 LOT 2 - SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN

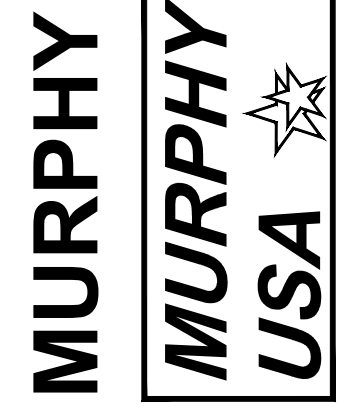


SHEET NO. C-3.2

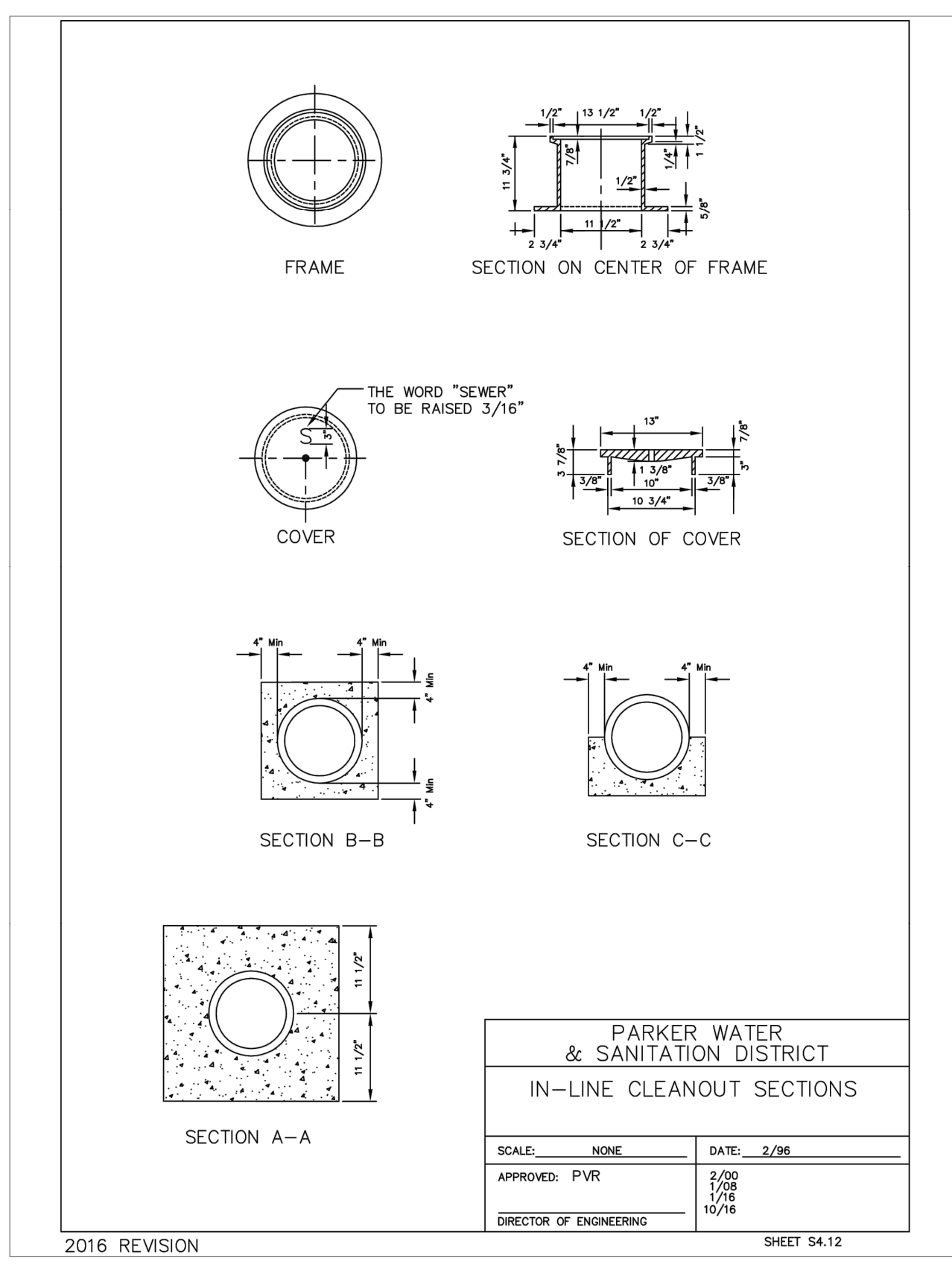
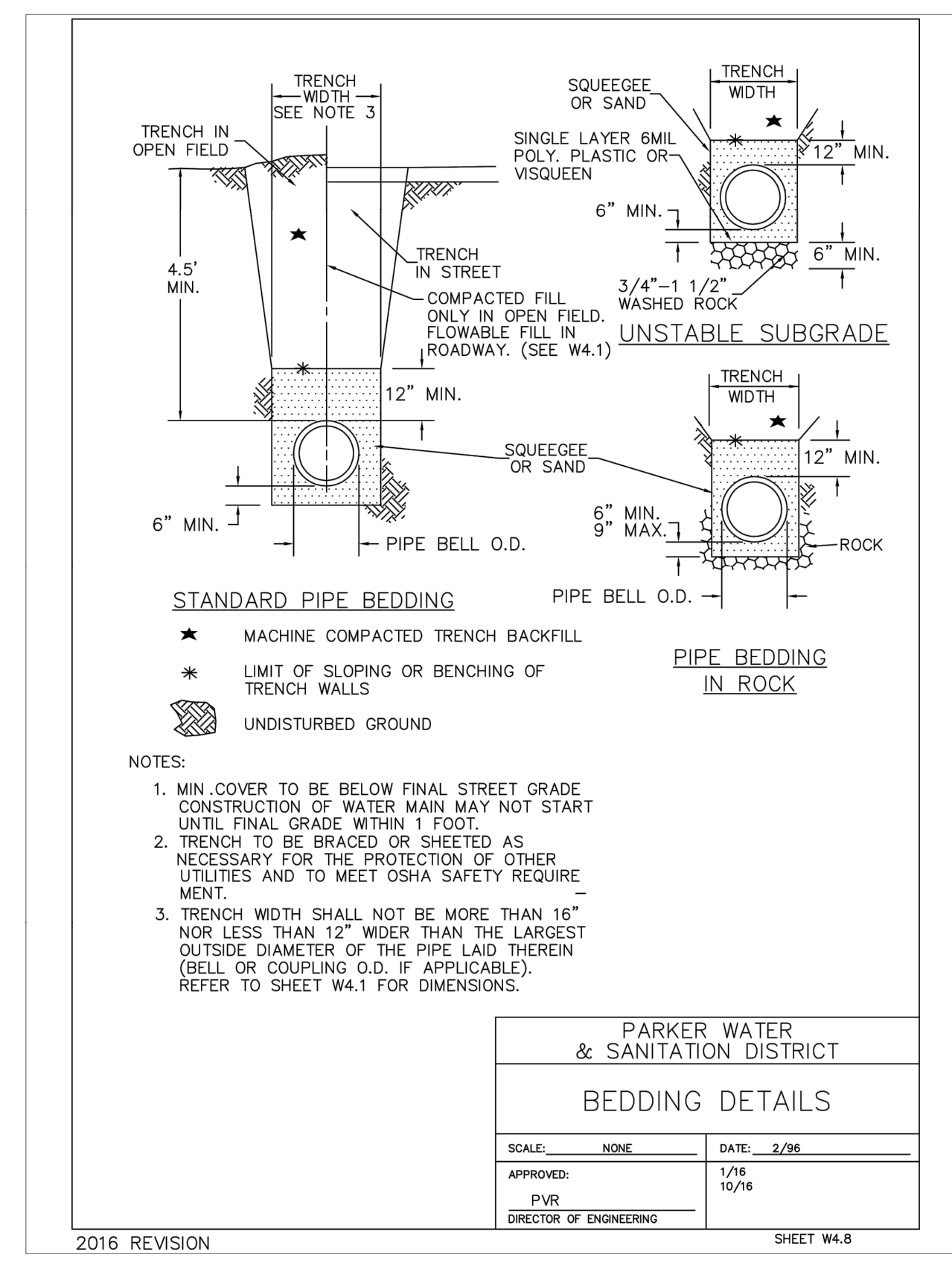
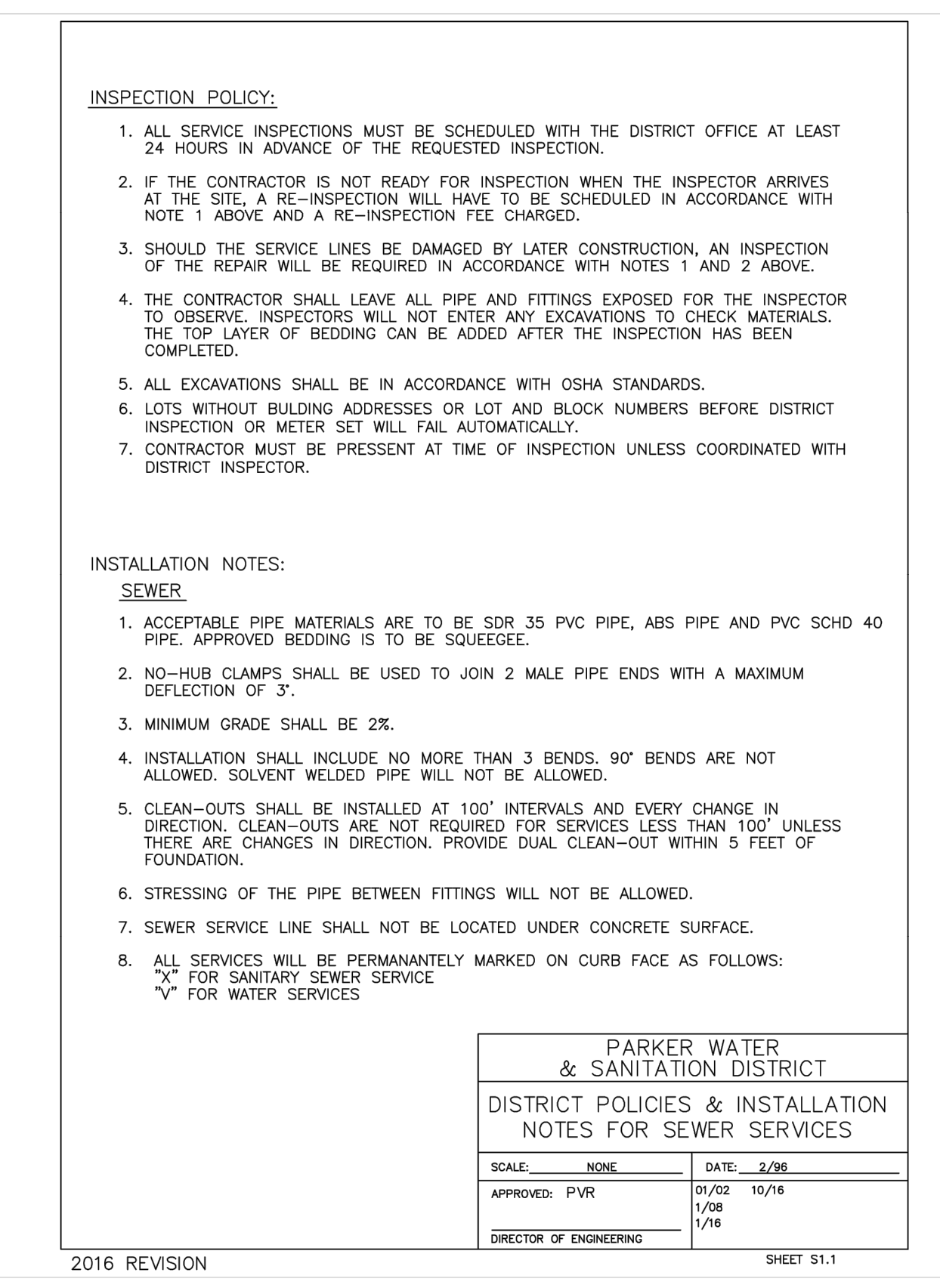
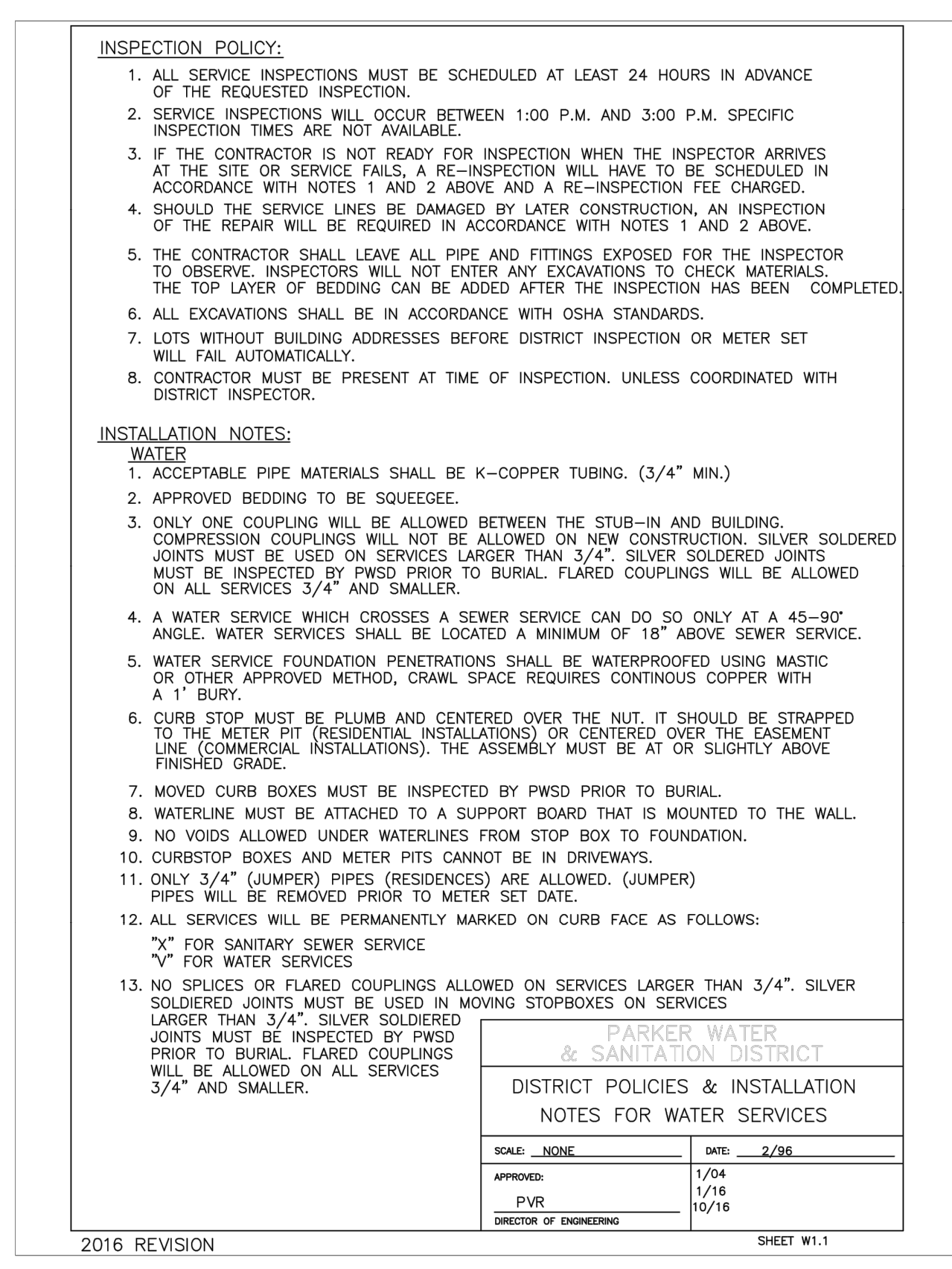
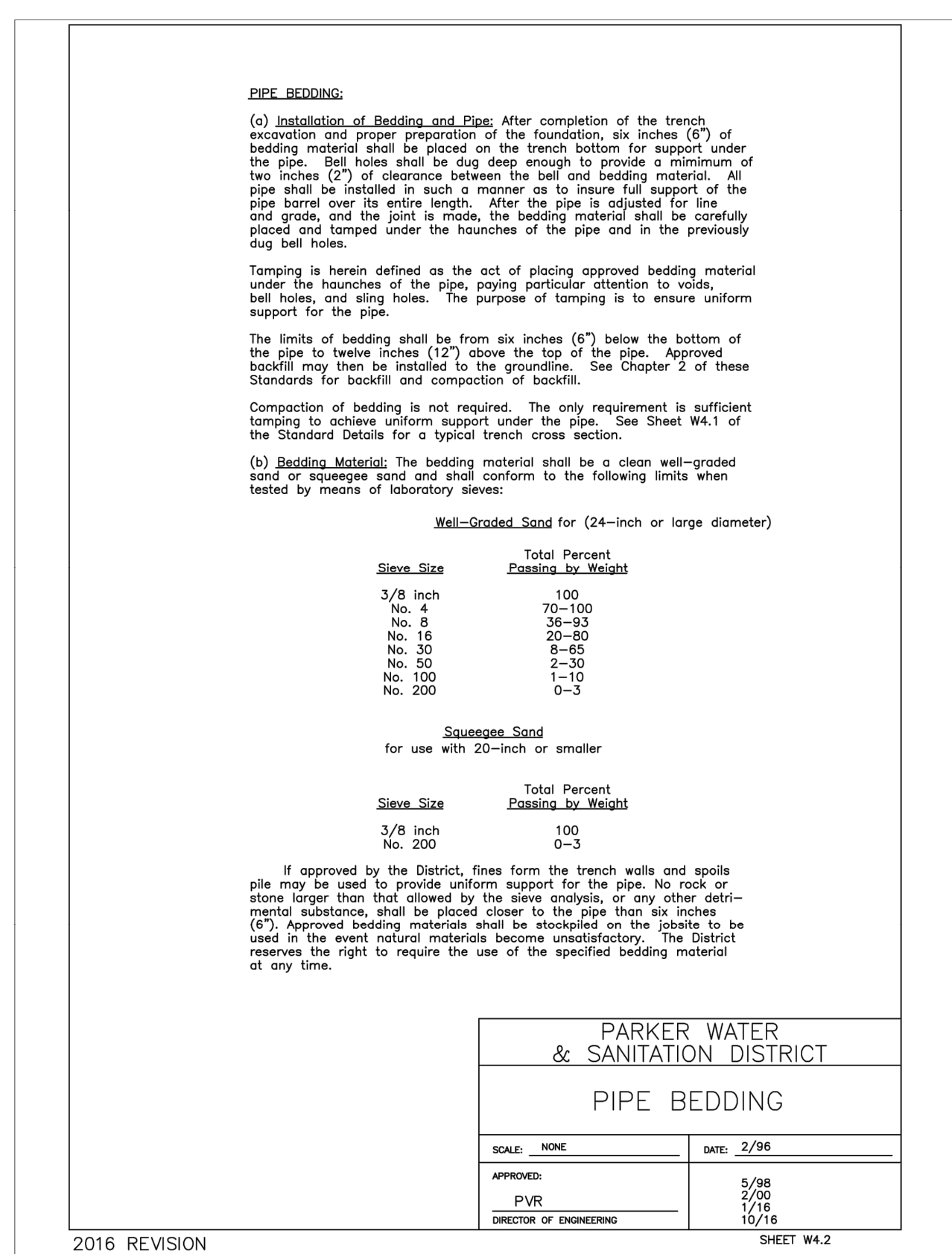
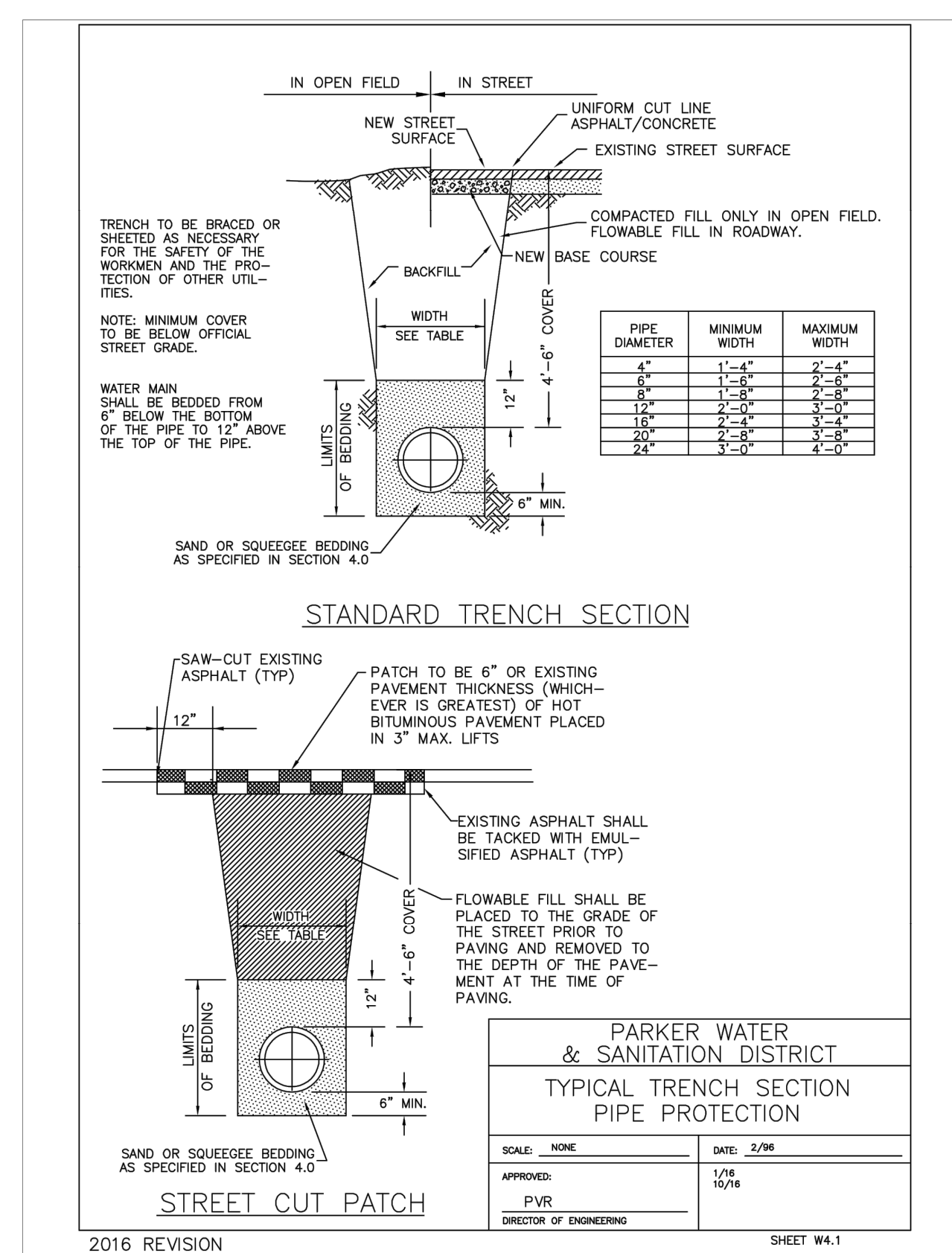
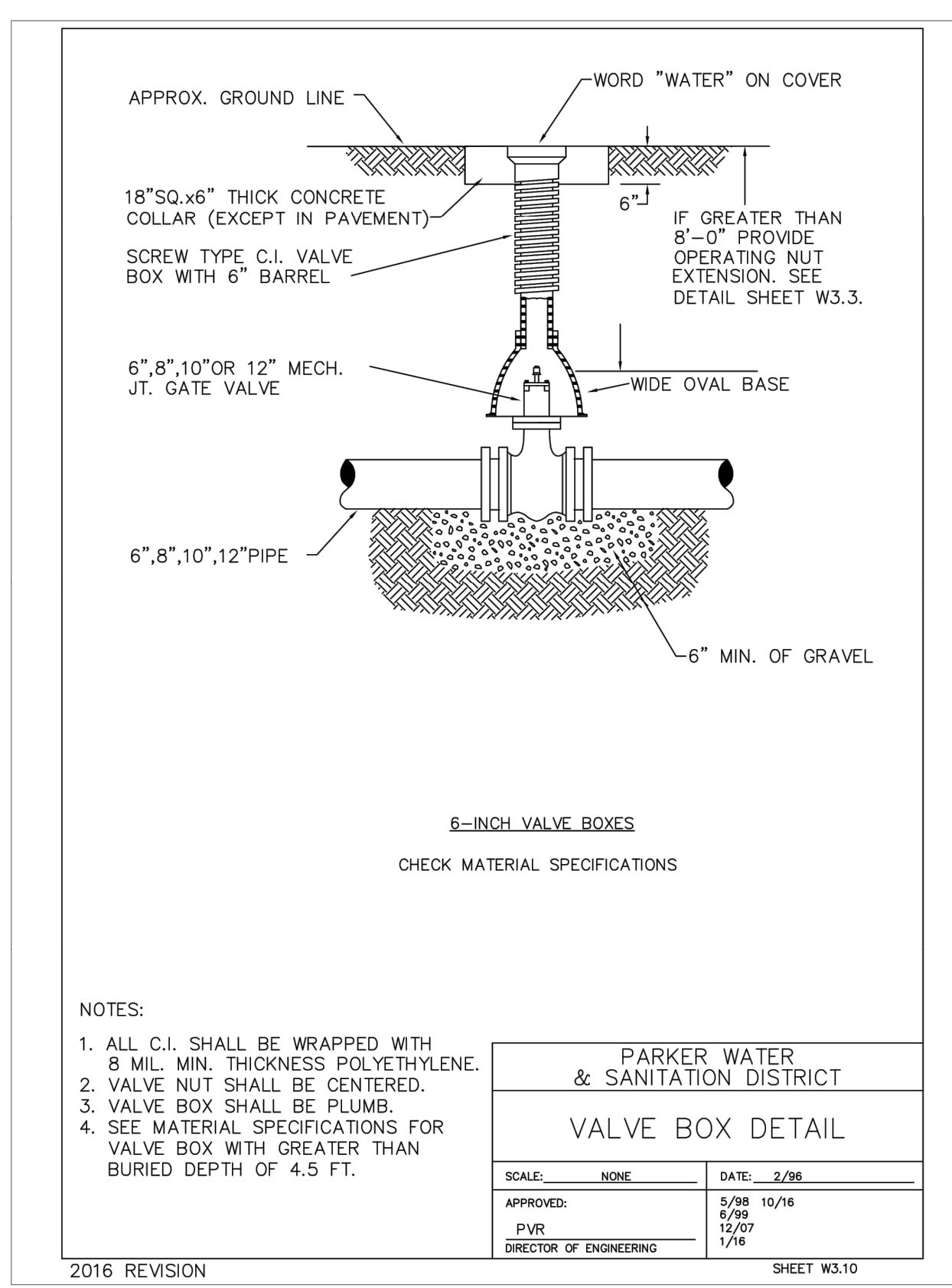
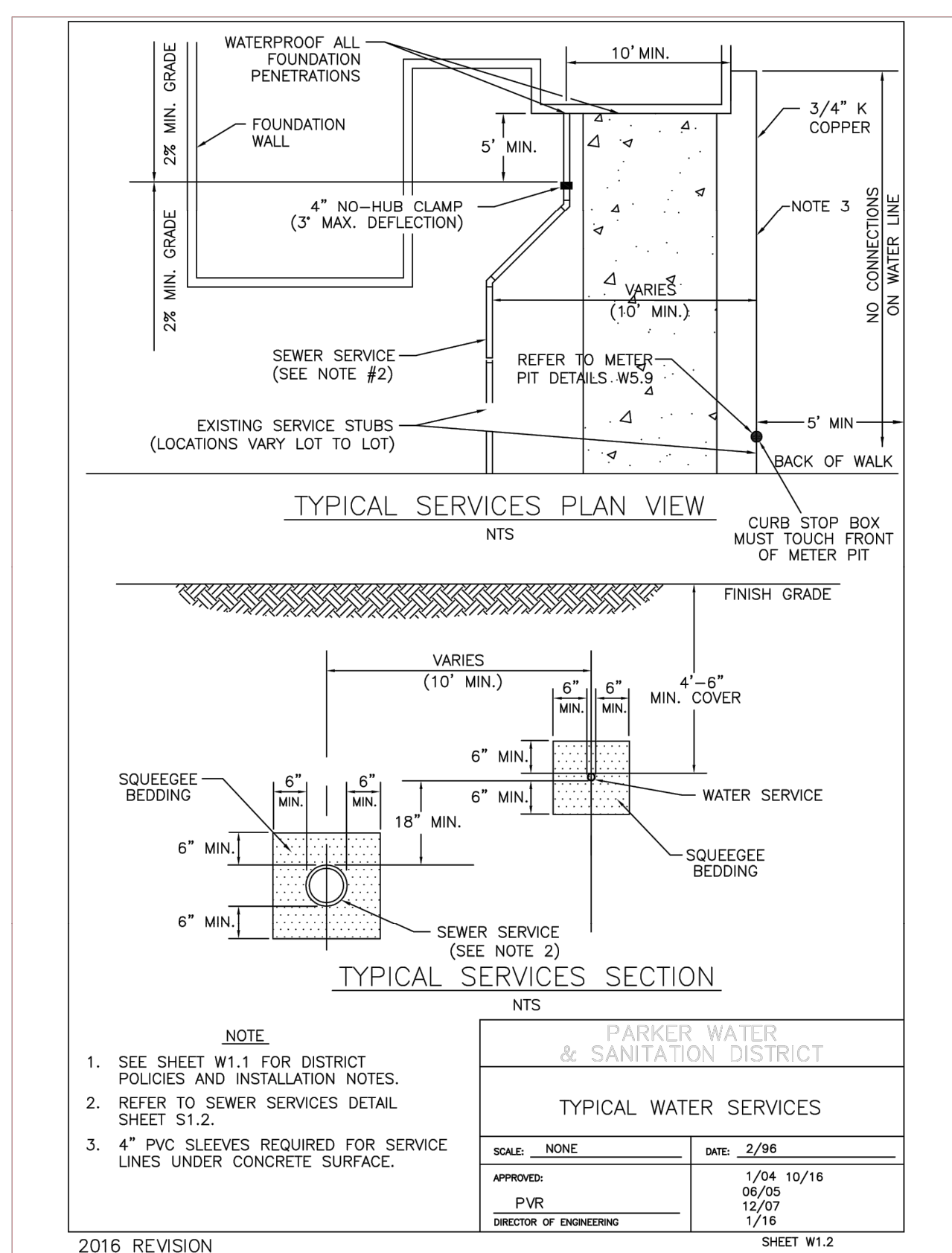
UTILITY DETAILS  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO

Galloway

MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730



REV-1 07/09/2020 DATE PRN PM DES DRW



# PARKER AND PINE FILING NO. 1 LOT 2 - SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



Know what's below.  
 Call before you dig.

SHEET NO.

C-3.3

REV-1 07/09/2020 DATE PRN PM DES DRW

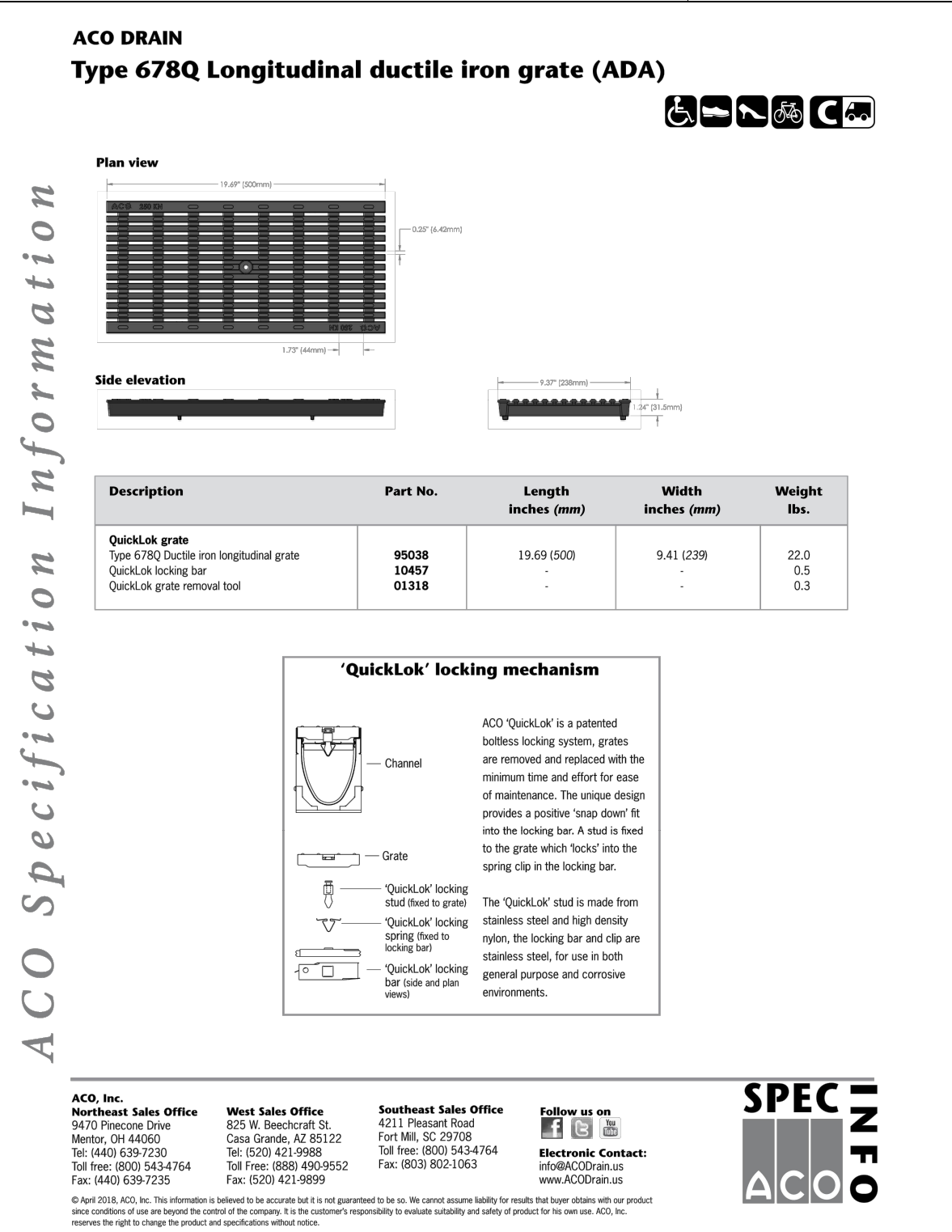
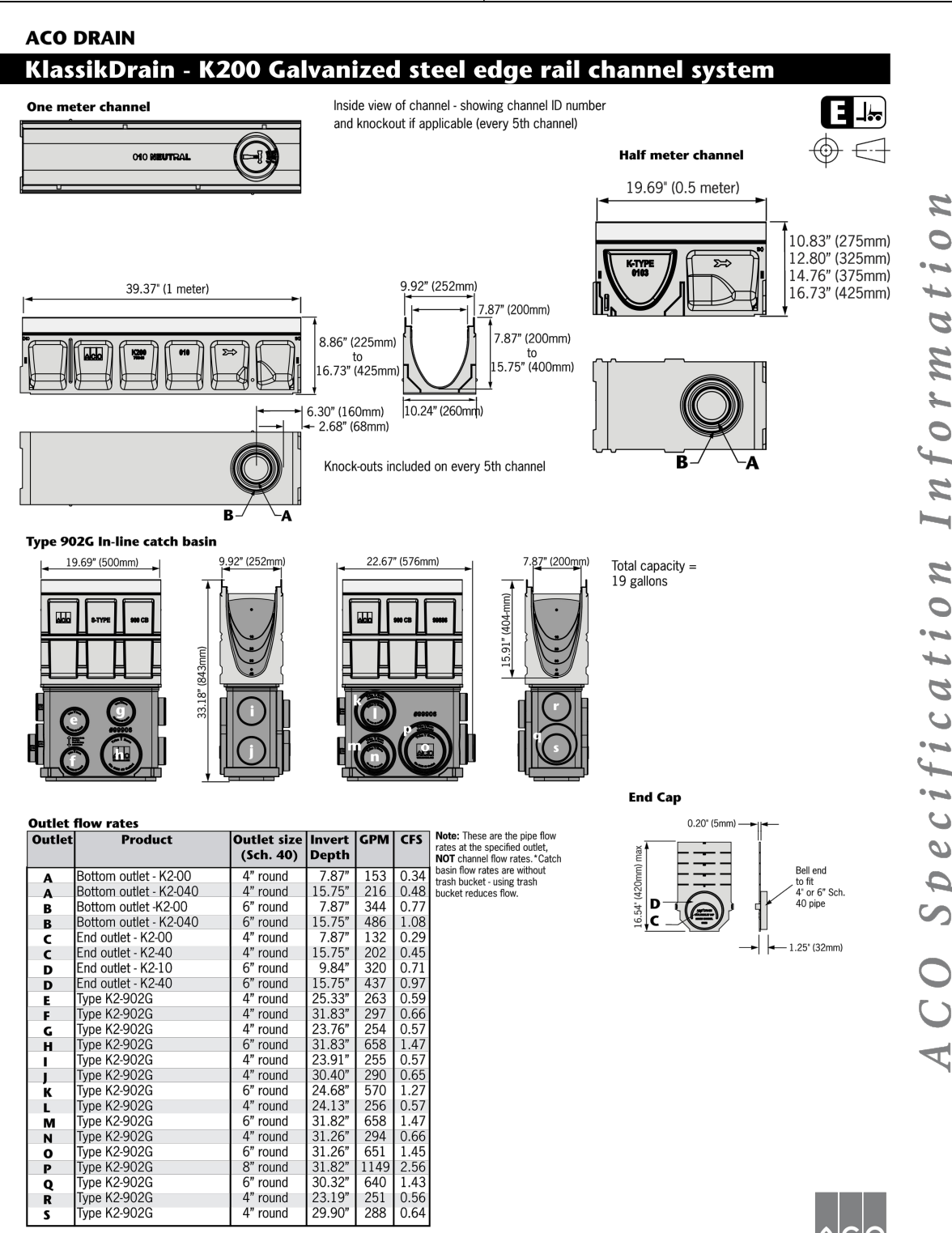
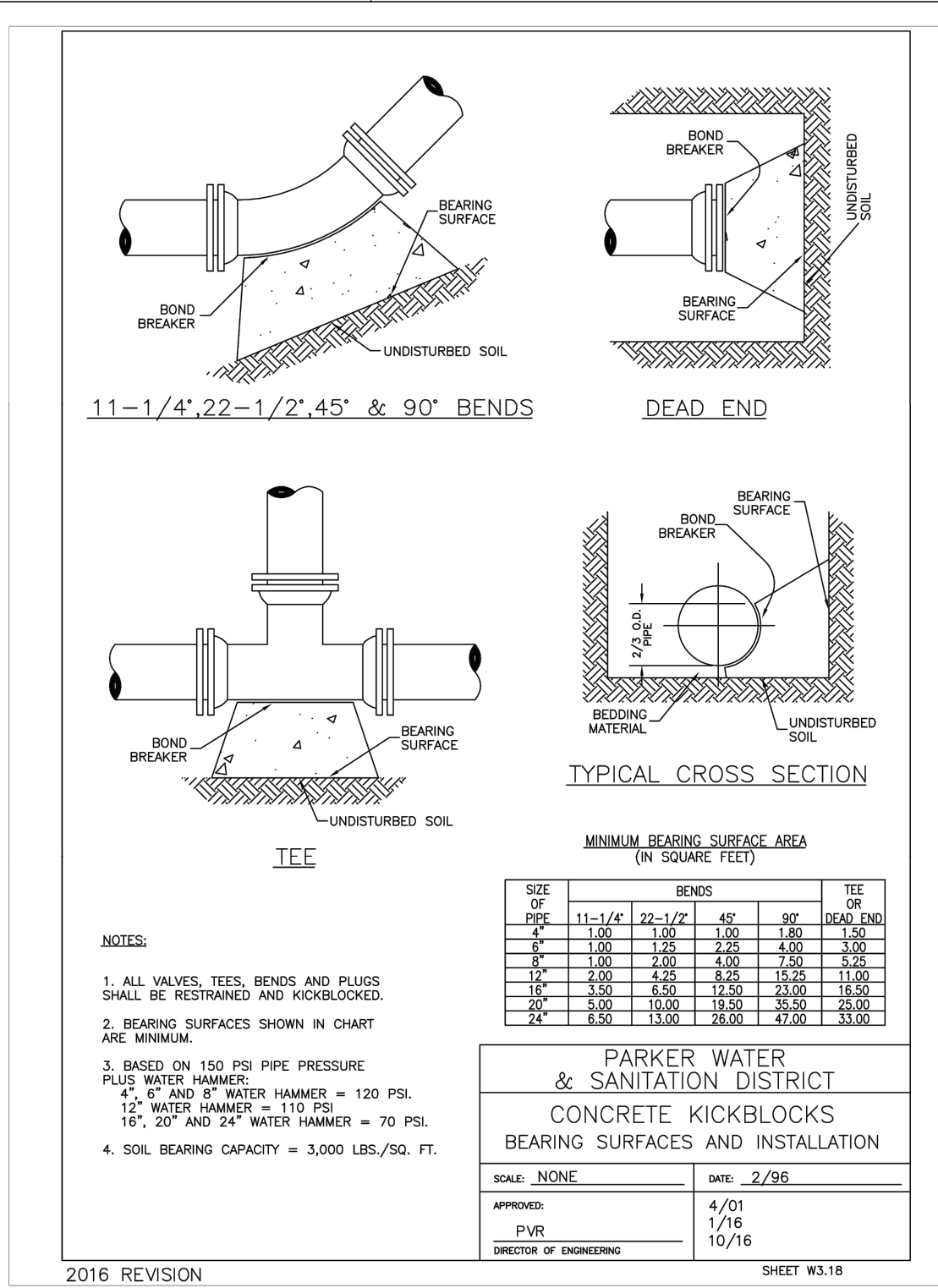
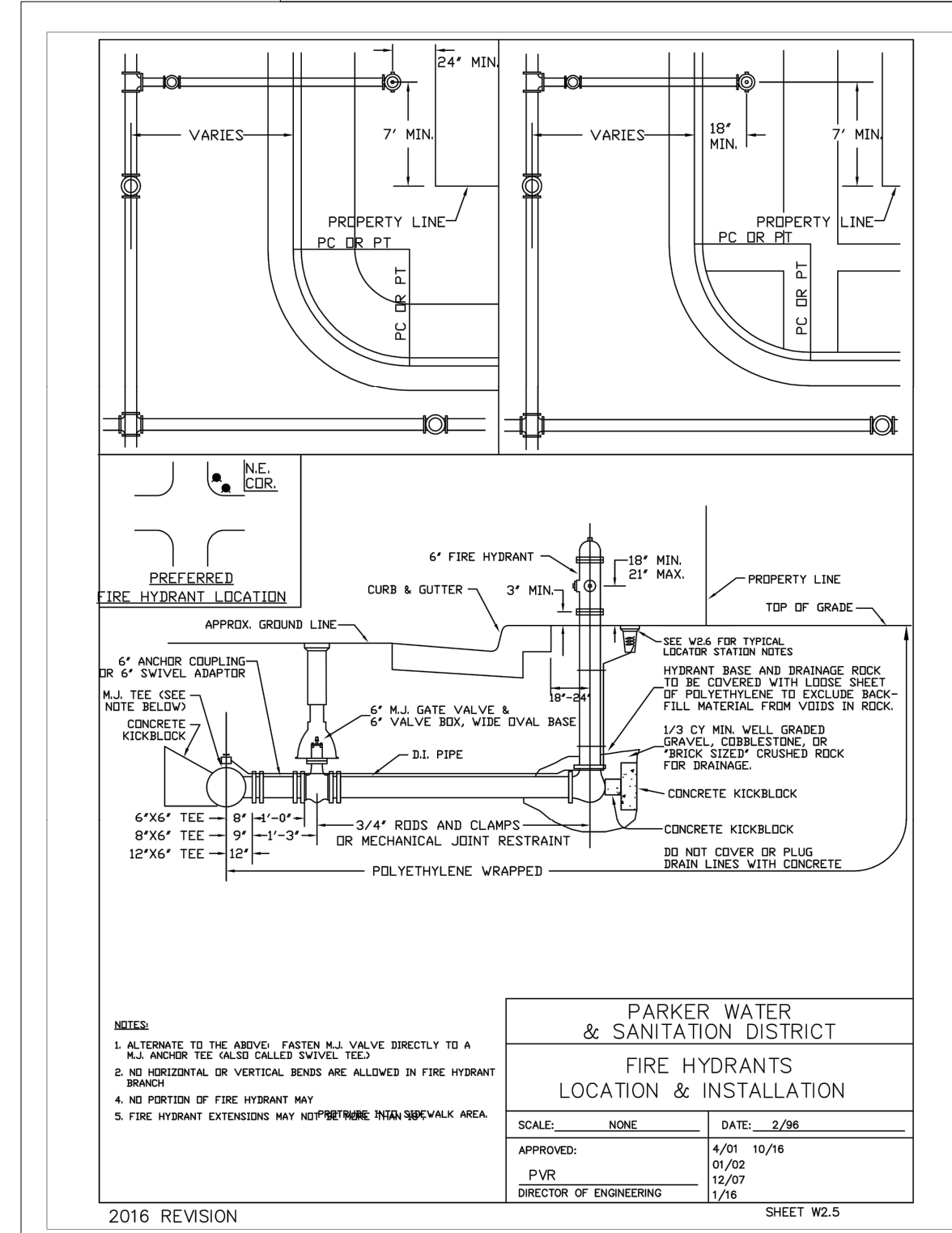
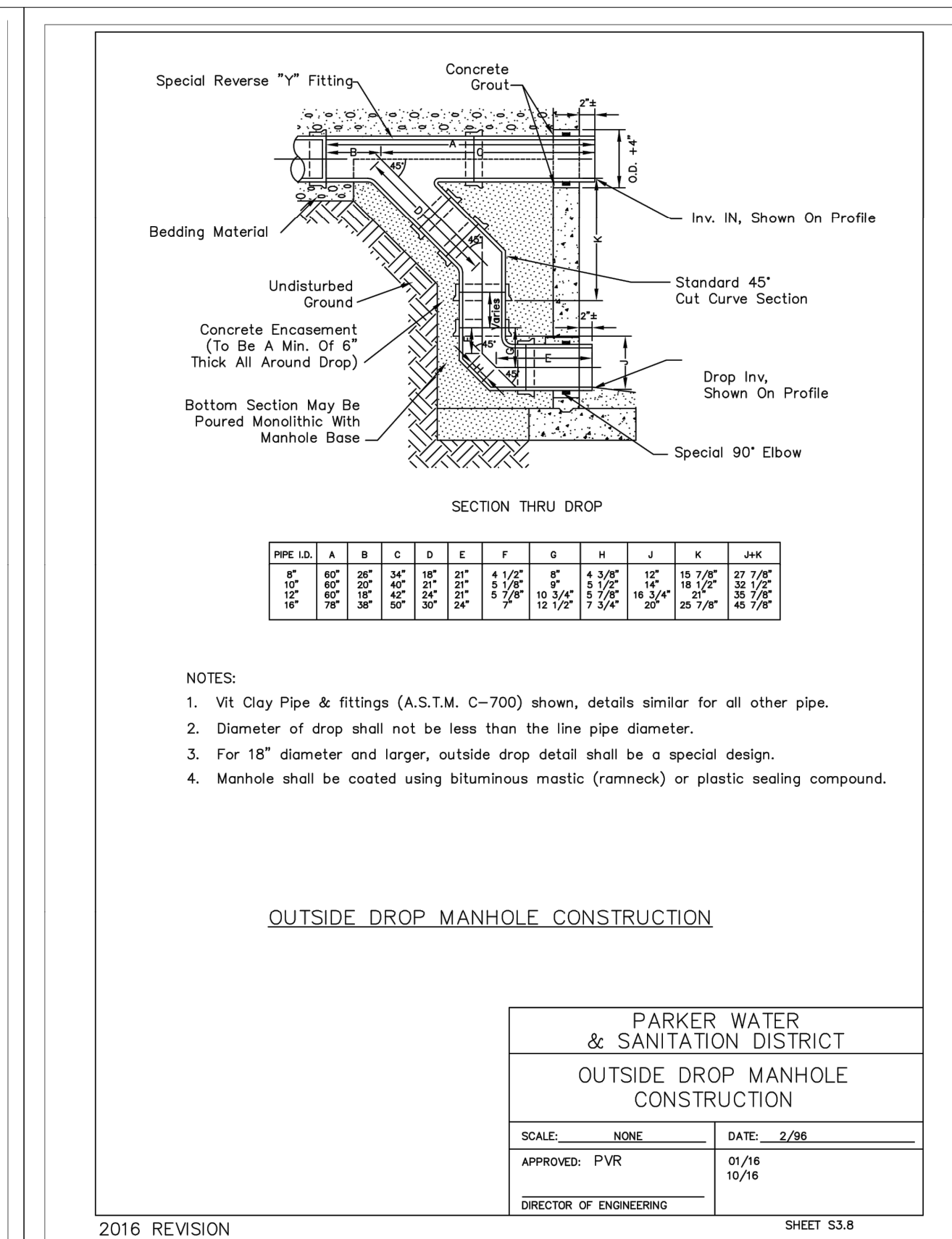
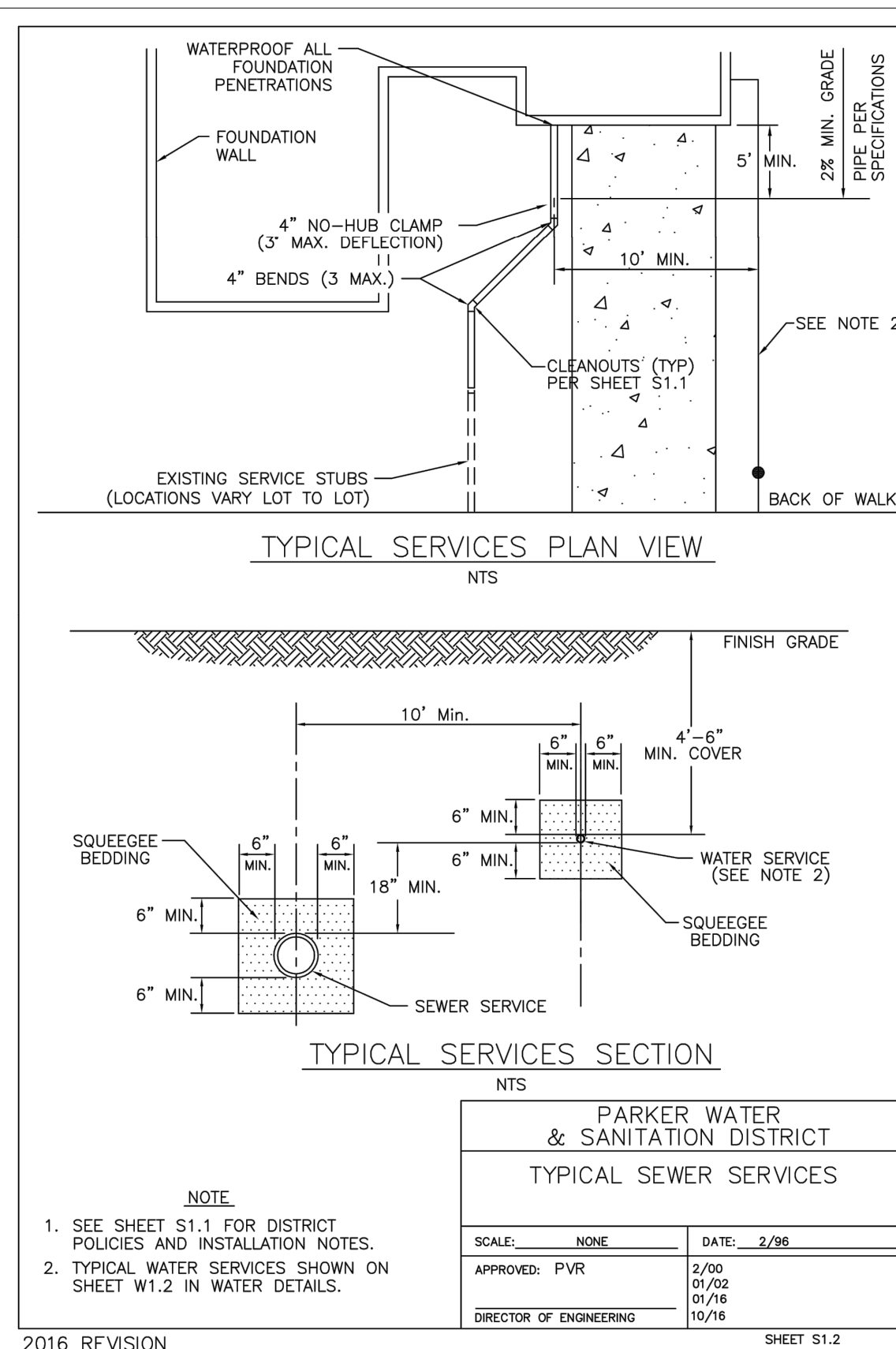
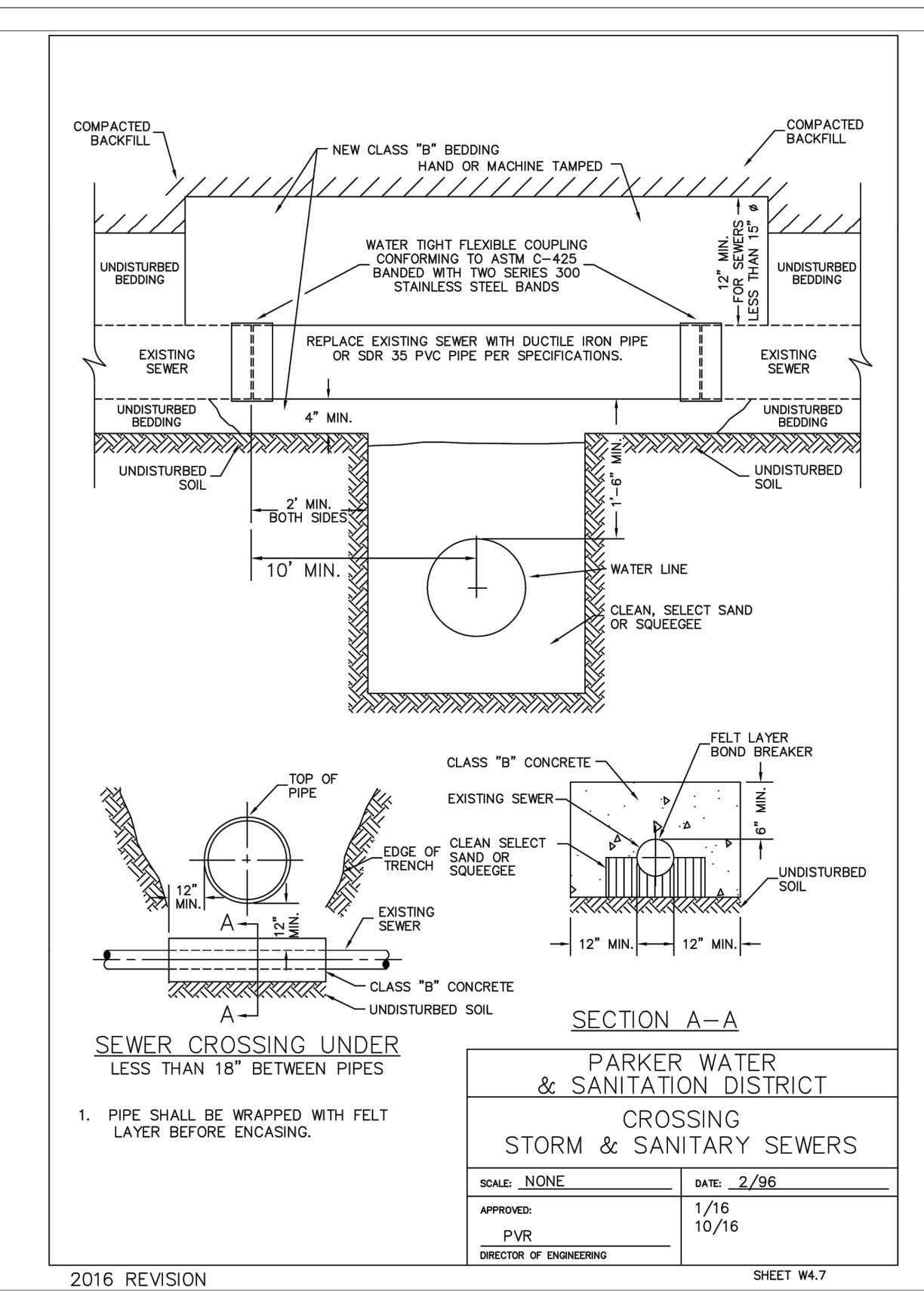
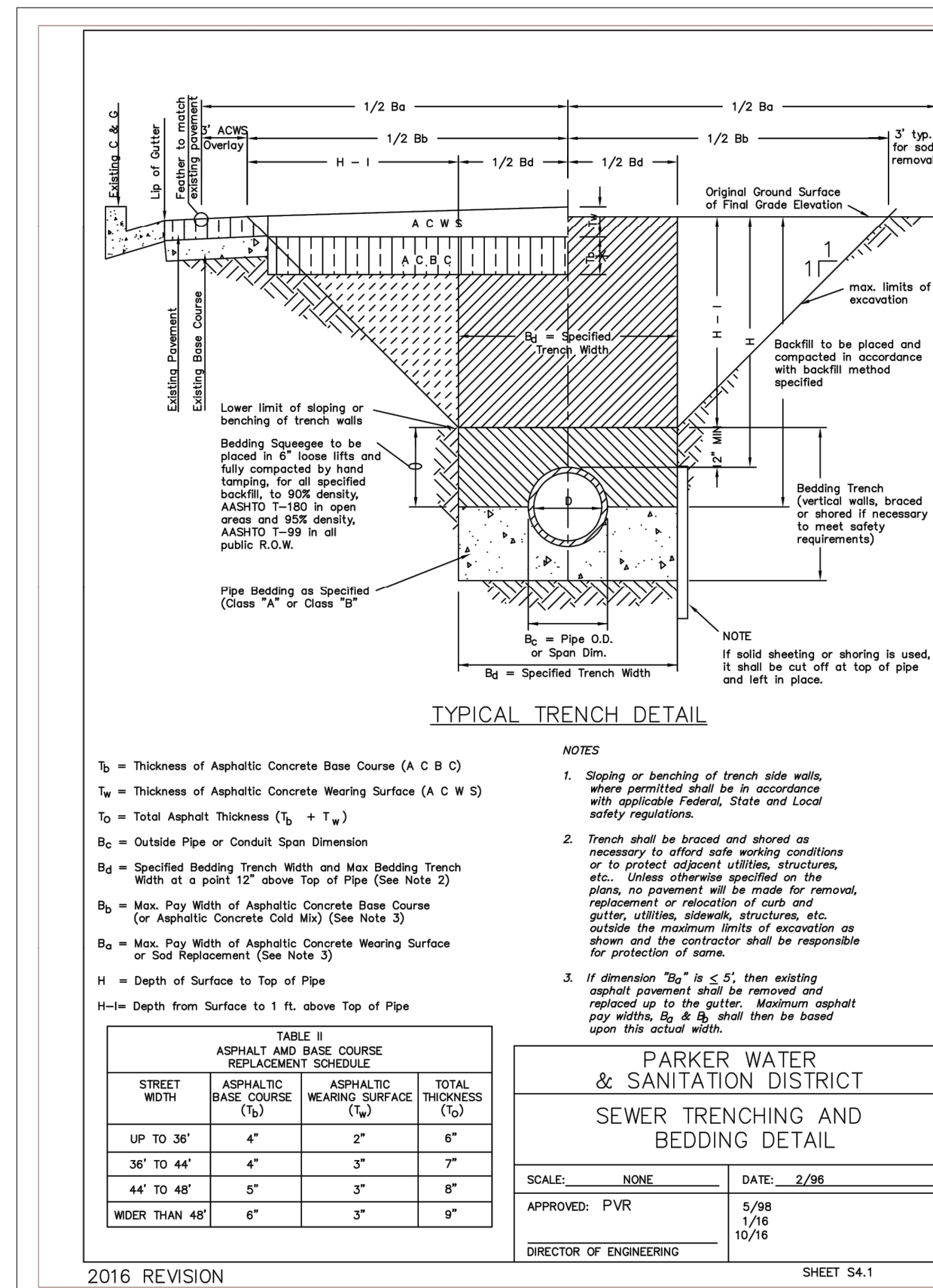
UTILITY DETAILS  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER COLORADO

Galloway

6162 S. Willow Drive, Suite 320  
 Aurora, CO 80011  
 303.710.9844  
 GallowayUSA.com

MURPHY OIL USA, INC.

MURPHY USA  
 200 PEACH STREET  
 EL DORADO, AR 71730



# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



Know what's below.  
Call before you dig.

SHEET NO.  
**C-3.4**

REV-1 07/09/2020 DATE  
JES PM  
KML DES  
KML DRW

**STORM AND SANITARY PLAN**  
MURPHY EXPRESS  
12405 SOUTH PARKER ROAD  
PARKER  
COLORADO

### BASIS OF BEARING

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24660 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

### BENCHMARK

ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN, VERTICAL DATUM IS APPROXIMATELY 2.6± FEET BELOW NAVD 88.

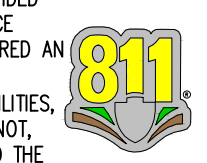
### SITE BENCHMARKS:

SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76

SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

### CAUTION – NOTICE TO CONTRACTOR

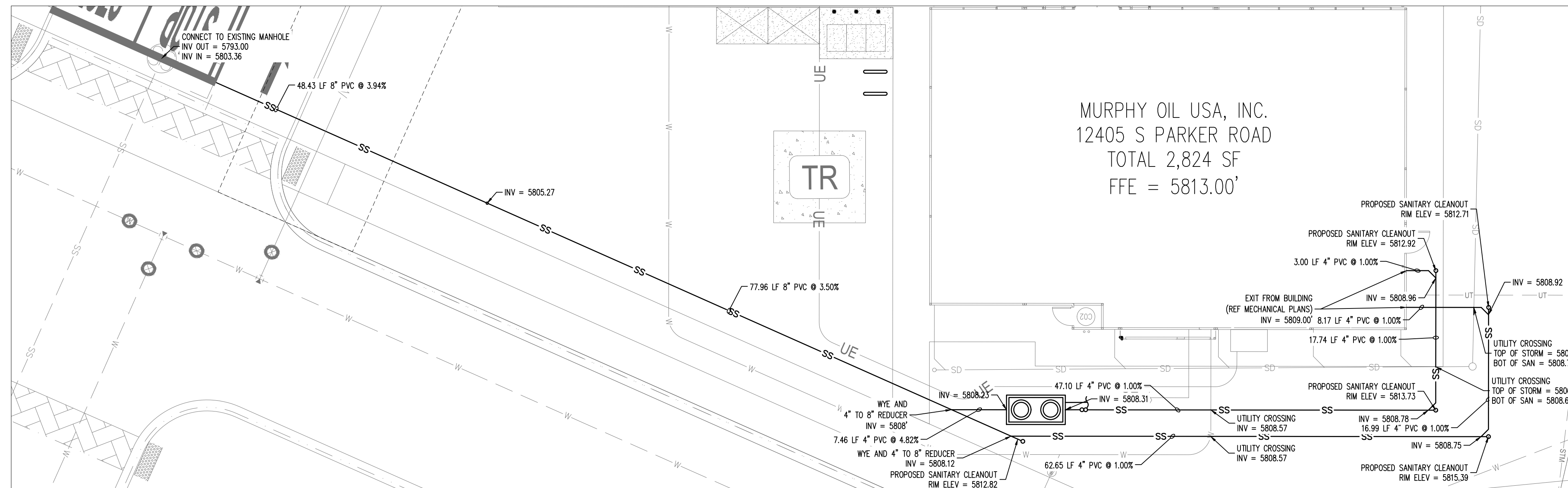
- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



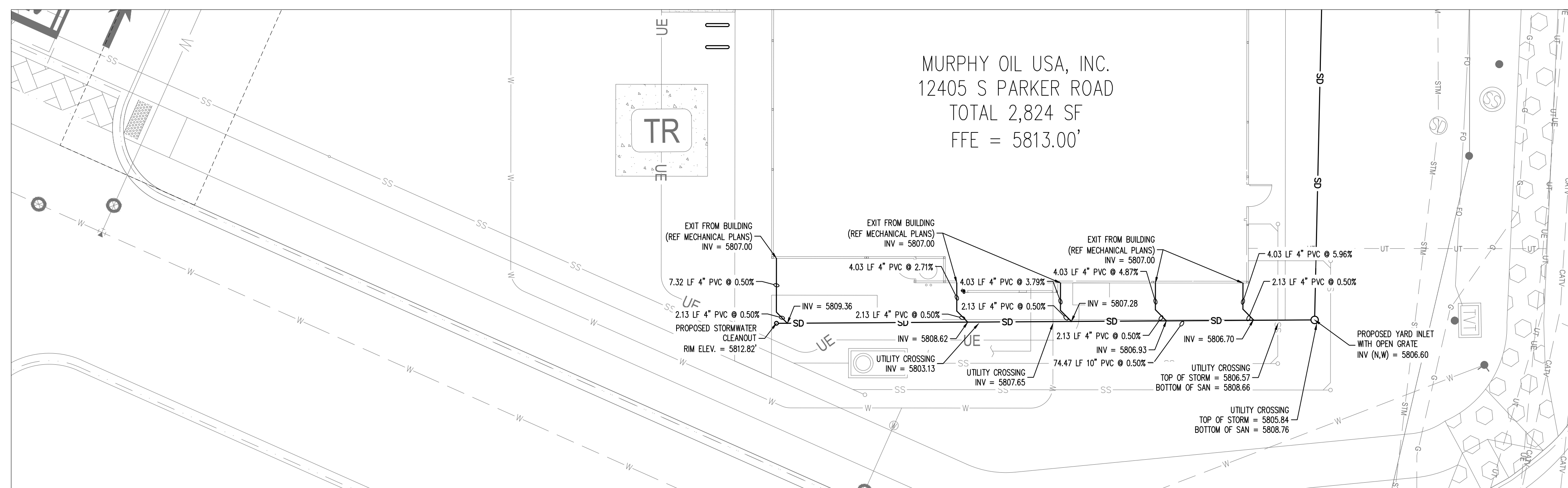
Know what's below.  
Call before you dig.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK; THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.



SANITARY PLAN



STORM PLAN

**Galloway**

6162 S. Willow Drive, Suite 320  
Mesa, AZ 85204  
908.770.8848  
GallowayUS.com

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
EL DORADO, AR 71730

**MURPHY USA**

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

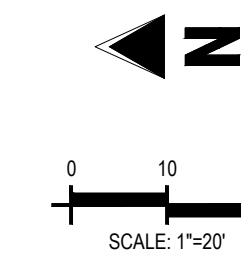
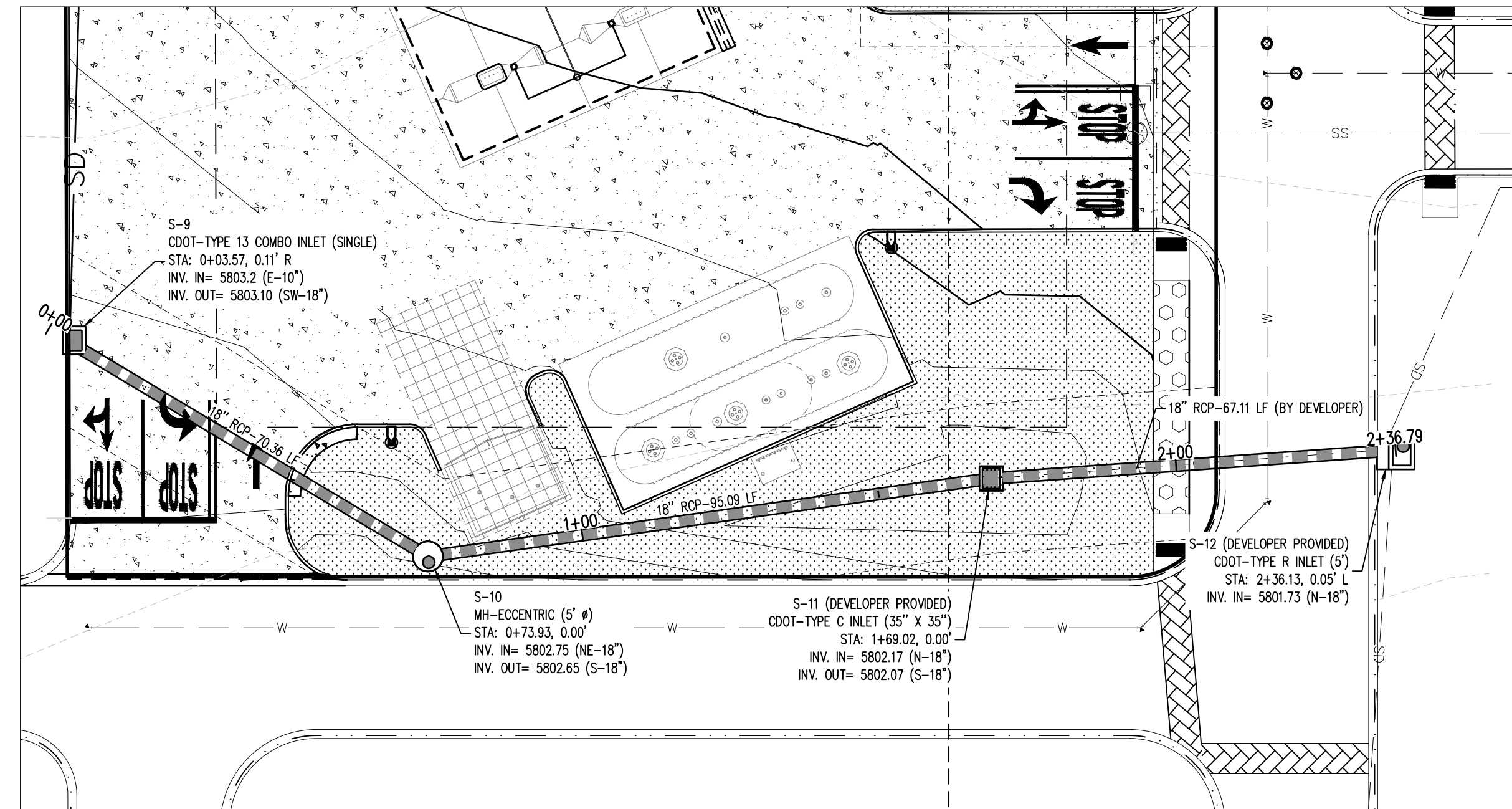
TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



### BASIS OF BEARING

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24960 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20\"/>

### BENCHMARK

ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN. VERTICAL DATUM IS APPROXIMATELY 2.6± FEET BELOW NAVD 88.

### SITE BENCHMARKS:

SITE BENCHMARK #1: #5 REBAR WITH 2\"/>

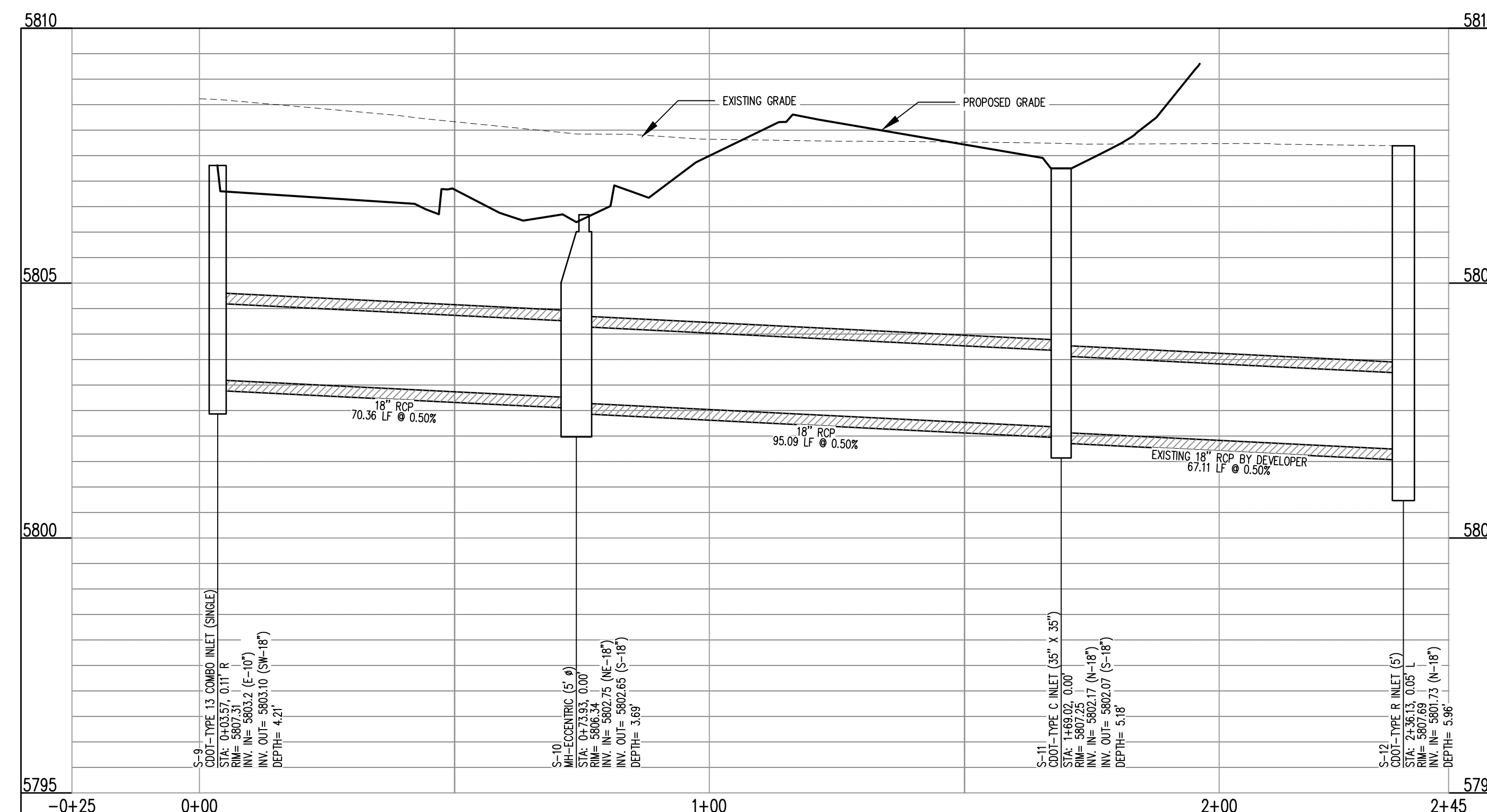
SITE BENCHMARK #2: #5 REBAR WITH 2\"/>

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### UTILITY LEGEND

- w --- EXISTING WATER LINE
- ss --- EXISTING SANITARY SEWER
- ss --- PROPOSED SANITARY SEWER
- ss --- EXISTING STORM SEWER
- ss --- PROPOSED STORM SEWER
- sd --- PROPOSED ROOF DRAIN
- ⊙ PROPOSED MANHOLE
- ⊙ PROPOSED CLEANOUT
- ⊙ EXISTING GATE VALVE
- ⊙ PROPOSED GATE VALVE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ PROPOSED HORIZONTAL BEND
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ EXISTING INLET
- ⊙ PROPOSED INLET



STM ALIGNMENT  
 STA: -0+25 - 2+45  
 SCALE: H: 1"=20' V: 1"=10'

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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

SHEET NO.  
**C-3.5**



REV-1 07/09/2020  
 JES PM  
 KML DES  
 KML DRW  
**STORM PLAN AND PROFILE**  
**MURPHY EXPRESS**  
**12405 SOUTH PARKER ROAD**  
**PARKER COLORADO**



**MURPHY OIL USA, INC.**  
 200 PEACH STREET  
 EL DORADO, AR 71730

**MURPHY USA**