

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN



PROJECT CONTACTS:

RECORD OWNER
 EVI PARKER COLORADO, LLC
 2710 E. CAMELBACK ROAD, SUITE 210
 PHOENIX, AZ 85016
 TEL: (602) 468-6100
 CONTACT: RYAN AMATO

DEVELOPER/APPLICANT
 MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730
 CONTACT: GARY HEGENER

ENGINEER/CONSULTANT
 GALLOWAY & COMPANY, INC.
 6162 S. WILLOW DRIVE, SUITE 320
 GREENWOOD VILLAGE, CO 80111
 TEL: (303) 770-8884
 FAX: (303) 770-3636
 CONTACT: JIM ERWIN-SVOBODA, P.E.
 EMAIL: JIMERWIN@GALLOWAYUS.COM

LANDSCAPE/CONSULTANT
 GALLOWAY & COMPANY, INC.
 6162 S. WILLOW DRIVE, SUITE 320
 GREENWOOD VILLAGE, CO 80111
 TEL: (303) 770-8884
 FAX: (303) 770-3636
 CONTACT: TIM NELSON, RLA, ASLA, CDP
 EMAIL: TIMNELSON@GALLOWAYUS.COM

SURVEYOR
 GALLOWAY & COMPANY, INC.
 1755 TELESTAR DR, SUITE 107
 COLORADO SPRINGS, CO 80920
 TEL: (303) 770-8884
 FAX: (303) 770-3636
 CONTACT: BRIAN DENNIS, PLS
 EMAIL: BRIANDENNIS@GALLOWAYUS.COM

MUNICIPAL & UTILITY CONTACTS:

ENGINEERING
 TOWN OF PARKER – ENGINEERING
 20120 E. MAIN STREET
 PARKER, CO 80138
 TEL: (303) 805-3169
 CONTACT: RANDY CAPRA

STORM SEWER
 TOWN OF PARKER – PUBLIC WORKS
 20120 E. MAIN STREET
 PARKER, CO 80138
 TEL: (303) 840-9546

FIRE
 SOUTH METRO FIRE RESCUE AUTHORITY
 9193 E. MINERAL AVE
 CENTENNIAL, CO 80112
 TEL: (720) 989-2244
 CONTACT: CHIP KERKHOVE

WATER & SANITARY SEWER
 PARKER WATER AND SANITATION DISTRICT
 1800 E. WOODMAN DRIVE
 PARKER, CO 80134
 TEL: (303) 841-4627
 CONTACT: DRAYTON SANDERSON

ENGINEERING
 TOWN OF PARKER – ENGINEERING
 20120 E. MAIN STREET
 PARKER, CO 80138
 TEL: (303) 805-3169
 CONTACT: RANDY CAPRA

ELECTRIC
 INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
 5496 NORTH US HIGHWAY 85
 SEDALIA, CO 80135
 TEL: (303) 688-3100
 CONTACT: AMANDA STEINER

TELEVISION
 COMCAST
 1601 MILE HIGH STADIUM CIRCLE
 DENVER, CO 80204
 EMAIL: DEAN_FLENTHROP@COMCAST.COM
 CONTACT: DEAN FLENTHROP

TELEPHONE
 CENTURYLINK
 1801 CALIFORNIA STREET, SUITE 240
 DENVER, CO 80202
 CONTACT: IZZY MILLER
 EMAIL: IZZY.MILLER@CENTURYLINK.COM

DEVELOPMENT PLAN NOTES

LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

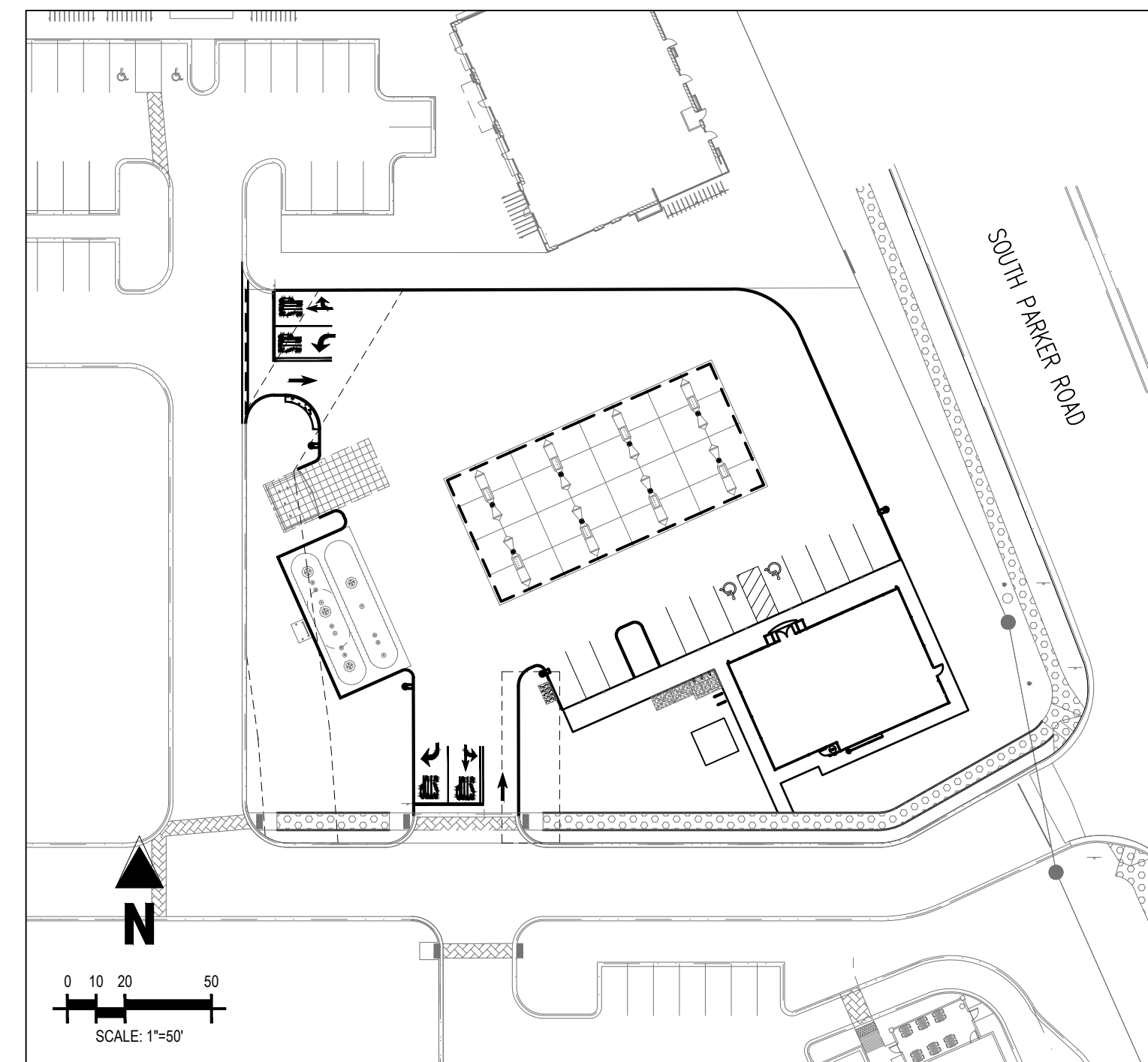
SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGN TRIANGLES AND EASMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDINGS PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.



SITE MAP
 SCALE: 1"=50'



VICINITY MAP
 (NOT TO SCALE)

SHEET NUMBER	DESCRIPTION
C-0.0	COVER SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C-1.1	HORIZONTAL CONTROL PLAN
C-3.5	PHOTOMETRIC PLAN
C-3.6	PHOTOMETRIC DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS & NOTES
A1.1	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.2	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.3	ARCHITECTURAL ELEVATIONS (CANOPY)
1 OF 1	COLORING RENDERING

SITE DATA TABLE

SITE AREA	47,621 SF / 1.09 AC
ZONING	PLANNED DEVELOPMENT – HIGHWAY ORIENTED COMMERCIAL
BUILDING:	SINGLE STORY – 2,824 SF (BUILDING) SINGLE STORY – 4,830 SF (CANOPY)
FAR:	25% MAX. / 16.1% ACTUAL
BUILDING COVERAGE:	50% MAX. / 16.1% ACTUAL
OPEN SPACE:	15% MIN. / 30.6% ACTUAL (16,839 SF LANDSCAPED AREA)
BUILDING SETBACK:	25' PUBLIC R.O.W. 25' SIDE & REAR
BUILDING HT:	45' MAX. / 18.5' ACTUAL
CAR PARKING:	12 REQUIRED / 12 SPACES (INCLUDES 2 ADA) PROVIDED
BICYCLE PARKING:	2 REQUIRED / 2 PROVIDED

SHEET NO.
C-0.0

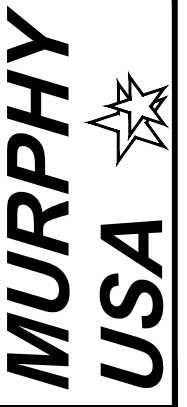
COVER SHEET
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER
 COLORADO

Galloway

6162 S. Willow Drive, Suite 320
 Greenwood Village, CO 80111
 303.770.8884
 GallowayUS.com

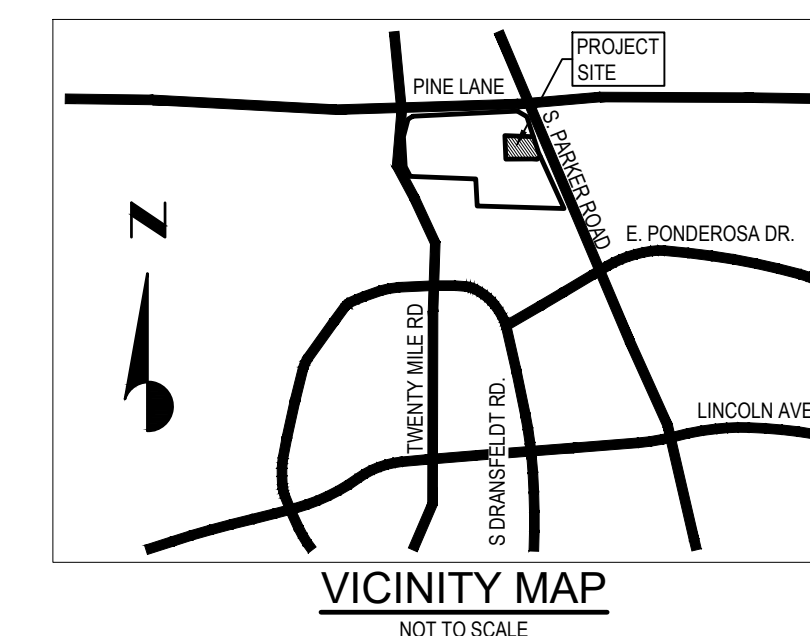
MURPHY OIL USA, INC.

200 PEACH STREET
 EL DORADO, AR 71730



ALTA/NSPS LAND TITLE SURVEY

A PORTION OF LOT 1 BLOCK 3, PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO.



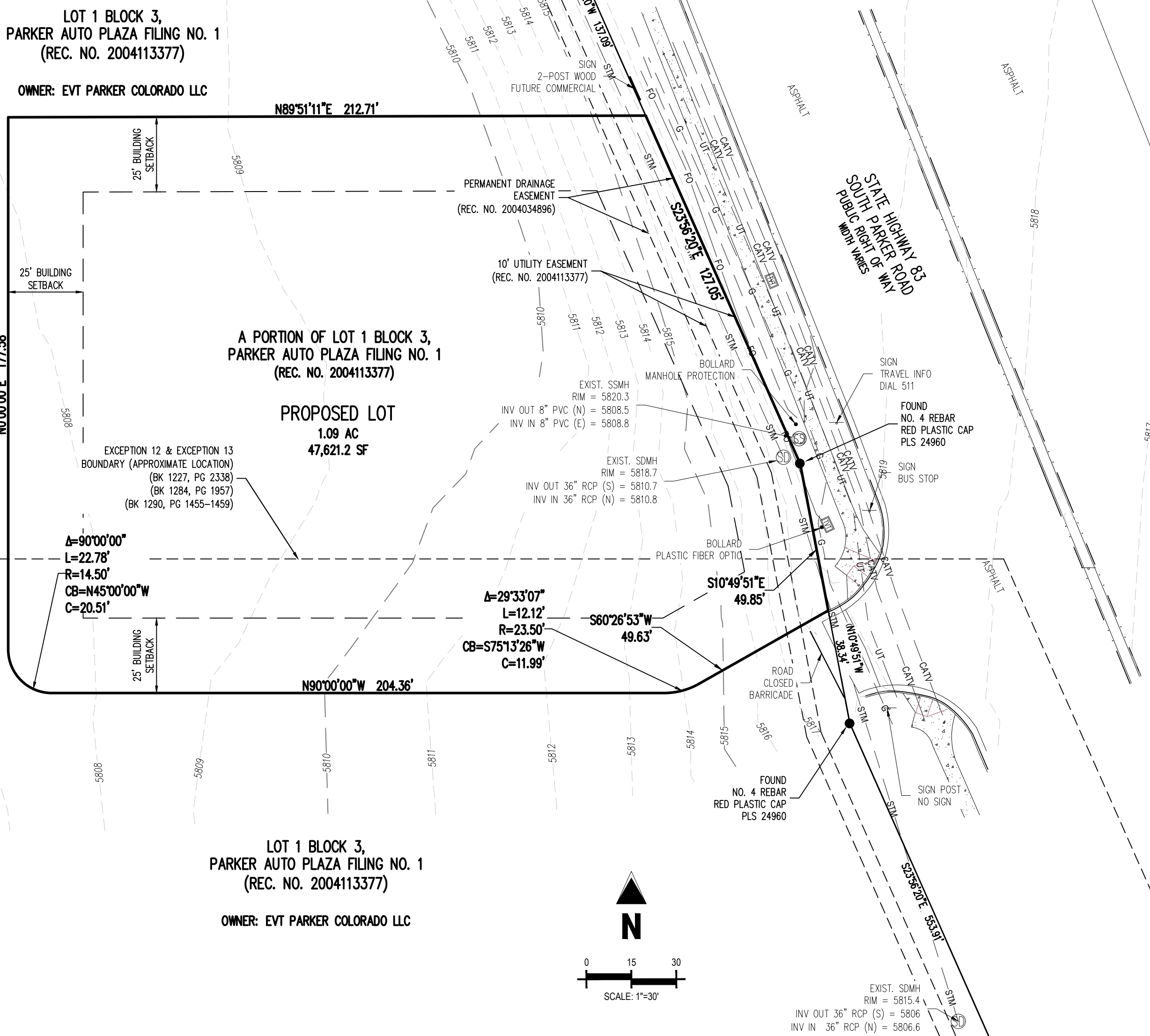
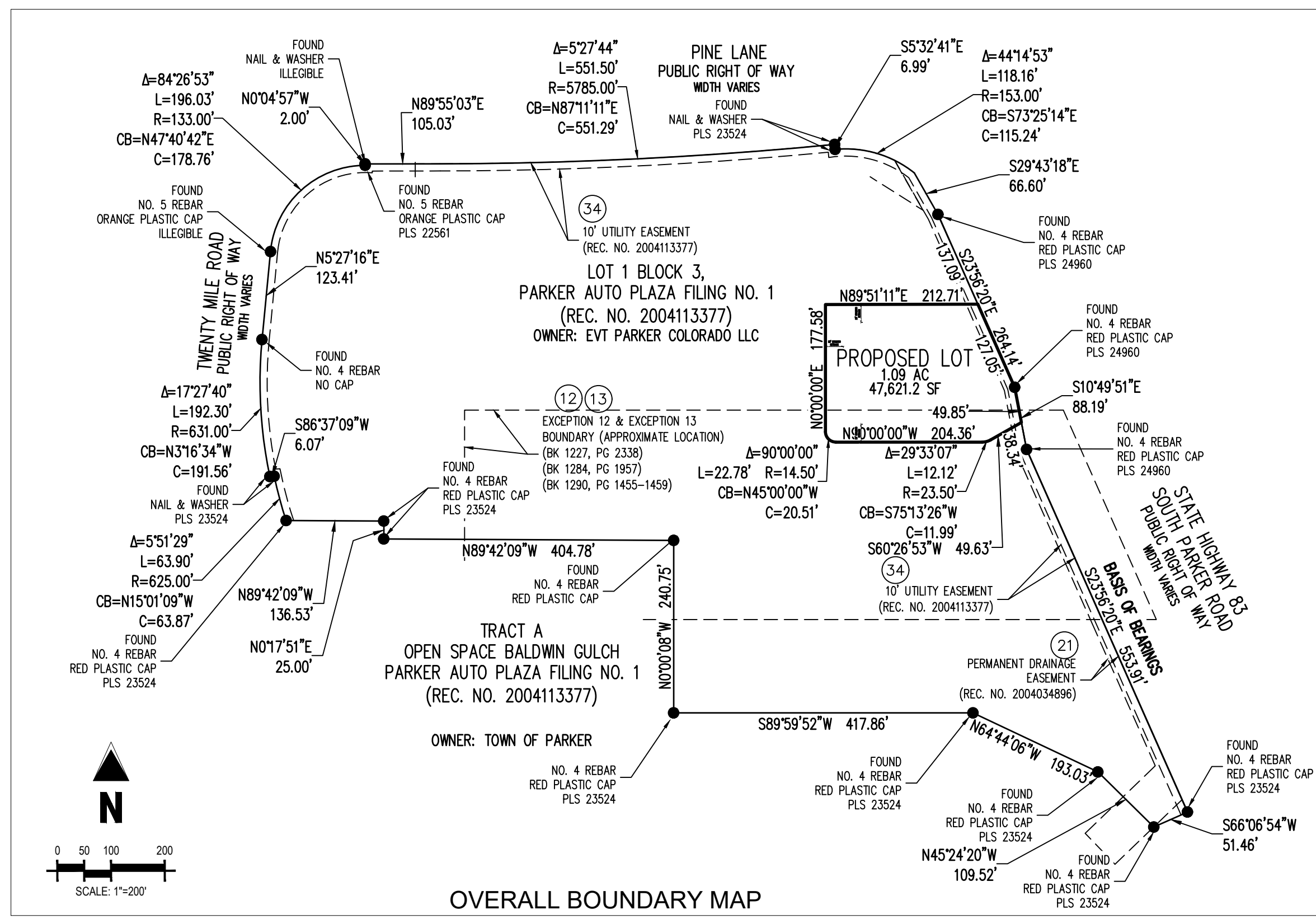
TITLE COMMITMENT/REPORT INFORMATION

THIS MAP DOES NOT REPRESENT A TITLE SEARCH BY GALLOWAY & COMPANY, INC. TO DETERMINE OWNERSHIP OR THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT OF WAY OR TITLE THEREOF, GALLOWAY & COMPANY, INC. RELIED UPON THE INFORMATION OR TITLE COMMITMENT/REPORT PROVIDED AT THE TIME OF SURVEY BY THE CLIENT.

TITLE COMMITMENT PROVIDED BY CLIENT AND PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-889354-CHAR, WITH AN EFFECTIVE DATE OF FEBRUARY 01, 2018 AT 5:00 P.M.

- ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS, BUT WHICH COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF.
(NONE OBSERVED AT TIME OF SURVEY, EXCEPT AS SHOWN)
- EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS.
(NONE OBSERVED AT TIME OF SURVEY, EXCEPT AS SHOWN)
- DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, AND ANY FACTS WHICH A CORRECT SURVEY AND INSPECTION OF THE LAND WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.
(NONE OBSERVED AT TIME OF SURVEY, EXCEPT AS SHOWN)
- ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN IN THE PUBLIC RECORDS.
(NOT SURVEY RELATED)
- ANY AND ALL UNPAID TAXES, ASSESSMENTS AND UNREDEEMED TAX SALES.
(NOT SURVEY RELATED)
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
(NOT SURVEY RELATED)
- THE RIGHT OF A PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES, AS RESERVED IN UNITED STATES PATENT RECORDED MARCH 22, 1892 IN BOOK P AT PAGE 113.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- RIGHT-OF-WAY GRANTED TO THE COLORADO TELEPHONE COMPANY IN DEED RECORDED DECEMBER 19, 1905 IN BOOK 34 AT PAGE 339 AND ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY IN DEED RECORDED JULY 31, 1911 IN BOOK 39 AT PAGE 547.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- RESERVATION OF AN UNDIVIDED ONE-HALF INTEREST IN OIL, GAS AND OTHER MINERALS AS RESERVED IN DEED RECORDED JANUARY 3, 1953 IN BOOK 108 AT PAGE 164, AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, DOCUMENT IS ILLEGIBLE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENT DEED TO THE PARKER WATER AND SANITATION DISTRICT RECORDED MARCH 13, 1973 IN BOOK 243 AT PAGE 418.
(PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- RIGHT-OF-WAY, WHETHER IN FEE OR EASEMENT ONLY, FOR SANITARY SEWER PIPELINE AND INCIDENTAL PURPOSES, AS GRANTED TO PARKER WATER AND SANITATION DISTRICT, BY THE EASEMENT DEED RECORDED MARCH 15, 1973 IN BOOK 243 AT PAGE 521.
(PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE PARKER WATER AND SANITATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 1, 1994 IN BOOK 1227 AT PAGE 2338.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, PLOTTED HEREON)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE NON-TRIBUTARY GROUND WATER CONSENT LAND OWNERSHIP STATEMENT RECORDED AUGUST 30, 1995 IN BOOK 1284 AT PAGE 197, AND SEPTEMBER 27, 1995 IN BOOK 1290 AT PAGES 1455, 1457 AND 1458.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, PLOTTED HEREON)
- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE PARKER WATER AND SANITATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 2, 1984 IN BOOK 545 AT PAGE 540.
(PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE LANDOWNERSHIP AFFIDAVIT AND CONSENT TO APPROPRIATE, USE OR CLAIM GROUNDWATER RECORDED SEPTEMBER 20, 1985 IN BOOK 596 AT PAGE 193.
(PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE FINDINGS, JUDGMENT AND DECREE CONCERNING THE APPLICATION FOR APPROVAL OF PLAN FOR AUGMENTATION RECORDED AUGUST 4, 1987 IN BOOK 1452 PAGE 926.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, NO CLEARLY DEFINED AREA, THE DOCUMENT CALLS OUT LOCATIONS OF WELL LOCATIONS, NONE ARE SHOWN WITHIN THE PROPOSED LOT)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. R-82-34 RECORDED APRIL 28, 1982 IN BOOK 440 AT PAGE 204 AND RE-RECORDED FEBRUARY 8, 1983 IN BOOK 465 AT PAGE 324.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CHERRY CREEK BASIN AUTHORITY, AS EVIDENCED BY INSTRUMENT RECORDED MAY 6, 1998 IN BOOK 790 AT PAGE 718.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE STANDARD AVIATION AND HAZARD EASEMENT IN FAVOR OF THE ARAPAHOE COUNTY PUBLIC AIRPORT AUTHORITY RECORDED SEPTEMBER 6, 2001 IN BOOK 2124 AT PAGE 522.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ORDINANCE NO. 3.1939 RECORDED APRIL 5, 2002 IN BOOK 2304 AT PAGE 1651.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE DRAINAGE EASEMENT AGREEMENT BY AND BETWEEN PARKER AUTOMOTIVE PLAZA, LLP AND THE TOWN OF PARKER RECORDED APRIL 7, 2004 AT RECEPTION NO. 2004034896.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, PLOTTED HEREON)
- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE PARKER AUTOMOTIVE METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENTS RECORDED JUNE 28, 2004 AT RECEPTION NO. 2004066836 AND MAY 21, 2004 AT RECEPTION NO. 2004052371.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, DOCUMENT PARCEL B & PARCEL C COVER THE PROPOSED LOT, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE DEVELOPMENT PLAN RECORDED MARCH 19, 2004 AT RECEPTION NO. 2004027563.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENT AGREEMENT RECORDED JULY 26, 2004 AT RECEPTION NO. 2004077572.
(PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)

- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE EASEMENT AGREEMENT RECORDED FEBRUARY 11, 2003 AT RECEPTION NO. 2003018240.
(PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE EASEMENT AGREEMENT RECORDED FEBRUARY 11, 2003 AT RECEPTION NO. 2003018241.
(PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ORDINANCE NO. 2.187 RECORDED MAY 10, 2007 AT RECEPTION NO. 2007038423, AND MAY 11, 2007 AT RECEPTION NO. 2007038637.
(PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION, AREA ADDED IS OUTSIDE PROPOSED LOT, BUT IS ADDED TO THE TOTAL ANNEXATION ORDINANCE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ORDINANCE NO. 3.1932 RECORDED MAY 10, 2007 AT RECEPTION NO. 2007038425.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE WATER RIGHTS DECREE WITH PARKER WATER AND SANITATION DISTRICT RECORDED JULY 3, 2006 AT RECEPTION NO. 2006065619.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, NO CLEARLY DEFINED AREA, EXHIBIT WITHIN THE DOCUMENT SHOWS WELL LOCATIONS, NONE ARE SHOWN WITHIN THE PROPOSED LOT)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ORDINANCE NO. 3.1933, SERIES OF 2009 RECORDED APRIL 27, 2009 AT RECEPTION NO. 2009030058.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE PARKER AUTO PLAZA - DEVELOPMENT PLAN RECORDED APRIL 27, 2009 AT RECEPTION NO. 2009030059.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- COVENANTS, CONDITIONS, RESTRICTIONS, PROVISIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR PARKER AUTO PLAZA RECORDED APRIL 11, 2005 AT RECEPTION NO. 2005031889, AND AMENDMENT THERETO RECORDED AUGUST 12, 2014 AT RECEPTION NO. 2014045411, BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN, AND ANY AND ALL AMENDMENTS, ASSIGNMENTS, OR ANNEXATIONS THERETO.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE SUBDIVISION AGREEMENT RECORDED NOVEMBER 4, 2004 AT RECEPTION NO. 2004113378, AND FIRST AMENDMENT THERETO RECORDED FEBRUARY 27, 2006 AT RECEPTION NO. 2006016153. NOTE: AFFIDAVIT OF FACT AFFECTING REAL PROPERTY IN CONNECTION THEREWITH RECORDED JANUARY 12, 2015 AT RECEPTION NO. 2015001808.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF PARKER AUTO PLAZA FILING NO. 1, RECORDED NOVEMBER 4, 2004 AT RECEPTION NO. 2004113377.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, PLOTTABLE ITEMS SHOWN HEREON)
- AN EASEMENT FOR SLOPE AND INCIDENTAL PURPOSES GRANTED TO TOWN OF PARKER, AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 7, 2004 AT RECEPTION NO. 2004034894.
(PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE IMPACT AREA AGREEMENT RECORDED OCTOBER 31, 2002 AT RECEPTION NO. 2002115436, NOTICE OF EXTENSION OF IMPACT AREA AGREEMENT RECORDED SEPTEMBER 10, 2009 AT RECEPTION NO. 2009071747, AND SECOND AMENDMENT TO IMPACT AREA AGREEMENT AND SECOND NOTICE OF EXTENSION RECORDED AUGUST 25, 2016 AT RECEPTION NO. 2016057577.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE EXTENSION FEE ASSIGNMENT AGREEMENT RECORDED MAY 12, 2016 AT RECEPTION NO. 2016029488, AND AMENDED AND RE-STATEMENT CONSTRUCTION CHARGES AND EXTENSION FEE ASSIGNMENT AGREEMENT RECORDED MAY 12, 2016 AT RECEPTION NO. 2016029489.
(PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- EXISTING LEASES AND TENANCIES.
(NOT SURVEY RELATED)



PROPERTY DESCRIPTION

A PORTION OF LOT 1 BLOCK 3, PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO.

GENERAL NOTES

- ACCESS TO THE PROPERTY IS OBTAINED FROM A CURB CUT ON SOUTH PARKER ROAD FROM THE EAST
- FIELD WORK WAS COMPLETED ON: APRIL 2, 2019.
- UTILITY NOTE: THE LOCATION OF UTILITIES SHOWN HEREON WAS ESTABLISHED FROM SURFACE EVIDENCE, EXISTING UTILITY MARKERS AND UTILITY LOCATES FROM A UTILITY CONTRACTOR. THE EXACT LOCATION OF BURIED UTILITIES IS UNCERTAIN. PRIOR TO ANY EXCAVATION THE CONTRACTOR SHOULD CONTACT THE UTILITY NOTIFICATION CENTER. THE SURVEYOR MAKES NO GUARANTEE EITHER EXPRESSED OR IMPLIED THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION DEPICTED ALTHOUGH THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS MAP OR PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED IN THE SURVEYOR'S STATEMENT HEREON. SAID STATEMENT DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS RE-STATEMENT BY THE SURVEYOR.
- PER THE FEMA FLOOD INSURANCE RATE MAPS (FIRM), MAP NO. 08035C0067G, HAVING AN MAP REVISED DATE OF MARCH 16, 2016, INDICATES THE SUBJECT PROPERTY TO BE DESIGNATED AS ZONE X (OUTSIDE 0.2% CHANCE OF FLOOD). THIS SURVEY MAKES THIS STATEMENT BY GRAPHIC PLOTTING ONLY. THE SURVEYOR RECOMMENDS A FLOOD STUDY IF MORE INFORMATION IS REQUIRED.
- ALL LINEAL MEASUREMENTS SHOWN ARE GROUND DISTANCES AND U.S. SURVEY FEET.
- EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED ON THIS SURVEY WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESTRICTIONS, EXCLUSIONS, CONDITIONS, OBLIGATIONS, TERMS OR AS THE RIGHT TO GRANT THE SAME.
- CAUTION: THE SURVEYOR PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. ALL CHANGES TO THIS EXHIBIT MUST BE APPROVED IN WRITING BY THE SURVEYOR IN CHARGE.
- SITE WAS VACANT AT THE TIME OF SURVEY.
- THERE WAS NO OBSERVABLE EVIDENCE OR CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF SURVEY.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WERE DISCOVERED AT THE TIME OF SURVEY.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. C.R.S. 13-80-105(3)(A).
- THERE WERE NO PARKING LOTS OR SPACES ON THIS SITE AT TIME OF SURVEY.
- THERE WERE NO FIELD DELINEATION OF WETLANDS OBSERVED AT THE TIME OF SURVEY.
- THERE WERE NO BUILDINGS OR PARTY WALLS ON SITE AT TIME OF SURVEY.
- OFFSITE EASEMENTS THAT BENEFIT THE SUBJECT PROPERTY ARE SHOWN HEREON.
- NO ZONING REPORT PROVIDED BY THE CLIENT AT TIME OF SURVEY.
- PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST, BUT THIS ITEM SHALL NOT BE ADDRESSED ON THE FACE OF THE PLAT OR MAP.
- PARCEL IS ZONED IS "PLANNED DEVELOPMENT- COMMERCIAL (PD-C)", INFORMATION PROVIDED BY OTHERS
- FOR LOTS WHICH ABUT PARKER RD., THE FRONT YARD SETBACK, AND AT LEAST ONE (1) SIDE YARD SETBACK SHALL BE CONSIDERED A "BUILD-TO" LINES. AT LEAST THREE POINTS OF THE BUILDING MUST TOUCH THIS SETBACK LINE, AND AT LEAST 30% OF THE BUILDING FOOTPRINT AREA MUST BE WITHIN 40 FT. OF THE SETBACK LINE. INFORMATION PROVIDED BY OTHERS

BASIS OF BEARINGS

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24960 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S21°56'20"E, A DISTANCE OF 553.91 FEET.

BENCHMARK

ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: DRAIN, BEING A BRASS DISK LOCATED AT 125 FEET SOUTH OF THE CENTERLINE OF A DRIVEWAY 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
 ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

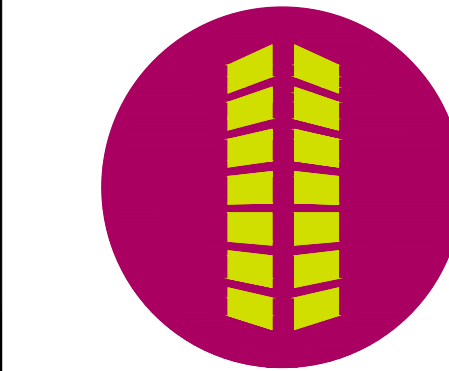
SURVEYOR'S CERTIFICATE:

TO: MURPHY OIL USA, INC., A DELAWARE CORPORATION AND FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEY, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(B), 7(A), 7(B), 7(C), 8, 9, 10(A), 11, 13, 14, 16, 17, 18, 19, AND 20 OF TABLE A THEREOF.

BRIAN J. DENNIS
 COLORADO PROFESSIONAL LAND SURVEYOR NO. 38069
 PROJECT NO: M00000610
 FOR AND ON BEHALF OF GALLOWAY & COMPANY, INC.

6162 S. Willow Drive, Suite 320
 Greenwood Village, CO 80111
 303.770.8884
 gallowayus.com



ALTA/NSPS LAND TITLE SURVEY
 A PORTION OF LOT 1 BLOCK 3, PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10,
 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO
 ADDRESS: 12405 SOUTH PARKER ROAD, PARKER, COLORADO

#	Date	Issue / Description	Init.
1	04/16/19	ADD SETBACKS & ZONING	BWD
2	04/01/20	REVISE PLS	BJD

Project No:	M00000610
Drawn By:	BWD/BC/EVH
Checked By:	BWD/BJD
Date:	2019-04-10

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

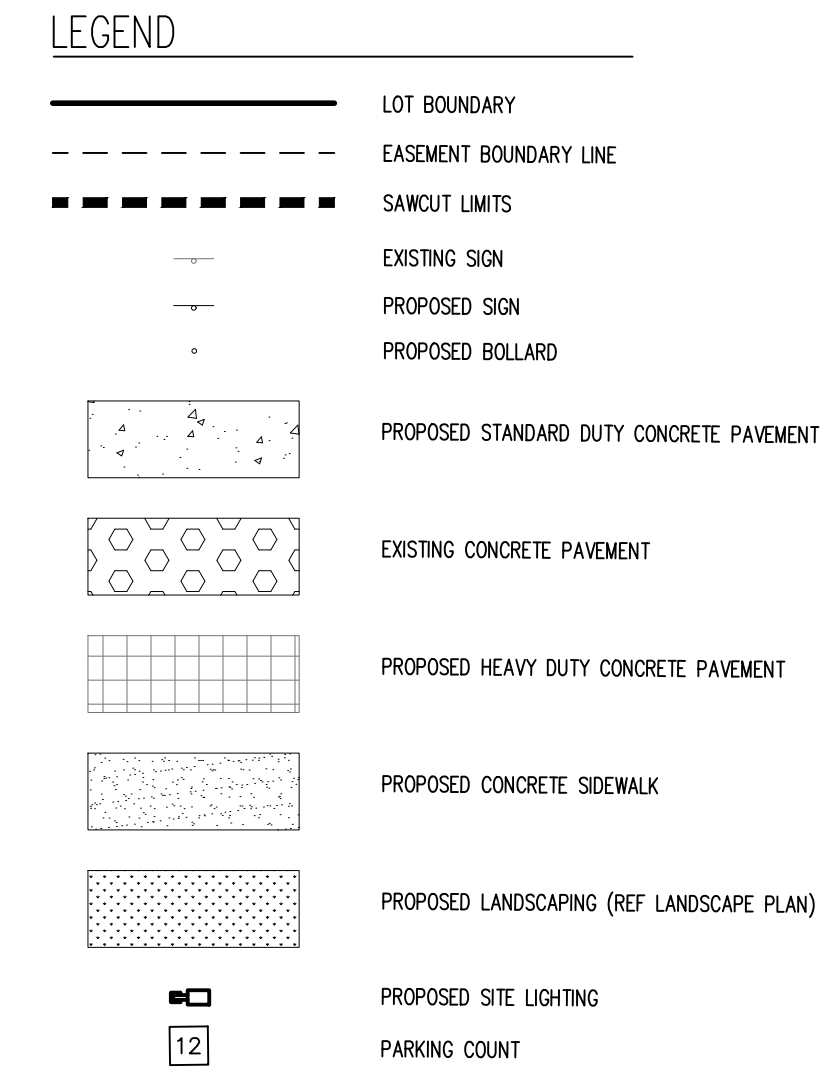
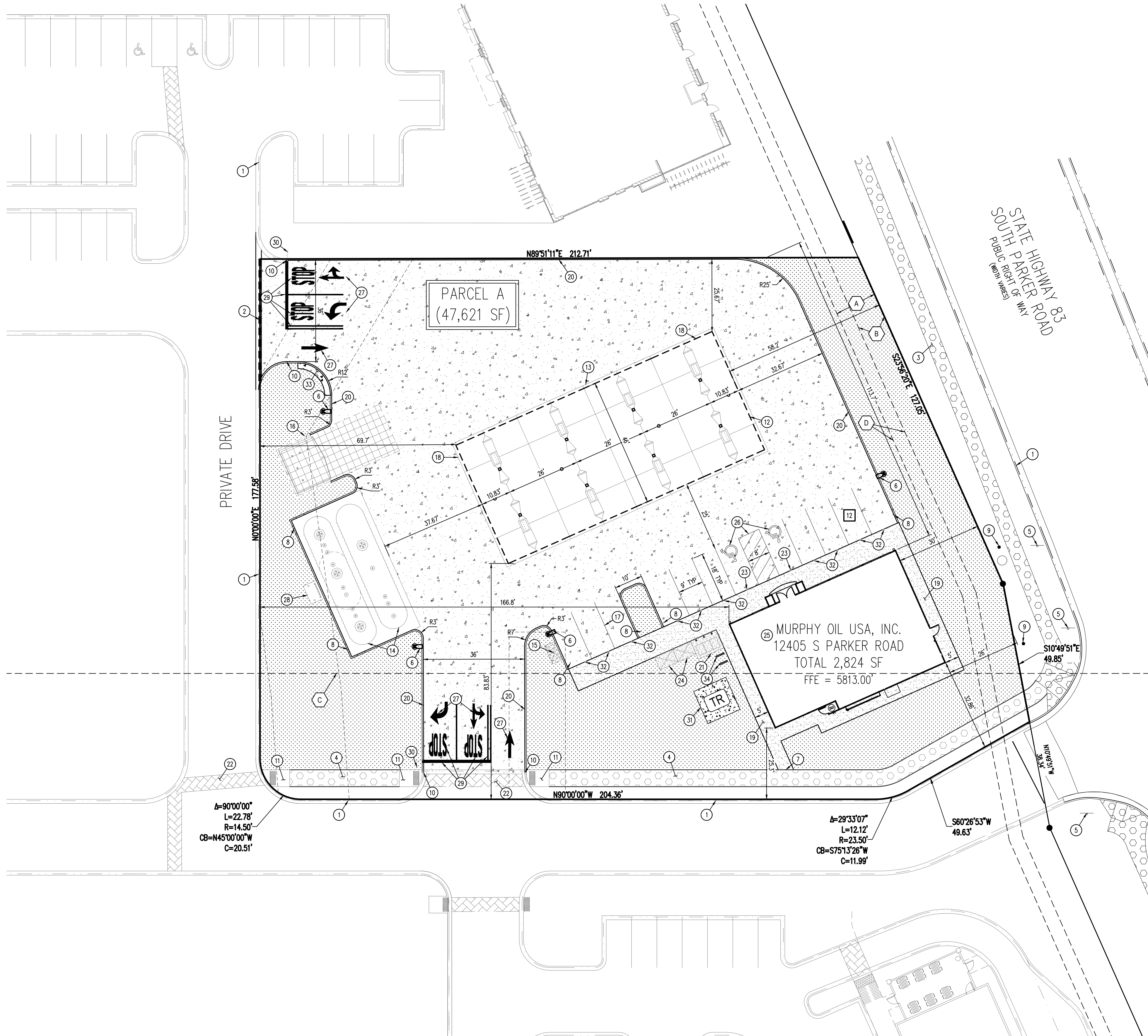
A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN



Know what's below.
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SHEET NO.
C-1.1



- EASEMENT SCHEDULE**
- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
 - (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
 - (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
 - (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047
- SCHEDULE**
- (1) EXISTING CURB AND GUTTER TO REMAIN
 - (2) SAWCUT EXISTING ASPHALT AT NEW DRIVEWAY ACCESS
 - (3) EXISTING CONCRETE SIDEWALK TO REMAIN
 - (4) PROPOSED AS PART OF MDP CONCRETE SIDEWALK INSTALLED BY DEVELOPER
 - (5) EXISTING SIGN TO REMAIN
 - (6) PROPOSED SITE LIGHT
 - (7) CONNECTION TO EXISTING SIDEWALK
 - (8) CURB TRANSITION
 - (9) EXISTING BOLLARD TO REMAIN
 - (10) PROPOSED CURB TO MATCH EXISTING
 - (11) PROPOSED AS PART OF MDP CONCRETE RAMP INSTALLED BY DEVELOPER
 - (12) PROPOSED OVERHEAD CANOPY
 - (13) EDGE OF CONCRETE SLAB UNDERNEATH THE CANOPY
 - (14) PROPOSED UNDERGROUND STORAGE TANKS
 - (15) PROPOSED AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB
 - (16) PROPOSED 6' TALL TRASH ENCLOSURE
 - (17) PROPOSED PARKING STALL STRIPING
 - (18) PROPOSED PRICE SIGN PER APPROVED ELEVATION
 - (19) PROPOSED SIDEWALK PER MURPHY STANDARDS
 - (20) PROPOSED INTEGRAL CONCRETE CURB
 - (21) PROPOSED 7'X10' CONCRETE SLAB FOR PROPANE TANKS
 - (22) PROPOSED AS PART OF MDP STAMPED CONCRETE CROSSWALK INSTALLED BY DEVELOPER
 - (23) PROPOSED ACCESSIBLE/VAN ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
 - (24) PROPOSED 5'X7' CONCRETE PAD (2 TOTAL) FOR ICE UNIT
 - (25) PROPOSED 2,824 SQUARE FOOT MURPHY EXPRESS KIOSK
 - (26) PROPOSED ACCESSIBLE PARKING SYMBOLS AND STRIPING
 - (27) PROPOSED DIRECTIONAL TRAFFIC FLOW ARROW
 - (28) PROPOSED REMOTE TANK VENTS
 - (29) PROPOSED "STOP" BAR, LANE STRIPING, AND "STOP" LETTERING
 - (30) PROPOSED "STOP" SIGN
 - (31) PROPOSED CONCRETE TRANSFORMER PAD
 - (32) PROPOSED SINGLE GUARD POST
 - (33) PROPOSED 2' WIDE CONCRETE BUFFER
 - (34) PROPOSED BICYCLE RACK (2 SPOTS)

BENCHMARK
 ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN. VERTICAL DATUM IS APPROXIMATELY 2.64 FEET BELOW NAVD 88.

SITE BENCHMARKS:
 SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76
 SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

BASIS OF BEARING
 BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24980 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

CAUTION – NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD, REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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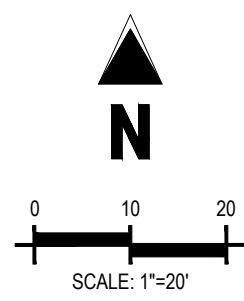
TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

REV-1 07/09/2020 DATE PRN PM JES KML KML DRW
HORIZONTAL CONTROL PLAN
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER COLORADO

Galloway
 6162 S. Willow Drive, Suite 320
 Englewood, CO 80111
 303.770.8844
 GallowayUS.com

MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

MURPHY USA



PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

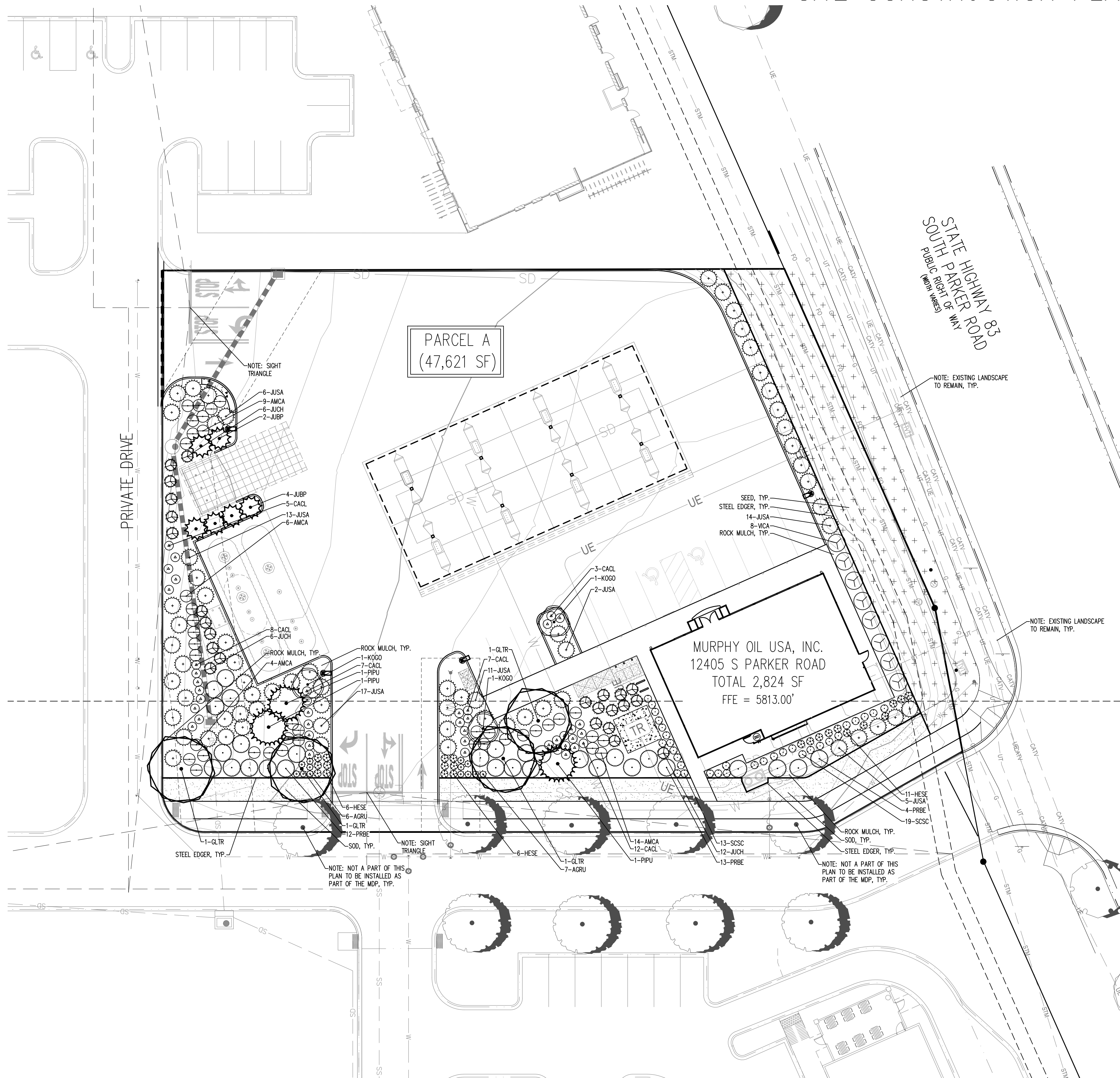
SITE CONSTRUCTION PLANS



Know what's below.
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SHEET NO.

L1.1



LANDSCAPE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA	55,106 SF	15% MIN. OF TOTAL SITE AREA (8,265 SF TOTAL SITE)	8,265 SF REQUIRED	16,839 SF PROVIDED (306% OF TOTAL SITE AREA)
REQUIRED LANDSCAPING	8,265 SF	1 TREE AND 5 SHRUBS PER 1,500 SF OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING	6 TREES 28 SHRUBS	6 TREES 28 SHRUBS
SITE PERIMETER LANDSCAPING		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE		
WEST PERIMETER	173' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	5 TREES / 22 SHRUBS
SOUTH PERIMETER	218' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	6 TREES / 27 SHRUBS
EAST PERIMETER	176' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	4 TREES / 22 SHRUBS
NORTH PERIMETER	212' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	9 TREES / 77 SHRUBS (SHRUBS IN-LEU OF TREES)

NOTE: MULTIPLE UTILITY CONFLICTS EXIST ON SITE TO ACHIEVE THE SITE PERIMETER LANDSCAPING REQUIREMENT. TREES HAVE BEEN SPREAD OUT ACROSS THE SITE AND SUBSTITUTED FOR SHRUBS TO ACHIEVE THE SITE PERIMETER LANDSCAPING FOR THE EAST PROPERTY LINE.

NOTE: TEN SHRUBS MAY BE SUBSTITUTED FOR ONE TREE. ONE ORNAMENTAL GRASS IN A FIVE-GALLON CONTAINER OR THREE ORNAMENTAL GRASSES IN A ONE-GALLON CONTAINER MAY BE SUBSTITUTED FOR ONE SHRUB.

NOTE: STREETSCAPE LANDSCAPING BY MDP.

PLANTING LEGEND

QTY	LEGEND	ABBREV. BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE (V,L,M,H)	WATER USE	SUN/SHADE
DECIDUOUS TREES							
4	GLTR	QLEDTSIA TRICANTHOS 'INERMIS'	SHADEMASTER HONEYLOCUST	2.5' CAL. B&B	50'X25'	L	SUN
EVERGREEN TREES							
3	PIPU	PICEA PUNGENS 'BAKER'	BAKERI SPRUCE	8' HEIGHT B&B	30X10'	M	SUN
ORNAMENTAL TREES							
3	KOGO	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1.5' CAL. B&B	30'X25'	L	SUN
UPRIGHT JUNIPERS							
6	JUBP	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5 CONT. 3' HEIGHT	12'X6'	VL	SUN/PART SHADE
DECIDUOUS SHRUBS							
40	AMCA	AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN
37	CACL	CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	#5 CONT. 18-24"	3'X3'	VL	SUN
29	PRBE	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5 CONT. 18-24"	18'X6'	VL	SUN
8	VICA	VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	#5 CONT. 18-24"	6'X6'	M	SUN
EVERGREEN SHRUBS							
24	JUCH	JUNIPERUS CHINENSIS 'ARMSTRONG'	ARMSTRONG JUNIPER	#5 CONT. 18-24"	4'X4'	VL	SUN
67	JUSA	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#5 CONT. 18-24"	12'X6'	VL	SUN/PART SHADE
ORNAMENTAL GRASSES							
23	HESE	HELICOTRICHON SEMPERVIRENS	BLUE AVENA	#3 CONT. 2.5'X2.5'		VL	SUN/PART SHADE
32	SC3C	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#3 CONT. 3'X2'		VL	SUN
PERENNIALS							
13	AGRU	AGASTACHE RUPESTRIS 'SUNSET'	SUNSET HYSSOP	#1 CONT. 30'X24"		VL	SUN
SEED							
4,500 S.F.		TOWN OF PARKER SEED MIX 1	TOWN OF PARKER SEED MIX 1	SEED		L	
SOD							
1,770 S.F.		FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)	SOD		M	
MULCH							
8,260 S.F.		ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	MULCH		N/A	
AS NEEDED		WOOD MULCH	DARK BROWN SHREDDED HARDWOOD MULCH	MULCH		N/A	
EDGING							
420 L.F.		STEEL EDGING	BLACK STEEL EDGING. SEE LANDSCAPE NOTES	EDGING		N/A	

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

REV-0 03/16/2020 DATE PRN PM DES DRW
 LANDSCAPE PLAN
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER COLORADO

Galloway
 6162 S. Willow Drive, Suite 320
 Aurora, CO 80011
 303.770.9848
 GallowayUS.com

MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730
MURPHY USA



PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.
A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS

SHEET NO.
L1.2

LANDSCAPE DETAILS & NOTES
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER COLORADO



6162 S. Willow Drive, Suite 320
Highlands, CO 80111
303.770.8844
GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
MURPHY USA

PLANTING NOTES

- GENERAL**
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLAN QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBTURATED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRING CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION**
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT

- FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
 - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- PLANTING**
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE CUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
 - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING**
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL

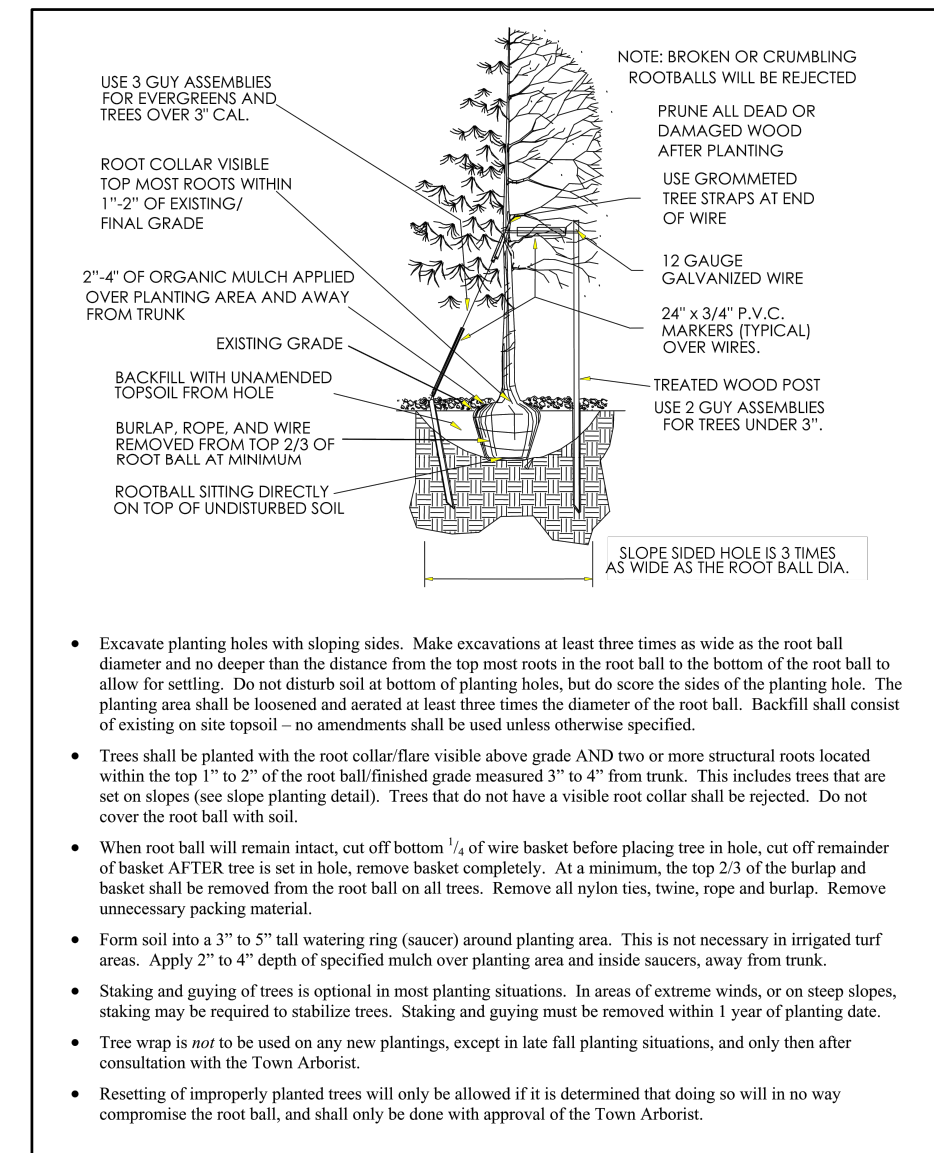
- IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS, WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL DEWIT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

SEED NOTES

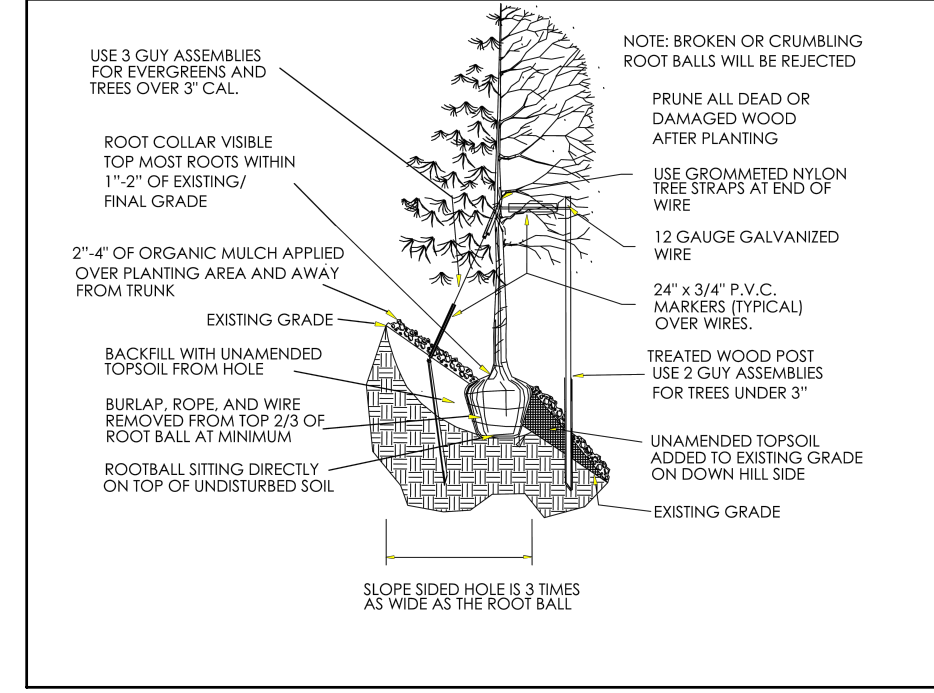
- ALL SEED MIXES AVAILABLE THROUGH:
WESTERN NATIVE SEED COMPANY
P.O. BOX 188
COALDALE, CO 81222
(719) 942-3835
 - DRYLAND SEED MIXES ARE AVAILABLE AS FOLLOWS:
50%-FOOTHILLS GRASS MIX*, 50%-XERISCAPE WILDOLOWER MIX*
 - ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROSLURRY APPLIED OVER THE SEED BED AFTER SEEDING. THE SLURRY MIX SHALL CONTAIN THE FOLLOWING:
- | | LBS./1,000 SF |
|-----------------------------|---------------|
| WOOD FIBER MULCH | 46 |
| 15-15-15 ORGANIC FERTILIZER | 9 |
| ORGANIC BINDER | 4 |

SEED ESTABLISHMENT NOTES

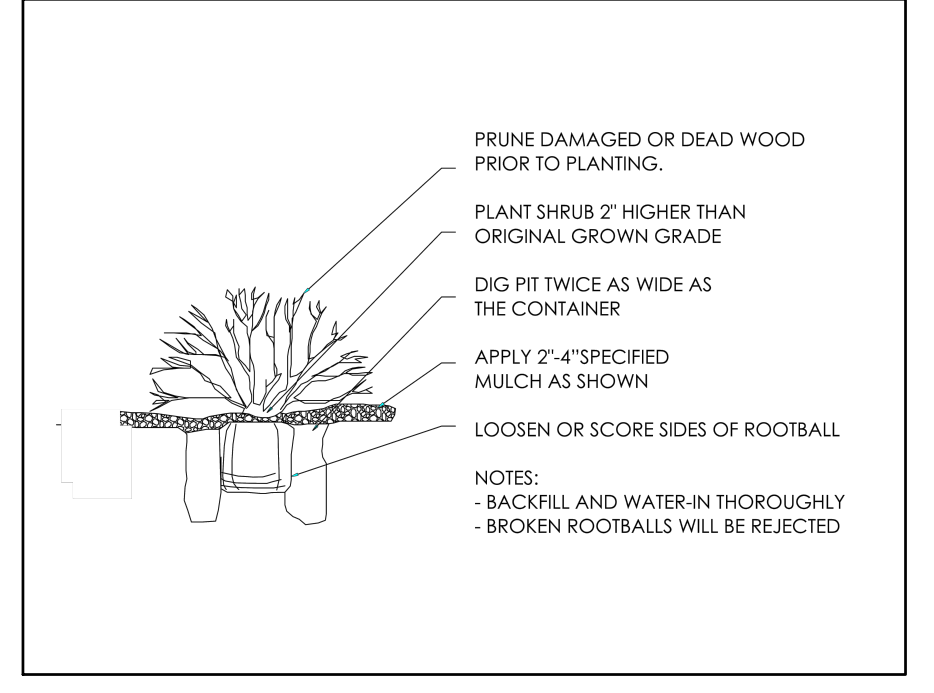
- THE LANDSCAPE CONTRACTOR SHALL SEED ALL NATIVE SEED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS. SOIL PREPARATION MEASURES IN AREAS TO BE SEEDED SHALL BE COMPLETED PRIOR TO SEEDING.
- FOR PROPER ESTABLISHMENT, SEED SHALL BE INSTALLED WHEN AT LEAST THREE MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN THREE MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES, AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS AND ENSURE TIMELY CLOSOUT. THESE MEASURES MAY INCLUDE, AT THE OWNER'S OPTION, RESEEDING OF SPARSELY GERMINATED AREAS AND/OR INSTALLATION OF SOU IN ALL SEEDED AREAS.



1 TREE PLANTING DETAIL
SCALE: NOT TO SCALE



2 TREE PLANTING DETAIL SLOPES
SCALE: NOT TO SCALE



3 SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOU/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOU, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

CAUTION:
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING
THEIR LOCATION PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY OR CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.
A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



SHEET NO. C-3.6

PHOTOMETRIC DETAILS
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER COLORADO

Galloway
6162 S. Willow Drive, Suite 320
Englewood, CO 80111
GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
MURPHY USA

Slice Medium - SLM Outdoor LED Area Light

The Slice's sleek design makes it perfectly-suited for Commercial & Industrial applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The Slice offers high performance silicone optics, die cast aluminum housing, 42,000+ lumens and is available with integral Airlink Synapse controls.

Features & Specifications

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in ES Types 2, 3, 3M, FT and FTA.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 92%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K and 2700K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber, consult factory for availability.
- Minimum CRI of 70. Optional 80 CRI available, consult factory for lead time.
- Integral Louver (L) option available for improved back-light control without sacrificing street side performance. See page 5 for more details.

Optical System

- High performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (247-480 Vac).
- L80 Calculated Life >100K Hours (See Lumen Maintenance on Page 3)
- Total harmonic distortion <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F), 42L lumen package rated to +60°C.
- Power factor >.90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE ORE-41.2).
- High efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Terminal block provided accepts up to 10ga wire.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Product Dimensions

Ordering Guide

Color Temp: 5000 CCT, 4000 CCT, 3000 CCT, 2700 CCT

Color Rendering: TM29-19 CMF, TM30-19 CMF

Controls (Choose One): ALSIC, ALSCH, ALSCHS, ALSCHSD, ALSCHSD4, ALSCHSD4 BRZ IL

Finish: BK, MSV, WHT, PLP, SWB

Options: Blank, HSSD

Slice Medium - SLM Outdoor LED Area Light

Performance (Cont.)

All published luminaires photometric testing performed to IESNA LM-79 standards. ISO footcandle plots below demonstrate the Slice (SLM) light patterns only. Not for total fixture output. For complete specifications and IES files, see website.

Ordering Guide

Typical Order Example: SLM LED 36L SIL FTA UNV DIM 50 70CRI ALSCSD4 BRZ IL

Part	Light Source	Lumen Package	Light Output	Distribution	Orientation	Voltage	Driver
SLM LED 36L	36L	36,000 lms	3,000 lm	2 - Type 2	Standard	120-277V	50/60 Hz
SIL	SIL	36,000 lms	3,000 lm	3 - Type 3	Optics rotated 90°	120-277V	50/60 Hz
FTA	FTA	36,000 lms	3,000 lm	FT - Type 3 Wide	Optics rotated 90°	120-277V	50/60 Hz
Type 1	Type 1	36,000 lms	3,000 lm	FT - Forward Throw	Optics rotated 90°	120-277V	50/60 Hz
Type 2	Type 2	36,000 lms	3,000 lm	FT - Forward Throw	Optics rotated 90°	120-277V	50/60 Hz

Accessories

- Blank: Standard
- MSV: Medium Silver
- WHT: White
- PLP: Platinum Plus
- SWB: Satin Verde Green

XSP Series LED Wall Mount Luminaire

Product Description

The XSP™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard and non-standard single gang 2-Bay. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weather-tight LED driver compartment and thermal management. Optic design features industry leading NanoOptic™ Precision Delivery Optic™ system to optimize distributions. Applications: General area and security lighting.

Performance Summary

- Utilizes BetaLED™ Technology
- NanoOptic™ Precision Delivery Optic™ optic
- Made in the U.S.A. of U.S. and imported parts
- CRI: Minimum 70 CRI
- CCT: 4000K (+/- 300K), 5700K (+/- 500K)
- Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard™ finish

Accessories

- Blank: Standard
- MSV: Medium Silver
- WHT: White
- PLP: Platinum Plus
- SWB: Satin Verde Green

Ordering Information

Product	Version	Mounting	Optic	Modules	Input Power Description	Voltage	Color Options	Options
XSPW	A	Wall	Standard	1, 2, 3, 4, 5, 6, 8, 10, 12, 15, 20, 25, 30, 36, 42, 48, 54, 60, 66, 72, 78, 84, 90, 96, 102, 108, 114, 120, 126, 132, 138, 144, 150, 156, 162, 168, 174, 180, 186, 192, 198, 204, 210, 216, 222, 228, 234, 240, 246, 252, 258, 264, 270, 276, 282, 288, 294, 300, 306, 312, 318, 324, 330, 336, 342, 348, 354, 360, 366, 372, 378, 384, 390, 396, 402, 408, 414, 420, 426, 432, 438, 444, 450, 456, 462, 468, 474, 480, 486, 492, 498, 504, 510, 516, 522, 528, 534, 540, 546, 552, 558, 564, 570, 576, 582, 588, 594, 600, 606, 612, 618, 624, 630, 636, 642, 648, 654, 660, 666, 672, 678, 684, 690, 696, 702, 708, 714, 720, 726, 732, 738, 744, 750, 756, 762, 768, 774, 780, 786, 792, 798, 804, 810, 816, 822, 828, 834, 840, 846, 852, 858, 864, 870, 876, 882, 888, 894, 900, 906, 912, 918, 924, 930, 936, 942, 948, 954, 960, 966, 972, 978, 984, 990, 996, 1002, 1008, 1014, 1020, 1026, 1032, 1038, 1044, 1050, 1056, 1062, 1068, 1074, 1080, 1086, 1092, 1098, 1104, 1110, 1116, 1122, 1128, 1134, 1140, 1146, 1152, 1158, 1164, 1170, 1176, 1182, 1188, 1194, 1200, 1206, 1212, 1218, 1224, 1230, 1236, 1242, 1248, 1254, 1260, 1266, 1272, 1278, 1284, 1290, 1296, 1302, 1308, 1314, 1320, 1326, 1332, 1338, 1344, 1350, 1356, 1362, 1368, 1374, 1380, 1386, 1392, 1398, 1404, 1410, 1416, 1422, 1428, 1434, 1440, 1446, 1452, 1458, 1464, 1470, 1476, 1482, 1488, 1494, 1500, 1506, 1512, 1518, 1524, 1530, 1536, 1542, 1548, 1554, 1560, 1566, 1572, 1578, 1584, 1590, 1596, 1602, 1608, 1614, 1620, 1626, 1632, 1638, 1644, 1650, 1656, 1662, 1668, 1674, 1680, 1686, 1692, 1698, 1704, 1710, 1716, 1722, 1728, 1734, 1740, 1746, 1752, 1758, 1764, 1770, 1776, 1782, 1788, 1794, 1800, 1806, 1812, 1818, 1824, 1830, 1836, 1842, 1848, 1854, 1860, 1866, 1872, 1878, 1884, 1890, 1896, 1902, 1908, 1914, 1920, 1926, 1932, 1938, 1944, 1950, 1956, 1962, 1968, 1974, 1980, 1986, 1992, 1998, 2004, 2010, 2016, 2022, 2028, 2034, 2040, 2046, 2052, 2058, 2064, 2070, 2076, 2082, 2088, 2094, 2100, 2106, 2112, 2118, 2124, 2130, 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PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

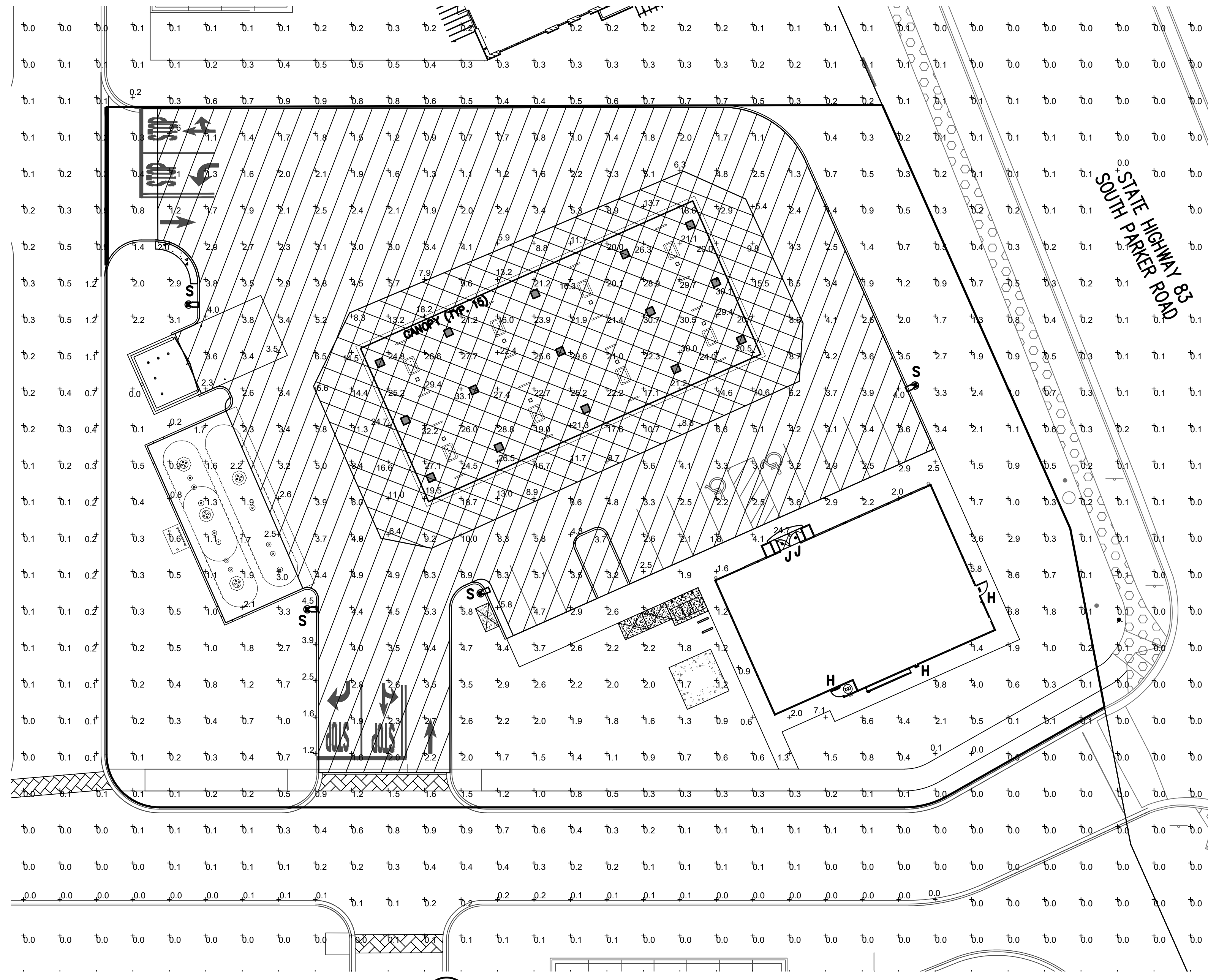
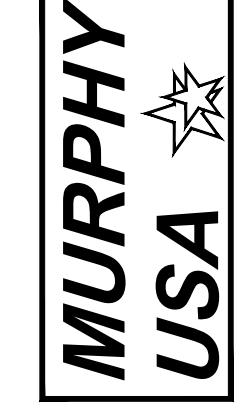
SITE CONSTRUCTION PLANS

SHEET NO. C-3.5

PHOTOMETRIC PLAN
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO

Galloway

MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730



1 PHOTOMETRIC SITE PLAN
 SCALE: 1"=20'-0"

CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-6" FROM BACK OF CURB TO CENTER OF POLE/BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS.

TOWN OF PARKER NOTE:

ALL FIXTURES ARE TO COMPLY WITH THE FULL SHIELDING REQUIREMENT OF THE TOWN OF PARKER LAND DEVELOPMENT CODE (13.10.140(C)(11)).

NOTES:

PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.

THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.

ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.

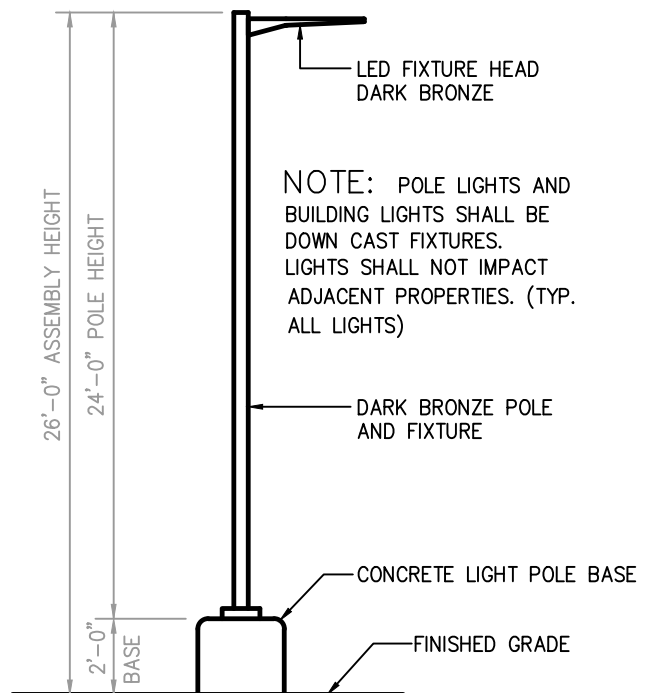
THE 26'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.

THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
INVENTORY AND GENERAL PARKING	FC	3.22	8.9	1.1	2.93 to 1	8.09 to 1
PRINCIPAL DISPLAY	FC	19.07	33.1	6.4	2.98 to 1	5.17 to 1

PRINCIPAL DISPLAY = 8,344 sf WHICH IS 17.5% OF TOTAL ILLUMINATED SITE AREA (47,621 sf)



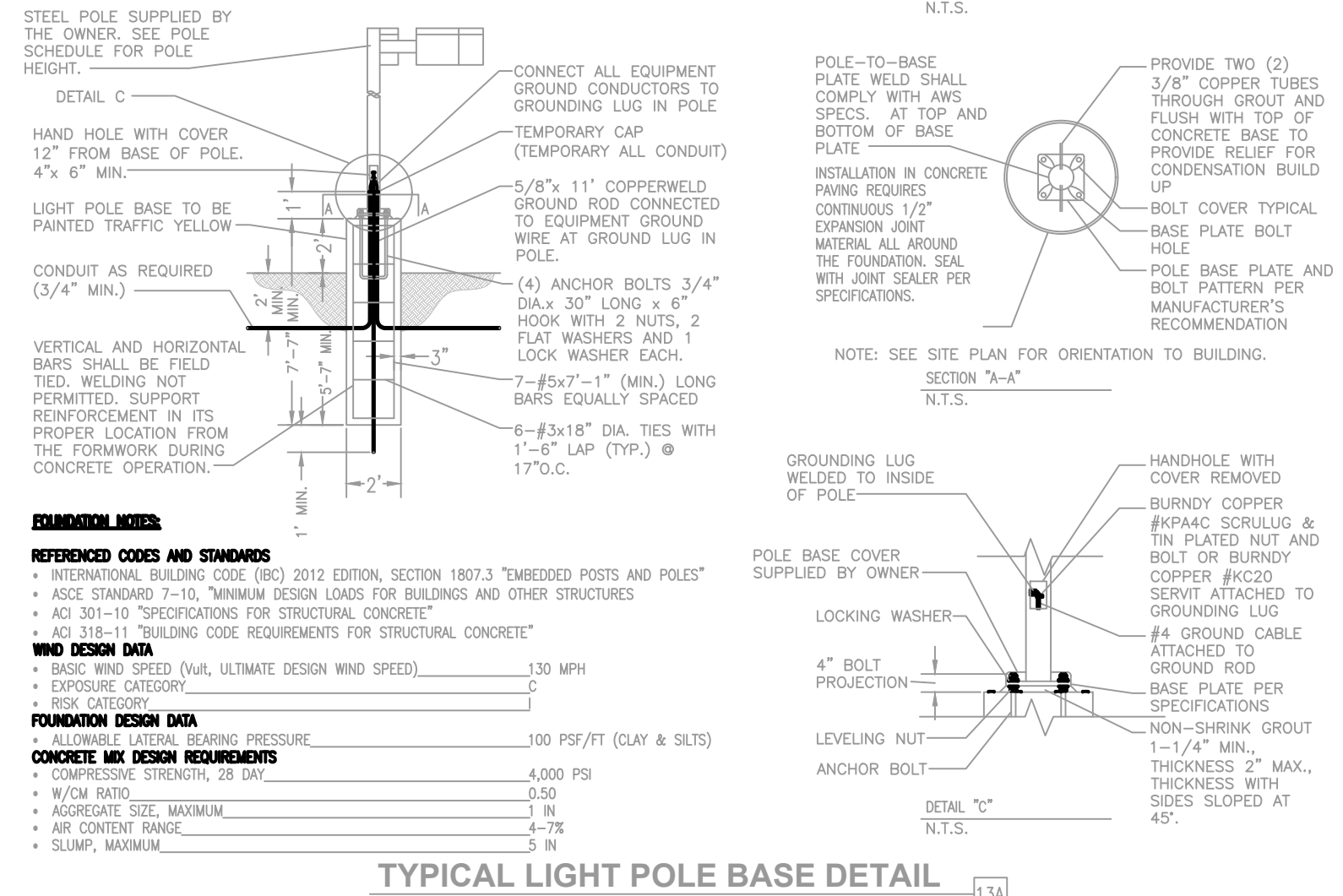
2 AREA LIGHT DETAIL
 SCALE: NOT TO SCALE

SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION	COLOR
S	4	26'-0"	24'-0"	19664	149	SLM-18L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K, 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW	BRONZE
CANOPY	15	15'-0"	N/A	12949	114	CRUS-SC-LED-SS-40-UE-WHT	LSI LIGHTING, LEGACY SERIES, SUPER SAVER DRIVER, 4000K, FLAT LENS CANOPY FIXTURE	WHITE
H	3	8'-1"	N/A	4109	42	XSPWA03MCUS-UZK	CREE LIGHTING, XSP WALL MOUNT LUMINAIRE, 5700K CCT, WITH PHOTOCELL SENSOR	BRONZE
J	2	8'-8"	N/A	1800	20	LR6-18L-35K-120V-A-DR W/LT6A	CREE LIGHTING, LR-6 DOWN LIGHT LUMINAIRE, 3500K CCT, 1800 LUMENS, 120V, 3,500K CCT, FULLY RECESSED ENTRY LIGHTS WITH HOUSING RC6-12W-GU24	DIFFUSE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
 ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.
 ALL FIXTURES ARE FULL CUT-OFF FIXTURES

SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION
S	4	24'-0"	4SQB3-S11G-24-S-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
 POLES RATED TO 130 MPH WIND VELOCITY



TYPICAL LIGHT POLE BASE DETAIL
 NOT TO SCALE

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRESPONDENCE OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

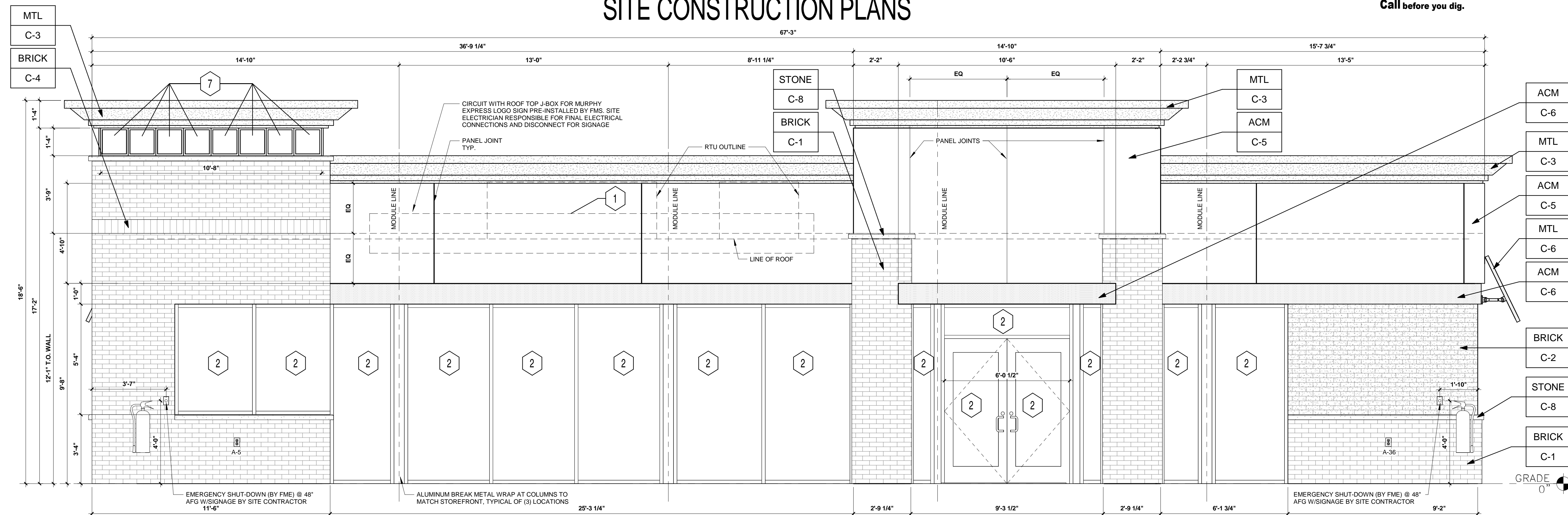
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



1 FRONT ELEVATION (NORTH WEST)
 3/8" = 1'-0"

FRONT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	278	40%	69%

RIGHT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
246	75	25%	31%

KEYED NOTES:

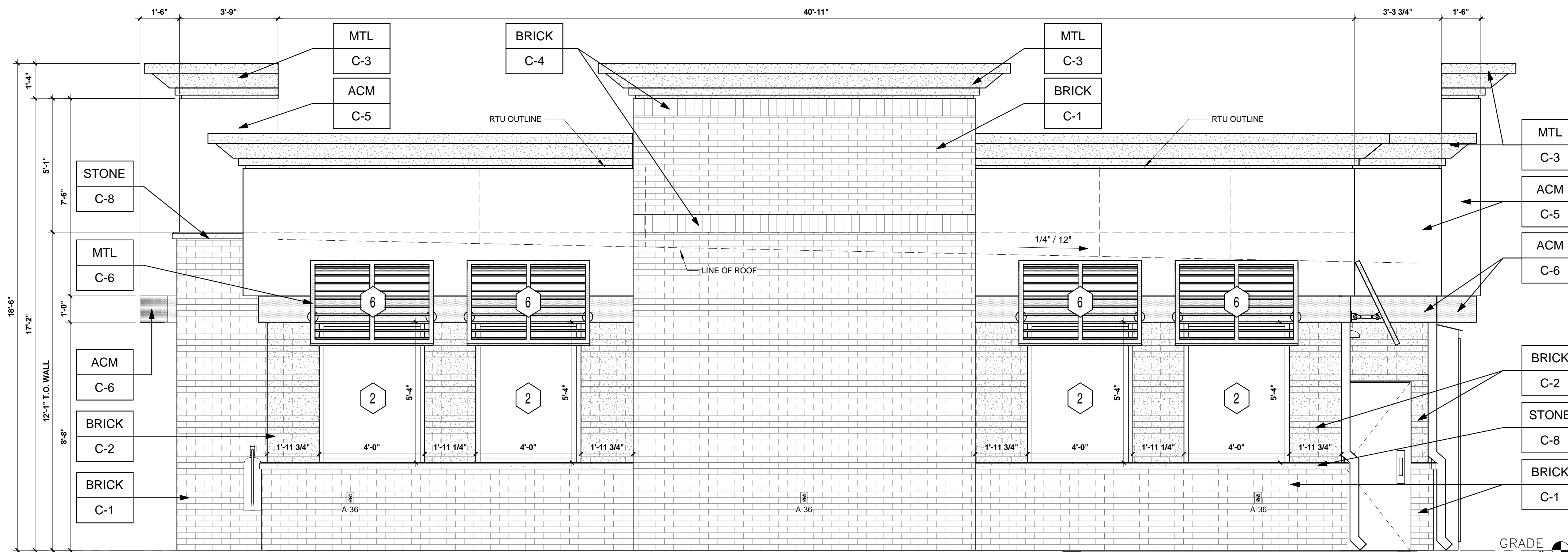
- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 METAL AWNING BY FMS
- 7 FAUX WINDOWS BY FMS

EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-3 DORMER BROWN SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-5 GRECIAN IVORY SW #7541 BY FMS
- C-6 PROGRAM RED BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS



2 RIGHT ELEVATION (SOUTH WEST)
 3/8" = 1'-0"

SHEET NO. **A1.1**

ARCHITECTURAL ELEVATIONS (BUILDING)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO



MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

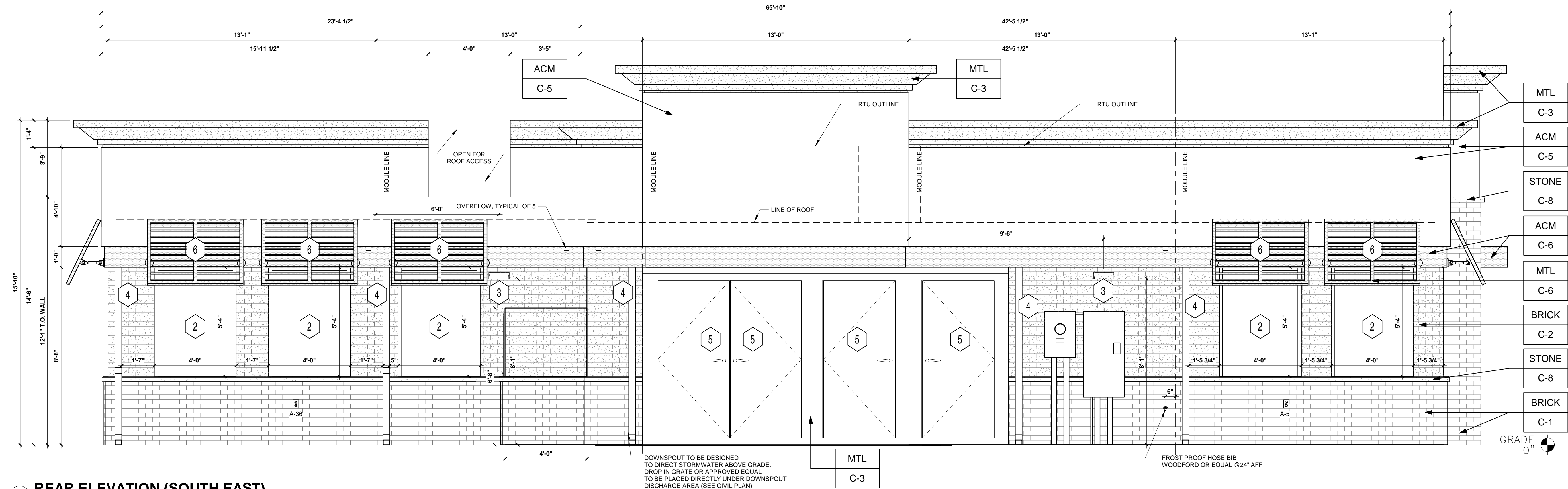
MURPHY USA



MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



3 REAR ELEVATION (SOUTH EAST)
 3/8" = 1'-0"

REAR ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	93	40%	23%

LEFT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
279	112	40%	40%

KEYED NOTES:

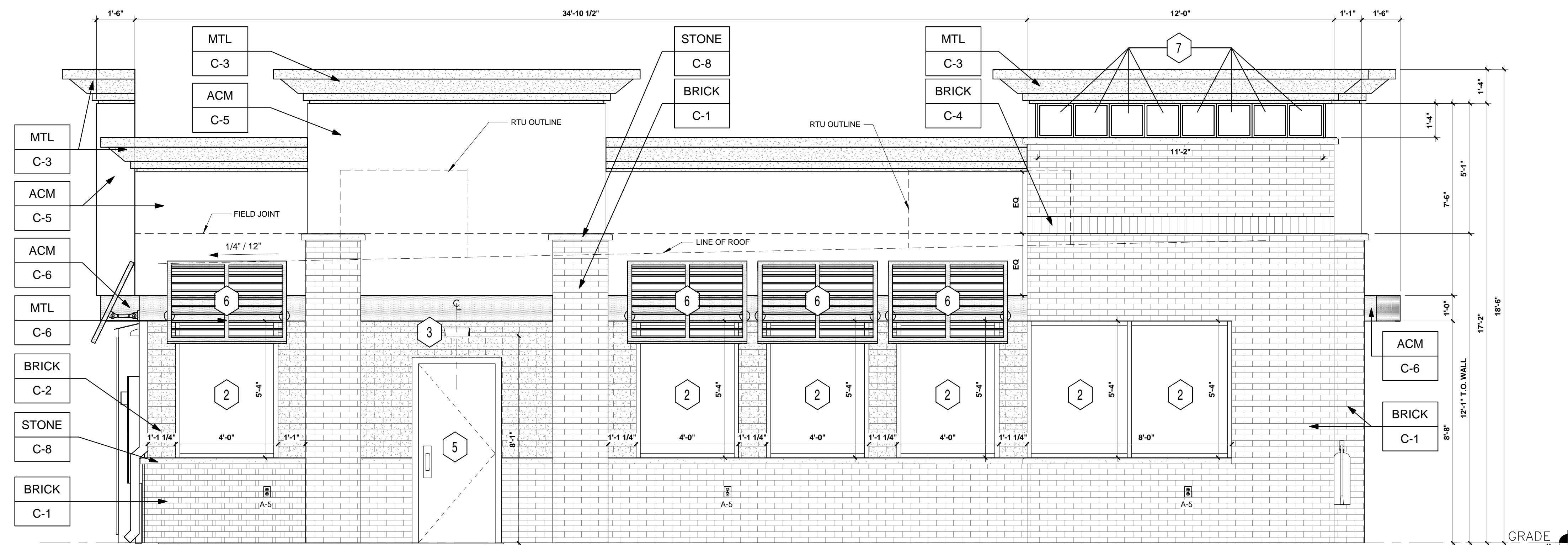
- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 METAL AWNING BY FMS
- 7 FAUX WINDOWS BY FMS

EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-3 DORMER BROWN SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-5 'GRECIAN IVORY' SW #7541 BY FMS
- C-6 'PROGRAM RED' BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS



4 LEFT ELEVATION (NORTH EAST)
 3/8" = 1'-0"

SHEET NO.
A1.2

ARCHITECTURAL ELEVATIONS (BUILDING)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO



MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

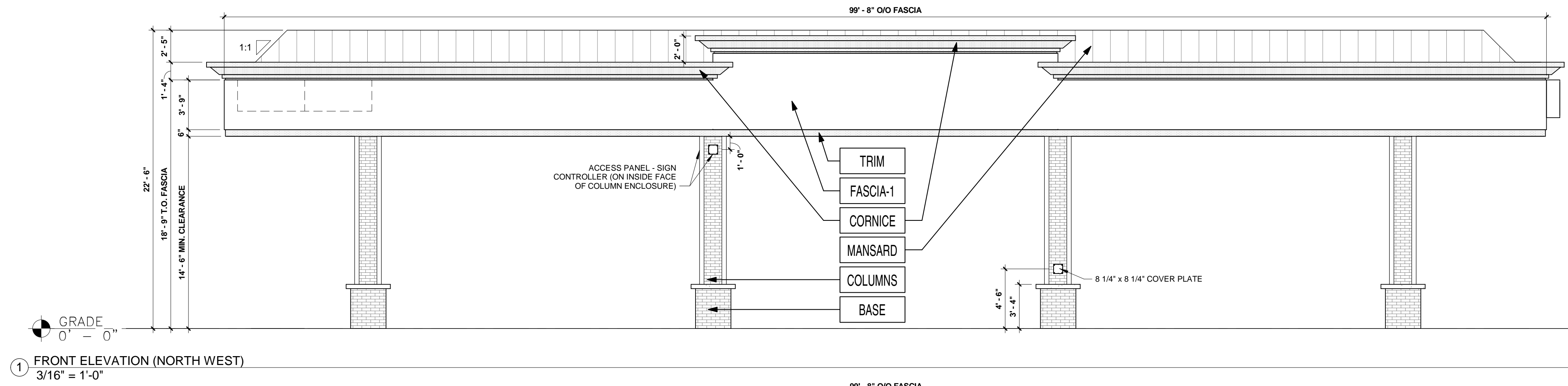
MURPHY USA



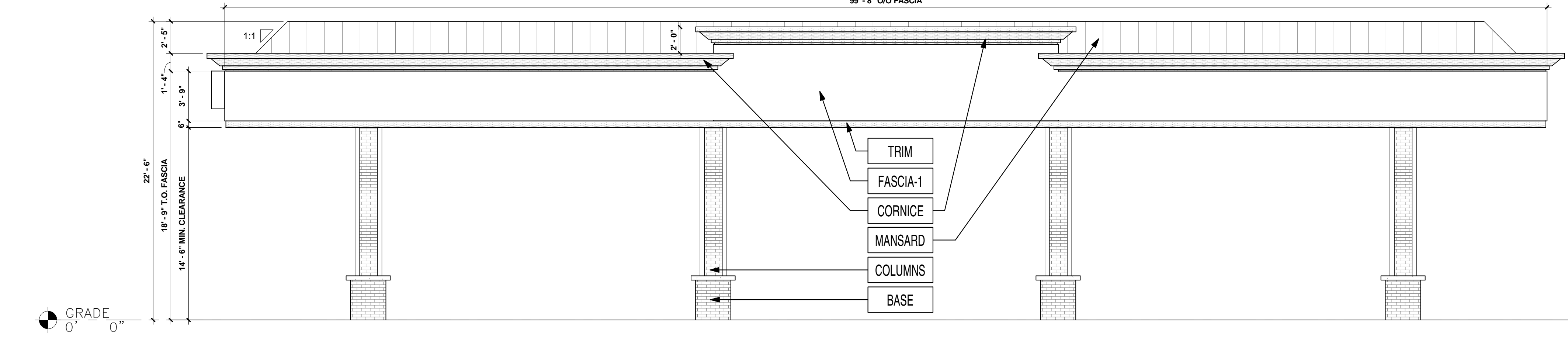
MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

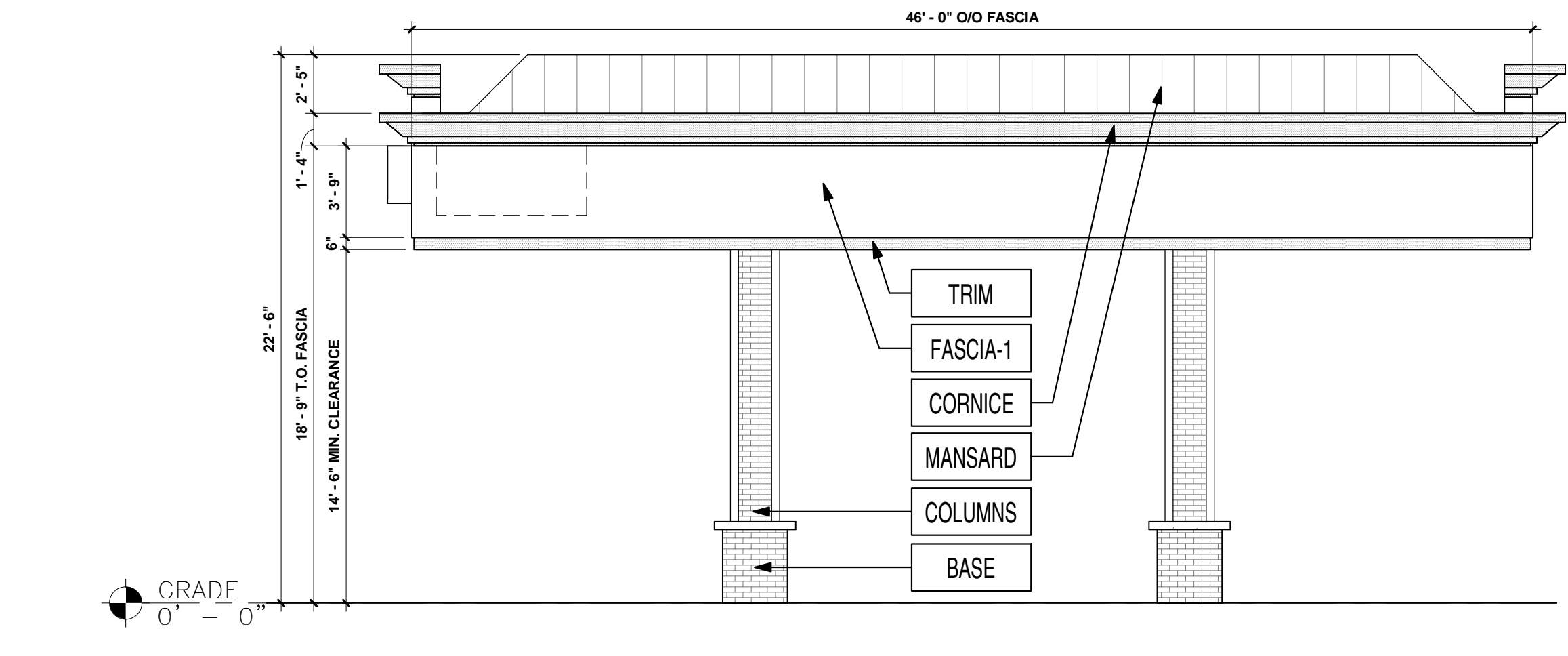
SITE CONSTRUCTION PLANS



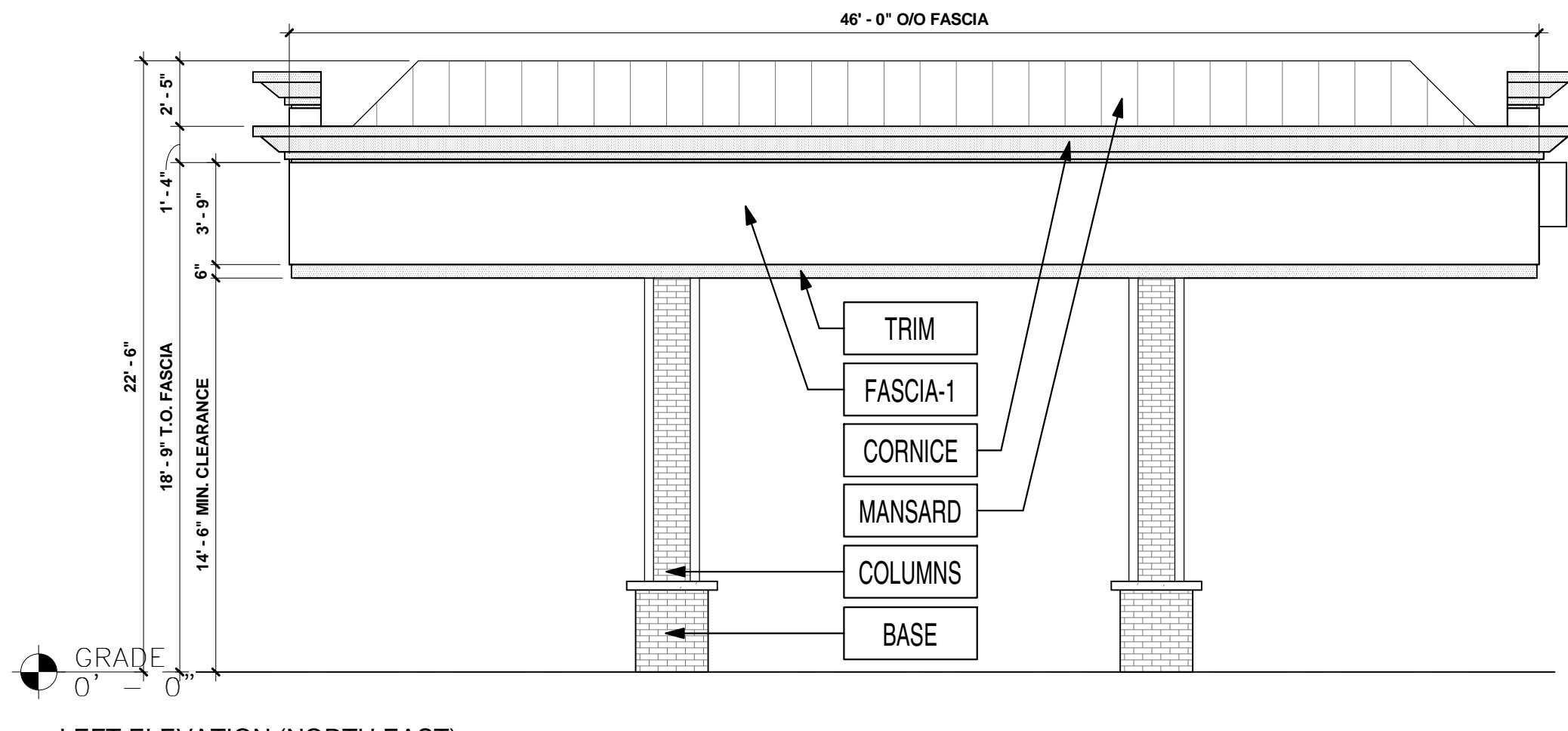
1 FRONT ELEVATION (NORTH WEST)
 3/16" = 1'-0"



2 REAR ELEVATION (SOUTH EAST)
 3/16" = 1'-0"



3 RIGHT ELEVATION (SOUTH WEST)
 3/16" = 1'-0"



4 LEFT ELEVATION (NORTH EAST)
 3/16" = 1'-0"

FINISH SCHEDULE		
FASCIA-1	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA - 'GRECIAN IVORY' SW #7541 FURNISHED & INSTALLED BY FMS
TRIM	20 GA. SHEET METAL	6" HT PRE-FINISHED METAL ACCENT BAND 'PROGRAM RED' BY ALPOLIC FURNISHED & INSTALLED BY FMS
COLUMNS	THIN BRICK VENEER	'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS FURNISHED & INSTALLED BY FMS
BASE	THIN BRICK VENEER	'LIGHT SANDSTONE VELOUR' BY ENDICOTT FURNISHED & INSTALLED BY FMS
CORNICE	ACM (ALUMINUM COMPOSITE MATERIAL)	PAINTED 'PROGRAM RED' BY ALPOLIC FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD
MANSARD	20 GA. SHEET METAL (STANDING SEAM)	PAINTED 'DORMER BROWN' SW #7521 FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD

SHEET NO.
A1.3

ARCHITECTURAL ELEVATIONS (CANOPY)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER
 COLORADO

Galloway
 6162 S. Willow Drive, Suite 200
 Greenwood Village, CO 80111
 303.770.8884
 GallowayUS.com

MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

MURPHY USA





1 ELEVATION- FRONT (NORTH WEST)

- STANDING SEAM MANSARD ROOF - COLOR TO MATCH 'DORMER BROWN' SW #7521
- 18" HIGH DECORATIVE CORNICE - COLOR TO MATCH 'PROGRAM RED'
- ACM CANOPY FASCIA - COLOR TO MATCH 'GRECIAN IVORY' SW #7541
- T.O. MANSARD 22'-6"
- T.O. FASCIA 18'-9"
- T.O. ACCENT BAND 15'-0"
- PREFINISHED METAL ACCENT BAND - COLOR TO MATCH 'PROGRAM RED'
- CANOPY COLUMNS ENCLOSURES: BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS ABOVE 3'-4" BRICK VENEER BASE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"

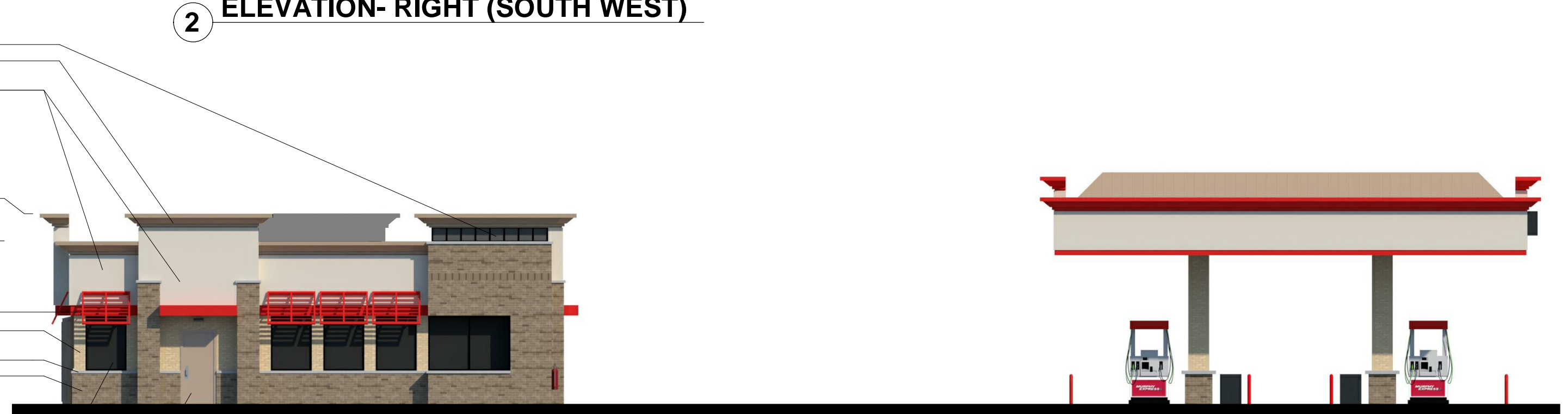


2 ELEVATION- RIGHT (SOUTH WEST)



3 ELEVATION- REAR (SOUTH EAST)

- STANDING SEAM MANSARD ROOF - COLOR TO MATCH 'DORMER BROWN' SW #7521
- FAUX WINDOWS
- 18" HIGH DECORATIVE CORNICE TO MATCH - 'DORMER BROWN' SW #7521
- ACM FASCIA - COLOR TO MATCH 'GRECIAN IVORY' SW #7541
- T.O. MANSARD 22'-6"
- T.O. FASCIA 18'-9"
- T.O. TOWER 18'-6"
- T.O. BUILDING 15'-10"
- B.O. ACCENT BAND 14'-6"
- ACM FASCIA - 'PROGRAM RED' BY ALPOLIC
- BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
- CONCRETE CAP
- BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"

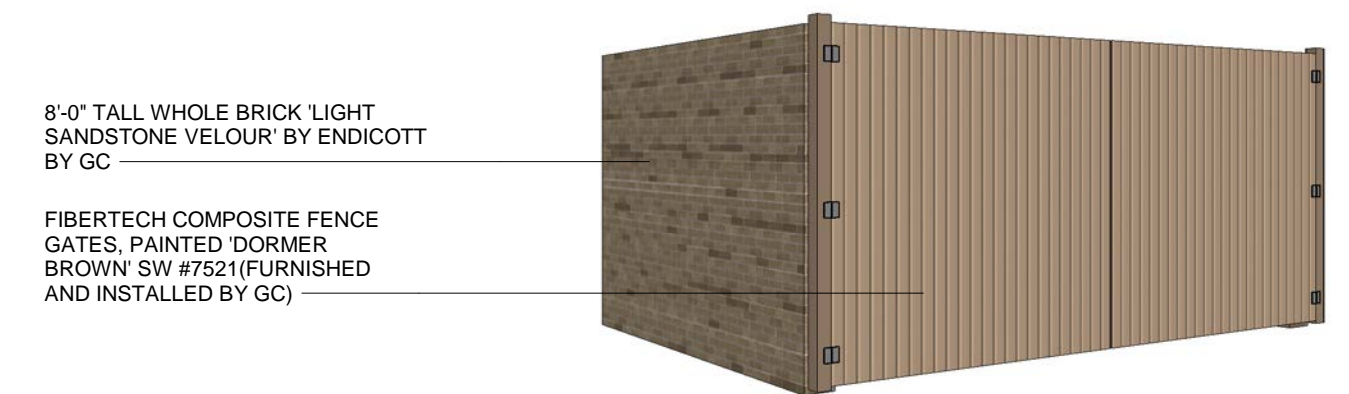


4 ELEVATION- LEFT (NORTH EAST)



5 ELEVATION- FRONT BUILDING ONLY (NORTH WEST)

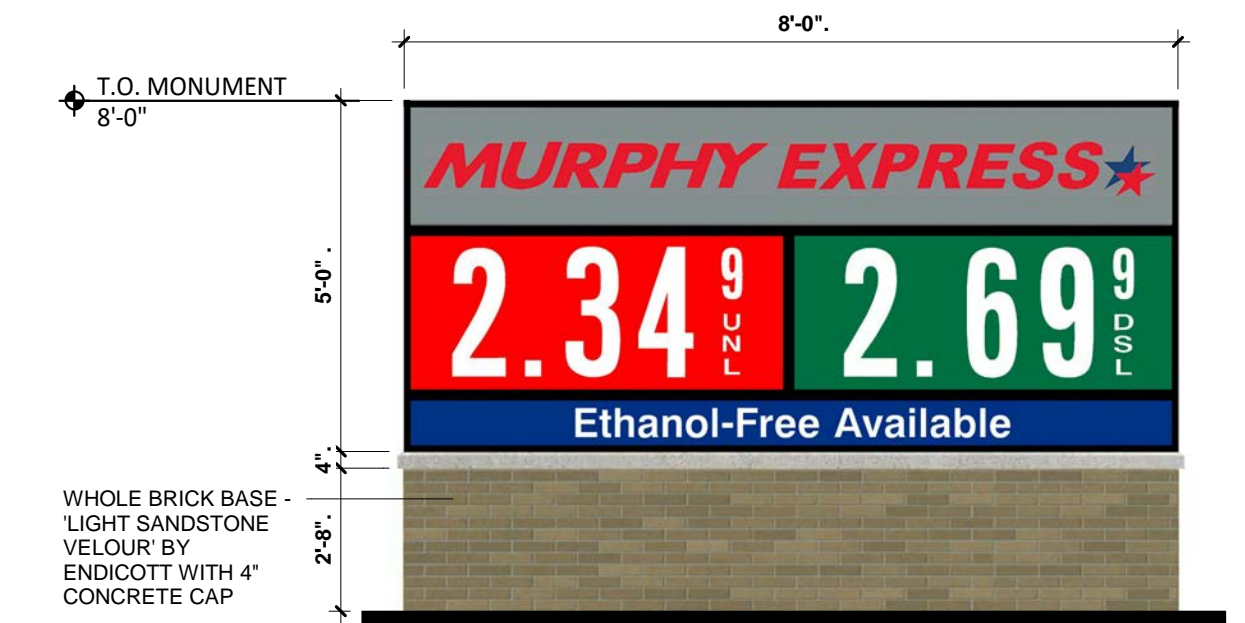
- FAUX WINDOWS
- 18" HIGH DECORATIVE CORNICE TO MATCH - 'DORMER BROWN' SW #7521
- T.O. TOWER 18'-6"
- T.O. BUILDING 15'-10"
- BRICK VENEER SOLDIER COURSE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- ACM FASCIA - COLOR TO MATCH 'GRECIAN IVORY' SW #7541
- ACM FASCIA - 'PROGRAM RED' BY ALPOLIC
- METAL AWNING - 'PROGRAM RED' BY ALPOLIC
- BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
- CONCRETE CAP
- BLACK ALUMINUM STOREFRONT
- BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"



8'-0" TALL WHOLE BRICK 'LIGHT SANDSTONE VELOUR' BY ENDICOTT BY GC

FIBERTECH COMPOSITE FENCE GATES, PAINTED 'DORMER BROWN' SW #7521 (FURNISHED AND INSTALLED BY GC)

6 TRASH ENCLOSURE



7 MONUMENT SIGN

SIGN	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY EXPRESS BLDG. LOGO SIGN	1			27.71	27.71
COMBINED EXTRA SMALL CANOPY PRICE SIGN (UNL / DSL)	1	28.25'	121.50'	23.84	23.84
SMALL CANOPY PRICE SIGN (UNL)	1	34.13'	74.00'	17.54	17.54
				TOTAL:	69.09 S.F.
MONUMENT SIGN:					
LOGO / UNL / DSL / ETHANOL-FREE AVAILABLE	1	60.00'	96.00'	40.00	40.00
				TOTAL:	40.00 S.F.