

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



### PROJECT CONTACTS:

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 PHOENIX, AZ 85016  
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 CONTACT: RYAN AMATO

**DEVELOPER/APPLICANT**  
 MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730  
 CONTACT: GARY HEGENER

**ENGINEER/CONSULTANT**  
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 6162 S. WILLOW DRIVE, SUITE 320  
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 PARKER, CO 80138  
 TEL: (303) 840-9546

**FIRE**  
 SOUTH METRO FIRE RESCUE AUTHORITY  
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 CENTENNIAL, CO 80112  
 TEL: (720) 989-2244  
 CONTACT: CHIP KERKHOVE

**WATER & SANITARY SEWER**  
 PARKER WATER AND SANITATION DISTRICT  
 1800 E. WOODMAN DRIVE  
 PARKER, CO 80134  
 TEL: (303) 841-4627  
 CONTACT: DRAYTON SANDERSON

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 EMAIL: IZZY.MILLER@CENTURYLINK.COM

### DEVELOPMENT PLAN NOTES

**LIGHTING NOTE:** IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

**TRASH ENCLOSURE NOTE:** TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

**SCREENING NOTE:** ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

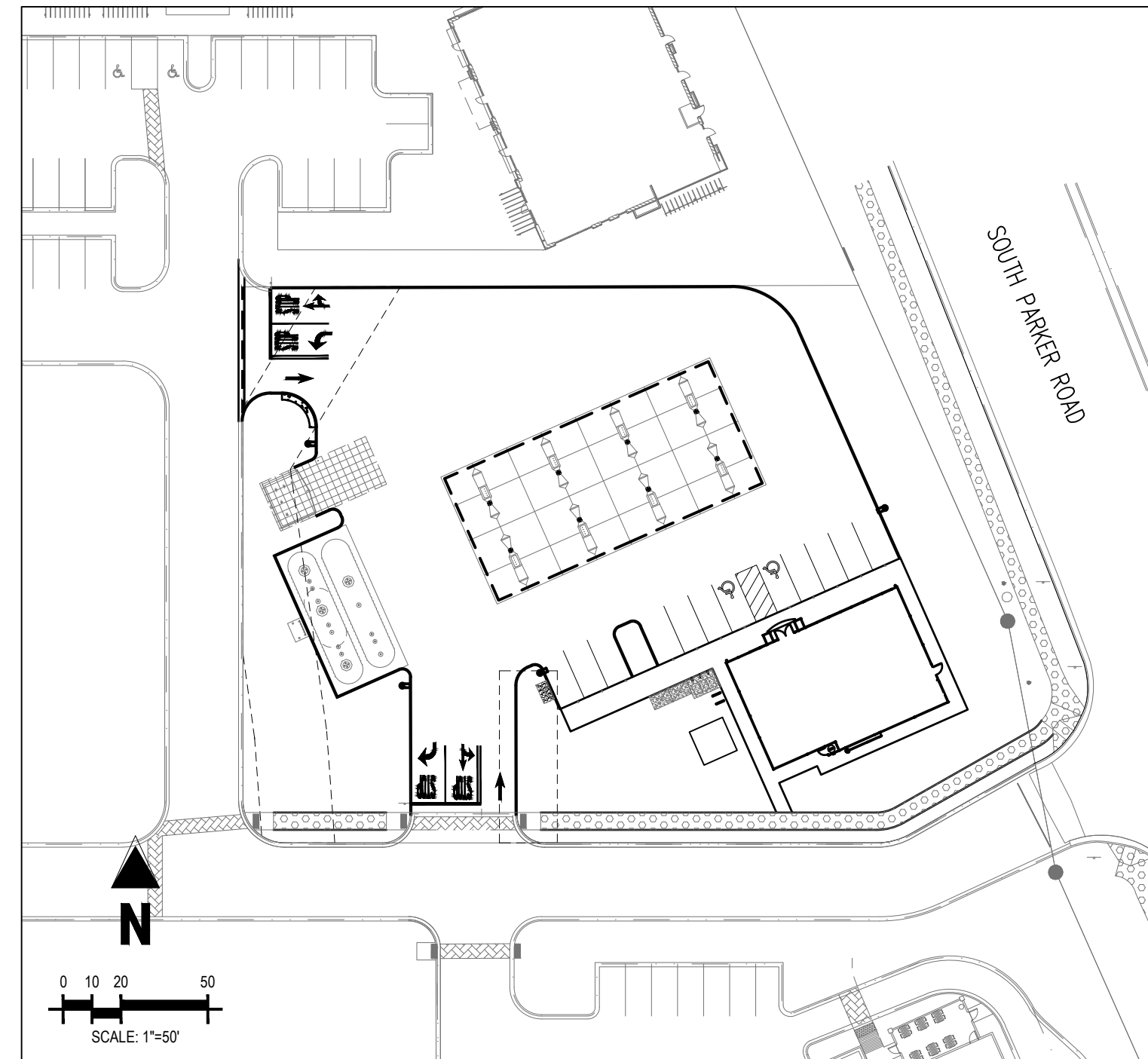
**SIGNAGE NOTE:** APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGN TRIANGLES AND EASMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

**DOWNSPOUT NOTE:** NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

**AMERICANS WITH DISABILITIES NOTE:** THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

**CONSTRUCTION NOTE:** THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDINGS PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

**UNDERGROUND UTILITY NOTE:** ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.



SITE MAP  
 SCALE: 1"=50'



VICINITY MAP  
 (NOT TO SCALE)

SHEET NUMBER	DESCRIPTION
C-0.0	COVER SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C-1.1	HORIZONTAL CONTROL PLAN
C-3.5	PHOTOMETRIC PLAN
C-3.6	PHOTOMETRIC DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS & NOTES
A1.1	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.2	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.3	ARCHITECTURAL ELEVATIONS (CANOPY)
1 OF 1	COLORING RENDERING

### SITE DATA TABLE

SITE AREA	47,621 SF / 1.09 AC
ZONING	PLANNED DEVELOPMENT – HIGHWAY ORIENTED COMMERCIAL
BUILDING:	SINGLE STORY – 2,824 SF (BUILDING) SINGLE STORY – 4,830 SF (CANOPY)
FAR:	25% MAX. / 16.1% ACTUAL
BUILDING COVERAGE:	50% MAX. / 16.1% ACTUAL
OPEN SPACE:	15% MIN. / 30.6% ACTUAL (16,839 SF LANDSCAPED AREA)
BUILDING SETBACK:	25' PUBLIC R.O.W. 25' SIDE & REAR
BUILDING HT:	45' MAX. / 18.5' ACTUAL
CAR PARKING:	12 REQUIRED / 12 SPACES (INCLUDES 2 ADA) PROVIDED
BICYCLE PARKING:	2 REQUIRED / 2 PROVIDED

SHEET NO.

C-0.0

COVER SHEET  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER  
 COLORADO

**Galloway**

6162 S. Willow Drive, Suite 320  
 Greenwood Village, CO 80111  
 303.770.8884  
 GallowayUS.com

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200 PEACH STREET  
 EL DORADO, AR 71730

**MURPHY USA**

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

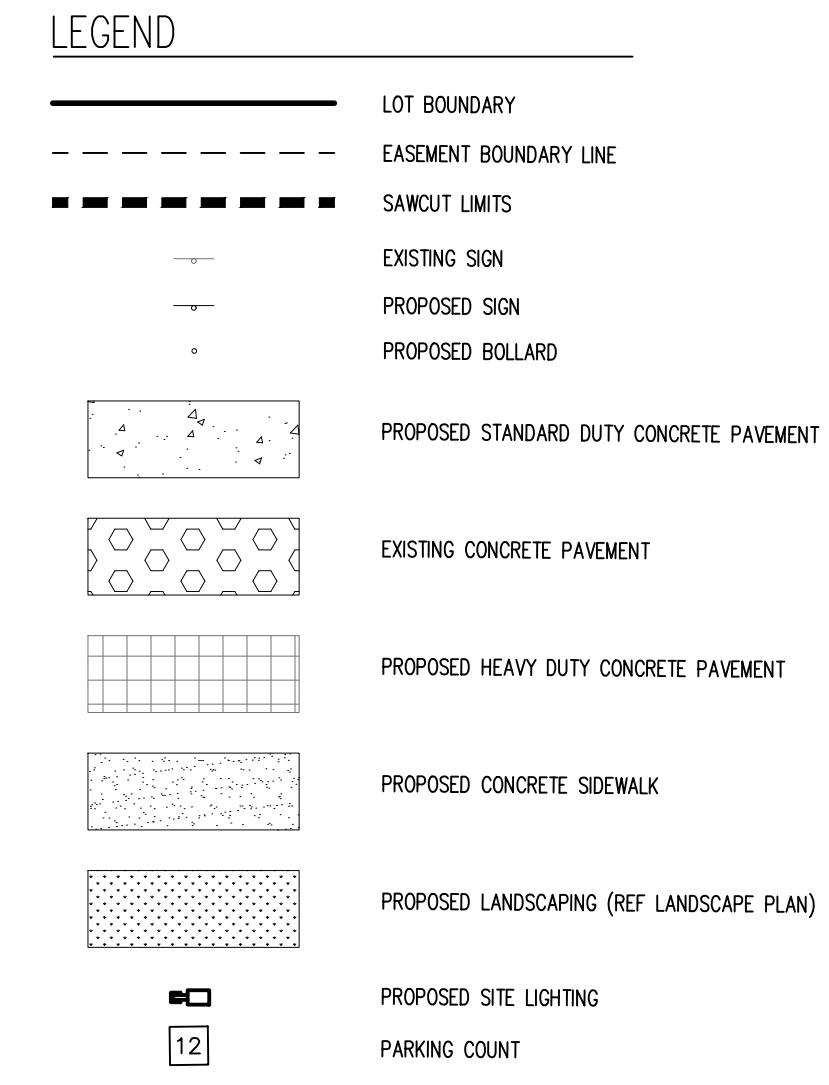
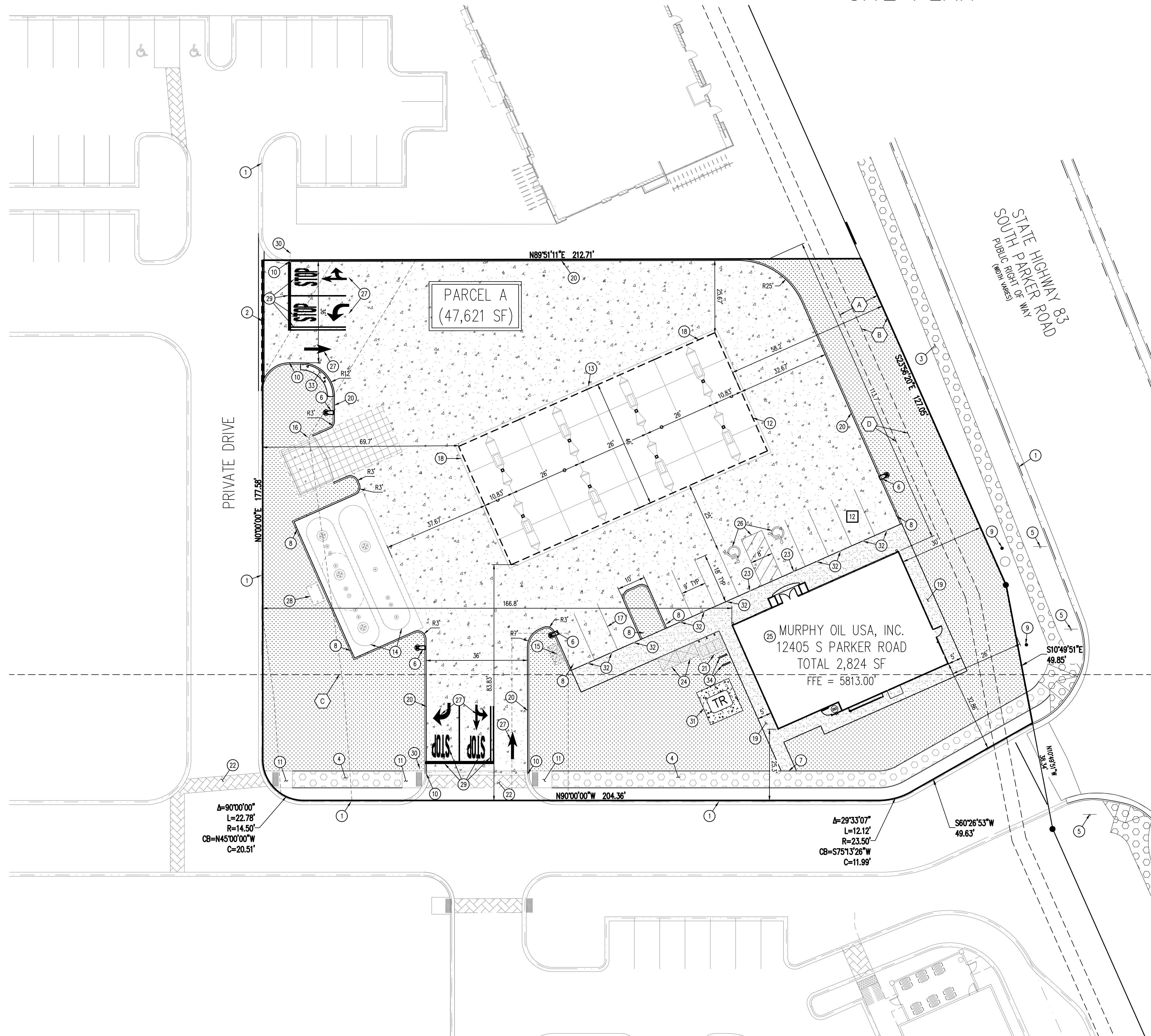
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 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



Know what's below.  
 Call before you dig.



- EASEMENT SCHEDULE**
- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
  - (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
  - (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
  - (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047
- SCHEDULE**
- (1) EXISTING CURB AND GUTTER TO REMAIN
  - (2) SAWCUT EXISTING ASPHALT AT NEW DRIVEWAY ACCESS
  - (3) EXISTING CONCRETE SIDEWALK TO REMAIN
  - (4) PROPOSED AS PART OF MDP CONCRETE SIDEWALK INSTALLED BY DEVELOPER
  - (5) EXISTING SIGN TO REMAIN
  - (6) PROPOSED SITE LIGHT
  - (7) CONNECTION TO EXISTING SIDEWALK
  - (8) CURB TRANSITION
  - (9) EXISTING BOLLARD TO REMAIN
  - (10) PROPOSED CURB TO MATCH EXISTING
  - (11) PROPOSED AS PART OF MDP CONCRETE RAMP INSTALLED BY DEVELOPER
  - (12) PROPOSED OVERHEAD CANOPY
  - (13) EDGE OF CONCRETE SLAB UNDERNEATH THE CANOPY
  - (14) PROPOSED UNDERGROUND STORAGE TANKS
  - (15) PROPOSED AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB
  - (16) PROPOSED 6' TALL TRASH ENCLOSURE
  - (17) PROPOSED PARKING STALL STRIPING
  - (18) PROPOSED PRICE SIGN PER APPROVED ELEVATION
  - (19) PROPOSED SIDEWALK PER MURPHY STANDARDS
  - (20) PROPOSED INTEGRAL CONCRETE CURB
  - (21) PROPOSED 7'X10' CONCRETE SLAB FOR PROPANE TANKS
  - (22) PROPOSED AS PART OF MDP STAMPED CONCRETE CROSSWALK INSTALLED BY DEVELOPER
  - (23) PROPOSED ACCESSIBLE/VAN ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
  - (24) PROPOSED 5'X7' CONCRETE PAD (2 TOTAL) FOR ICE UNIT
  - (25) PROPOSED 2,824 SQUARE FOOT MURPHY EXPRESS KIOSK
  - (26) PROPOSED ACCESSIBLE PARKING SYMBOLS AND STRIPING
  - (27) PROPOSED DIRECTIONAL TRAFFIC FLOW ARROW
  - (28) PROPOSED REMOTE TANK VENTS
  - (29) PROPOSED "STOP" BAR, LANE STRIPING, AND "STOP" LETTERING
  - (30) PROPOSED "STOP" SIGN
  - (31) PROPOSED CONCRETE TRANSFORMER PAD
  - (32) PROPOSED SINGLE GUARD POST
  - (33) PROPOSED 2' WIDE CONCRETE BUFFER
  - (34) PROPOSED BICYCLE RACK (2 SPOTS)

**BENCHMARK**  
 ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN. VERTICAL DATUM IS APPROXIMATELY 2.64 FEET BELOW NAVD 88.

**SITE BENCHMARKS:**  
 SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76  
 SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

**BASIS OF BEARING**  
 BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24980 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

**CAUTION – NOTICE TO CONTRACTOR**

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

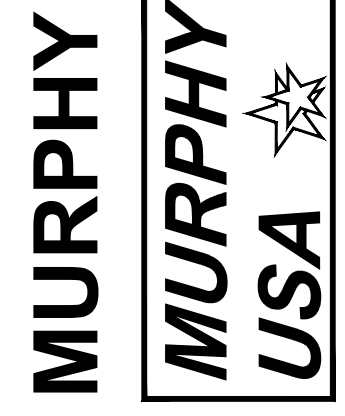
SHEET NO. C-1.1

HORIZONTAL CONTROL PLAN  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO

**Galloway**  
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 200 PEACH STREET  
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**MURPHY USA**



# PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.

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 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE CONSTRUCTION PLANS



Values have been revised as necessary to match.

Table has been revised to match the correct areas.

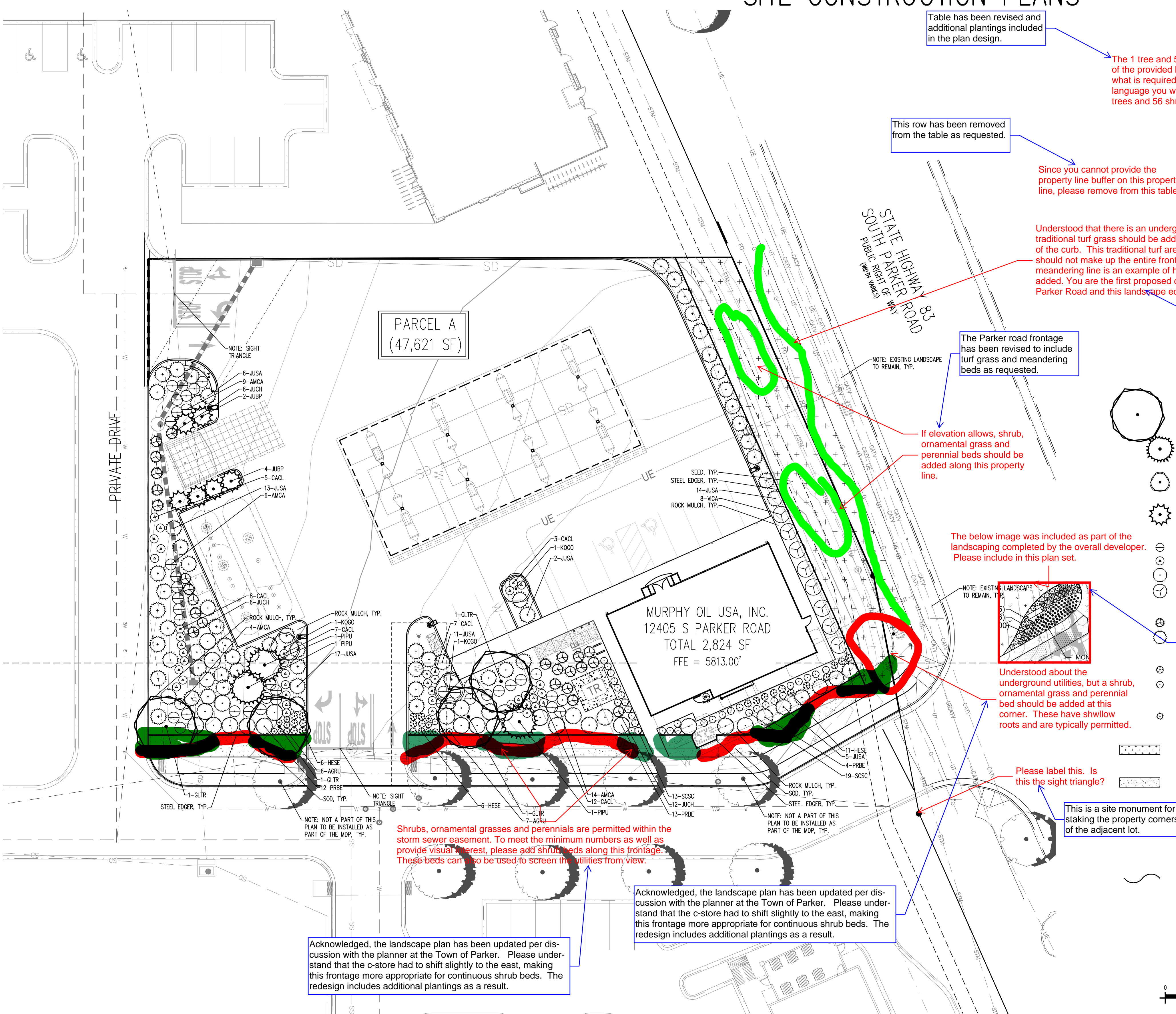
This does not match the information on the first page nor this page. The total site is shown as 47,621 square feet. This should be the size of the lot. Anything off site would not count. Where is the 55,106 square feet coming from?

Percentage have been added as requested.

Please also add to this table the following:  
 - Percentage of living  
 - Amount of traditional turf grass with percentage.

All trees and shrubs included on site will count towards the overall landscape numbers

Trees have been added to the parker road frontage.



LANDSCAPE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA	55,106 SF	15% MIN. OF TOTAL SITE AREA (8,265 SF TOTAL SITE)	8,265 SF REQUIRED	16,839 SF PROVIDED (30.6% OF TOTAL SITE AREA)
REQUIRED LANDSCAPING	8,265 SF	1 TREE AND 5 SHRUBS PER 1,500 SF OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING	6 TREES 28 SHRUBS	6 TREES 28 SHRUBS
SITE PERIMETER LANDSCAPING		1 TREE AND 5 SHRUBS PER EACH 40 LINEAL FEET OF EDGE		
WEST PERIMETER	173' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	5 TREES / 22 SHRUBS
SOUTH PERIMETER	218' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	6 TREES / 27 SHRUBS
EAST PERIMETER	176' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	4 TREES / 22 SHRUBS
NORTH PERIMETER	212' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	4 TREES / 27 SHRUBS (SHRUBS IN LIEU OF TREES)

NOTE: MULTIPLE UTILITY CONFLICTS EXIST ON SITE TO ACHIEVE THE SITE PERIMETER LANDSCAPING REQUIREMENT. TREES HAVE BEEN SPREAD OUT ACROSS THE SITE AND SUBSTITUTED FOR SHRUBS TO ACHIEVE THE SITE PERIMETER LANDSCAPING FOR THE EAST PROPERTY LINE.

NOTE: TEN SHRUBS MAY BE SUBSTITUTED FOR ONE TREE. ONE ORNAMENTAL GRASS IN A FIVE-GALLON CONTAINER OR THREE ORNAMENTAL GRASSES IN A ONE-GALLON CONTAINER MAY BE SUBSTITUTED FOR ONE SHRUB.

NOTE: STREETScape LANDSCAPING BY MDP.

Table has been revised and additional plantings included in the plan design.

The 1 tree and 5 shrubs is based off of the provided landscaping, not what is required. Based off this language you will be required 12 trees and 56 shrubs.

This row has been removed from the table as requested.

Since you cannot provide the property line buffer on this property line, please remove from this table.

Understood that there is an underground gas line, but traditional turf grass should be added on the backside of the curb. This traditional turf area does not and should not make up the entire frontage. The green meandering line is an example of how this could be added. You are the first proposed edging along Parker Road and this landscape edge will be used as

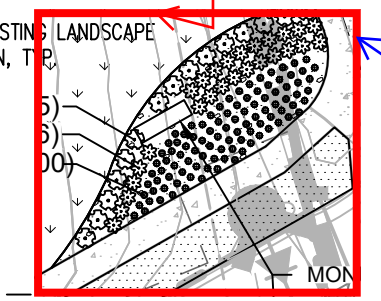
Note has been removed and plantings added to comply.

The Parker road frontage has been revised to include turf grass and meandering beds as requested.

The Parker road frontage has been revised to include turf grass and meandering beds as requested.

If elevation allows, shrub, ornamental grass and perennial beds should be added along this property line.

The below image was included as part of the landscaping completed by the overall developer. Please include in this plan set.



Understood about the underground utilities, but a shrub, ornamental grass and perennial bed should be added at this corner. These have shallow roots and are typically permitted.

Please label this. Is this the sight triangle?

This is a site monument for staking the property corners of the adjacent lot.

Shrubs, ornamental grasses and perennials are permitted within the storm sewer easement. To meet the minimum numbers as well as provide visual interest, please add shrub beds along this frontage. These beds can also be used to screen the utilities from view.

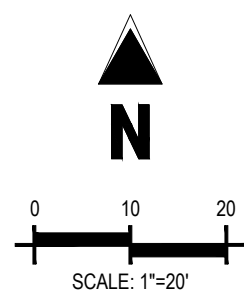
Acknowledged, the landscape plan has been updated per discussion with the planner at the Town of Parker. Please understand that the c-store had to shift slightly to the east, making this frontage more appropriate for continuous shrub beds. The redesign includes additional plantings as a result.

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PLANTING LEGEND

QTY	ABBREV.	BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE (V.L.L.M.H)	WATER USE	SUNSHADE
<b>DECIDUOUS TREES</b>							
4	GLTR	QLEDTSIA TRICANTHOS 'INERMIS' SHADEMASTER	SHADEMASTER HONEYLOCUST	2.5' CAL. B&B	50'X25'	L	SUN
<b>EVERGREEN TREES</b>							
3	PIPU	PICEA PUNGENS 'BAKER'	BAKERI SPRUCE	8' HEIGHT B&B	30X10'	M	SUN
<b>ORNAMENTAL TREES</b>							
3	KOGO	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1.5' CAL. B&B	30'X25'	L	SUN
<b>UPRIGHT JUNIPERS</b>							
6	JUBP	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5 CONT. 3' HEIGHT	12'X6'	VL	SUN/PART SHADE
<b>DECIDUOUS SHRUBS</b>							
40	AMCA	AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN
37	CACL	CARYOPTERIS X GLANDONENSIS	BLUE MIST SPIREA	#5 CONT. 18-24"	3'X3'	VL	SUN
29	PRBE	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5 CONT. 18-24"	18'X6'	VL	SUN
8	VICA	VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	#5 CONT. 18-24"	6'X6'	M	SUN
<b>PERENNIALS</b>							
13	AGRU	AGASTACHE RUPESTRIS 'SUNSET'	SUNSET HYSSOP	#1 CONT. 30'X24"			SUN
<b>SEED</b>							
4,500 S.F.		TOWN OF PARKER SEED MIX 1	TOWN OF PARKER SEED MIX 1	SEED		L	
<b>SOD</b>							
1,770 S.F.		FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)	SOD		M	
<b>MULCH</b>							
8,260 S.F.		ROCK COBBLE MULCH	2-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	MULCH		N/A	
AS NEEDED		WOOD MULCH	DARK BROWN SHREDDED HARDWOOD MULCH	MULCH		N/A	
<b>EDGING</b>							
420 L.F.		STEEL EDGING	BLACK STEEL EDGING. SEE LANDSCAPE NOTES	EDGING		N/A	

Per conversations with the town, a retaining wall has been included off the southeast corner of the c-store, causing a slight re-orientation of the landscaping along this frontage. This planting scheme has been accommodated in/around this new wall location. In conversations with the overall developer this should not be a problem incorporating. The overall developer has also committed to revisit the southern side of this access point in order to match the new layout on the Murphy corner.



CAUTION: UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

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REV-0 03/16/2020

DATE

PLAN

LANDSCAPE

MURPHY OIL USA, INC.

12405 S PARKER ROAD

PARKER COLORADO

200 PEACH STREET

EL DORADO, AR 71730

MURPHY OIL USA, INC.

MURPHY OIL USA

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 GallowayUS.com

Galloway

TOWN OF PARKER, DIRECTOR OF ENGINEERING

DATE

# MURPHY OIL USA, INC.

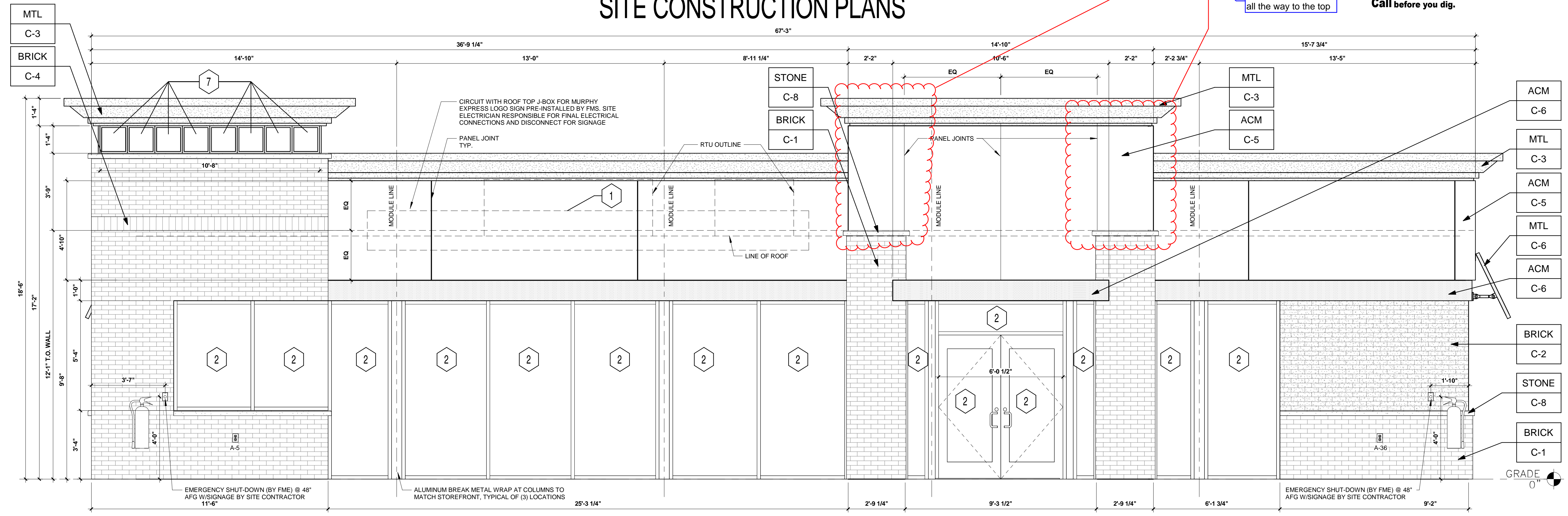
A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE CONSTRUCTION PLANS



Only on this elevation, can the brick be continued all the way to the top to help distinguish this elevation from the other sides?

Brick is now shown all the way to the top

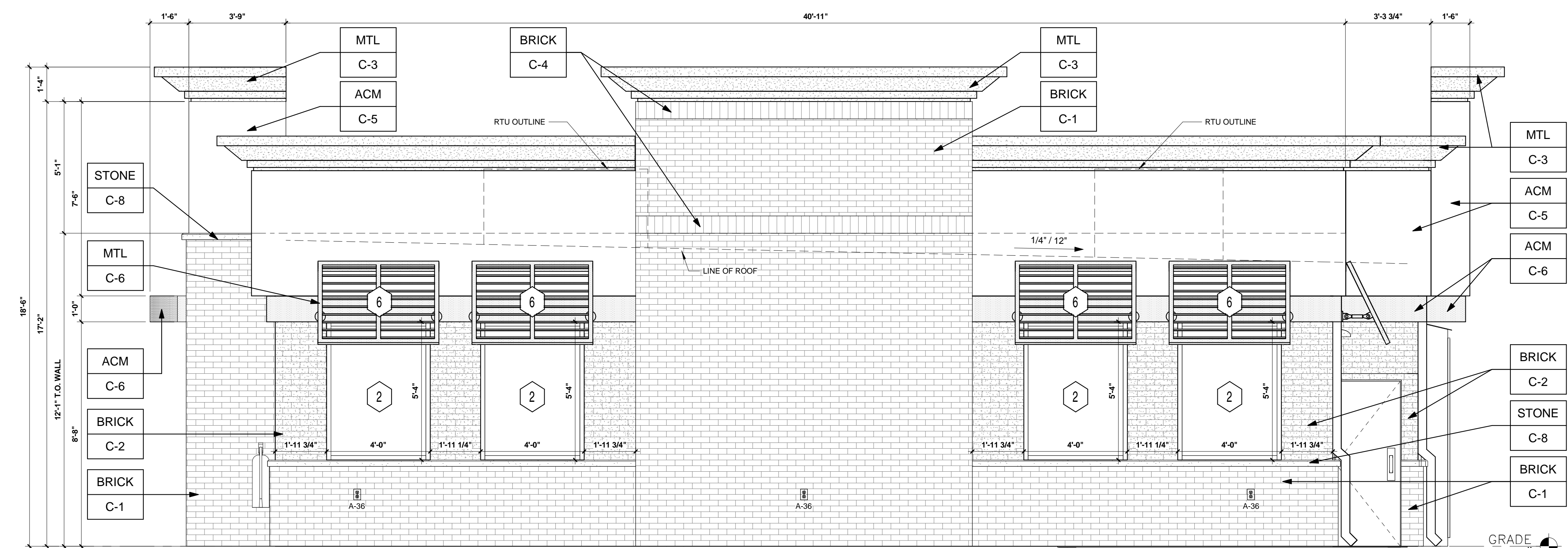


**1 FRONT ELEVATION (NORTH WEST)**  
 3/8" = 1'-0"

FRONT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	278	40%	69%

RIGHT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
246	75	25%	31%

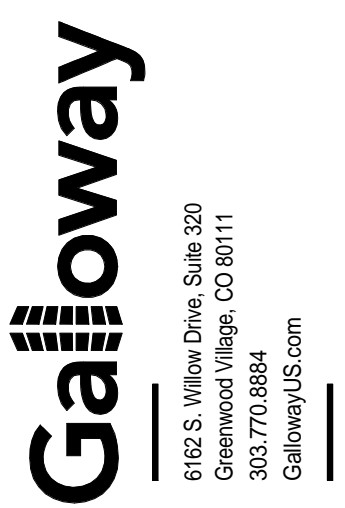
- KEYED NOTES:**
- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
  - 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
  - 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
  - 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
  - 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
  - 6 METAL AWNING BY FMS
  - 7 FAUX WINDOWS BY FMS
- EXTERIOR FINISHES:**
- ACM ACM (3MM THICKNESS) BY FMS
  - BRICK THIN BRICK BY FMS
  - MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
  - STONE STONE SILL BY FMS
- EXTERIOR PAINT/COLORS:**
- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
  - C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
  - C-3 DORMER BROWN SW #7521 BY FMS
  - C-4 THIN BRICK VENEER SOLDIER COURSE - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
  - C-5 'GRECIAN IVORY' SW #7541 BY FMS
  - C-6 'PROGRAM RED' BY ALPOLIC BY FMS
  - C-7 BLACK ALUMINUM STOREFRONT BY FMS
  - C-8 STONE SILL - CONCRETE GRAY CAP BY FMS



**2 RIGHT ELEVATION (SOUTH WEST)**  
 3/8" = 1'-0"

SHEET NO. **A1.1**

ARCHITECTURAL ELEVATIONS (BUILDING)  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO



MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730

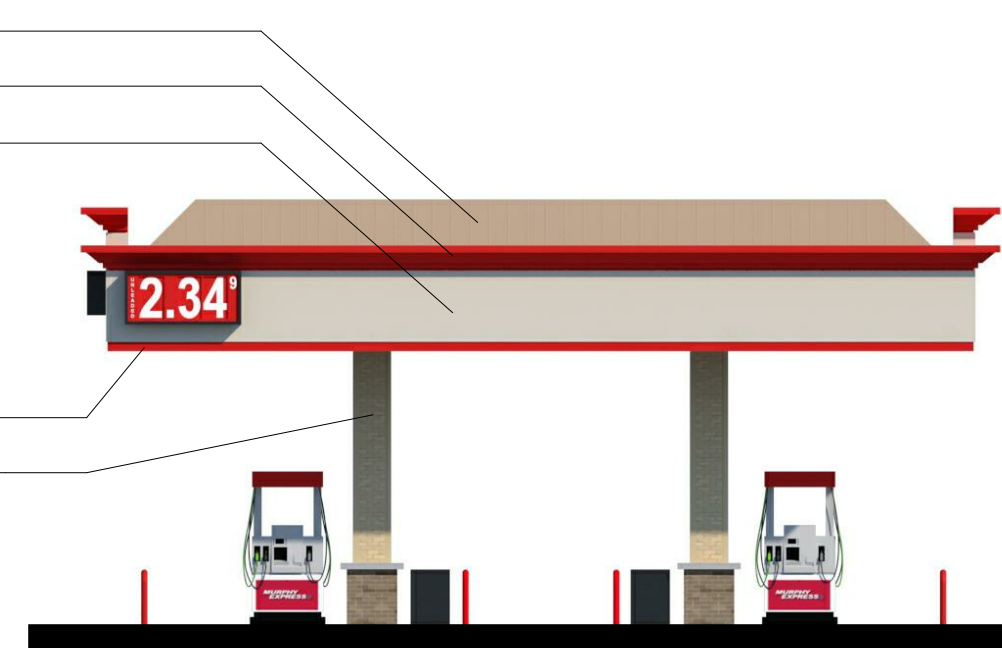
**MURPHY USA**





1 ELEVATION- FRONT (NORTH WEST)

- STANDING SEAM MANSARD ROOF - COLOR TO MATCH 'DORMER BROWN' SW #7521
- 18" HIGH DECORATIVE CORNICE - COLOR TO MATCH 'PROGRAM RED'
- ACM CANOPY FASCIA - COLOR TO MATCH 'GRECIAN IVORY' SW #7541
- T.O. MANSARD 22'-6"
- T.O. FASCIA 18'-9"
- T.O. ACCENT BAND 15'-0"
- PREFINISHED METAL ACCENT BAND - COLOR TO MATCH 'PROGRAM RED'
- CANOPY COLUMNS ENCLOSURES: BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS ABOVE 3'-4" BRICK VENEER BASE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"



2 ELEVATION- RIGHT (SOUTH WEST)

- STANDING SEAM MANSARD ROOF - COLOR TO MATCH 'DORMER BROWN' SW #7521
- FAUX WINDOWS
- 18" HIGH DECORATIVE CORNICE TO MATCH - 'DORMER BROWN' SW #7521
- ACM FASCIA - COLOR TO MATCH 'GRECIAN IVORY' SW #7541
- T.O. MANSARD 22'-6"
- T.O. FASCIA 18'-9"
- T.O. TOWER 18'-6"
- T.O. BUILDING 15'-10"
- B.O. ACCENT BAND 14'-6"
- ACM FASCIA - 'PROGRAM RED' BY ALPOLIC
- BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
- CONCRETE CAP
- BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"



3 ELEVATION- REAR (SOUTH EAST)

- BLACKED OUT WINDOWS WITH LIGHTS FROM INSIDE
- METAL DOORS AND FRAMES TO BE PAINTED 'DORMER BROWN' SW #7521



4 ELEVATION- LEFT (NORTH EAST)

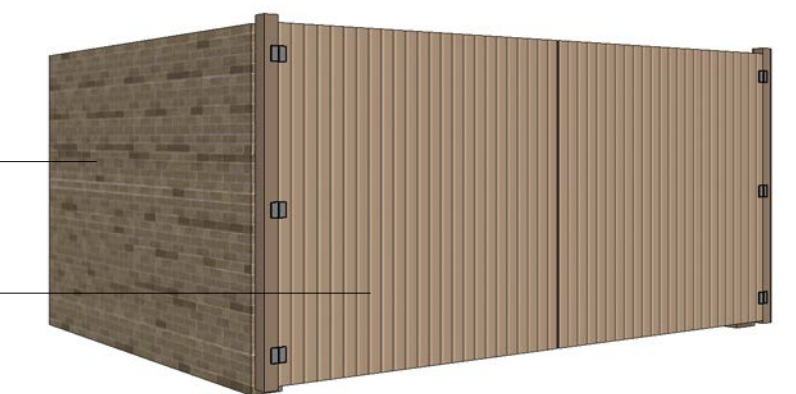


5 ELEVATION- FRONT BUILDING ONLY (NORTH WEST)

- FAUX WINDOWS
- 18" HIGH DECORATIVE CORNICE TO MATCH - 'DORMER BROWN' SW #7521
- T.O. TOWER 18'-6"
- T.O. BUILDING 15'-10"
- BRICK VENEER SOLDIER COURSE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- ACM FASCIA - COLOR TO MATCH 'GRECIAN IVORY' SW #7541
- ACM FASCIA - 'PROGRAM RED' BY ALPOLIC
- METAL AWNING - 'PROGRAM RED' BY ALPOLIC
- BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
- CONCRETE CAP
- BLACK ALUMINUM STOREFRONT
- BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"

Please include an image of what the bicycle rack will look like and what color it will be painted.

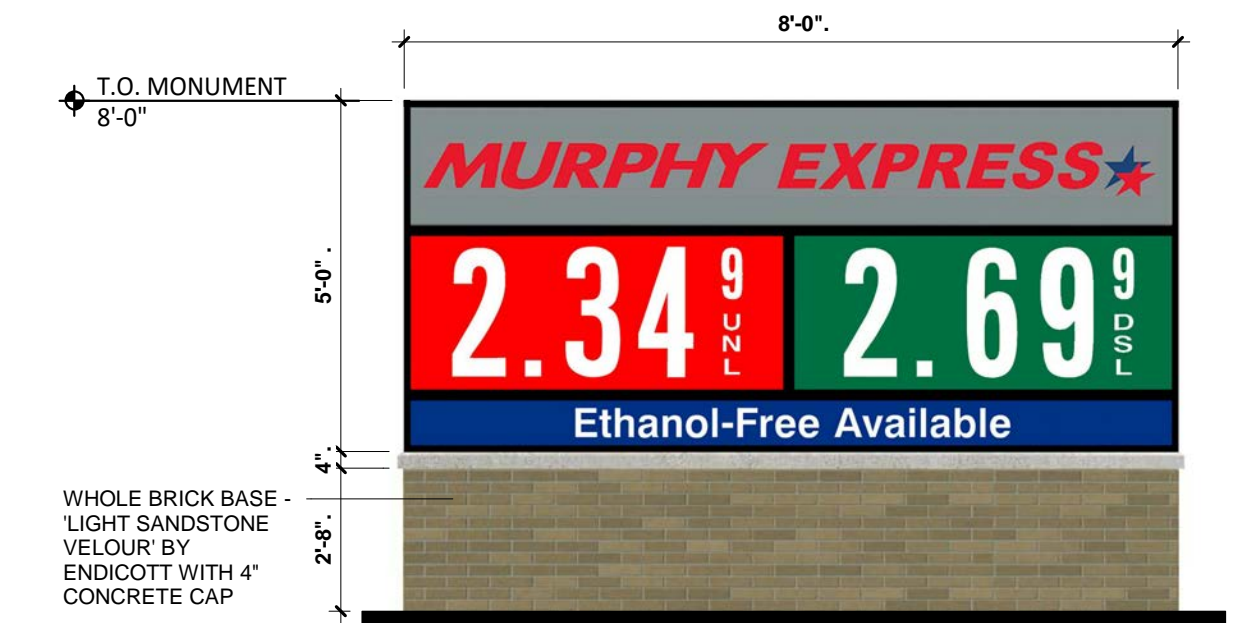
Bicycle rack detail and information has been added to the civil detail sheet.



8'-0" TALL WHOLE BRICK 'LIGHT SANDSTONE VELOUR' BY ENDICOTT BY GC

FIBERTECH COMPOSITE FENCE GATES, PAINTED 'DORMER BROWN' SW #7521 (FURNISHED AND INSTALLED BY GC)

6 TRASH ENCLOSURE



7 MONUMENT SIGN

SIGN	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY EXPRESS BLDG. LOGO SIGN	1			27.71	27.71
COMBINED EXTRA SMALL CANOPY PRICE SIGN (UNL / DSL)	1	28.25'	121.50'	23.84	23.84
SMALL CANOPY PRICE SIGN (UNL)	1	34.13'	74.00'	17.54	17.54
				<b>TOTAL:</b>	<b>69.09 S.F.</b>
<b>MONUMENT SIGN:</b>					
LOGO / UNL / DSL / ETHANOL-FREE AVAILABLE	1	60.00'	96.00'	40.00	40.00
				<b>TOTAL:</b>	<b>40.00 S.F.</b>