

# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



### PROJECT CONTACTS:

**RECORD OWNER**  
 EVI PARKER COLORADO, LLC  
 2710 E. CAMELBACK ROAD, SUITE 210  
 PHOENIX, AZ 85016  
 TEL: (602) 468-6100  
 CONTACT: RYAN AMATO

**DEVELOPER/APPLICANT**  
 MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730  
 CONTACT: GARY HEGENER

**ENGINEER/CONSULTANT**  
 GALLOWAY & COMPANY, INC.  
 6162 S. WILLOW DRIVE, SUITE 320  
 GREENWOOD VILLAGE, CO 80111  
 TEL: (303) 770-8884  
 FAX: (303) 770-3636  
 CONTACT: JIM ERWIN-SVOBODA, P.E.  
 EMAIL: JIMERWINSV@GALLOWAYUS.COM

**LANDSCAPE/CONSULTANT**  
 GALLOWAY & COMPANY, INC.  
 6162 S. WILLOW DRIVE, SUITE 320  
 GREENWOOD VILLAGE, CO 80111  
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 FAX: (303) 770-3636  
 CONTACT: TIM NELSON, RLA, ASLA, CDP  
 EMAIL: TIMNELSON@GALLOWAYUS.COM

**SURVEYOR**  
 GALLOWAY & COMPANY, INC.  
 1755 TELESTAR DR, SUITE 107  
 COLORADO SPRINGS, CO 80920  
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 FAX: (303) 770-3636  
 CONTACT: BRIAN DENNIS, PLS  
 EMAIL: BRIANDENNIS@GALLOWAYUS.COM

### MUNICIPAL & UTILITY CONTACTS:

**ENGINEERING**  
 TOWN OF PARKER – ENGINEERING  
 20120 E. MAIN STREET  
 PARKER, CO 80138  
 TEL: (303) 805-3169  
 CONTACT: RANDY CAPRA

**STORM SEWER**  
 TOWN OF PARKER – PUBLIC WORKS  
 20120 E. MAIN STREET  
 PARKER, CO 80138  
 TEL: (303) 840-9546

**FIRE**  
 SOUTH METRO FIRE RESCUE AUTHORITY  
 9195 E. MINERAL AVE.  
 CENTENNIAL, CO 80112  
 TEL: (720) 989-2244  
 CONTACT: CHIP KERKHOVE

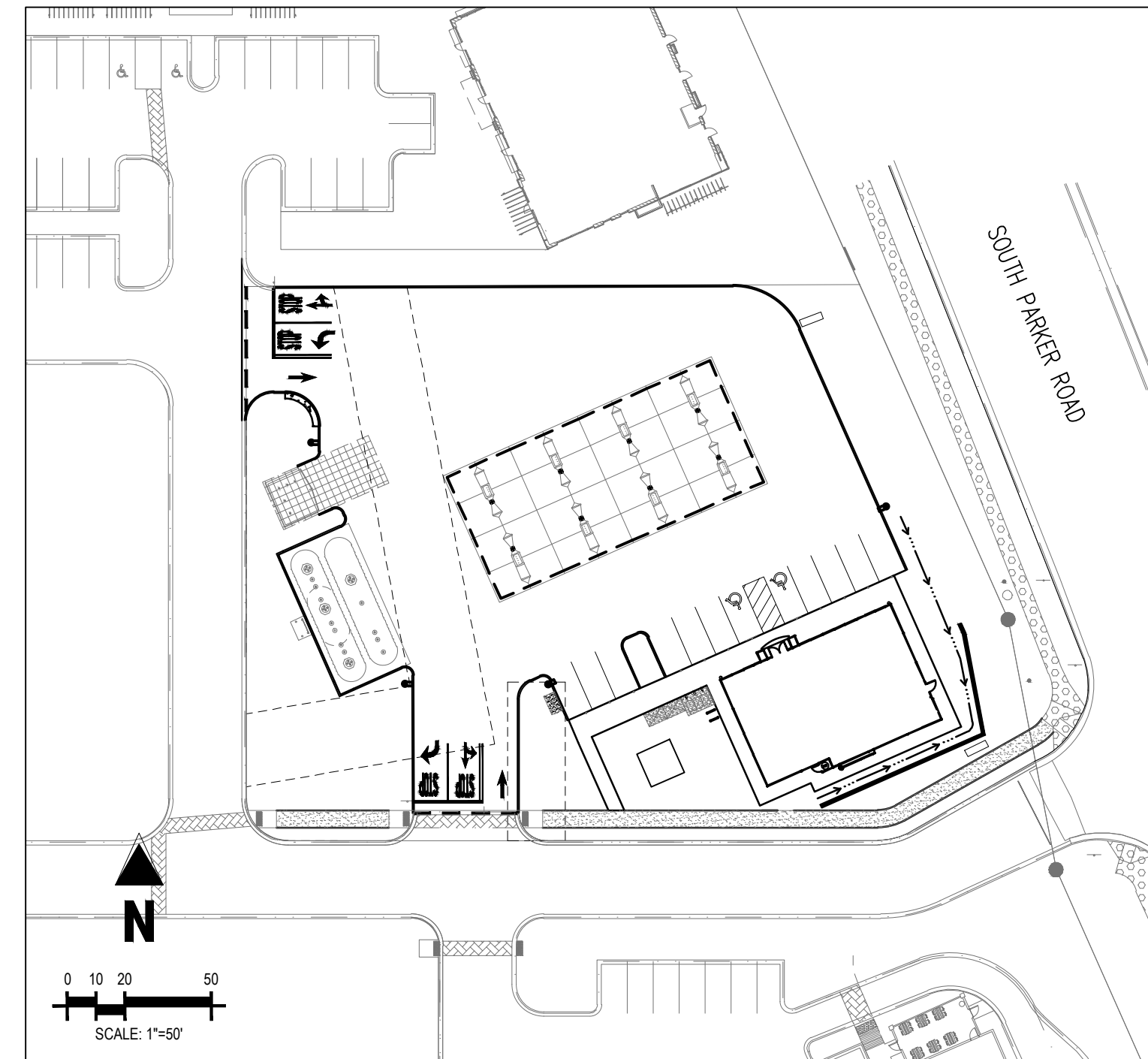
**WATER & SANITARY SEWER**  
 PARKER WATER AND SANITATION DISTRICT  
 1800 E. WOODMAN DRIVE  
 PARKER, CO 80134  
 TEL: (303) 841-4627  
 CONTACT: DRAYTON SANDERSON

**GAS**  
 XCEL ENERGY  
 1800 LARIMER STREET  
 DENVER, CO 80202  
 EMAIL: RON.H.JOHNSON@XCELENERGY.COM  
 CONTACT: RON JOHNSON

**ELECTRIC**  
 INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION  
 5496 NORTH US HIGHWAY 85  
 SEDALIA, CO 80135  
 TEL: (303) 688-3100  
 CONTACT: AMANDA STEINER

**TELEVISION**  
 COMCAST  
 1601 MILE HIGH STADIUM CIRCLE  
 DENVER, CO 80204  
 EMAIL: DEAN\_FLENTHROP@COMCAST.COM  
 CONTACT: DEAN FLENTHROP

**TELEPHONE**  
 CENTURYLINK  
 1801 CALIFORNIA STREET, SUITE 240  
 DENVER, CO 80202  
 CONTACT: IZZY MILLER  
 EMAIL: IZZY.MILLER@CENTURYLINK.COM



SITE MAP  
 SCALE: 1"=50'



VICINITY MAP  
 (NOT TO SCALE)

### SHEET INDEX

SHEET NUMBER	DESCRIPTION
C-0.0	COVER SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C-1.1	HORIZONTAL CONTROL PLAN
C-3.5	PHOTOMETRIC PLAN
C-3.6	PHOTOMETRIC DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS & NOTES
A1.1	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.2	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.3	ARCHITECTURAL ELEVATIONS (CANOPY)
1 OF 1	COLORING RENDERING

### SITE DATA TABLE

SITE AREA	47,621 SF / 1.09 AC
ZONING	PLANNED DEVELOPMENT – HIGHWAY ORIENTED COMMERCIAL
BUILDING:	SINGLE STORY – 2,824 SF (BUILDING)
	SINGLE STORY – 4,830 SF (CANOPY)
FAR:	25% MAX. / 16.1% ACTUAL
BUILDING COVERAGE:	50% MAX. / 16.1% ACTUAL
OPEN SPACE:	15% MIN. / 30.6% ACTUAL (16,839 SF LANDSCAPED AREA)
BUILDING SETBACK:	25' PUBLIC R.O.W.
	25' SIDE & REAR
BUILDING HT:	45' MAX. / 18.5' ACTUAL
CAR PARKING:	12 REQUIRED / 12 SPACES (INCLUDES 2 ADA) PROVIDED
BICYCLE PARKING:	2 REQUIRED / 2 PROVIDED

### DEVELOPMENT PLAN NOTES

**LIGHTING NOTE:** IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

**TRASH ENCLOSURE NOTE:** TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

**SCREENING NOTE:** ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

**SIGNAGE NOTE:** APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGN TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

**DOWNSPOUT NOTE:** NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

**AMERICANS WITH DISABILITIES NOTE:** THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

**CONSTRUCTION NOTE:** THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDINGS PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

**UNDERGROUND UTILITY NOTE:** ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

SHEET NO.  
**C-0.0**

COVER SHEET  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER  
 COLORADO

**Galloway**  
 6162 S. Willow Drive, Suite 320  
 Greenwood Village, CO 80111  
 303.770.8884  
 GallowayUS.com

**MURPHY OIL USA, INC.**  
 200 PEACH STREET  
 EL DORADO, AR 71730





# PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

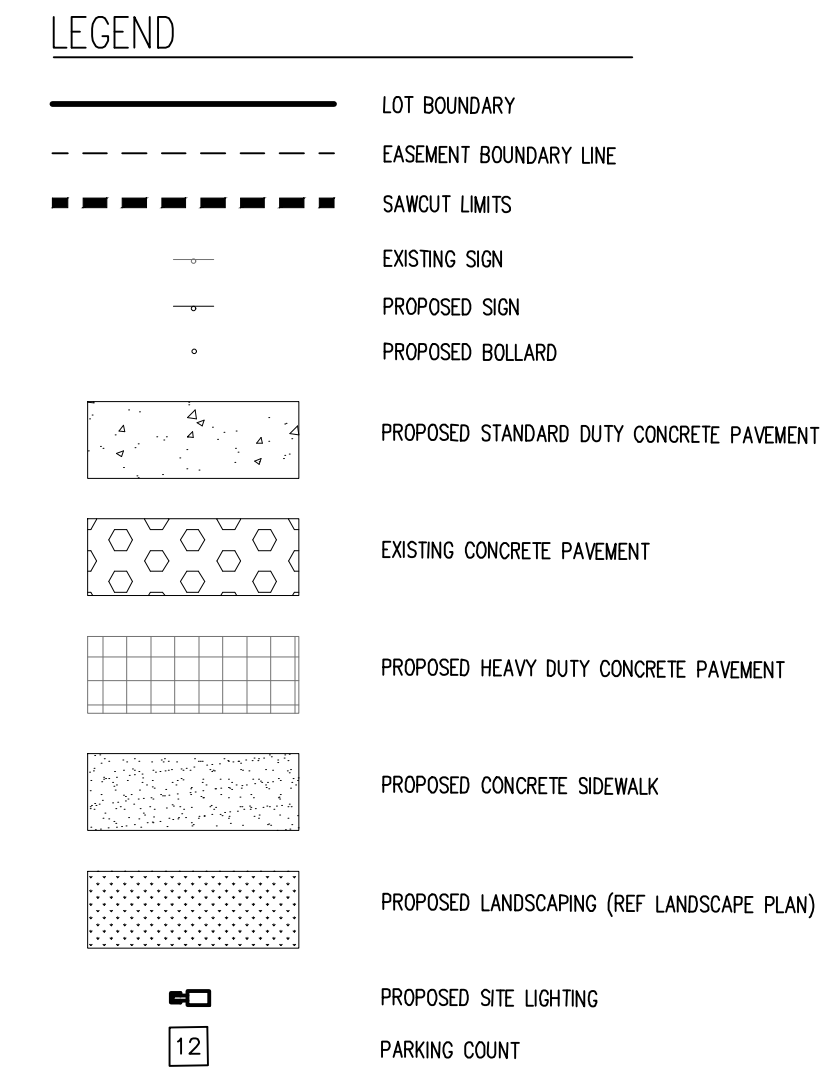
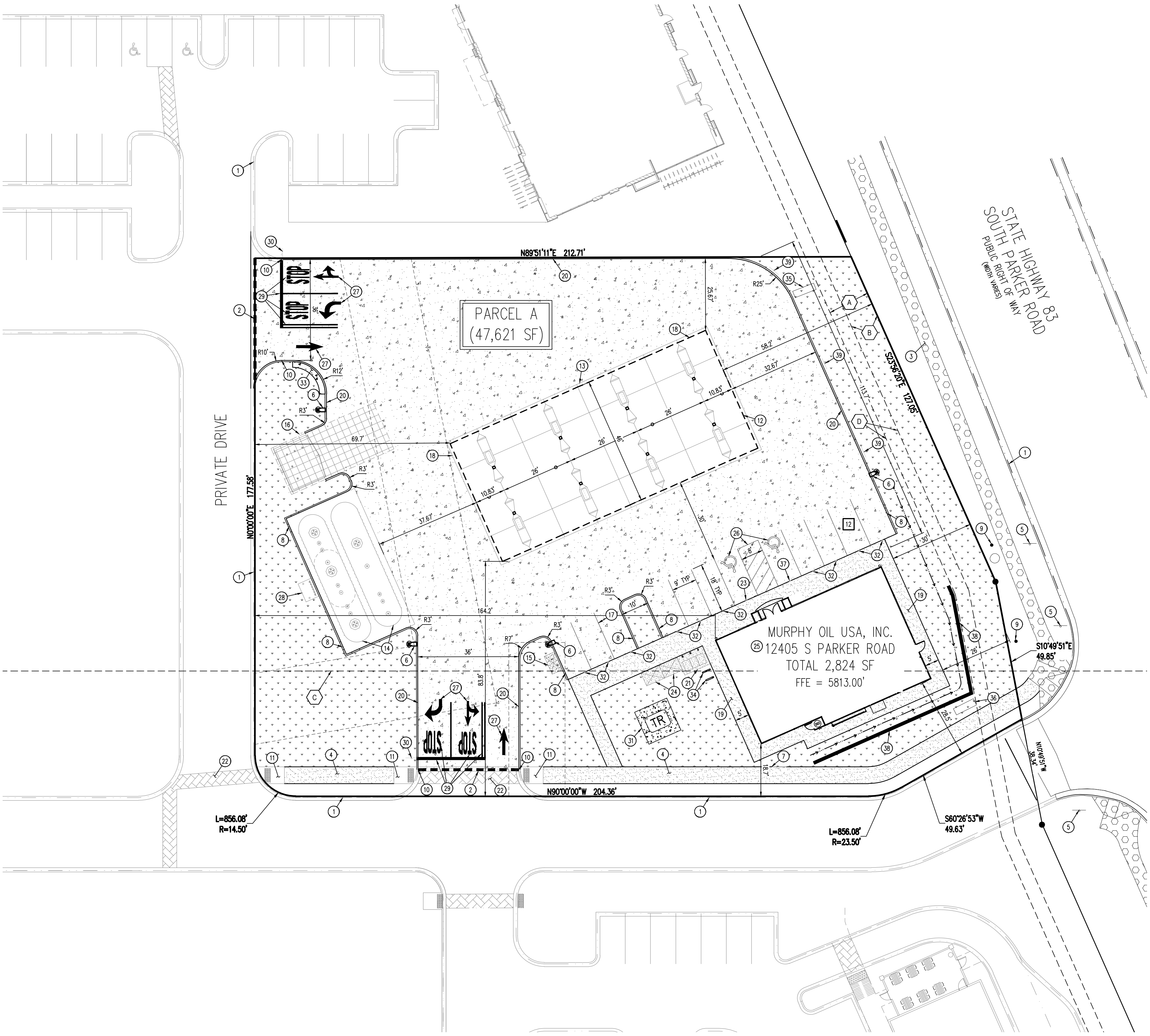
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 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE PLAN



SHEET NO. C-1.1



- EASEMENT SCHEDULE**
- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
  - (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
  - (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
  - (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047

- SCHEDULE**
- (1) EXISTING CURB AND GUTTER TO REMAIN
  - (2) SAWCUT EXISTING ASPHALT AT NEW DRIVEWAY ACCESS
  - (3) EXISTING CONCRETE SIDEWALK TO REMAIN
  - (4) PROPOSED AS PART OF MDP CONCRETE SIDEWALK INSTALLED BY DEVELOPER
  - (5) EXISTING SIGN TO REMAIN
  - (6) PROPOSED SITE LIGHT
  - (7) CONNECTION TO EXISTING SIDEWALK
  - (8) CURB TRANSITION
  - (9) EXISTING BOLLARD TO REMAIN
  - (10) PROPOSED CURB TO MATCH EXISTING
  - (11) PROPOSED AS PART OF MDP CONCRETE RAMP INSTALLED BY DEVELOPER
  - (12) PROPOSED OVERHEAD CANOPY
  - (13) EDGE OF CONCRETE SLAB UNDERNEATH THE CANOPY
  - (14) PROPOSED UNDERGROUND STORAGE TANKS
  - (15) PROPOSED AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB
  - (16) PROPOSED 6' TALL TRASH ENCLOSURE
  - (17) PROPOSED PARKING STALL STRIPING
  - (18) PROPOSED PRICE SIGN PER APPROVED ELEVATION
  - (19) PROPOSED SIDEWALK PER MURPHY STANDARDS
  - (20) PROPOSED INTEGRAL CONCRETE CURB
  - (21) PROPOSED 7'X10' CONCRETE SLAB FOR PROPANE TANKS
  - (22) PROPOSED AS PART OF MDP STAMPED CONCRETE CROSSWALK INSTALLED BY DEVELOPER
  - (23) PROPOSED ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
  - (24) PROPOSED 5'X7' CONCRETE PAD (2 TOTAL) FOR ICE UNIT
  - (25) PROPOSED 2,824 SQUARE FOOT MURPHY EXPRESS KIOSK
  - (26) PROPOSED ACCESSIBLE PARKING SYMBOLS AND STRIPING
  - (27) PROPOSED DIRECTIONAL TRAFFIC FLOW ARROW
  - (28) PROPOSED REMOTE TANK VENTS
  - (29) PROPOSED "STOP" BAR, LANE STRIPING, AND "STOP" LETTERING
  - (30) PROPOSED "STOP" SIGN
  - (31) PROPOSED CONCRETE TRANSFORMER PAD
  - (32) PROPOSED SINGLE GUARD POST
  - (33) PROPOSED 2' WIDE CONCRETE BUFFER
  - (34) PROPOSED BICYCLE RACK (2 SPOTS)
  - (35) PROPOSED MURPHY MONUMENT SIGN
  - (36) PROPOSED DEVELOPER MONUMENT SIGN
  - (37) PROPOSED VAN ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
  - (38) PROPOSED WALL (REFERENCE GRADING PLAN FOR DETAILS)
  - (39) PROPOSED "NO PARKING FIRE LANE" SIGN

**BENCHMARK**  
 ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN. VERTICAL DATUM IS APPROXIMATELY 2.6± FEET BELOW NAVD 88.

**SITE BENCHMARKS:**  
 SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76  
 SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

**BASIS OF BEARING**  
 BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24960 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

- CAUTION – NOTICE TO CONTRACTOR**
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

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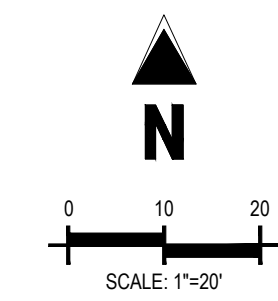
TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

3RD SUBMITTAL DATE 10/05/2020 PRN PM DES KML DRW  
**HORIZONTAL CONTROL PLAN**  
**MURPHY EXPRESS**  
**12405 SOUTH PARKER ROAD**  
**PARKER COLORADO**

**Galloway**  
 6162 S. Willow Drive, Suite 320  
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 303.770.8864  
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**MURPHY OIL USA, INC.**  
 200 PEACH STREET  
 EL DORADO, AR 71730

**MURPHY USA**





# PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
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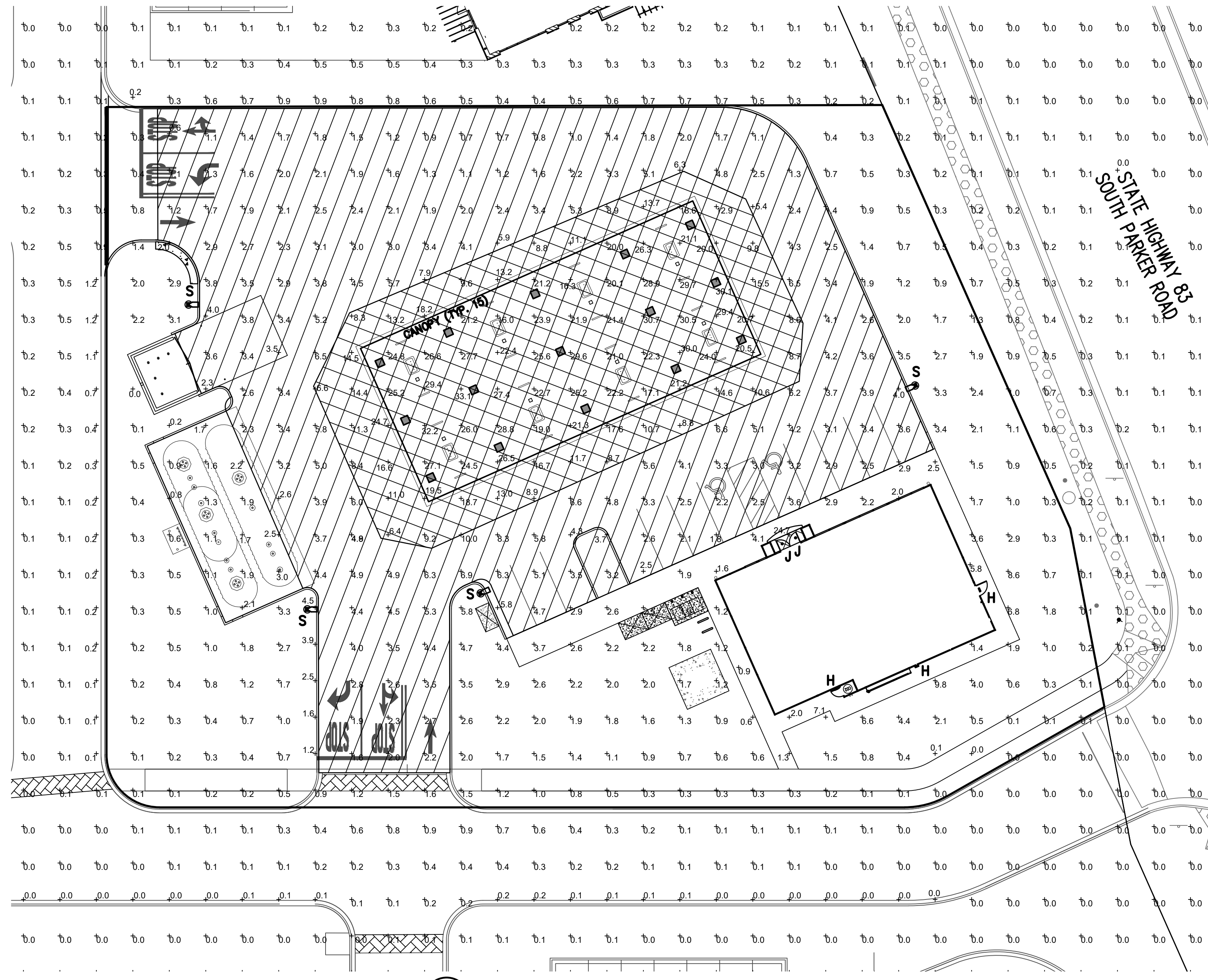
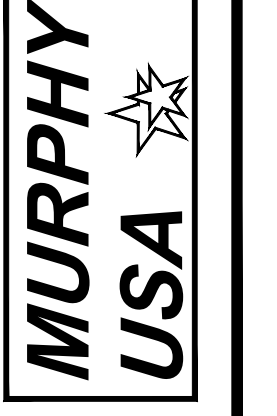
## SITE CONSTRUCTION PLANS

SHEET NO. C-3.5

PHOTOMETRIC PLAN  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO

**Galloway**  
 6162 S. Willow Drive, Suite 320  
 Denver, CO 80111  
 303.770.8844  
 GallowayUS.com

**MURPHY OIL USA, INC.**  
 200 PEACH STREET  
 EL DORADO, AR 71730



**1 PHOTOMETRIC SITE PLAN**  
 SCALE: 1"=20'-0"

CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-6" FROM BACK OF CURB TO CENTER OF POLE/BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS.

**TOWN OF PARKER NOTE:**

ALL FIXTURES ARE TO COMPLY WITH THE FULL SHIELDING REQUIREMENT OF THE TOWN OF PARKER LAND DEVELOPMENT CODE (13.10.140(C)(11)).

**NOTES:**

PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.

THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.

ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.

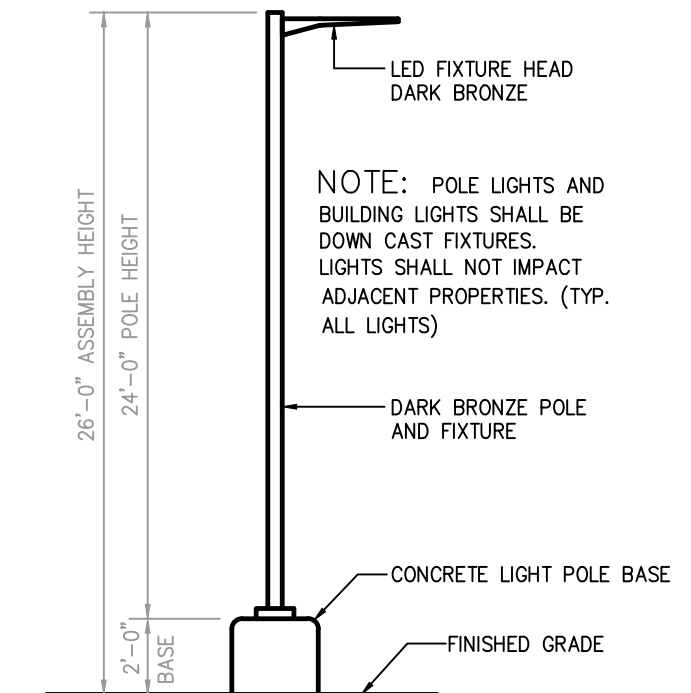
THE 26'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.

THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

**CALCULATION SUMMARY**

LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
INVENTORY AND GENERAL PARKING	FC	3.22	8.9	1.1	2.93 to 1	8.09 to 1
PRINCIPAL DISPLAY	FC	19.07	33.1	6.4	2.98 to 1	5.17 to 1

PRINCIPAL DISPLAY = 8,344 sf WHICH IS 17.5% OF TOTAL ILLUMINATED SITE AREA (47,621 sf)



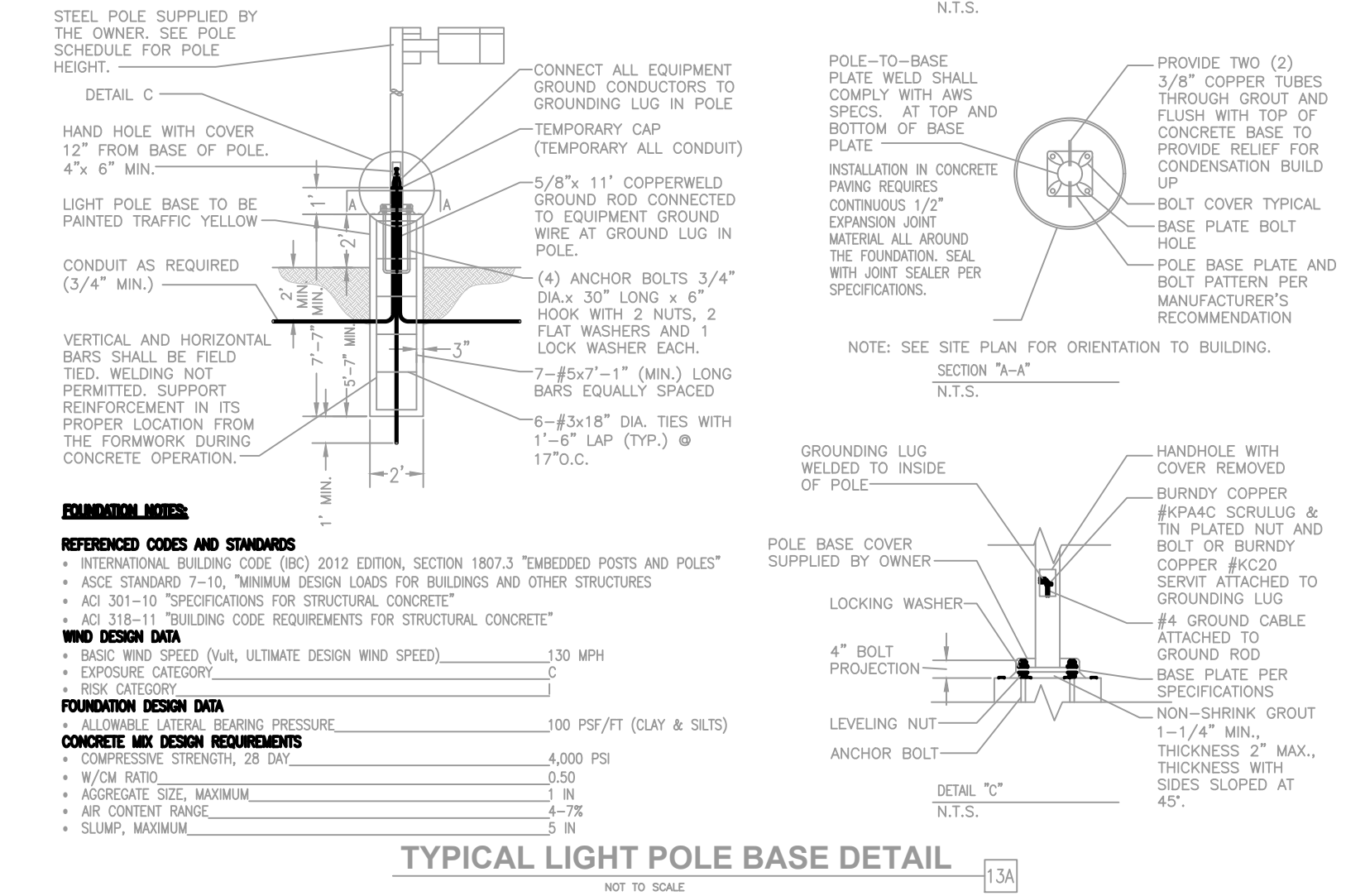
**2 AREA LIGHT DETAIL**  
 SCALE: NOT TO SCALE

LUMINAIRE SCHEDULE									
MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION	COLOR
S		4	26'-0"	24'-0"	19664	149	SLM-18L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K, 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW	BRONZE
CANOPY		15	15'-0"	N/A	12949	114	CRUS-SC-LED-SS-40-UE-WHT	LSI LIGHTING, LEGACY SERIES, SUPER SAVER DRIVER, 4000K, FLAT LENS CANOPY FIXTURE	WHITE
H		3	8'-1"	N/A	4109	42	XSPWA03MCUS-UZK	CREE LIGHTING, XSP WALL MOUNT LUMINAIRE, 5700K CCT, WITH PHOTOCELL SENSOR	BRONZE
J		2	8'-8"	N/A	1800	20	LR6-18L-35K-120V-A-DR W/LT6A	CREE LIGHTING, LR-6 DOWN LIGHT LUMINAIRE, 3500K CCT, 1800 LUMENS, 120V, 3,500K CCT, FULLY RECESSED ENTRY LIGHTS WITH HOUSING RC6-12W-GU24	DIFFUSE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET  
 ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.  
 ALL FIXTURES ARE FULL CUT-OFF FIXTURES

POLE SCHEDULE					
MOUNTING CONFIG	SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION
S		4	24'-0"	4SQB3-S11G-24-S-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET  
 POLES RATED TO 130 MPH WIND VELOCITY



**TYPICAL LIGHT POLE BASE DETAIL**  
 NOT TO SCALE

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE



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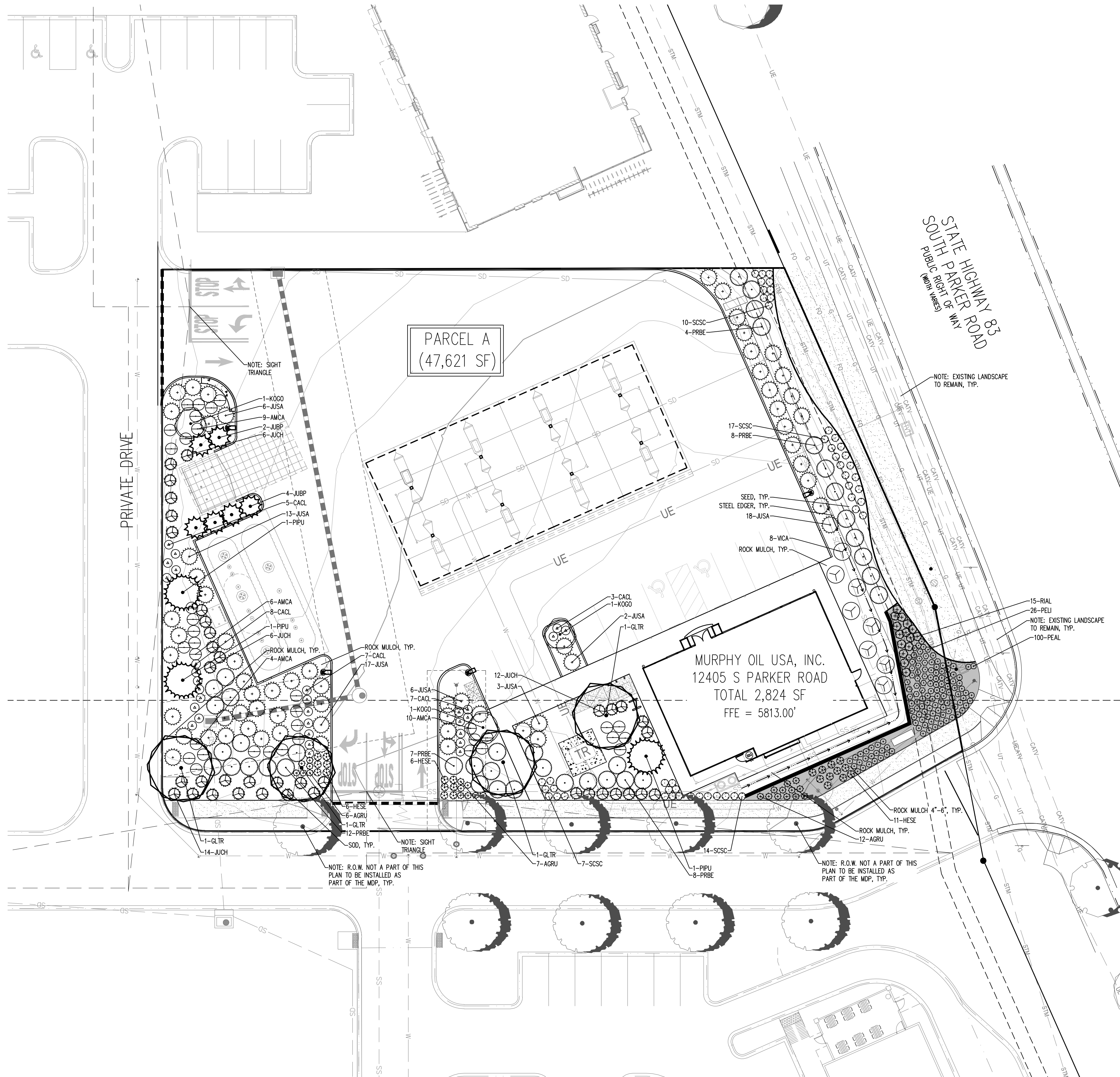
## SITE CONSTRUCTION PLANS



Know what's below.  
 Call before you dig.

SHEET NO.

L1.1



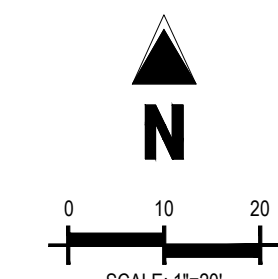
### LANDSCAPE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA	47,621 SF	15% MIN. OF TOTAL SITE AREA (7,143 SF TOTAL SITE)	7,143 SF REQUIRED	16,839 SF PROVIDED (30.6% OF TOTAL SITE AREA)
REQUIRED LANDSCAPING	16,839 SF	1 TREE AND 5 SHRUBS PER 1,500 SF OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING	11 TREES 56 SHRUBS	11 TREES 197 SHRUBS
SITE PERIMETER LANDSCAPING		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	SOUTH PERIMETER LANDSCAPING IS BEING PROVIDED AS PART OF THE OVERALL MDP.	
WEST PERIMETER	173' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	5 TREES / 22 SHRUBS
SOUTH PERIMETER	218' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	6 TREES / 27 SHRUBS
EAST PERIMETER	176' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	4 TREES / 22 SHRUBS
SOD COVERAGE	16,839 SF	15% MAXIMUM TURF COVERAGE	2,525 SF MAX	2,490 SF (14.7%)
GROUND COVERAGE	16,839 SF	75% LIVING GROUND COVERAGE AT MATURITY	12,629 SF	12,997 SF (77%)

NOTE: TEN SHRUBS MAY BE SUBSTITUTED FOR ONE TREE. ONE ORNAMENTAL GRASS IN A FIVE-GALLON CONTAINER OR THREE ORNAMENTAL GRASSES IN A ONE-GALLON CONTAINER MAY BE SUBSTITUTED FOR ONE SHRUB.  
 NOTE: STREETSCAPE LANDSCAPING BY MDP.

### PLANTING LEGEND

QTY	LEGEND ABBREV.	BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE	WATER USE (V,L,M,H)	SUN/SHADE	PERCENT TREE SPECIES	PERCENT GROUND COVER IN S.F.
<b>DECIDUOUS TREES</b>									
4	GLTR	GLEDITSIA TRIACANTHOS 'INERMIS' 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2.5' CAL. B&B	50'X35'	L	SUN	25%	
<b>EVERGREEN TREES</b>									
3	PIPU	PICEA PUNGENS 'BAKERI'	BAKERI SPRUCE	8' HEIGHT B&B	30'X10'	M	SUN	18%	340
<b>ORNAMENTAL TREES</b>									
3	KOGO	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1.5' CAL. B&B	30'X25'	L	SUN	18%	1,470
<b>UPRIGHT JUNIPERS</b>									
6	JUBP	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5 CONT. 3' HEIGHT	12'X8'	VL	SUN/PART SHADE	37%	676
<b>DECIDUOUS SHRUBS</b>									
36	AMCA	AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN		468
25	CACL	CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	#5 CONT. 18-24"	3'X3'	VL	SUN		300
26	PELLI	PEROVSKIA X 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	#5 CONT. 18-24"	2'X2'	L	SUN		312
39	PRBE	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5 CONT. 18-24"	18'X8'	VL	SUN		952
15	RIAL	RIBES ALPNUM	GREEN MOUND ALPINE CURRANT	#5 CONT. 18-24"	4'X4'	L/M	SUN/PART SHADE		420
8	VICA	VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	#5 CONT. 18-24"	6'X6'	M	SUN		400
<b>EVERGREEN SHRUBS</b>									
38	JUCH	JUNIPERUS CHINENSIS 'ARMSTRONGII'	ARMSTRONG JUNIPER	#5 CONT. 18-24"	4'X4'	VL	SUN		480
64	JUSA	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#5 CONT. 18-24"	12'X8'	VL	SUN/PART SHADE		3,200
<b>ORNAMENTAL GRASSES</b>									
23	HESE	HELICTOTRICHON SEMPERVIRENS	BLUE AVEINA	#3 CONT. 2.5'X2.5'	VL	SUN/PART SHADE		276	
100	PEAL	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#5 CONT. 2'X2'	M	SUN		700	
48	SCSC	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#3 CONT. 3'X2'	VL	SUN		336	
<b>PERENNIALS</b>									
25	AGRU	AGASTACHE RUPESTRIS 'SUNSET'	SUNSET HYSSOP	#1 CONT. 30'X24"	VL	SUN		175	
<b>SOD</b>									
2,490 S.F.		FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)	SOD		M			2,490
<b>MULCH</b>									
10,050 S.F.		ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	MULCH					
1,175 S.F.		ROCK COBBLE MULCH	4"-8" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	MULCH					
AS NEEDED		WOOD MULCH	DARK BROWN SHREDDED HARDWOOD MULCH	MULCH					
<b>EDGING</b>									
175 L.F.		STEEL EDGING	BLACK STEEL EDGING. SEE LANDSCAPE NOTES	EDGING					
<b>TOTAL GROUND COVERAGE</b>									
		TOTAL LS AREA = 16,839 S.F.	75% GROUND COVERAGE = 12,629 S.F.						TOTAL = 12,997



CAUTION  
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.  
 CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING  
 THEIR LOCATION PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.  
 THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEWS, GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

LANDSCAPE PLAN  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO

Galloway

MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730



6122 S. Willow Drive, Suite 320  
 Littleton, CO 80111  
 303.770.8844  
 GallowayUS.com



# PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.  
A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE CONSTRUCTION PLANS

SHEET NO. **L1.2**

LANDSCAPE DETAILS & NOTES  
MURPHY EXPRESS  
12405 SOUTH PARKER ROAD  
PARKER, COLORADO



6162 S. Willow Drive, Suite 320  
Englewood, CO 80111  
303.770.9864  
GallowayUS.com

MURPHY OIL USA, INC.  
200 PEACH STREET  
EL DORADO, AR 71730



### PLANTING NOTES

- GENERAL**
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
  - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
  - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
  - ALL UTILITY EASEMENTS SHALL REMAIN UNOBTAINED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
  - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
  - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
  - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
  - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
  - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
  - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
  - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
  - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION**
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
  - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PROVIDED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT

- FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
  - AT A MINIMUM ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 50 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- PLANTING**
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE GUED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
  - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW AGRENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
  - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
  - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
  - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
  - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
  - A 3'-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
  - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING**
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL

- IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS, WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
  - INSTALL DEWIT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
  - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
  - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
  - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE JCT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

### SEED NOTES

- ALL SEED MIXES AVAILABLE THROUGH:  
WESTERN NATIVE SEED COMPANY  
P.O. BOX 188  
COALDALE, CO 81222  
(719) 942-3935
- DRYLAND SEED MIXES ARE AVAILABLE AS FOLLOWS:  
50%\*FOOTHILLS GRASS MIX\*, 50%\*VERISCAPE WILDOLOVER MIX\*
- ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROSLURRY APPLIED OVER THE SEED BED AFTER SEEDING. THE SLURRY MIX SHALL CONTAIN THE FOLLOWING:  

LBS./1,000 SF	
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER	4

### SEED ESTABLISHMENT NOTES

- THE LANDSCAPE CONTRACTOR SHALL SEED ALL NATIVE SEED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS. SOIL PREPARATION MEASURES IN AREAS TO BE SEEDED SHALL BE COMPLETED PRIOR TO SEEDING.
- FOR PROPER ESTABLISHMENT, SEED SHALL BE INSTALLED WHEN AT LEAST THREE MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN THREE MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS AND ENSURE TIMELY CLOSOUT. THESE MEASURES MAY INCLUDE: AT THE OWNER'S OPTION, RESEEDING OF SPARSELY GERMINATED AREAS AND/OR INSTALLATION OF SOIL AND ALL SEEDED AREAS.

### UTILITY NOTES

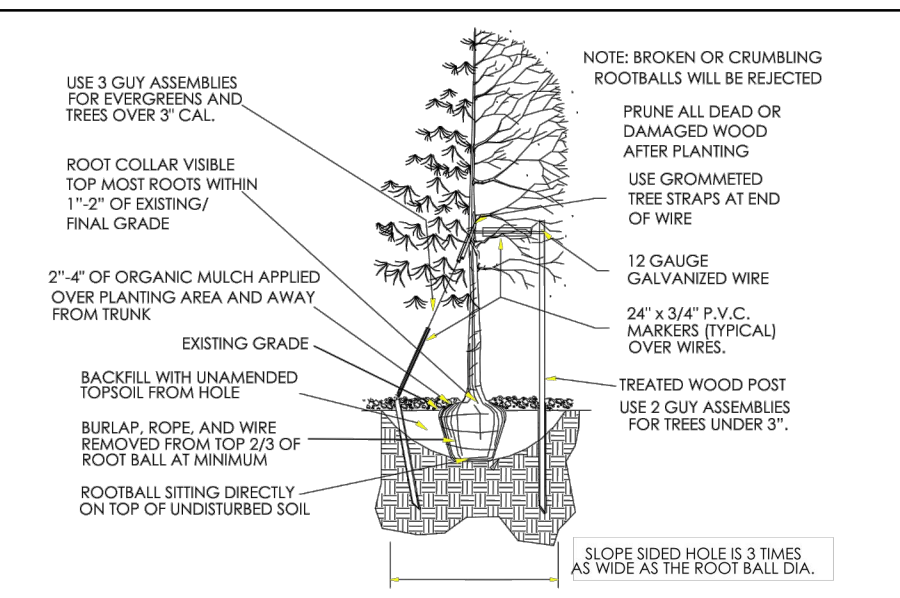
- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

### IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOO/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

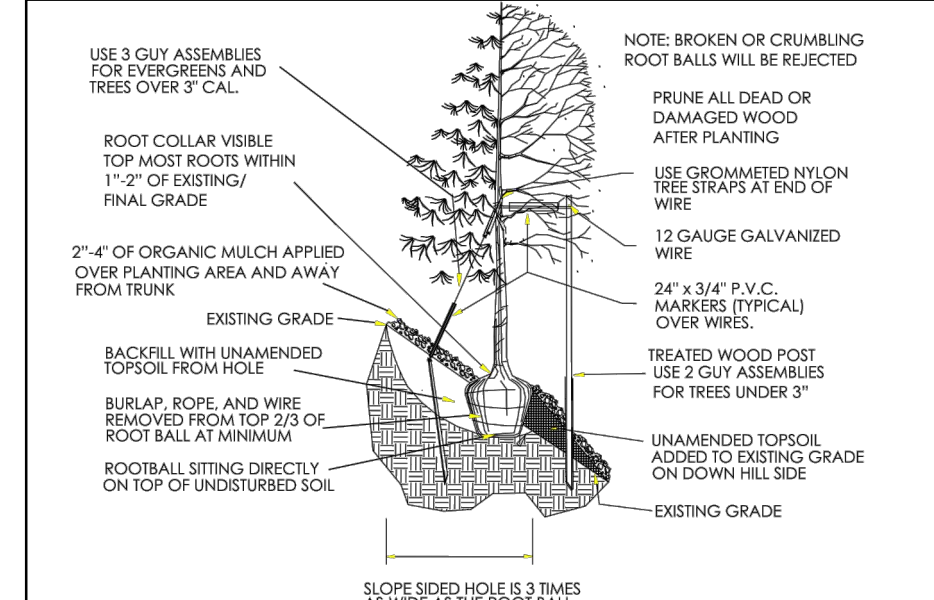
### LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOO, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

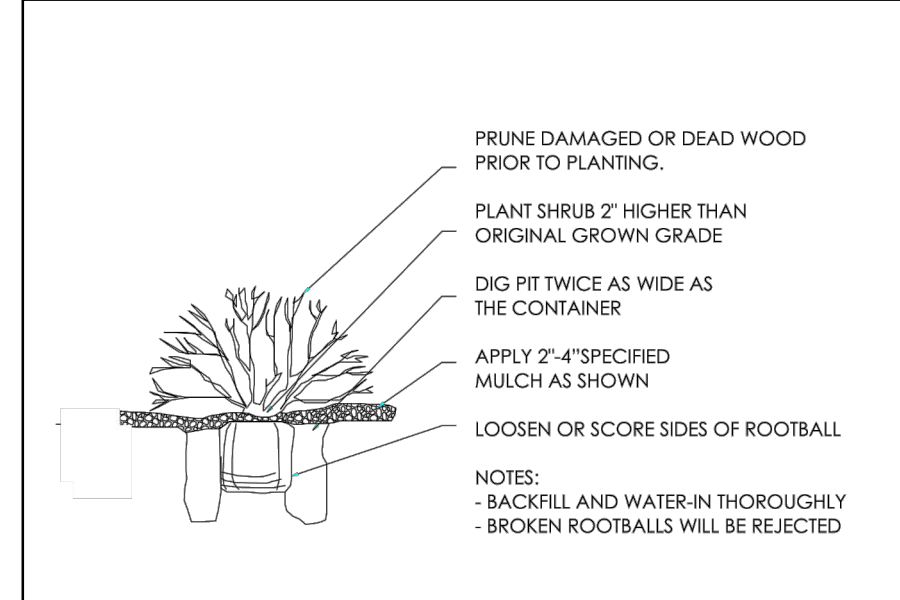


- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flares visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (moat) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside moats, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is not to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

1 TREE PLANTING DETAIL  
SCALE: NOT TO SCALE



2 TREE PLANTING DETAIL SLOPES  
SCALE: NOT TO SCALE



3 SHRUB PLANTING DETAIL  
SCALE: NOT TO SCALE

CAUTION  
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.  
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING  
THEIR LOCATION PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

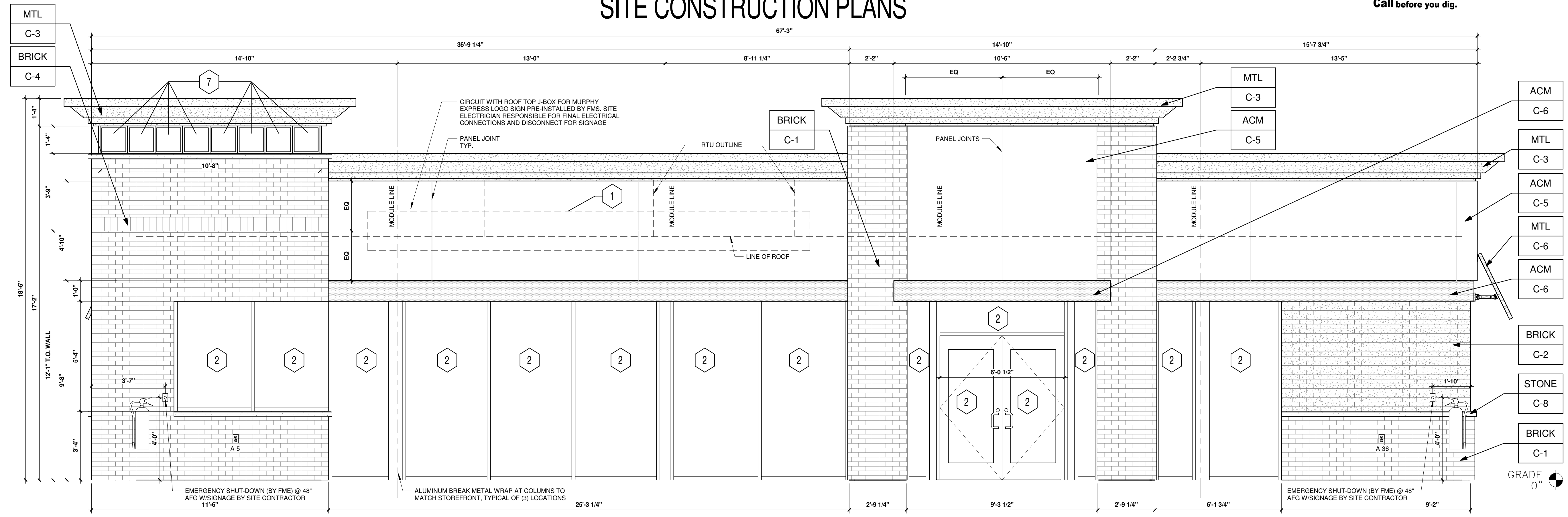
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

# MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE CONSTRUCTION PLANS

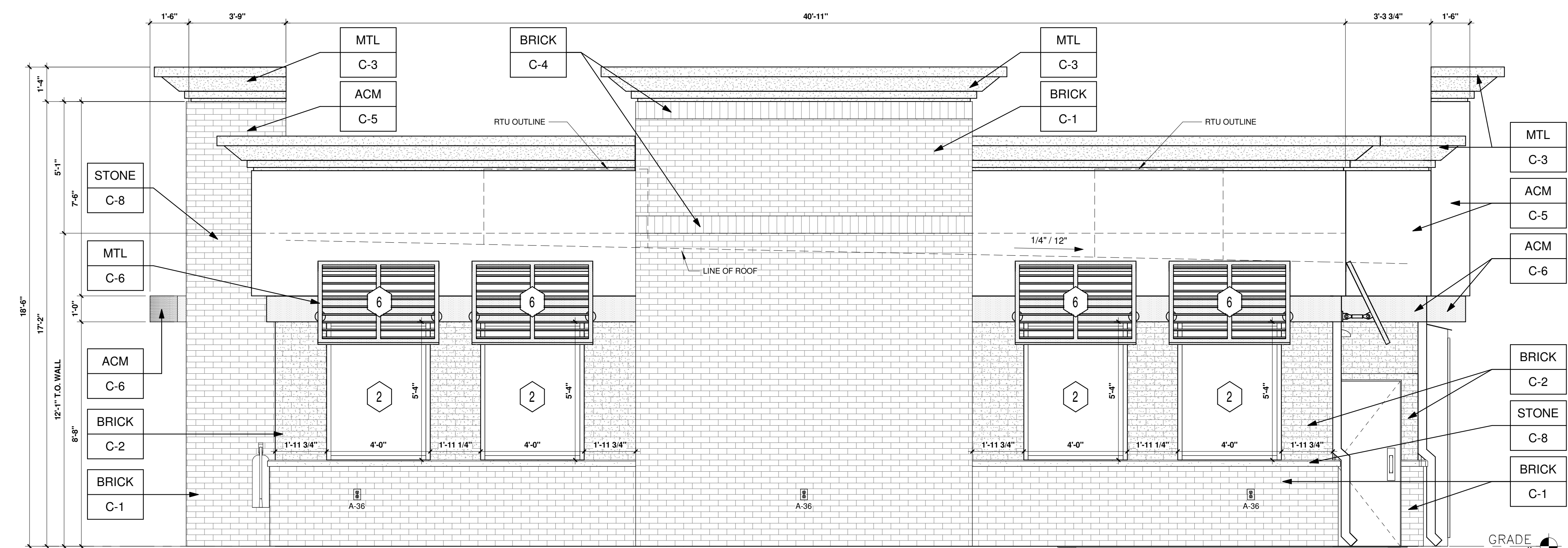


**1 FRONT ELEVATION (NORTH WEST)**  
 3/8" = 1'-0"

FRONT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	278	40%	69%

RIGHT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
246	75	25%	31%

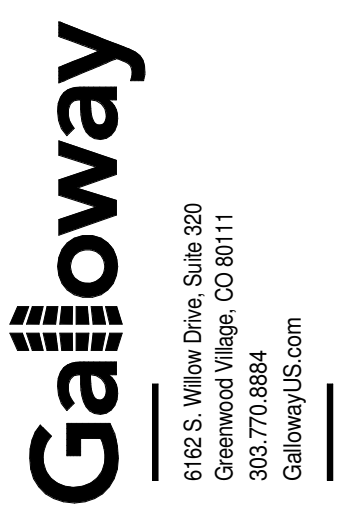
- KEYED NOTES:**
- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
  - 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
  - 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
  - 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
  - 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
  - 6 METAL AWNING BY FMS
  - 7 FAUX WINDOWS BY FMS
- EXTERIOR FINISHES:**
- ACM ACM (3MM THICKNESS) BY FMS
  - BRICK THIN BRICK BY FMS
  - MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
  - STONE STONE SILL BY FMS
- EXTERIOR PAINT/COLORS:**
- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
  - C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
  - C-3 'DORMER BROWN' SW #7521 BY FMS
  - C-4 THIN BRICK VENEER SOLDIER COURSE - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
  - C-5 'GRECIAN IVORY' SW #7541 BY FMS
  - C-6 'PROGRAM RED' BY ALPOLIC BY FMS
  - C-7 BLACK ALUMINUM STOREFRONT BY FMS
  - C-8 STONE SILL - CONCRETE GRAY CAP BY FMS



**2 RIGHT ELEVATION (SOUTH WEST)**  
 3/8" = 1'-0"

SHEET NO. **A1.1**

ARCHITECTURAL ELEVATIONS (BUILDING)  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO



MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730

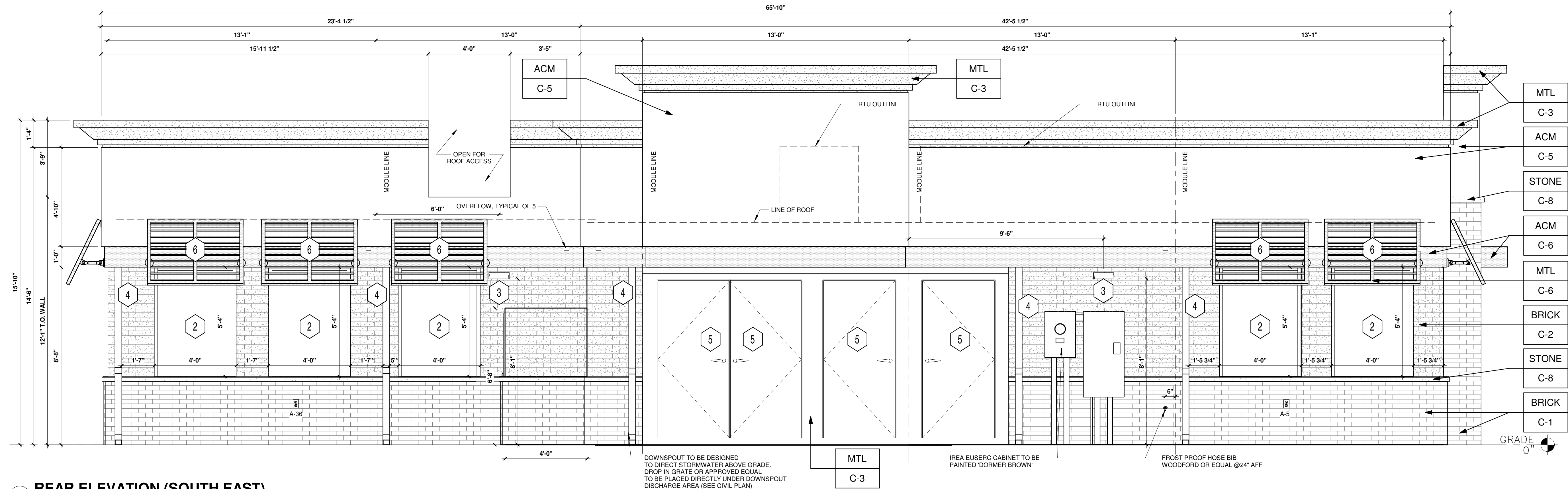
**MURPHY USA**



# MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE CONSTRUCTION PLANS



**3 REAR ELEVATION (SOUTH EAST)**  
 3/8" = 1'-0"

REAR ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	93	40%	23%

LEFT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
279	112	40%	40%

**KEYED NOTES:**

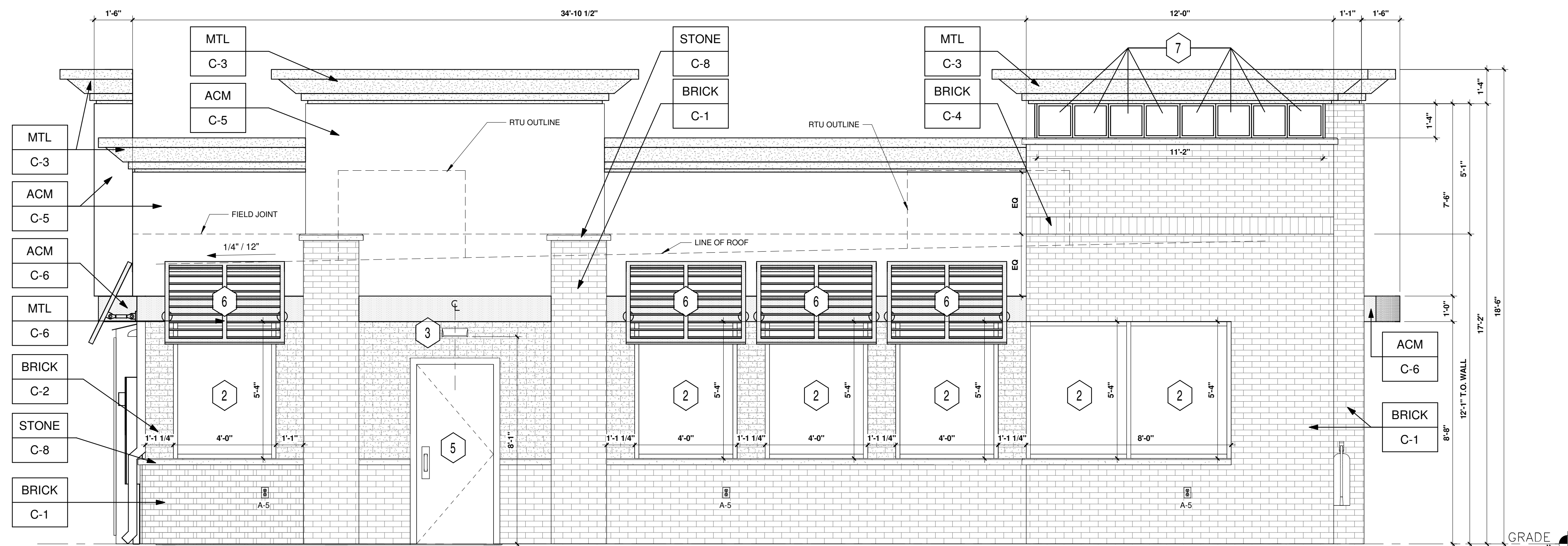
- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 METAL AWNING BY FMS
- 7 FAUX WINDOWS BY FMS

**EXTERIOR FINISHES:**

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

**EXTERIOR PAINT/COLORS:**

- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-3 'DORMER BROWN' SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-5 'GRECIAN IVORY' SW #7541 BY FMS
- C-6 'PROGRAM RED' BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS



**4 LEFT ELEVATION (NORTH EAST)**  
 3/8" = 1'-0"

SHEET NO.  
**A1.2**

ARCHITECTURAL ELEVATIONS (BUILDING)  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER, COLORADO



MURPHY OIL USA, INC.  
 200 PEACH STREET  
 EL DORADO, AR 71730

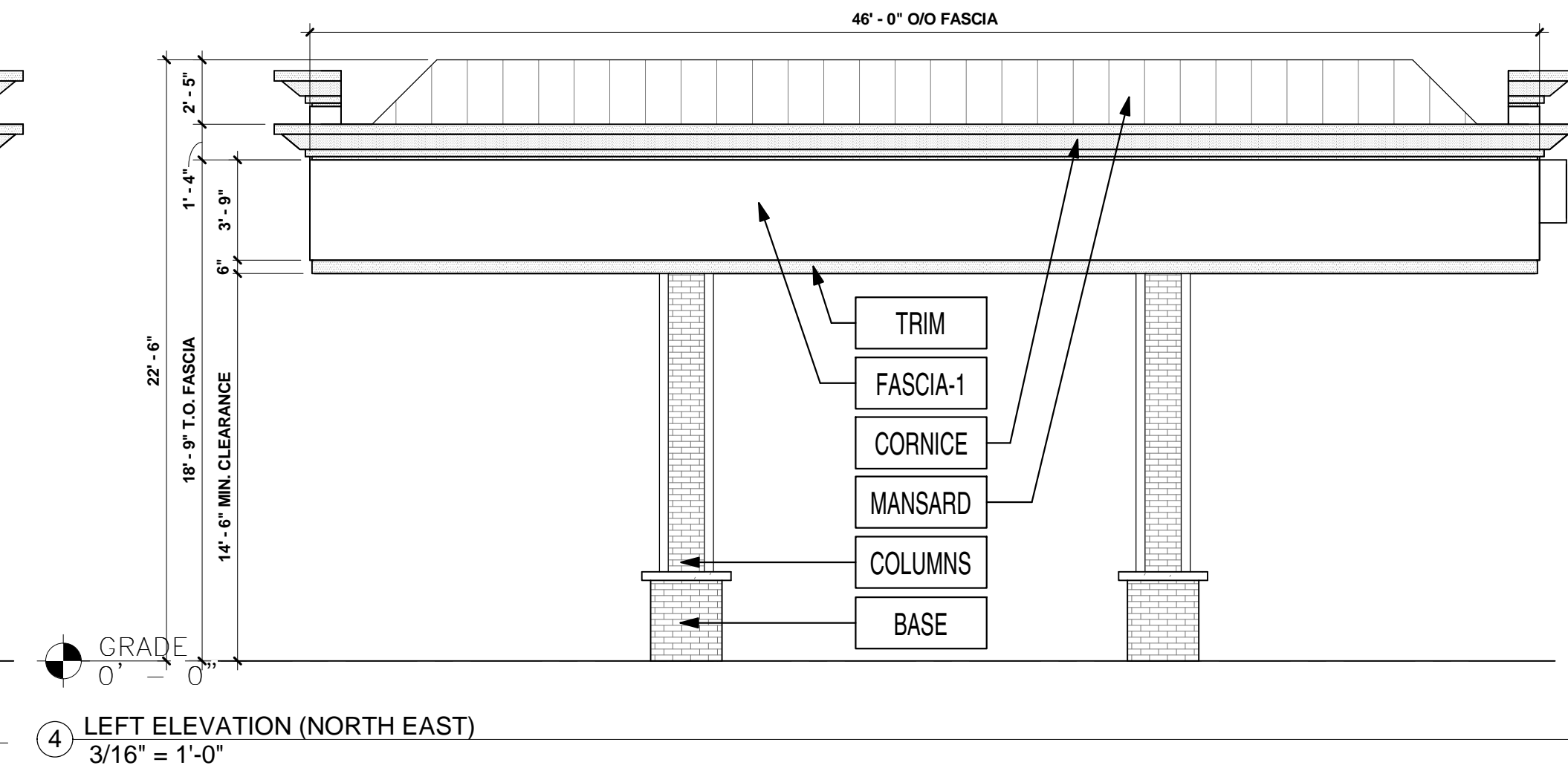
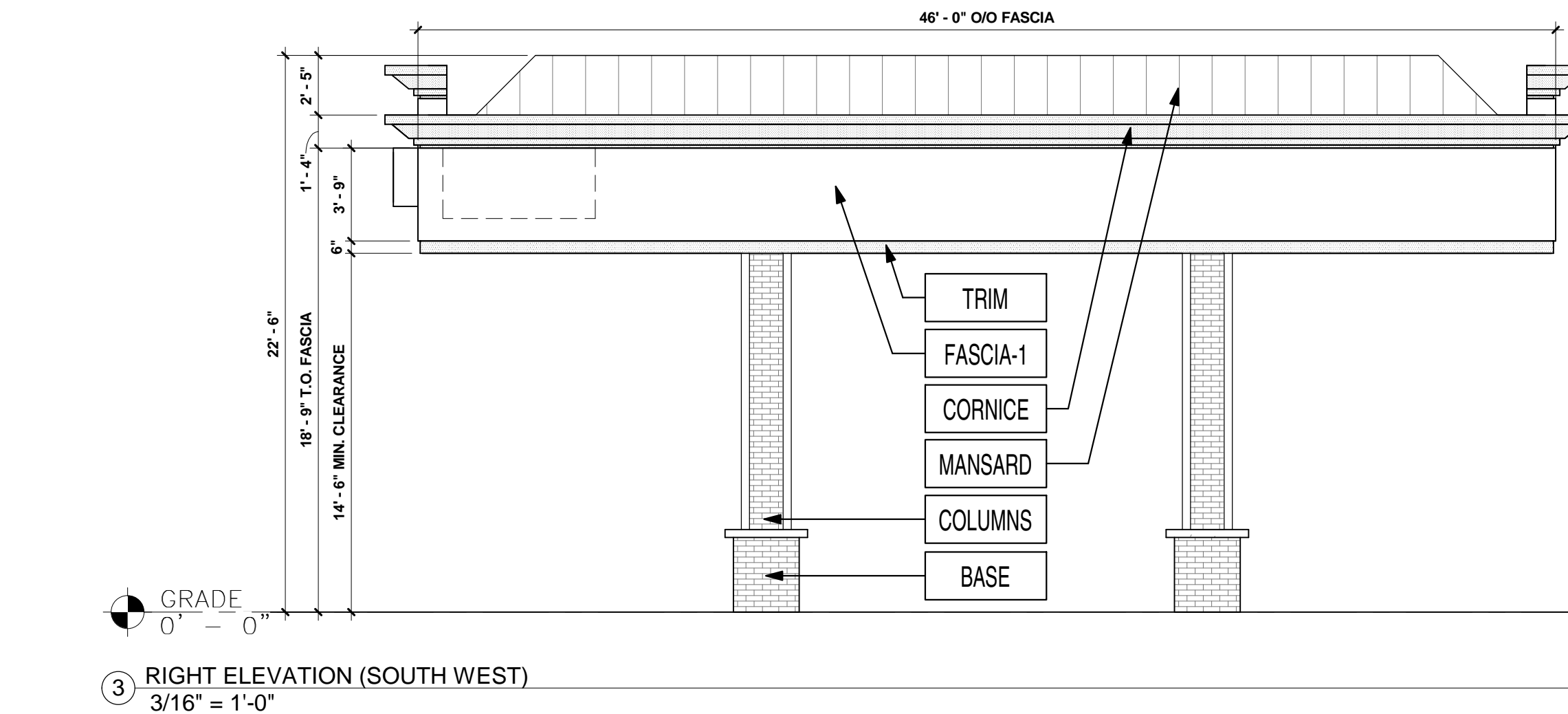
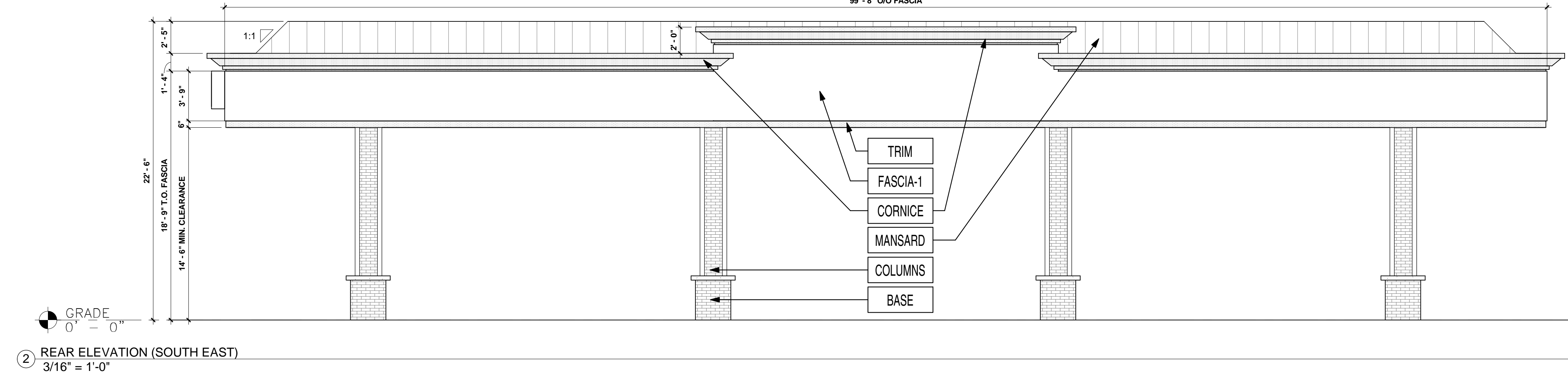
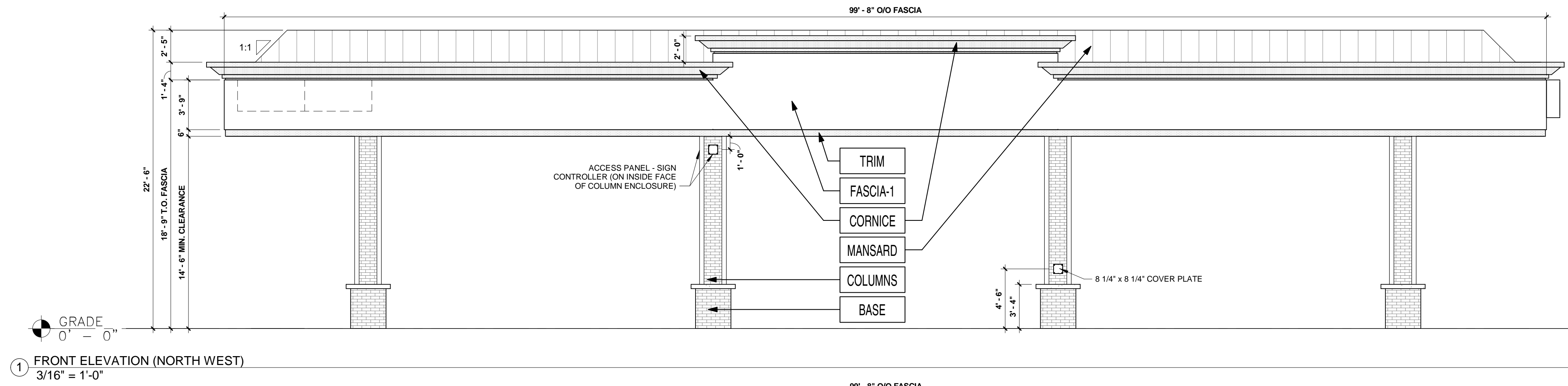
**MURPHY USA**



# MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

## SITE CONSTRUCTION PLANS



FINISH SCHEDULE		
FASCIA-1	ACM (ALUMINUM COMPOSITE MATERIAL) ACM FASCIA - 'GRECIAN IVORY' SW #7541	FURNISHED & INSTALLED BY FMS
TRIM	20 GA. SHEET METAL 6" HT PRE-FINISHED METAL ACCENT BAND 'PROGRAM RED' BY ALPOLIC	FURNISHED & INSTALLED BY FMS
COLUMNS	THIN BRICK VENEER 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS	FURNISHED & INSTALLED BY FMS
BASE	THIN BRICK VENEER 'LIGHT SANDSTONE VELOUR' BY ENDICOTT	FURNISHED & INSTALLED BY FMS
CORNICE	ACM (ALUMINUM COMPOSITE MATERIAL) PAINTED 'PROGRAM RED' BY ALPOLIC	FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD
MANSARD	20 GA. SHEET METAL (STANDING SEAM) PAINTED 'DORMER BROWN' SW #7521	FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD

SHEET NO.  
**A1.3**

ARCHITECTURAL ELEVATIONS (CANOPY)  
 MURPHY EXPRESS  
 12405 SOUTH PARKER ROAD  
 PARKER  
 COLORADO

**Galloway**  
 6162 S. Willow, Suite 300  
 Greenwood Village, CO 80111  
 303.770.8884  
 GallowayUS.com

**MURPHY OIL USA, INC.**  
 200 PEACH STREET  
 EL DORADO, AR 71730

**MURPHY USA**



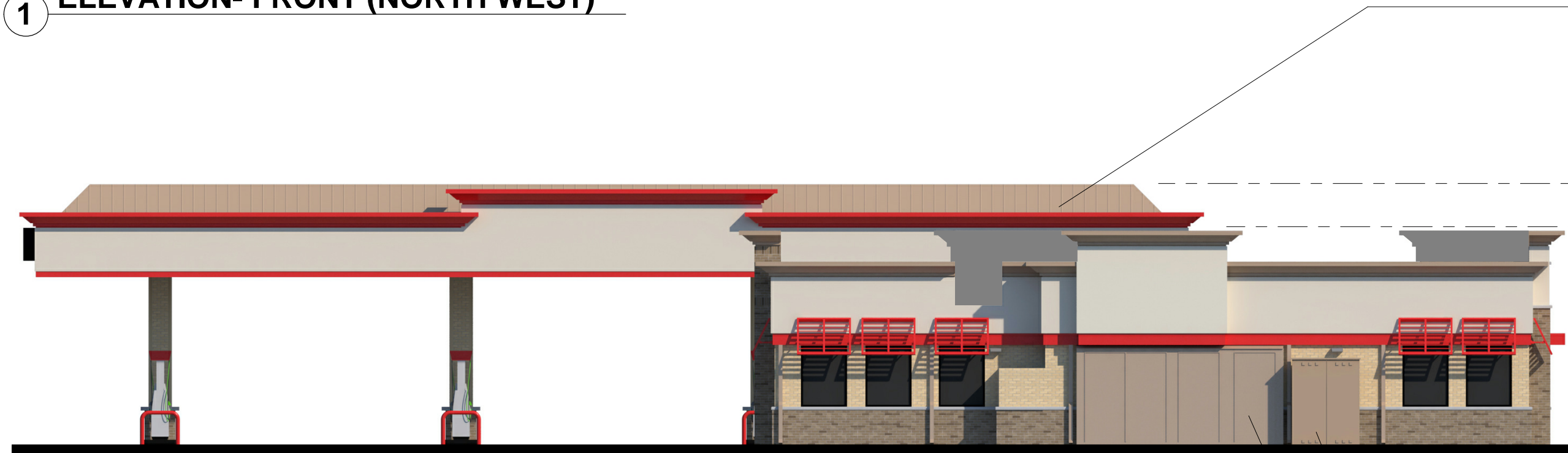


1 ELEVATION- FRONT (NORTH WEST)

- STANDING SEAM MANSARD ROOF - COLOR TO MATCH 'DORMER BROWN' SW #7521
- 18" HIGH DECORATIVE CORNICE - COLOR TO MATCH 'PROGRAM RED'
- ACM CANOPY FASCIA - COLOR TO MATCH 'GRECIAN IVORY' SW #7541
- T.O. MANSARD 22'-6"
- T.O. FASCIA 18'-9"
- T.O. ACCENT BAND 15'-0"
- PREFINISHED METAL ACCENT BAND - COLOR TO MATCH 'PROGRAM RED'
- CANOPY COLUMNS ENCLOSURES: BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS ABOVE 3'-4" BRICK VENEER BASE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"

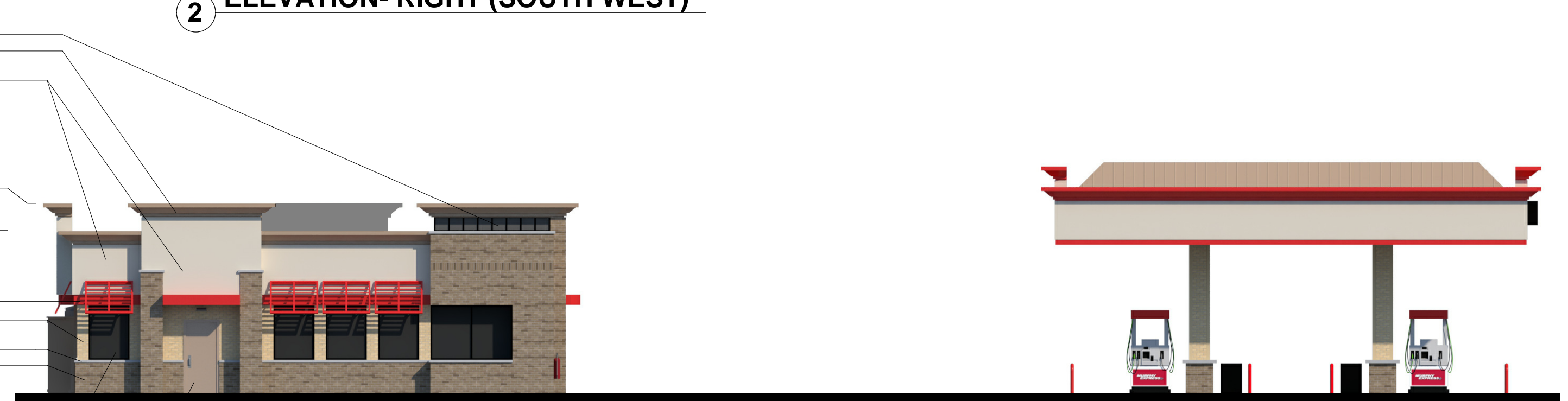


2 ELEVATION- RIGHT (SOUTH WEST)



3 ELEVATION- REAR (SOUTH EAST)

- STANDING SEAM MANSARD ROOF - COLOR TO MATCH 'DORMER BROWN' SW #7521
- FAUX WINDOWS
- 18" HIGH DECORATIVE CORNICE TO MATCH - 'DORMER BROWN' SW #7521
- ACM FASCIA - COLOR TO MATCH 'GRECIAN IVORY' SW #7541
- T.O. MANSARD 22'-6"
- T.O. FASCIA 18'-9"
- T.O. TOWER 18'-6"
- T.O. BUILDING 15'-10"
- B.O. ACCENT BAND 14'-6"
- ACM FASCIA - 'PROGRAM RED' BY ALPOLIC
- BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
- CONCRETE CAP
- BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"

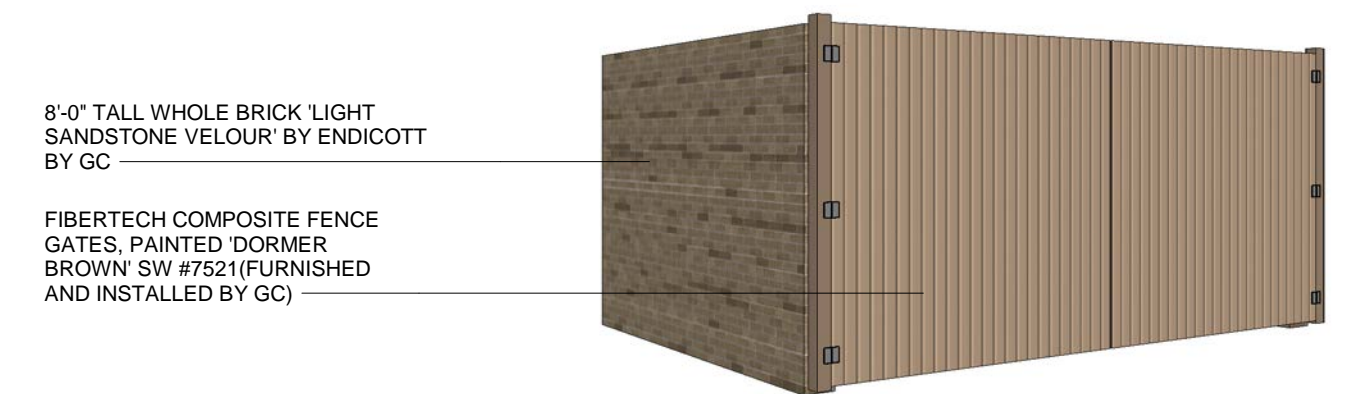


4 ELEVATION- LEFT (NORTH EAST)



5 ELEVATION- FRONT BUILDING ONLY (NORTH WEST)

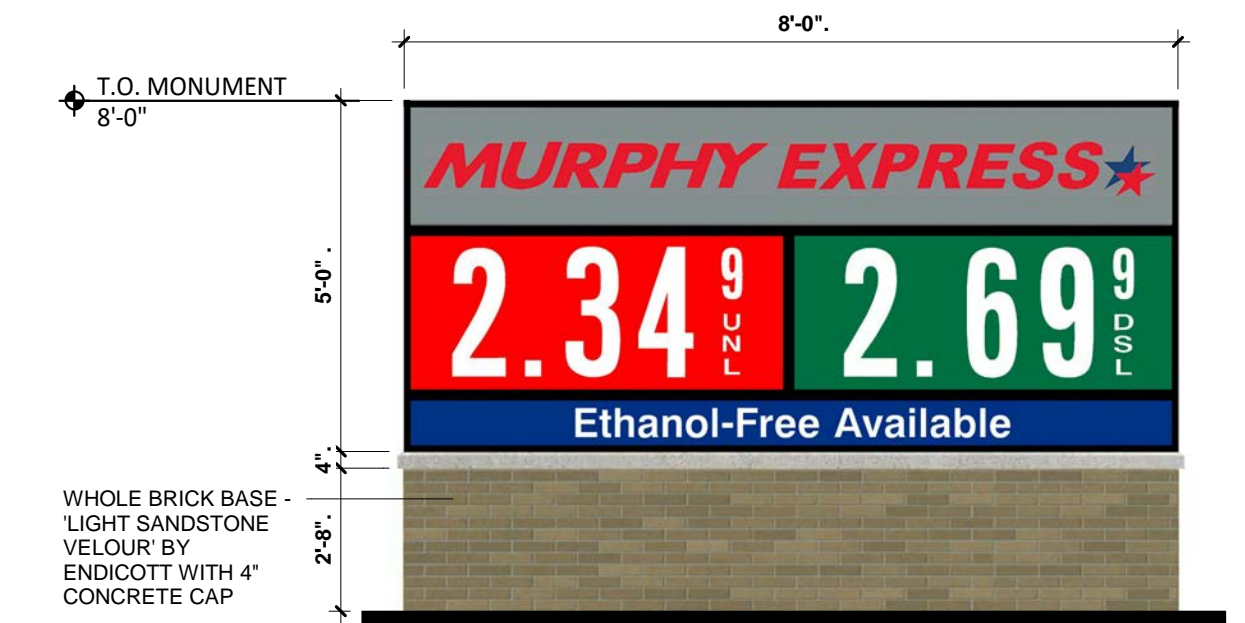
- BLACKED OUT WINDOWS WITH LIGHTS FROM INSIDE
- EUSERC CABINET TO BE PAINTED 'DORMER BROWN' SW #7521
- METAL DOORS AND FRAMES TO BE PAINTED 'DORMER BROWN' SW #7521
- FAUX WINDOWS
- 18" HIGH DECORATIVE CORNICE TO MATCH - 'DORMER BROWN' SW #7521
- T.O. TOWER 18'-6"
- T.O. BUILDING 15'-10"
- BRICK VENEER SOLDIER COURSE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- ACM FASCIA - COLOR TO MATCH 'GRECIAN IVORY' SW #7541
- ACM FASCIA - 'PROGRAM RED' BY ALPOLIC
- METAL AWNING - 'PROGRAM RED' BY ALPOLIC
- BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
- CONCRETE CAP
- BLACK ALUMINUM STOREFRONT
- BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"



8'-0" TALL WHOLE BRICK 'LIGHT SANDSTONE VELOUR' BY ENDICOTT BY GC

FIBERTECH COMPOSITE FENCE GATES, PAINTED 'DORMER BROWN' SW #7521 (FURNISHED AND INSTALLED BY GC)

6 TRASH ENCLOSURE



7 MONUMENT SIGN

SIGN	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY EXPRESS BLDG. LOGO SIGN	1			27.71	27.71
COMBINED EXTRA SMALL CANOPY PRICE SIGN (UNL / DSL)	1	28.25'	121.50'	23.84	23.84
SMALL CANOPY PRICE SIGN (UNL)	1	34.13'	74.00'	17.54	17.54
				<b>TOTAL:</b>	<b>69.09 S.F.</b>
<b>MONUMENT SIGN:</b>					
LOGO / UNL / DSL / ETHANOL-FREE AVAILABLE	1	80.00'	96.00'	40.00	40.00
				<b>TOTAL:</b>	<b>40.00 S.F.</b>