

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

~~A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1~~

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN DOCUMENTS



Know what's below.
Call before you dig.

PROJECT CONTACTS:

RECORD OWNER
EVI PARKER COLORADO, LLC
2710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016
TEL: (602) 468-6100
CONTACT: RYAN AMATO

DEVELOPER/APPLICANT
MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
CONTACT: GARY HEGENER

ENGINEER/CONSULTANT
GALLOWAY & COMPANY, INC.
6162 S. WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
CONTACT: JIM ERWIN-SVODODA, P.E.
EMAIL: JIM.ERWIN@GALLOWAYUS.COM

LANDSCAPE/CONSULTANT
GALLOWAY & COMPANY, INC.
6162 S. WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
CONTACT: TIM NELSON, RLA, ASLA, CPC
EMAIL: TIM.NELSON@GALLOWAYUS.COM

SURVEYOR
GALLOWAY & COMPANY, INC.
1755 TELESTAR DR, SUITE 107
COLORADO SPRINGS, CO 80920
TEL: (303) 770-8884
FAX: (303) 770-3636
CONTACT: BRIAN DENNIS, PLS
EMAIL: BRIAN.DENNIS@GALLOWAYUS.COM

MUNICIPAL & UTILITY CONTACTS:

ENGINEERING
TOWN OF PARKER – ENGINEERING
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA

STORM SEWER
TOWN OF PARKER – PUBLIC WORKS
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 840-9546

FIRE
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

WATER & SANITARY SEWER
PARKER WATER AND SANITATION DISTRICT
1800 E. WOODMAN DRIVE
PARKER, CO 80134
TEL: (303) 841-4627
CONTACT: DRAYTON SANDERSON

PLANNING
Town of Parker - PLANNING
20120 E. Main Street
Parker, CO 80138
303.841.2332

GAS
XCEL ENERGY
1800 LARIMER STREET
DENVER, CO 80202
EMAIL: RON.H.JOHNSON@XCELENERGY.COM
CONTACT: RON JOHNSON

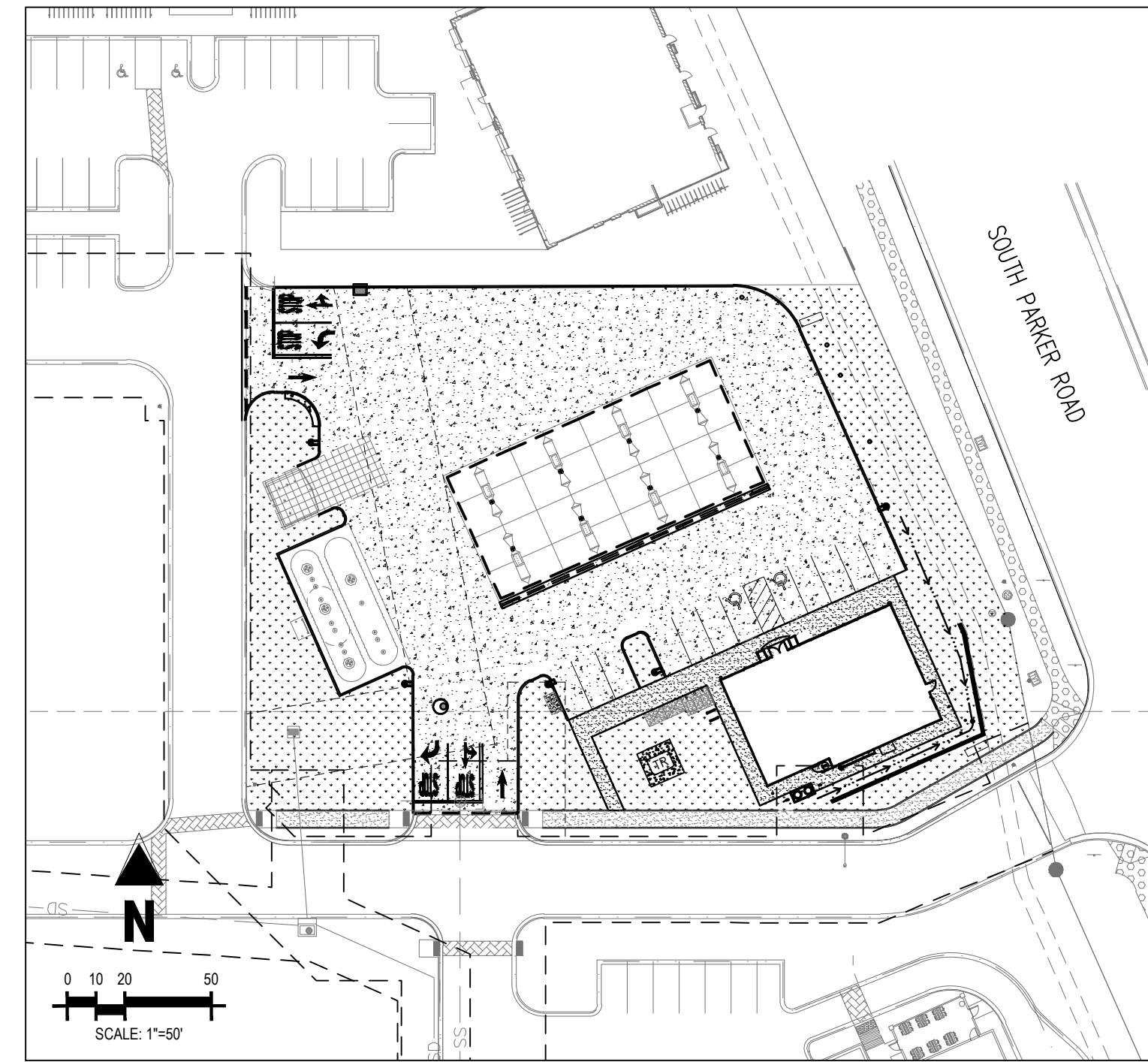
ELECTRIC
INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
5496 NORTH US HIGHWAY 85
SEDALIA, CO 80135
TEL: (303) 688-3100
CONTACT: AMANDA STEINER

TELEVISION
COMCAST
1601 MILE HIGH STADIUM CIRCLE
DENVER, CO 80204
EMAIL: DEAN.FLENTHROP@COMCAST.COM
CONTACT: DEAN FLENTHROP

TELEPHONE
CENTURYLINK
1801 CALIFORNIA STREET, SUITE 240
DENVER, CO 80202
CONTACT: IZZY MILLER
EMAIL: IZZY.MILLER@CENTURYLINK.COM

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C-0.0	COVER SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C-1.1	SITE PLAN
C-3.5	PHOTOMETRIC PLAN
C-3.6	PHOTOMETRIC DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS & NOTES
A1.1	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.2	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.3	ARCHITECTURAL ELEVATIONS (CANOPY)
1 OF 1	COLORING RENDERING



SITE MAP
SCALE: 1"=50'

SITE DATA TABLE

SITE AREA	47,621 SF / 1.09 AC
ZONING	PLANNED DEVELOPMENT – HIGHWAY ORIENTED COMMERCIAL
BUILDING:	SINGLE STORY – 2,824 SF (BUILDING) SINGLE STORY – 4,830 SF (CANOPY)
FAR:	25% MAX. / 16.1% ACTUAL
BUILDING COVERAGE:	50% MAX. / 30.6% ACTUAL (16,839 SF LANDSCAPED AREA)
OPEN SPACE:	15% MIN. / 30.6% ACTUAL
BUILDING SETBACK:	25' PUBLIC ROW 25' SIDE & REAR 45' MAX / 185' ACTUAL
BUILDING HT.:	12 REQUIRED / 12 SPACES (INCLUDES 2 ADA) PROVIDED
CAR PARKING:	2 REQUIRED / 2 PROVIDED
BICYCLE PARKING:	2 REQUIRED / 2 PROVIDED

Landscaping

Per Schedule 13.06.050A

Per Schedule 13.06.060A

Parker and Pine PD;

Please add 'Required & Provided' per the Parker & Pine PD and reflect the correct setbacks (e.g.: East: Min. 10', Maximum 80' from curb)

Please cite calculation

DEVELOPMENT PLAN NOTES

LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH RIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDINGS PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

18. THE APPROVED SITE PLAN IS THE FINAL DOCUMENT AND NOT CONCEPTUAL. ANY PROPOSED DEVIATION/MODIFICATION/SUBSTITUTION WILL NEED PRIOR WRITTEN TOWN APPROVAL THROUGH THE APPROPRIATE PLANNING DEPARTMENT PROCESS.



VICINITY MAP
(NOT TO SCALE)

Statement is for Construction Documents/set only.
please remove from Site Plan set.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

SHEET NO.

C-0.0

COVER SHEET
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET
EL DORADO, AR 71730

MURPHY
USA

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

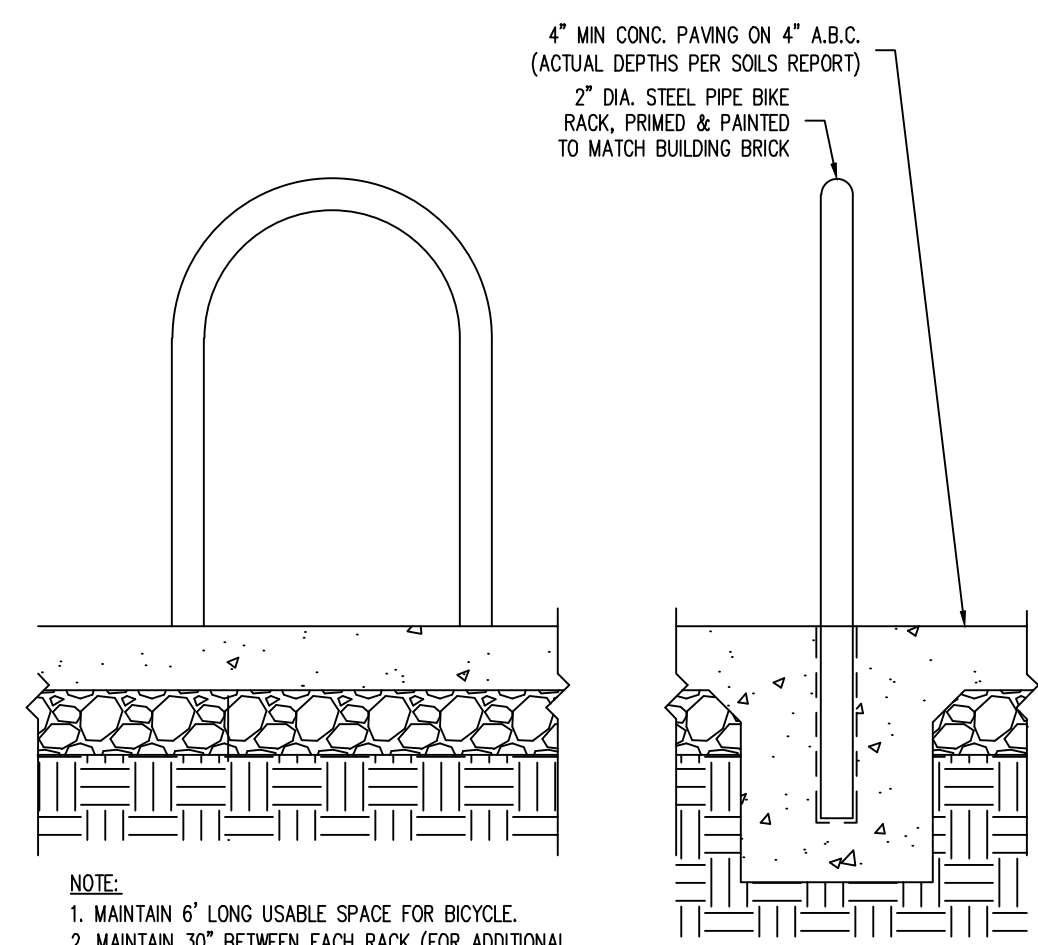
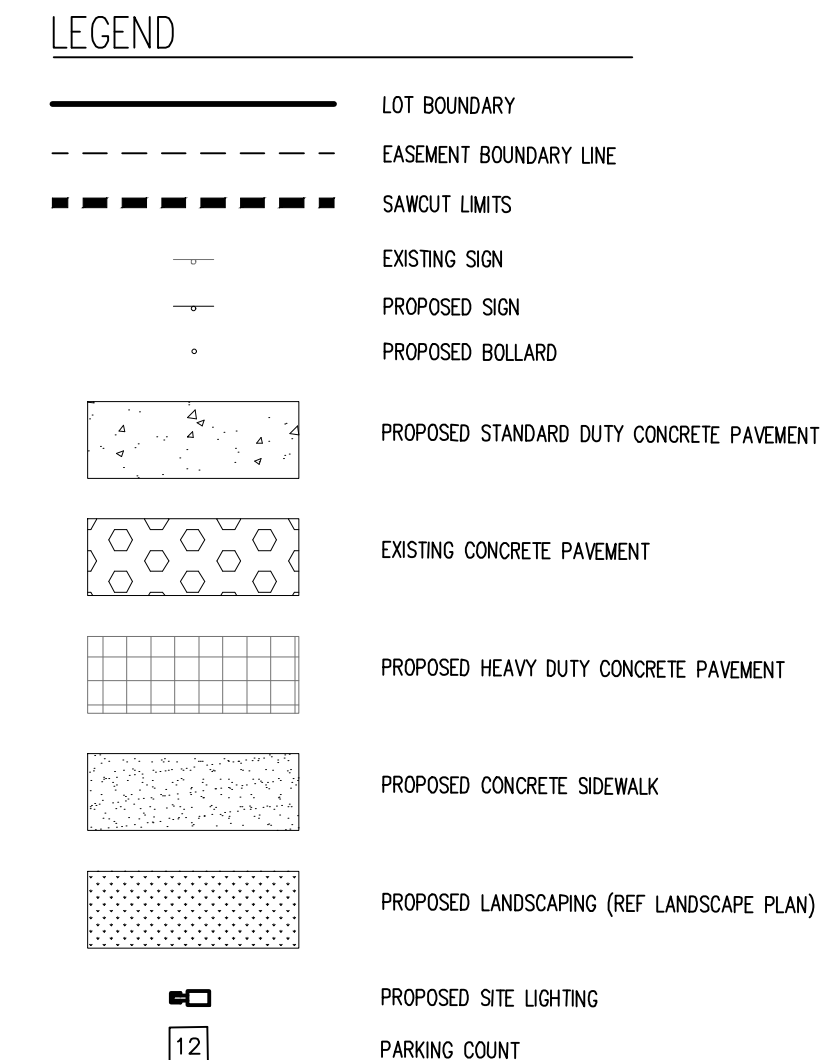
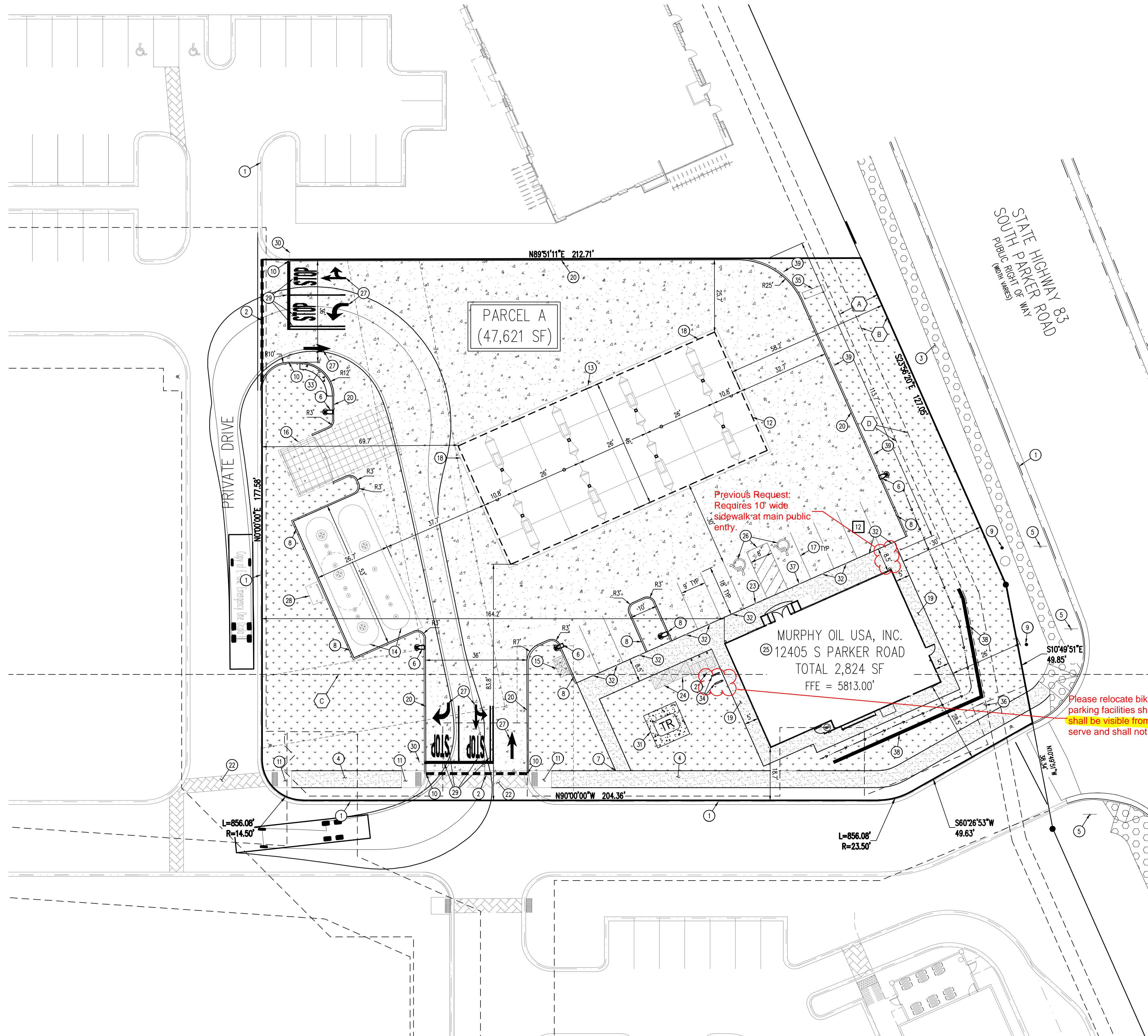
~~A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1~~

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN DOCUMENTS



Know what's below.
Call before you dig.



NOTE:
1. MAINTAIN 6" LONG USABLE SPACE FOR BICYCLE.
2. MAINTAIN 30" BETWEEN EACH RACK (FOR ADDITIONAL RACK)
3. MAINTAIN 15" CLEAR DISTANCE BEYOND RACK

SCALE: 1" = 1'-0"

- ### EASEMENT SCHEDULE
- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
 - (B) 10' UTILITY EASEMENT (REC NO. 200413377)
 - (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
 - (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047

- ### SCHEDULE
- (1) EXISTING CURB AND GUTTER TO REMAIN
 - (2) SAWCUT EXISTING ASPHALT AT NEW DRIVEWAY ACCESS
 - (3) EXISTING 6" CONCRETE SIDEWALK TO REMAIN
 - (4) PROPOSED AS PART OF MDP CONCRETE SIDEWALK INSTALLED BY DEVELOPER
 - (5) EXISTING SIGN TO REMAIN
 - (6) PROPOSED SITE LIGHT
 - (7) CONNECTION TO EXISTING SIDEWALK
 - (8) CURB TRANSITION
 - (9) EXISTING BOLLARD TO REMAIN
 - (10) PROPOSED CURB TO MATCH EXISTING
 - (11) PROPOSED AS PART OF MDP CONCRETE RAMP INSTALLED BY DEVELOPER
 - (12) PROPOSED OVERHEAD CANOPY
 - (13) EDGE OF CONCRETE SLAB UNDERNEATH THE CANOPY
 - (14) PROPOSED UNDERGROUND STORAGE TANKS
 - (15) PROPOSED AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB
 - (16) PROPOSED 6' TALL TRASH ENCLOSURE
 - (17) PROPOSED PARKING STALL STRIPING
 - (18) PROPOSED PRICE SIGN PER APPROVED ELEVATION
 - (19) PROPOSED SIDEWALK PER MURPHY STANDARDS
 - (20) PROPOSED INTEGRAL CONCRETE CURB
 - (21) PROPOSED 7'X10' CONCRETE SLAB FOR PROPANE TANKS
 - (22) PROPOSED AS PART OF MDP STAMPED CONCRETE CROSSWALK INSTALLED BY DEVELOPER
 - (23) PROPOSED ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
 - (24) PROPOSED 5'X7' CONCRETE PAD (2 TOTAL) FOR ICE UNIT
 - (25) PROPOSED 2,824 SQUARE FOOT MURPHY EXPRESS KIOSK
 - (26) PROPOSED ACCESSIBLE PARKING SYMBOLS AND STRIPING
 - (27) PROPOSED DIRECTIONAL TRAFFIC FLOW ARROW
 - (28) PROPOSED REMOTE TANK VENTS
 - (29) PROPOSED "STOP" BAR, LANE STRIPING, AND "STOP" LETTERING
 - (30) PROPOSED "STOP" SIGN
 - (31) PROPOSED CONCRETE TRANSFORMER PAD
 - (32) PROPOSED SINGLE GUARD POST
 - (33) PROPOSED 2' WIDE CONCRETE BUFFER
 - (34) PROPOSED BICYCLE RACK (2 SPOTS)
 - (35) PROPOSED MURPHY MONUMENT SIGN (APPROVED UNDER SEPARATE PERMIT)
 - (36) PROPOSED DEVELOPER MONUMENT SIGN (APPROVED UNDER SEPARATE PERMIT)
 - (37) PROPOSED VAN ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
 - (38) PROPOSED WALL (REFERENCE GRADING PLAN FOR DETAILS)
 - (39) PROPOSED "NO PARKING FIRE LANE" SIGN

BENCHMARK

ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN. VERTICAL DATUM IS APPROXIMATELY 2.64 FEET BELOW NAVD 88.

SITE BENCHMARKS:

SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76

SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

BASIS OF BEARING

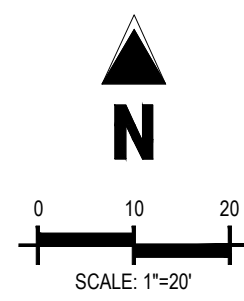
BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 34860 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

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SHEET NO. C-1.1

SITE PLAN
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

6162 S. Willow Drive, Suite 320
Parker, CO 80111
303.770.8844
GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET
EL DORADO, AR 71730



TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE



Know what's below. Call before you dig.

SHEET NO. C-3.6

PHOTOMETRIC DETAILS MURPHY EXPRESS 12405 SOUTH PARKER ROAD PARKER COLORADO

Galloway 6102 S. Willow Drive, Suite 320, Denver, CO 80111, GallowayUS.com

MURPHY OIL USA, INC. 200 PEACH STREET EL DORADO, AR 71730 MURPHY USA

MURPHY USA

Project: Slice Medium - SLM Outdoor LED Area Light

Features & Specifications

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in ES Types 2, 3, 5W, FT and 57A.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K and 2700K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber, consult factory for availability.
- Minimum CRI of 70. Optional 80 CRI available, consult factory for lead time.
- Integral Louver (L) option available for improved back-light control without sacrificing street side performance. See page 5 for more details.

Product Dimensions

Electrical

- High performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (247-480 Vac).
- L80 Calculated Life >100K Hours (See Lumen Maintenance on Page 3)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F), 42L lumen package rated to +45°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation per ANSI/IEEE C82.41.2.
- High efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Terminal block provided accepts up to 10ga wire.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

USA IP66 ROHS COMPLIANT ARRA COMPLIANT UL LISTED

Slice Medium - SLM Outdoor LED Area Light

Performance (Cont.)

All published luminaire photometric testing performed to IESNA LM-79 standards. ISO footcandle plots below demonstrate the Slice (SLM) light patterns only. Not for total fixture output. For complete specifications and IES files, see website.

Ordering Guide

Color Temp Color Rendering Controls (Choose One) Finish Options

Color Temp	Color Rendering	Controls (Choose One)	Finish	Options
40-4000 CCT	90-95 CRI	ALSC - All-in-One System	SLK - Black	IL - Integral Louver HSS*
30-3000 CCT	90-95 CRI	ALSD - All-in-One System	SLK - Black	
27-2700 CCT	90-95 CRI	ALSD - All-in-One System	SLK - Black	

USA IP66 ROHS COMPLIANT ARRA COMPLIANT UL LISTED

XSP Series XSPW™ LED Wall Mount Luminaire

Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard and non-standard single gang 2-Break. The luminaire allows for through-wire or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weather-tight LED driver compartment and thermal management. Optic design features industry leading NanoOptic™ Precision Delivery optic system in multiple distributions. Applications: General area and security lighting.

Performance Summary

- Utilizes BetaLED™ Technology
- NanoOptic™ Precision Delivery 60° optic
- Made in the U.S.A. of U.S. and imported parts
- CRI: Minimum 70 CRI
- CCT: 4000K (+/- 300K), 5700K (+/- 500K)
- Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard™ finish

Accessories

Field Installed

Mounting Hardware

Ordering Information

Product	Version	Mounting	Optic	Modules	Input Power	Voltage	Color Options	Options
XSPW	A	W	60°	1	100W	120V	Black	0-10V Dimming Control with 0-10V Phosphor Not available with 0-10V Not available with 0-10V Not available with 0-10V

USA IP66 ROHS COMPLIANT ARRA COMPLIANT UL LISTED

XSPW™ LED Wall Mount Luminaire

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project contact: <http://www.cree.com/lighting>

Ordering Information

Product	Version	Mounting	Optic	Modules	Input Power	Voltage	Color Options	Options
XSPW	A	W	60°	1	100W	120V	Black	0-10V Dimming Control with 0-10V Phosphor Not available with 0-10V Not available with 0-10V Not available with 0-10V

USA IP66 ROHS COMPLIANT ARRA COMPLIANT UL LISTED

MANUFACTURER SPECIFICATION SHEET FOR SITE FIXTURES "S"

LED CANOPY LIGHT - LEGACY™ (CRUS)

HOUSING - Low profile, durable die-cast aluminum construction, providing a reliable weather-tight seal.

LEDS - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5000K color temperature, 70 CRI (nominal).

DRIVE CURRENT - Choice of Very Low Wattage (VLW), Low Wattage (LW), Super Saver (SS), High Output (HO) or Very High Output (VHO).

OPTICS / DISTRIBUTION - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

OPTICAL UNIT - Features an ultra-slim 7/8" profile die-cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

HAZARDOUS LOCATION - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

DRIVER - State-of-the-art driver technology superior energy efficiency and optimum light output. Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10V dimming supplied standard with all drive currents.

DRIVER HOUSING - Die-cast aluminum, vent located rated dielectric enclosure to elevated canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.

OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C82.41.2-2002, Scenario 1, Location Category C.

FINISH - Standard color is CRUS White and is finished with LSI's Durabond™ polyester powder coat process. Durable withstands extreme weather changes without cracking or peeling.

INSTALLATION - One person installation. No additional sealant required. Installs in a 12" or 16" deck span. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scotchlite® (F7) holes as well as openings for Encore and Encore Top Access and to reconnect wiring for the SVECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and D&D installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

SHIPPING WEIGHT - 27 pounds (single pack), 48 pounds (double pack).

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARNING - Limited 5-year warranty.

LISTING - UL and ETL listed to UL 1598, UL 8750 and other U.S. and international safety standards. Suitable for wet locations.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.

USA IP67 ROHS COMPLIANT ARRA COMPLIANT UL LISTED

Project Name: _____ Feature Type: _____ 04/2016 © 2016 LSI INDUSTRIES INC.

MANUFACTURER SPECIFICATION SHEET FOR BUILDING FIXTURE "H"

LR6-18L 6" LED Downlight

Product Description

The LR6-18L LED downlight delivers 1800 lumens of exceptional 80-CRI light while achieving 80 lumens per watt. This breakthrough performance is achieved by combining the high efficiency and high quality light of Cree TrueWhite™ Technology with an integrated driver and thermal management design. The LR6-18L is available in warm or neutral color temperatures and has a variety of trim options. It easily installs into one six-inch O.D.A. housings or may be retrofitted with a G24.4 whip adapter.

Applications: Commercial new construction and retrofit.

Performance Summary

- Utilizes Cree TrueWhite™ Technology
- Active Color Management
- Delivered Light Output: 1800 lumens
- Input Power: 20 watts
- CRI: 80
- CCT: 2700K, 3000K, 3500K, 4000K
- Limited Warranty*: 10 years
- Lifetime: Designed to last 50,000 hours
- Dimming: Dimmable to 5%
- Suitable for non-insulated ceilings only

Housing & Accessories

Reference Housing & Accessory documents for more details.

Trim

CRUS	Black anodized finish
TRUS	Black anodized finish
TRUS	White anodized finish
TRUS	White anodized finish
TRUS	White anodized finish

Housing (Refer to G24.4)

H6	6" Round Flush Mount
H6	6" Round Flush Mount
H6	6" Round Flush Mount
H6	6" Round Flush Mount
H6	6" Round Flush Mount

Ordering Information

Series	Trim	Color Temperature	Voltage	Version	Options
LR6	CRUS	2700	120V	A	0-10V Dimming Control with 0-10V Phosphor Not available with 0-10V Not available with 0-10V

USA IP67 ROHS COMPLIANT ARRA COMPLIANT UL LISTED

MANUFACTURER SPECIFICATION SHEET FOR CANOPY FIXTURE

MANUFACTURER SPECIFICATION SHEET FOR SOFFIT FIXTURE "J"

PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

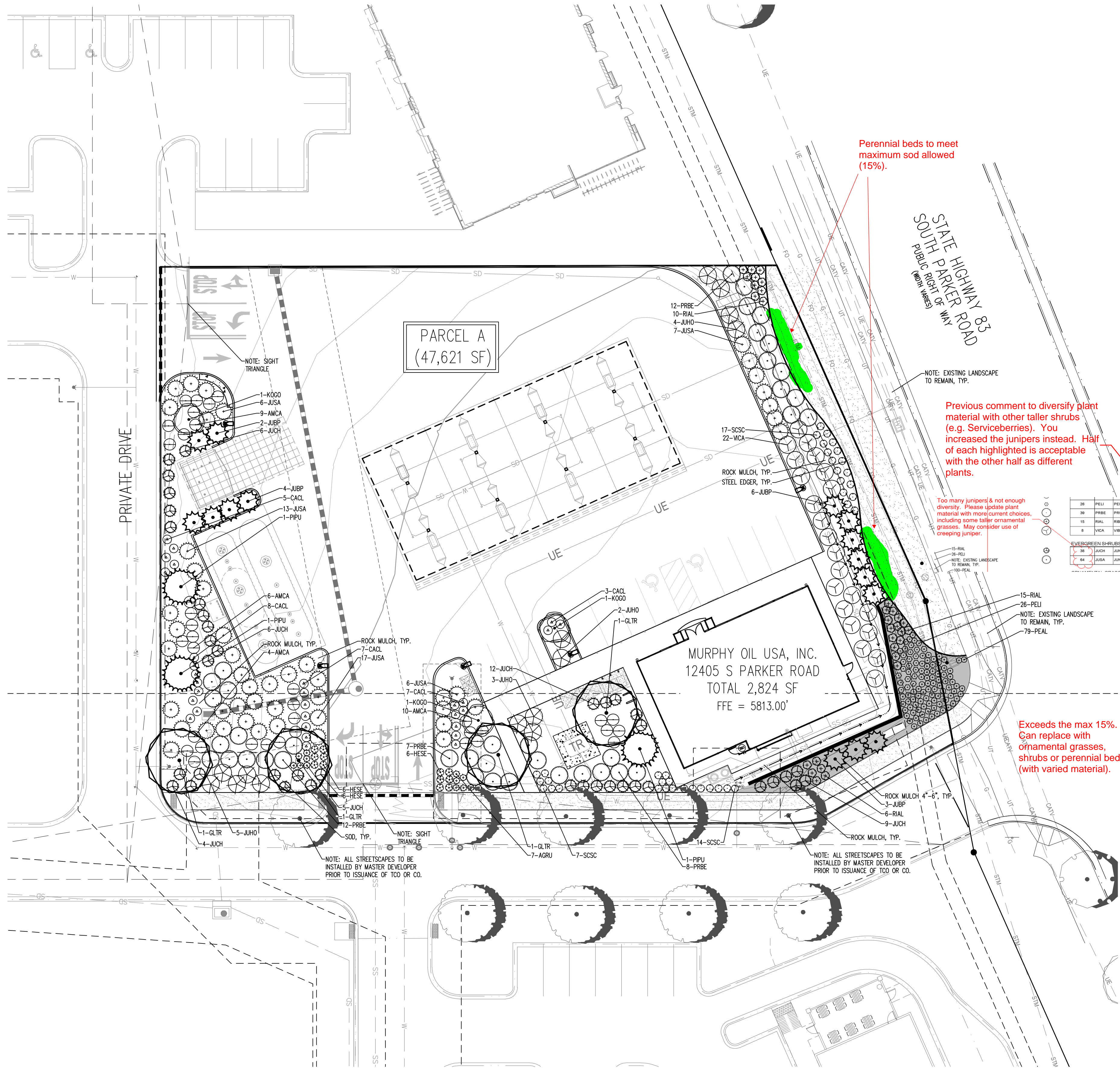
SITE CONSTRUCTION PLANS



Know what's below.
Call before you dig.

SHEET NO.

L1.1



LANDSCAPE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA	47,621 SF	15% MIN. OF TOTAL SITE AREA (7,143 SF TOTAL SITE)	7,143 SF REQUIRED	16,839 SF PROVIDED (30.6X OF TOTAL SITE AREA)
SITE PERIMETER LANDSCAPING		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE		
WEST PERIMETER	173' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES / 22 SHRUBS	4 TREES / 22 SHRUBS
SOUTH PERIMETER	218' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES / 27 SHRUBS	5 TREES / 27 SHRUBS
EAST PERIMETER	176' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES / 22 SHRUBS	4 TREES / 22 SHRUBS
SOD COVERAGE	16,839 SF	15% MAXIMUM TURF COVERAGE	2,525 SF MAX	2,490 SF (14.7%)
GROUND COVERAGE	16,839 SF	75% LIVING GROUND COVERAGE AT MATURITY	12,629 SF	12,706 SF (80%)

NOTE: TEN SHRUBS MAY BE SUBSTITUTED FOR ONE TREE. ONE ORNAMENTAL GRASS IN A FIVE-GALLON CONTAINER OR THREE ORNAMENTAL GRASSES IN A ONE-GALLON CONTAINER MAY BE SUBSTITUTED FOR ONE SHRUB. ANY AND ALL SUBSTITUTIONS MUST BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.

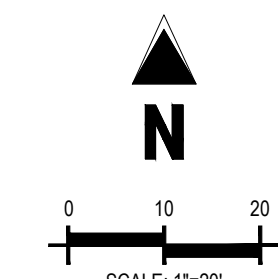
NOTE: STREETSCAPE LANDSCAPING BY MDP.

NOTE: SITE PERIMETER LANDSCAPING AND PARKING LOT PERIMETER LANDSCAPING OVERLAP; THEREFORE, THE STRICTER OF THE TWO IS BEING USED PER SECTION 13.06.07(C) BEING SITE PERIMETER LANDSCAPING.

NOTE: EAST PERIMETER LANDSCAPE TREES ARE BEING SUBSTITUTED FOR AN ADDITIONAL 40 LARGE SHRUBS PER THE APPROVED PARKER PLANT LIST ON TOP OF THE 22 REQUIRED SHRUBS TO MEET THE TREE REQUIREMENT. MULTIPLE UTILITY CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND EASEMENTS.

PLANTING LEGEND

QTY	LEGEND	ABBREV.	BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE	WATER USE (V.L./M./H)	SUN/SHADE	PERCENT TREE SPECIES	PERCENT GROUND COVER IN S.F.
DECIDUOUS TREES										
4	GLTR		GLEDITSIA TRIACANTHOS 'INERMIS'	SHADEMASTER HONEYLOCUST	2.5" CAL. B&B	50'X35'	L	SUN	70%	
EVERGREEN TREES										
3	PIPU		PICEA PUNGENS 'BAKERI'	BAKERI SPRUCE	8' HEIGHT B&B	30'X10'	M	SUN	30%	340
ORNAMENTAL TREES										
3	KOGO		KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1.5" CAL. B&B	30'X25'	L	SUN	70%	1,470
UPRIGHT JUNIPERS										
15	JUBP		JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5 CONT. 3" HEIGHT	12'X6'	VL	SUN/PART SHADE		540
DECIDUOUS SHRUBS										
36	AMCA		AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN		576
25	CACL		CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	#5 CONT. 18-24"	3'X3'	VL	SUN		225
26	PELU		PEROVSKIA X 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	#5 CONT. 18-24"	2'X2'	L	SUN		104
39	PRBE		PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5 CONT. 18-24"	18'X6'	VL	SUN		1404
31	RIAL		RIBES ALPINUM	GREEN MOUND ALPINE CURRANT	#5 CONT. 18-24"	4'X4'	L/M	SUN/PART SHADE		400
20	VICA		VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	#5 CONT. 18-24"	6'X6'	M	SUN		720
EVERGREEN SHRUBS										
39	JUCH		JUNIPERUS CHINENSIS 'ARMSTRONGII'	ARMSTRONG JUNIPER	#5 CONT. 18-24"	4'X4'	VL	SUN		672
14	JUHO		JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	#5 CONT. 18-24"	10'X6'	VL	SUN/PART SHADE		604
57	JUSA		JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#5 CONT. 18-24"	12'X6'	VL	SUN/PART SHADE		2,052
ORNAMENTAL GRASSES										
12	HESE		HELICTOTRICHON SEMPERVIRENS	BLUE AVEÑA	#3 CONT. 2.5'X2.5"	VL	SUN/PART SHADE			276
79	PEAL		PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#5 CONT. 2'X2'	M	SUN			416
38	SCSC		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#3 CONT. 3'X2'	VL	SUN			152
PERENNIALS										
13	AGRU		AGASTACHE RUPESTRIS 'SUNSET'	SUNSET HYSSOP	#1 CONT. 30'X24"	VL	SUN			265
SOD - IRRIGATED TURF										
2,490 S.F.			FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)	SOD		M			2,490
MULCH										
10,050 S.F.			ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS.	MULCH					
1,175 S.F.			ROCK COBBLE MULCH	4"-8" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS.	MULCH					
AS NEEDED			WOOD MULCH	NATURAL CEDAR FIBER MULCH	MULCH					
EDGING										
175 L.F.			STEEL EDGING	BLACK STEEL EDGING. SEE LANDSCAPE NOTES.	EDGING					
TOTAL GROUND COVERAGE										
			TOTAL LS AREA = 16,839 S.F.	75% GROUND COVERAGE = 12,629 S.F.						TOTAL = 12,706



CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING
THEIR LOCATION PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEWS(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

LANDSCAPE PLAN
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

MURPHY OIL USA, INC.

MURPHY USA
200 PEACH STREET
EL DORADO, AR 71730

TOWN OF PARKER, DIRECTOR OF ENGINEERING

DATE



PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.
~~A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1~~
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS

SHEET NO. L1.2

LANDSCAPE DETAILS & NOTES
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER COLORADO

Galloway
6162 S. Willow Drive, Suite 320
Denver, CO 80111
303.770.8844
GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
MURPHY USA

PLANTING NOTES

- GENERAL**
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBTAINED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRING CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION**
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PROVIDED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT

FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.

- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
- AT A MINIMUM ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 50 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

PLANTING

- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHAPED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE GUED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
- ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
- ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
- ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
- THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
- A 3'-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
- LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.

SEED NOTES

- ALL SEED MIXES AVAILABLE THROUGH: WESTERN NATIVE SEED COMPANY P.O. BOX 188 COALDALE, CO 81222 (719) 942-3935
- DRYLAND SEED MIXES ARE AVAILABLE AS FOLLOWS: 50% "FOOTHILLS GRASS MIX", 50% "VERISCAPE WILDOLOVER MIX"
- ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROSLURRY APPLIED OVER THE SEED BED AFTER SEEDING. THE SLURRY MIX SHALL CONTAIN THE FOLLOWING:

	LBS./1,000 SF
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER	4

SEED ESTABLISHMENT NOTES

- THE LANDSCAPE CONTRACTOR SHALL SEED ALL NATIVE SEED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS. SOIL PREPARATION MEASURES IN AREAS TO BE SEEDED SHALL BE COMPLETED PRIOR TO SEEDING.
- FOR PROPER ESTABLISHMENT, SEED SHALL BE INSTALLED WHEN AT LEAST THREE MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN THREE MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS AND ENSURE TIMELY CLOSOUT. THESE MEASURES MAY INCLUDE: AT THE OWNER'S OPTION, RESEEDING OF SPARSELY GERMINATED AREAS AND/OR INSTALLATION OF SOIL AND ALL SEEDED AREAS.

MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.

ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.

INSTALL DEWIT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.

ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.

ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE JCT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

UTILITIES NOTES

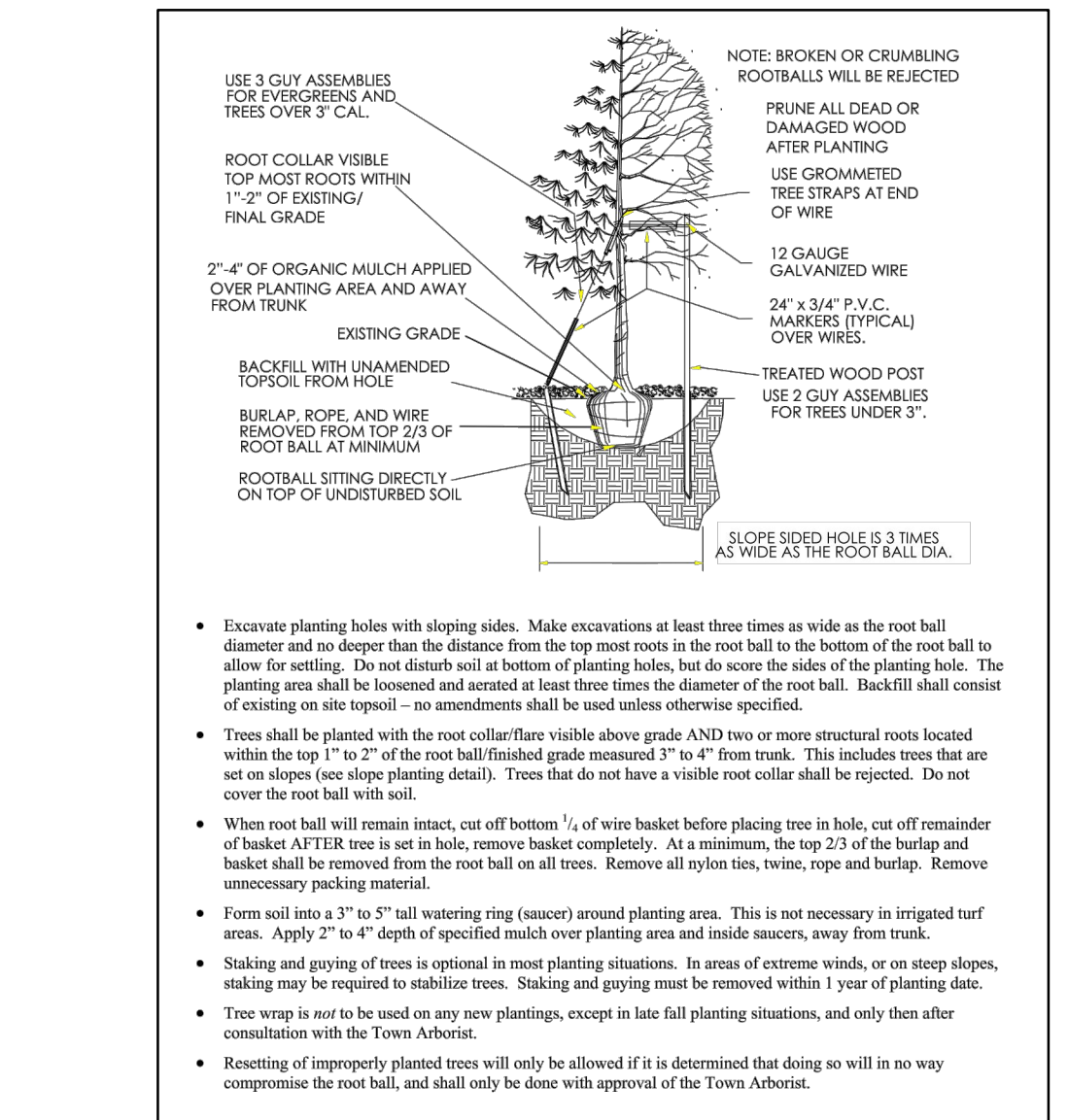
- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

IRRIGATION CONCEPT

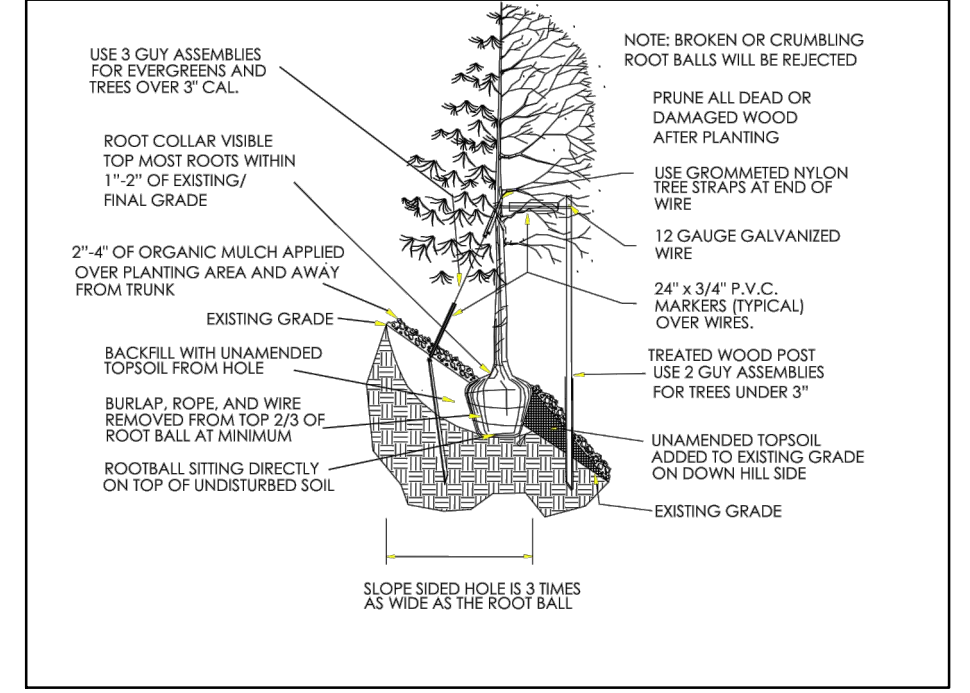
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOG/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

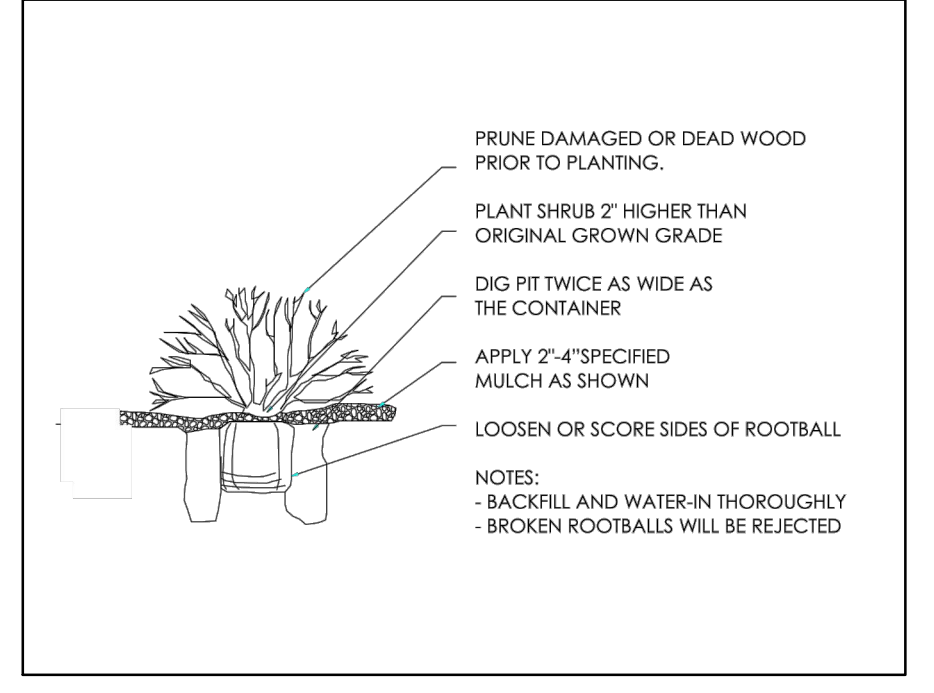
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOG, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.



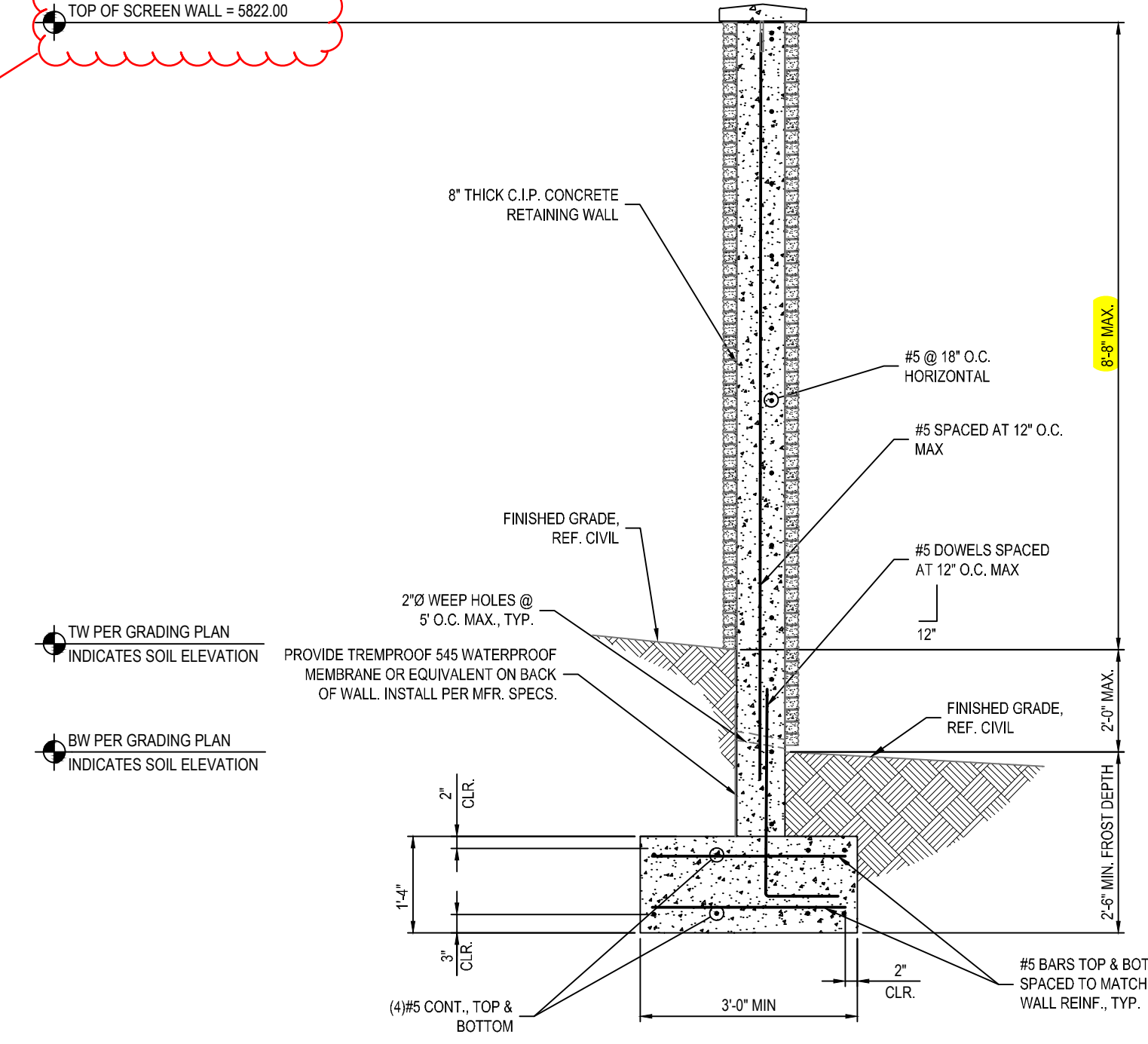
1 TREE PLANTING DETAIL SCALE: NOT TO SCALE



2 TREE PLANTING DETAIL SLOPES SCALE: NOT TO SCALE



3 SHRUB PLANTING DETAIL SCALE: NOT TO SCALE



4 LANDSCAPE SCREEN WALL SCALE: NOT TO SCALE

Please show on renderings where this screen wall is. 8 foot tall screen wall is too tall and a security issue & probably not allowed by IREA. Please coordinate with IREA on their screening requirements.

You can also consider decorative metal panels for screening vs. brick as another option if desired.

Statement is for Construction Documents/set only. please remove from Site Plan.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLANS, SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

MURPHY OIL USA, INC.

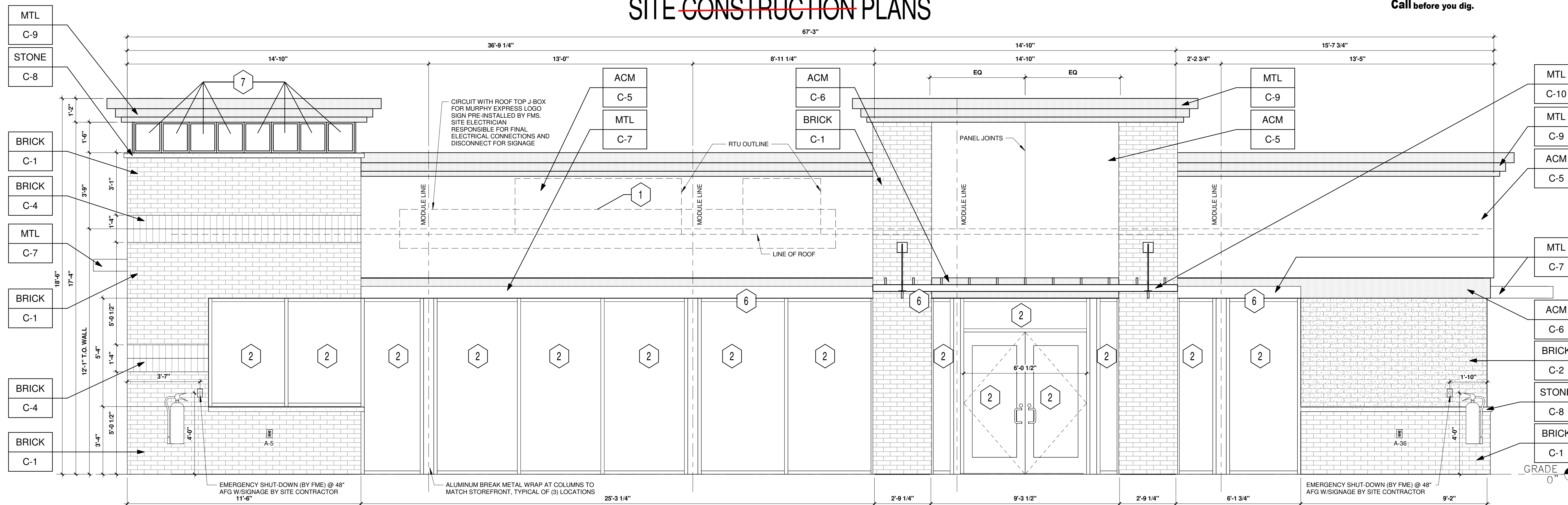
A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



Know what's below.
 Call before you dig.

Add/show bike racks at front/primary entrance.



KEYED NOTES:

- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 DOWNCAST WALL LIGHT. REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 METAL AWNING C-7
- 7 CLEARSTORY WINDOWS BY FMS
- 8 METAL PANELS BY FMS
- 9 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER OR EQUAL / LIGHT BOXES C-7

EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

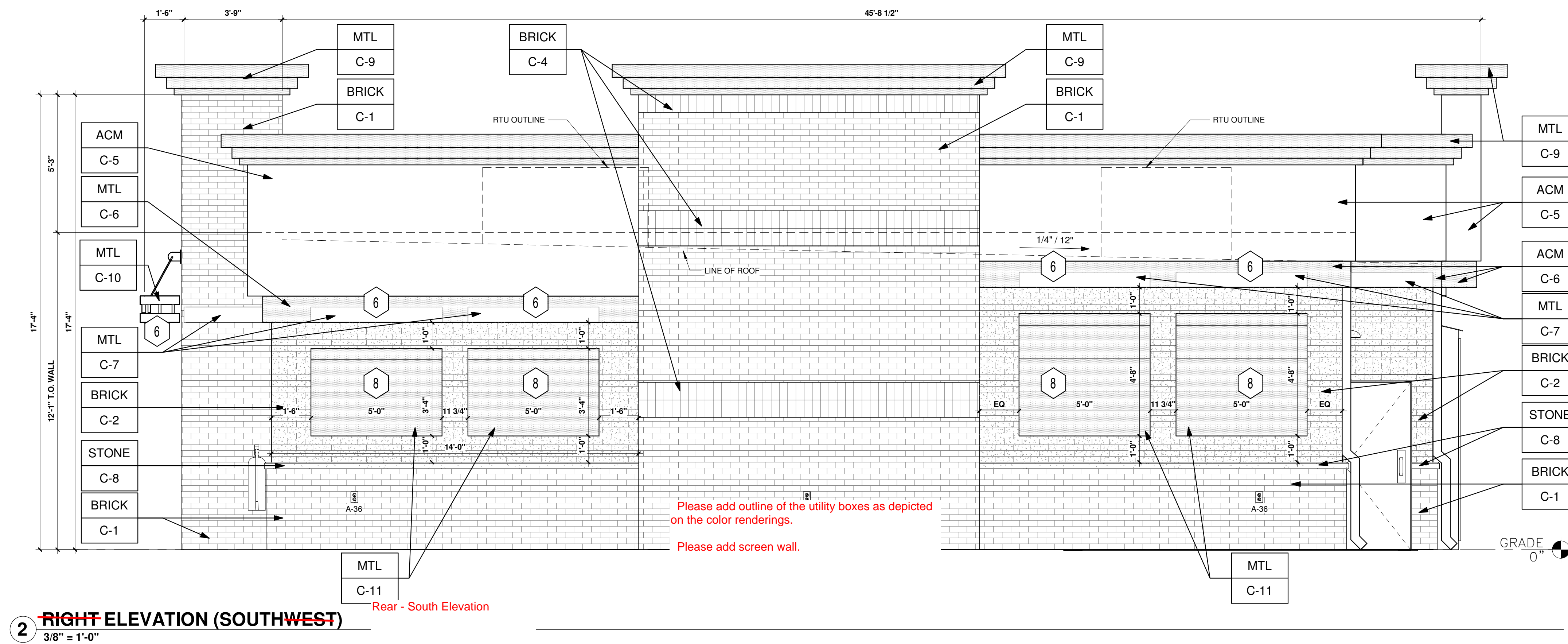
- C-1 THIN BRICK VENEER - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-3 'DORMER BROWN' SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-5 'TEAK' BY ALPOLIC BY FMS
- C-6 'PROGRAM RED' BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT / METAL AWNING BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS
- C-9 'DORIAN GRAY' SW #7017 BY FMS
- C-10 'BRUSHED ALUMINUM' BY FMS
- C-11 'SPECKLED COPPER' BY FMS

1 FRONT ELEVATION (NORTHWEST)

3/8" = 1'-0"

Front - North FRONT ELEVATION		Rear - South RIGHT ELEVATION	
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SOFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	278	40%	69%

Rear - South RIGHT ELEVATION		FRONT ELEVATION	
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SOFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
246	75	25%	31%



2 RIGHT ELEVATION (SOUTHWEST)

3/8" = 1'-0"

SHEET NO.

A1.1

ARCHITECTURAL ELEVATIONS (BUILDING)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO

Galloway
 6165 S. Willow Drive, Suite 200
 Centennial, CO 80111
 303.770.8884
 GallowayUS.com

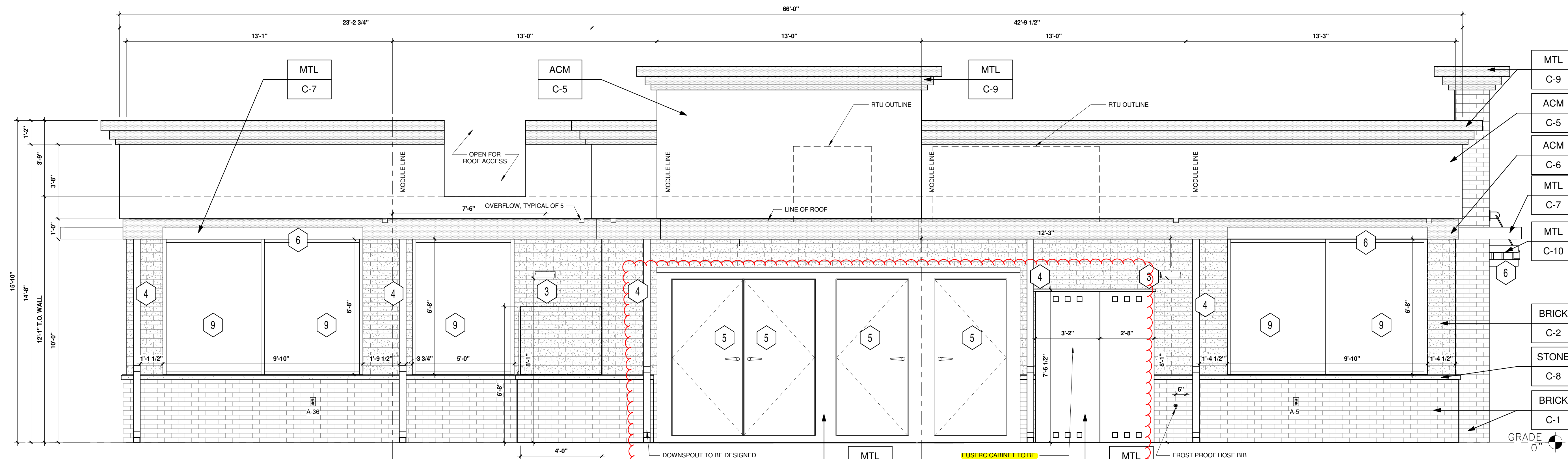
MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730
 MURPHY OIL USA



MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



KEYED NOTES:

- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 DOWNCAST WALL LIGHT. REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 METAL AWNING C-7
- 7 CLEARSTORY WINDOWS BY FMS
- 8 METAL PANELS BY FMS
- 9 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER OR EQUAL / LIGHT BOXES C-7

EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-3 DORMER BROWN SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-5 TEAK BY ALPOLIC BY FMS
- C-6 PROGRAM RED BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT / METAL AWNING BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS
- C-9 DORIAN GRAY SW #7017 BY FMS
- C-10 BRUSHED ALUMINIUM BY FMS
- C-11 SPECKLED COPPER BY FMS

3 REAR ELEVATION (SOUTHEAST)

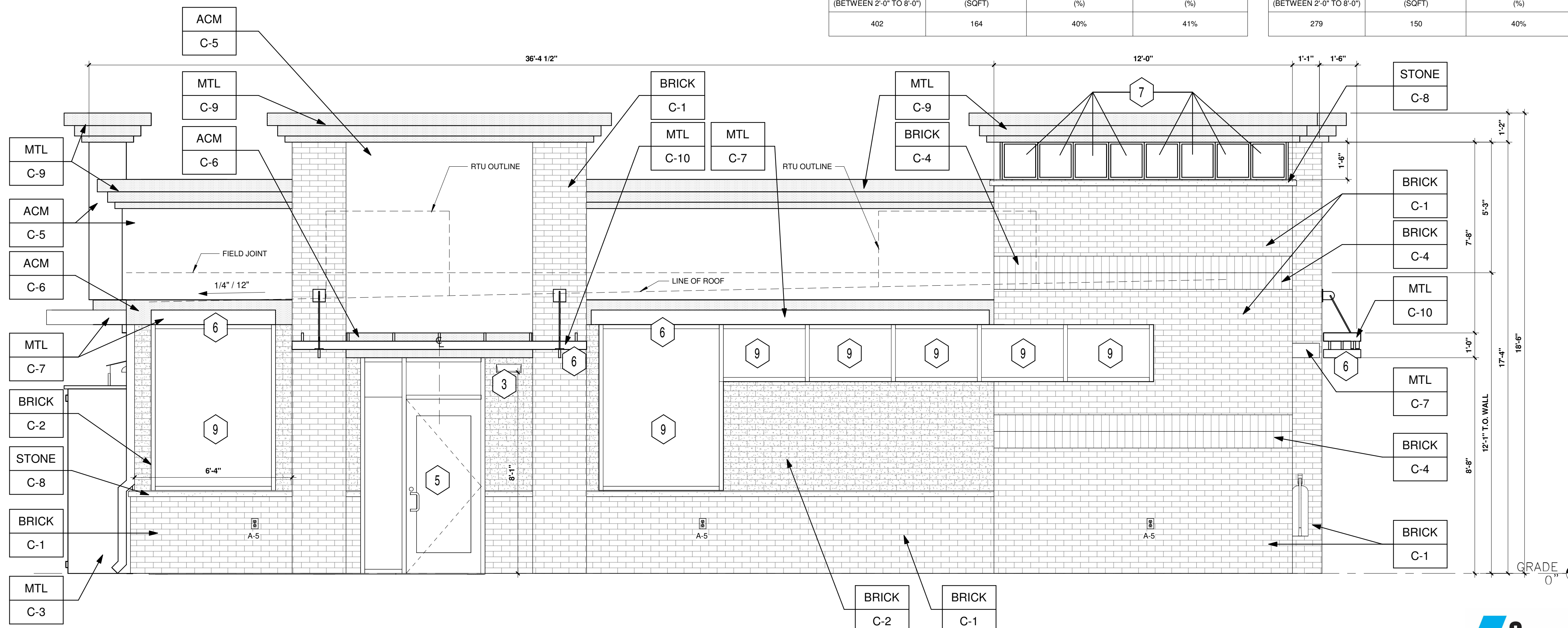
3/8" = 1'-0"
 —Front-North Elevation

REAR ELEVATION - South Elevation

AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	164	40%	41%

LEFT ELEVATION - East Elevation

AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
279	150	40%	54%



4 LEFT ELEVATION (NORTHEAST)

3/8" = 1'-0"

SHEET NO.

A1.2

ARCHITECTURAL ELEVATIONS (BUILDING)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO

Galloway

6165 S. Willow Drive, Suite 200
 Greenwood Village, CO 80111
 303.770.8888
 GallowayUS.com

MURPHY OIL USA, INC.

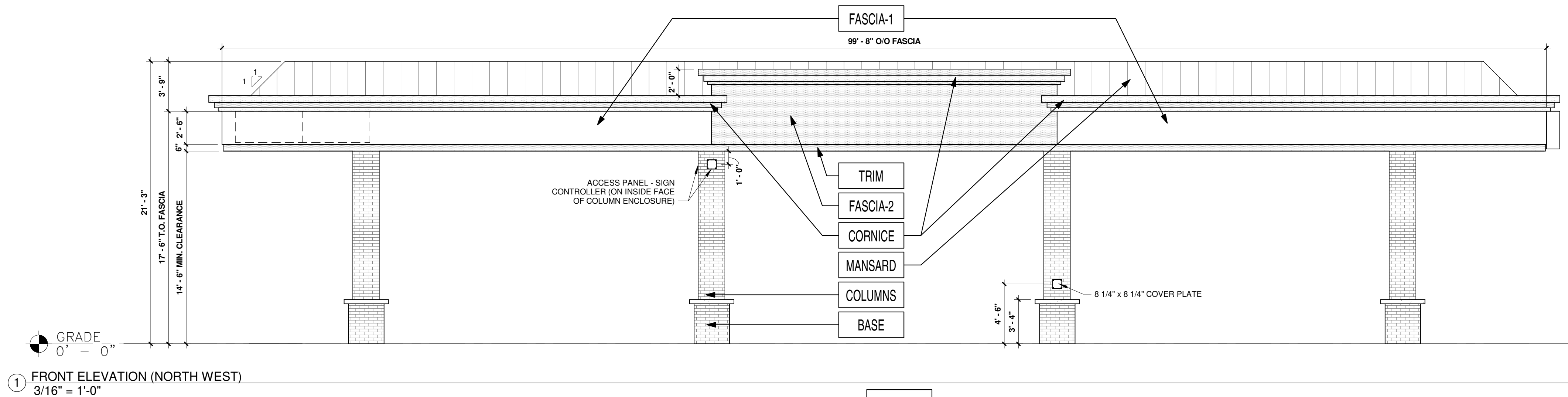
MURPHY USA
 200 PEACH STREET
 EL DORADO, AR 71730



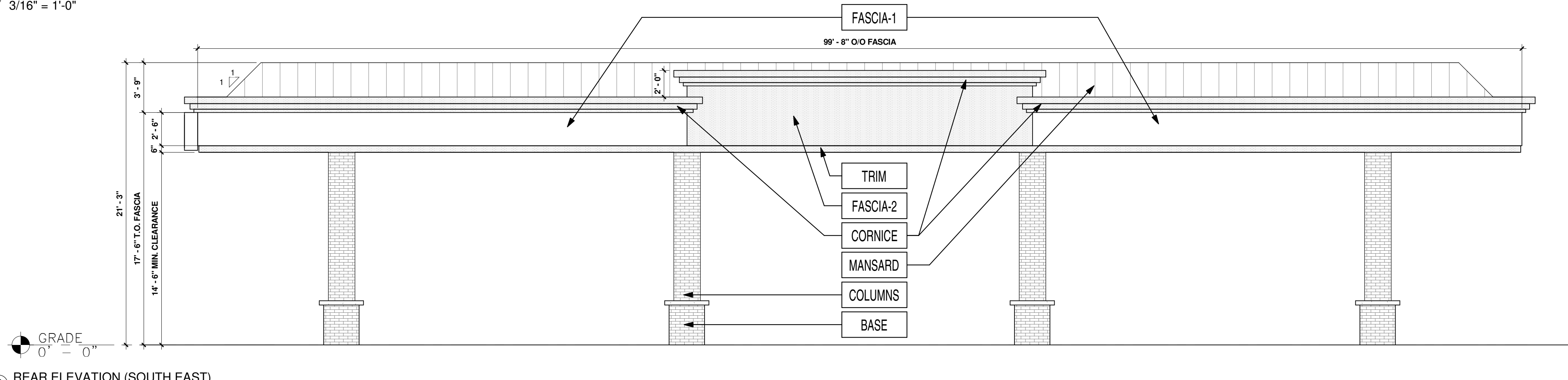
MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

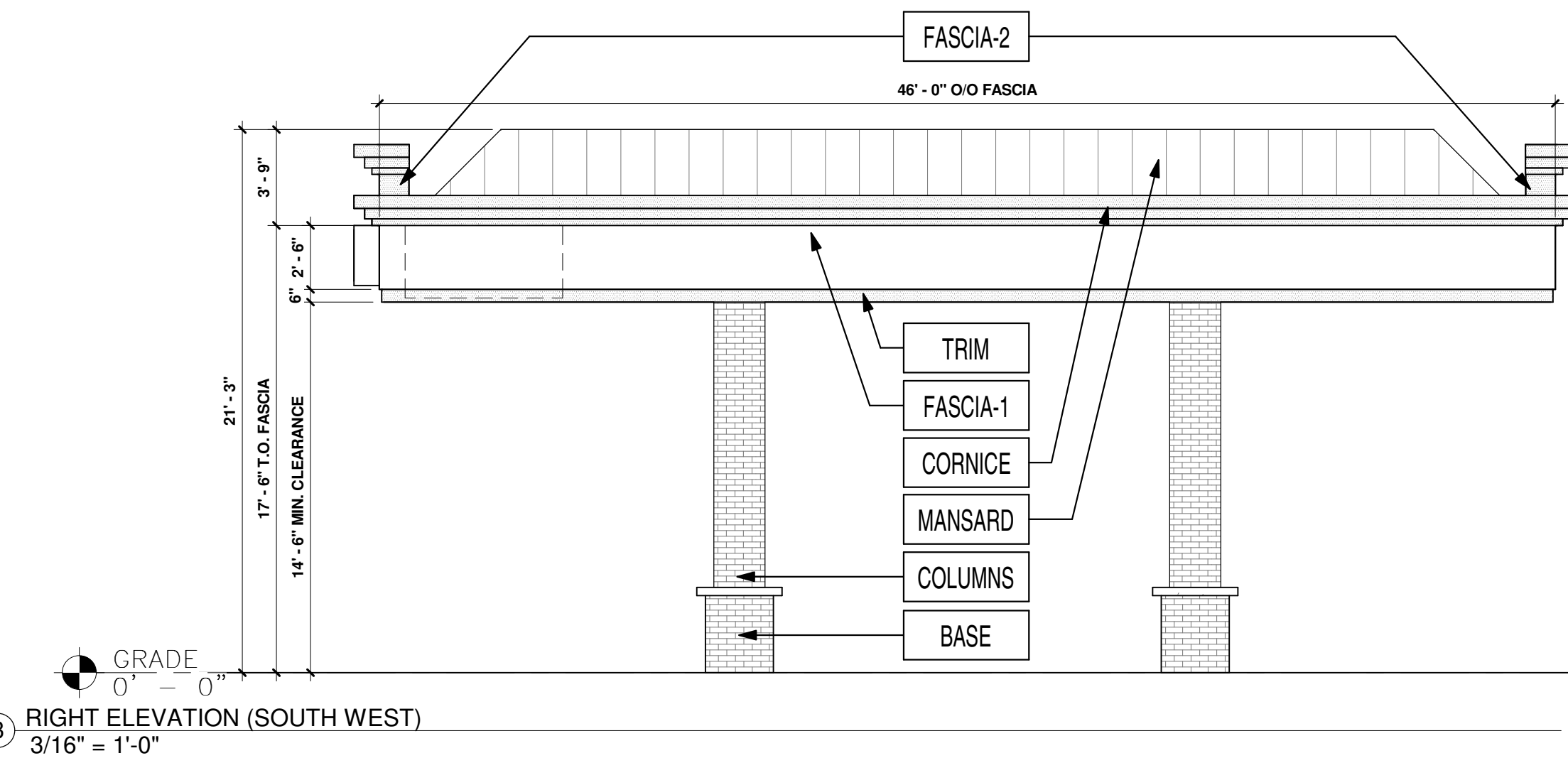
SITE CONSTRUCTION PLANS



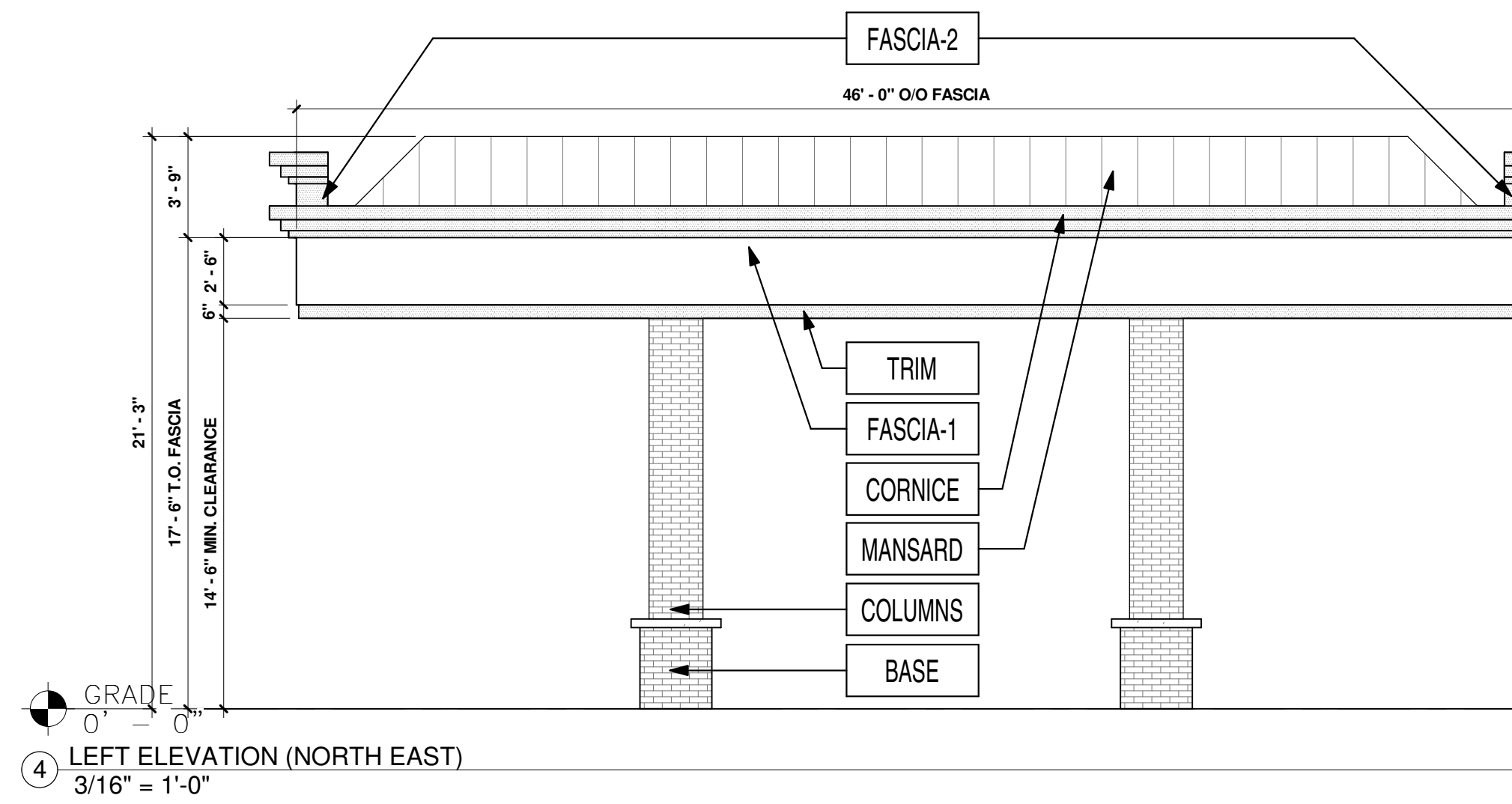
1 FRONT ELEVATION (NORTH WEST)
 3/16" = 1'-0"



2 REAR ELEVATION (SOUTH EAST)
 3/16" = 1'-0"



3 RIGHT ELEVATION (SOUTH WEST)
 3/16" = 1'-0"



4 LEFT ELEVATION (NORTH EAST)
 3/16" = 1'-0"

FINISH SCHEDULE		
FASCIA-1	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA - 'BRUSHED ALUMINIUM'
FASCIA-2	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA - 'TEAK' BY ALPOLIC
TRIM	20 GA. SHEET METAL	6" HT PRE-FINISHED METAL ACCENT BAND 'PROGRAM RED' BY ALPOLIC
COLUMNS	THIN BRICK VENEER	'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
BASE	THIN BRICK VENEER	'DARK SANDSTONE VELOUR' BY ENDICOTT
CORNICE	ACM (ALUMINUM COMPOSITE MATERIAL)	PAINTED 'DORIAN GRAY' SW #7017
MANSARD	20 GA. SHEET METAL (STANDING SEAM)	PAINTED 'DORIAN GRAY' SW #7017

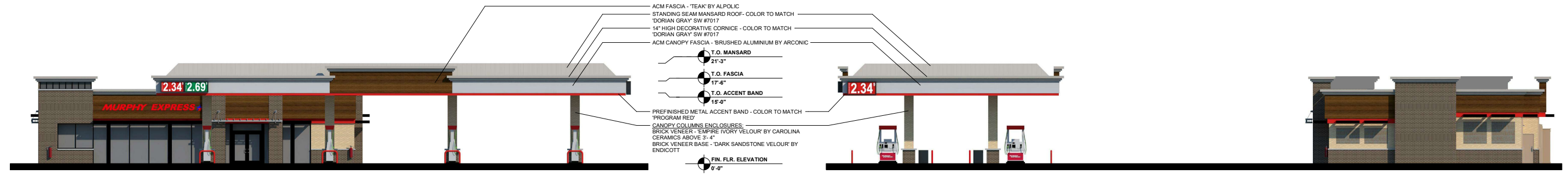
SHEET NO. A1.3

ARCHITECTURAL ELEVATIONS (CANOPY)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO

Galloway
 6162 S. Willow Drive, Suite 200
 Centennial, CO 80111
 303.770.8884
 GallowayUS.com

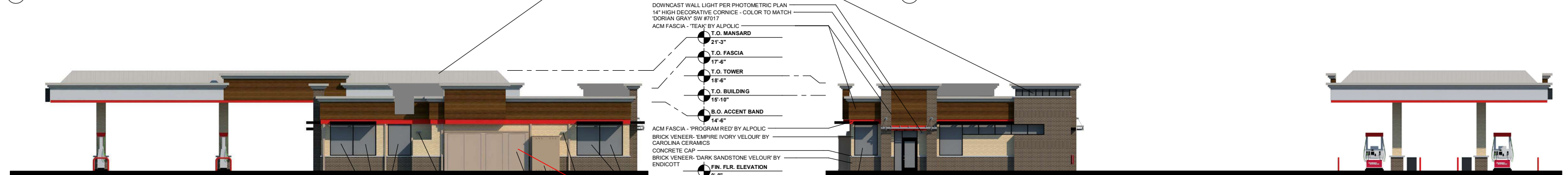
MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730





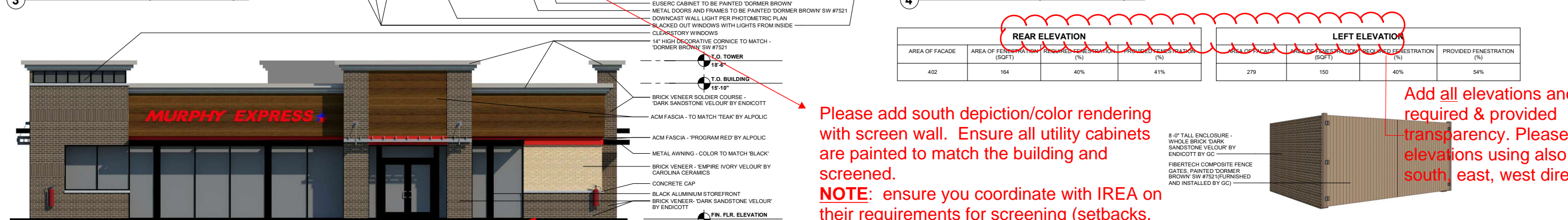
1 ELEVATION- FRONT (NORTH WEST)

2 ELEVATION- RIGHT (SOUTH WEST)



3 ELEVATION- REAR (SOUTH EAST)

4 ELEVATION- LEFT (NORTH EAST)

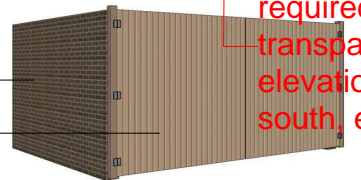


5 ELEVATION- FRONT BUILDING ONLY (NORTH WEST)

REAR ELEVATION				LEFT ELEVATION			
AREA OF FACADE	AREA OF PENETRATION (SQFT)	REQUIRED PENETRATION (%)	PROVIDED PENETRATION (%)	AREA OF FACADE	AREA OF PENETRATION (SQFT)	REQUIRED PENETRATION (%)	PROVIDED PENETRATION (%)
402	164	40%	41%	279	150	40%	54%

Please add south depiction/color rendering with screen wall. Ensure all utility cabinets are painted to match the building and screened.
NOTE: ensure you coordinate with IREA on their requirements for screening (setbacks, etc.).

8'-0" TALL ENCLOSURE - WHOLE BRICK DARK SANDSTONE VELOUR BY ENDICOTT BY GC
 FIBERTECH COMPOSITE FENCE GATES, PAINTED DORMER BROWN SW #7521 (FURNISHED AND INSTALLED BY GC)



Add all elevations and their required & provided transparency. Please distinguish elevations using also north, south, east, west directionals.

6 TRASH ENCLOSURE



Add/show bike racks at front/primary entrance.