

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

Line removed

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1

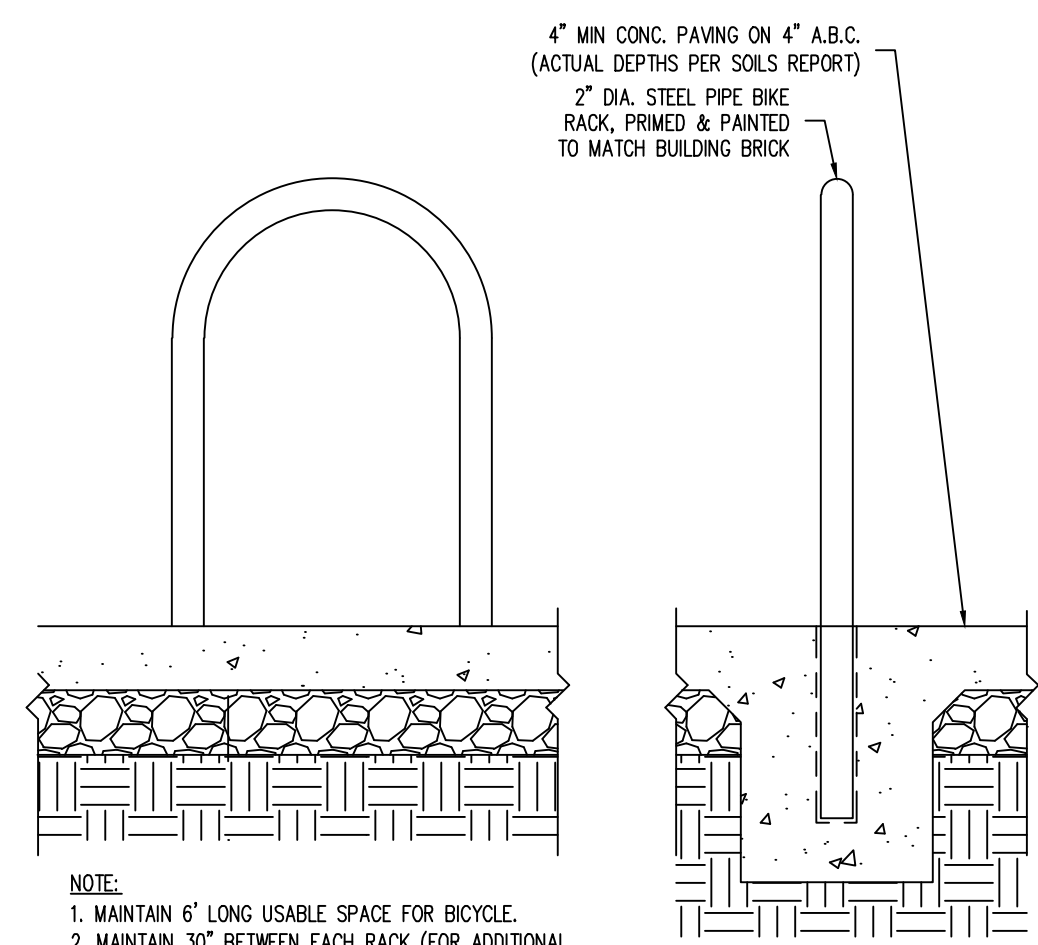
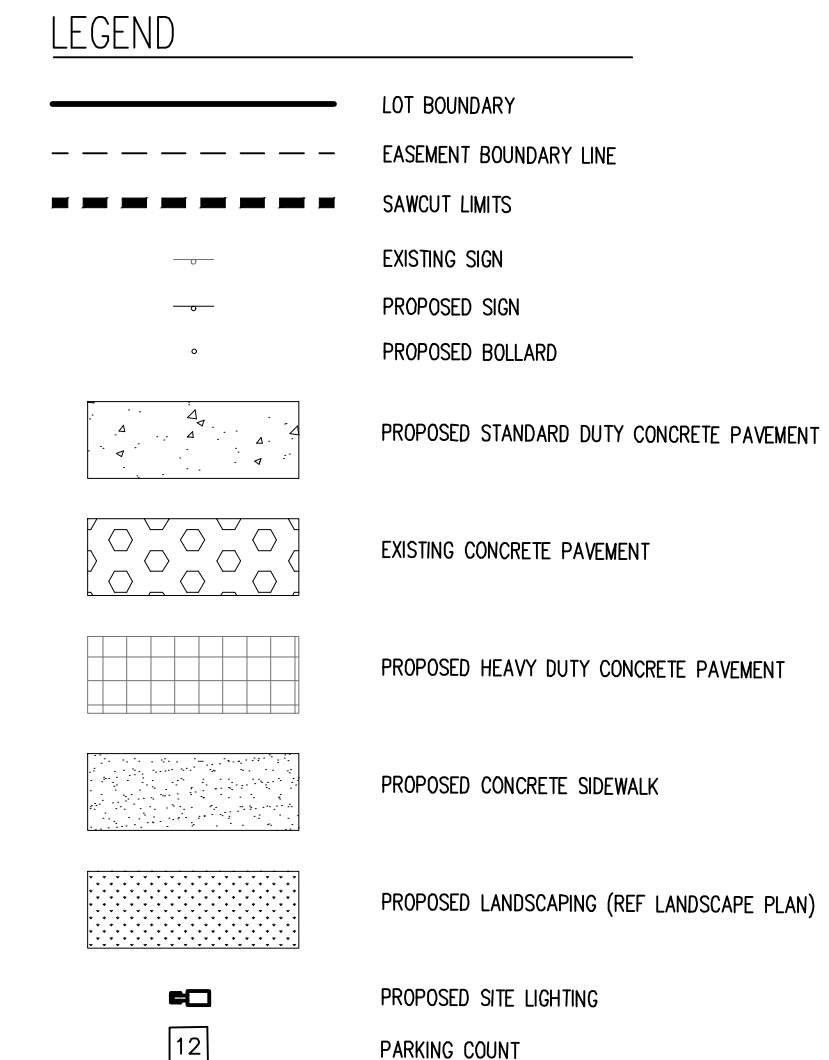
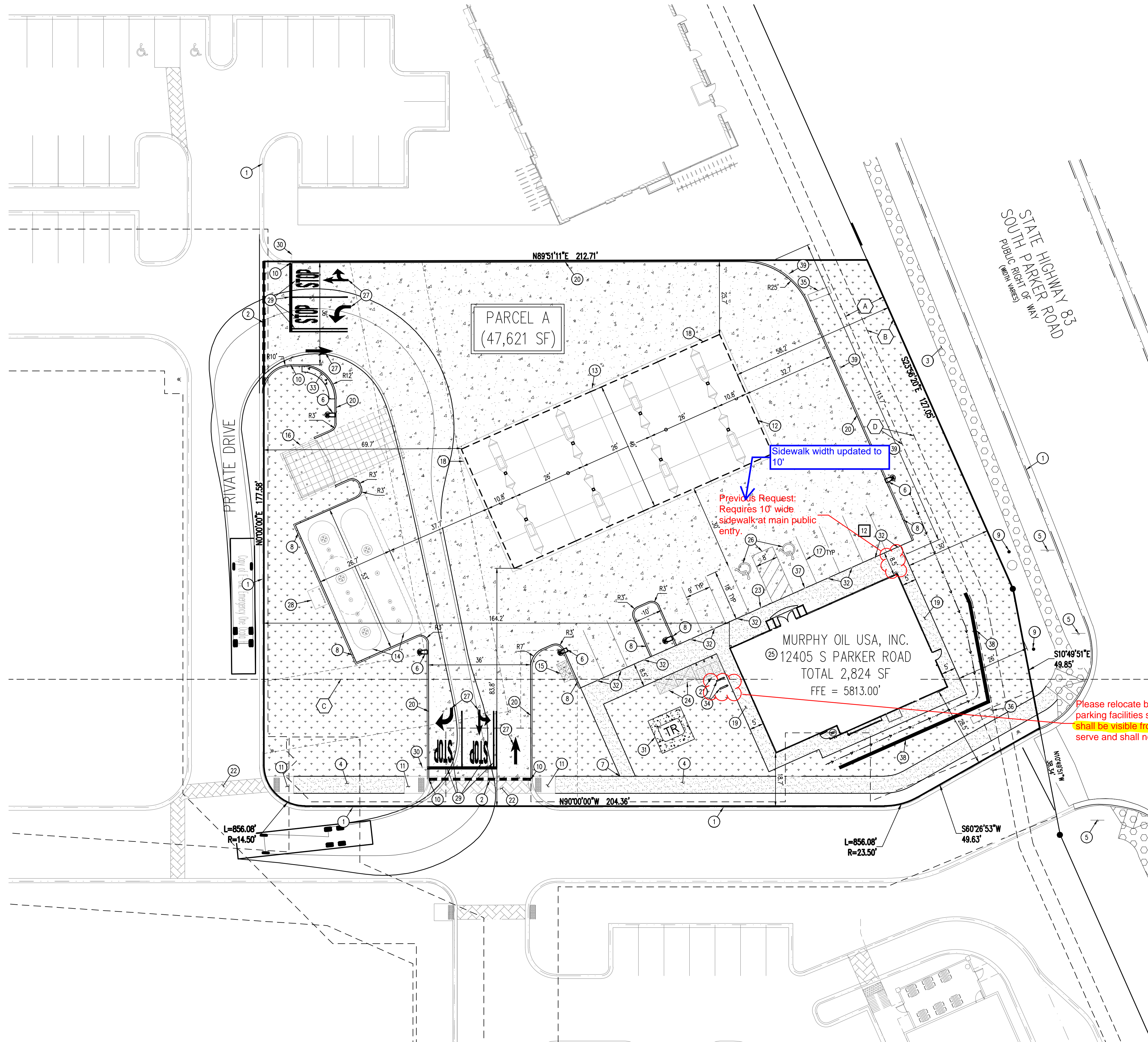
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN DOCUMENTS



Know what's below.
Call before you dig.

SHEET NO. C-1.1



NOTE:
1. MAINTAIN 6\"/>

- EASEMENT SCHEDULE**
- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034886)
 - (B) 10' UTILITY EASEMENT (REC NO. 200413377)
 - (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
 - (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047

- SCHEDULE**
- (1) EXISTING CURB AND GUTTER TO REMAIN
 - (2) SAWCUT EXISTING ASPHALT AT NEW DRIVEWAY ACCESS
 - (3) EXISTING 6\"/>

BENCHMARK
ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN, VERTICAL DATUM IS APPROXIMATELY 2.64 FEET BELOW NAVD 88.

SITE BENCHMARKS:
SITE BENCHMARK #1: #5 REBAR WITH 2\"/>

BASIS OF BEARING
BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24860 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20\"/>

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING REPORT, AND/OR OTHER PERMITS ARE OBTAINED, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

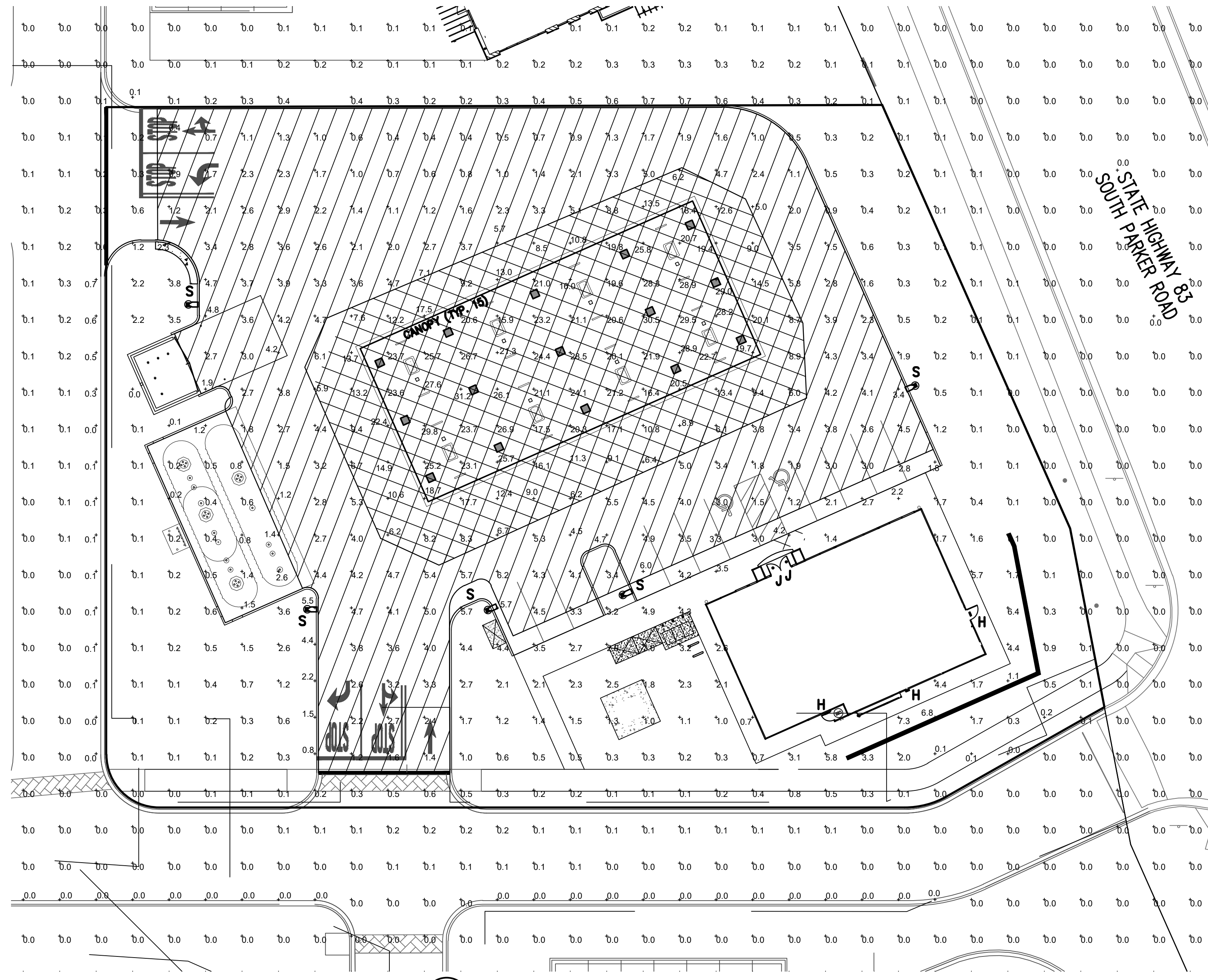
Galloway
6162 S. Willow Drive, Suite 320
Parker, CO 80111
303.770.8848
GallowayUS.com

Galloway

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730



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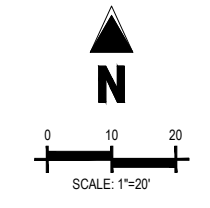
1 PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"

LUMINAIRE SCHEDULE									
MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION	COLOR
S		5	18'-6"	16'-6"	12247	93	SLM-12L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 12,000 LUMENS PACKAGE, 5000K, 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW	BRONZE
CANOPY		15	15'-0"	N/A	12949	114	CRUS-SC-LED-SS-40-UE-WHT	LSI LIGHTING, LEGACY SERIES, SUPER SAVER DRIVER, 4000K, FLAT LENS CANOPY FIXTURE	WHITE
H		3	8'-1"	N/A	4109	42	XSPWA03MCUS-UZK	CREE LIGHTING, XSP WALL MOUNT LUMINAIRE, 5700K CCT, WITH PHOTOCELL SENSOR	BRONZE
J		2	8'-8"	N/A	1800	20	LR6-18L-35K-120V-A-DR W/LT6A	CREE LIGHTING, LR-6 DOWN LIGHT LUMINAIRE, 3500K CCT, 1800 LUMENS, 120V, 3,500K CCT, FULLY RECESSED ENTRY LIGHTS WITH HOUSING RC6-12W-GU24	DIFFUSE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.
ALL FIXTURES ARE FULL CUT-OFF FIXTURES

POLE SCHEDULE					
MOUNTING CONFIG	SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION
S		4	16'-6"	4SQB3-S11G-16.5-S-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
POLES RATED TO 130 MPH WIND VELOCITY



CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-6" FROM BACK OF CURB TO CENTER OF POLE/BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS

TOWN OF PARKER NOTE:

ALL FIXTURES ARE TO COMPLY WITH THE FULL SHIELDING REQUIREMENT OF THE TOWN OF PARKER LAND DEVELOPMENT CODE (13.10.140(C)(11)).

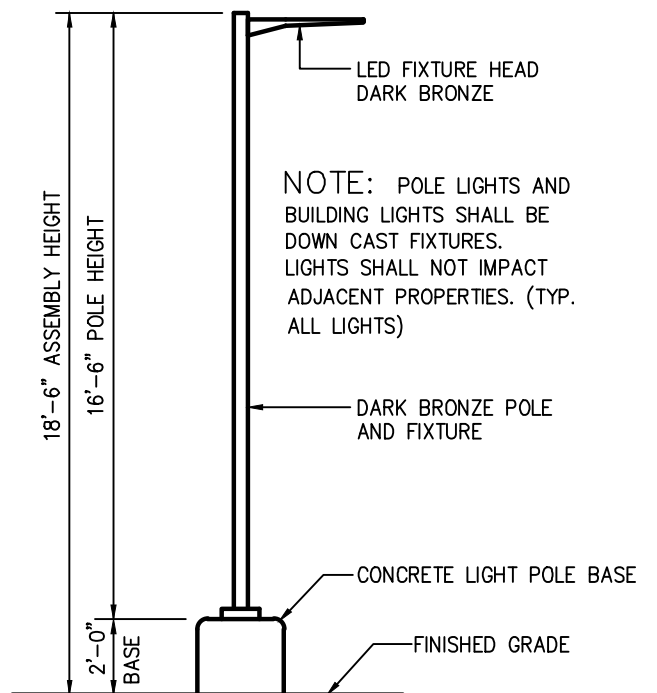
NOTES:

PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.
THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.
ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.
THE 18'-6" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.
THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

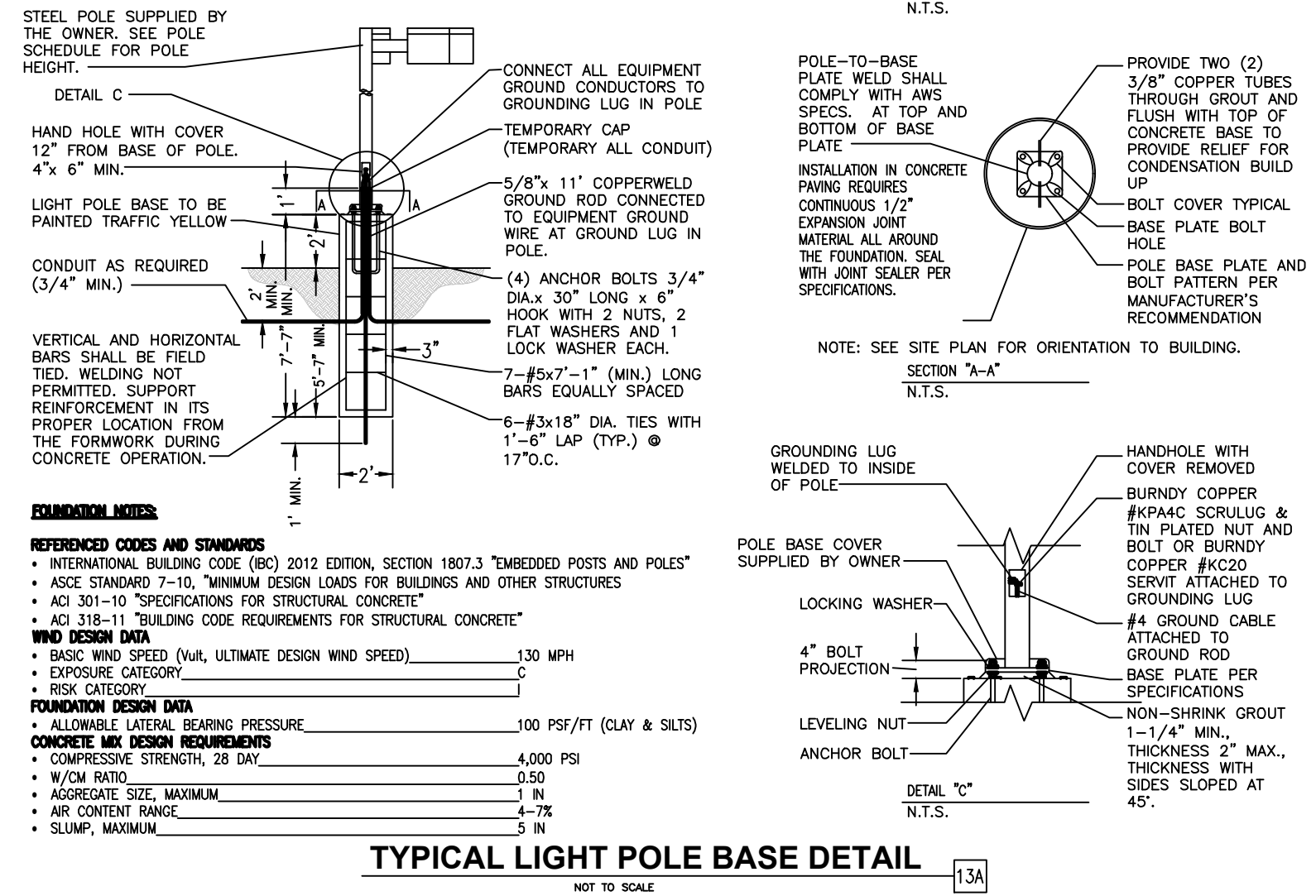
CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
INVENTORY AND GENERAL PARKING	FC	2.98	6.9	1.0	2.98 to 1	6.80 to 1
PRINCIPAL DISPLAY	FC	17.48	31.2	8.0	2.91 to 1	5.20 to 1

PRINCIPAL DISPLAY = 9,154 sf WHICH IS 19.2% OF TOTAL ILLUMINATED SITE AREA (47,621 sf)



2 AREA LIGHT DETAIL
SCALE: NOT TO SCALE



TYPICAL LIGHT POLE BASE DETAIL
NOT TO SCALE



Know what's below. Call before you dig.

SHEET NO. C-3.6

PHOTOMETRIC DETAILS MURPHY EXPRESS 12405 SOUTH PARKER ROAD PARKER COLORADO

Galloway 6102 S. Willow Drive, Suite 320, Denver, CO 80111, GallowayUS.com

MURPHY OIL USA, INC. 200 PEACH STREET EL DORADO, AR 71730 MURPHY USA

Project: Slice Medium - SLM Outdoor LED Area Light

Features & Specifications

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in ES Types 2, 3, 5M, FT and 57A.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K and 2700K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber, consult factory for availability.
- Minimum CRI of 70. Optional 80 CRI available, consult factory for lead time.
- Integral Louver (L) option available for improved back-light control without sacrificing street side performance. See page 5 for more details.

Product Dimensions

Electrical

- High performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (247-480 Vac).
- L80 Calculated Life - >100K Hours (See Lumen Maintenance on Page 3)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F), 42L lumen package rated to +45°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation per ANSI/IEEE C62.41.2.
- High efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Terminal block provided accepts up to 10ga wire.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

USA IP66 ROHS COMPLIANT ARRA ELITE CULUS

LSI Industries Inc. 3000 Alliance Rd. Channahon, IL 60420

Slice Medium - SLM Outdoor LED Area Light

Performance (Cont.)

All published luminaire photometric testing performed to IESNA LM-79 standards. ISO footcandle plots below demonstrate the Slice (SLM) light patterns only. Not for total fixture output. For complete specifications and IES files, see website.

Ordering Guide

Color Temp Color Rendering Controls (Choose One) Finish Options

LSI Industries Inc. 3000 Alliance Rd. Channahon, IL 60420

XSP Series XSPW™ LED Wall Mount Luminaire

Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard steel stud single gang 2-Bay. The luminaire allows for through-wire or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weather-tight LED driver compartment and thermal management. Optic design features industry leading NanoOptic™ Precision Delivery 60° optics to provide multiple distributions. Applications: General area and security lighting.

Performance Summary

- Utilizes BetaLED™ Technology
- NanoOptic™ Precision Delivery 60° optic
- Made in the U.S.A. of U.S. and imported parts
- CRI: Minimum 70 CRI
- CCT: 4000K (+/- 300K), 5700K (+/- 500K)
- Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard™ finish

Accessories

Field Installed

Mounting Hardware

Ordering Information

Product	Version	Mounting	Optic	Modules	Input Power Designator	Voltage	Color Options	Options
XSPW	A	W	60°	2	100W	120V	Black	0-10V Dimming Control on reflector Available with Heat Power Designator C only Color to choose per sheet for detail Phosphor Not available with 6.0ga Not available with 10ga wire Not available with 10ga wire Not available with Heat Power Designator C only

LSI Industries Inc. 3000 Alliance Rd. Channahon, IL 60420

XSPW™ LED Wall Mount Luminaire

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project contact: <http://www.cree.com/lighting>

Type II Medium Distribution

Input Power Designator	Initial Delivered Lumens	IESNA Footcandle	Initial Delivered Lumens	IESNA Footcandle
100W	81100	81.10	81100	81.10
200W	162200	162.20	162200	162.20

LSI Industries Inc. 3000 Alliance Rd. Channahon, IL 60420

MANUFACTURER SPECIFICATION SHEET FOR SITE FIXTURES "S"

LED CANOPY LIGHT - LEGACY™ (CRUS)

HOUSING - Low profile, durable die-cast aluminum construction, providing a reliable weather-tight seal.

LEDS - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5000K color temperature, 70 CRI (nominal).

DRIVE CURRENT - Choice of Very Low Wattage (VLW), Low Wattage (LW), Super Saver (SS), High Output (HO) or Very High Output (VHO).

OPTICS / DISTRIBUTION - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

OPTICAL UNIT - Features an ultra-slim 7/8" profile die-cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

HAZARDOUS LOCATION - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

DRIVER - State-of-the-art driver technology superior energy efficiency and optimum light output. Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10V dimming supplied standard with all drive currents.

DRIVER HOUSING - Die-cast aluminum, vent located rated dielectric enclosure to elevated canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.

OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

FINISH - Standard color is White and is finished with LSI's Durabond™ polyester powder coat process. Durable withstands extreme weather changes without cracking or peeling.

INSTALLATION - One person installation. No additional sealant required. Installs in a 12" or 16" deck span. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scotchlite® (F7) holes as well as openings for Encore and Encore Top Access and to reconnect wiring for the SVECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and D&D installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

SHIPPING WEIGHT - 27 pounds (single pack), 48 pounds (double pack).

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARNING - Limited 5-year warranty.

LISTING - UL and ETL listed to UL 1596, UL 8750 and other U.S. and international safety standards. Suitable for wet locations.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.

USA IP67 ROHS COMPLIANT ARRA ELITE CULUS

Project Name: _____ Feature Type: _____ 04/2016
Catalog #: _____ LSI INDUSTRIES INC.

LED CANOPY LIGHT - LEGACY™ (CRUS)

LUMINAIRE ORDERING INFORMATION

Color Temp Color Rendering Controls (Choose One) Finish Options

Dimensions

Light Output - CRUS

Series	SC Lumens	AC	SC Watts	AC	SC LFW	AC
VLW - Very Low Watt	8842	-	79	-	112	-
LW - Low Watt	17671	8746	88	83	124	105
SS - Super Saver	13504	11518	114	111	119	104
HO - High Output	19633	-	132	-	141	-
VHO - Very High Output	22418	17262	159	157	141	110

Project Name: _____ Feature Type: _____ 04/2016
Catalog #: _____ LSI INDUSTRIES INC.

MANUFACTURER SPECIFICATION SHEET FOR BUILDING FIXTURE "H"

LR6-18L 6" LED Downlight

Product Description

The LR6-18L LED downlight delivers 1800 lumens of exceptional 80-CRI light while achieving 80 lumens per watt. This breakthrough performance is achieved by combining the high efficiency and high quality light of Cree TrueWhite™ Technology with an integrated driver and thermal management design. The LR6-18L is available in warm or neutral color temperatures and has a variety of trim options. It easily installs into one six-inch O.D.A. housings or may be retrofitted with a 6.024 whip adapter.

Applications: Commercial new construction and retrofit.

Performance Summary

- Utilizes Cree TrueWhite™ Technology
- Active Color Management
- Delivered Light Output: 1800 lumens
- Input Power: 20 watts
- CRI: 80
- CCT: 2700K, 3000K, 3500K, 4000K
- Limited Warranty*: 10 years
- Lifetime: Designed to last 50,000 hours
- Dimming: Dimmable to 5%
- Suitable for non-insulated ceilings only

Housing & Accessories

Reference Housing & Accessory documents for more details.

Trim

Trim	Material	Color
CRUS	Black anodized finish	CRUS-04
TRUS	White anodized finish	TRUS-04
TRUS-08	Power white anodized finish	TRUS-08
TRUS-08	Power blue anodized finish	TRUS-08

Housing (Refer to CRUS)

Housing	Material	Color
H8	Black anodized finish	H8-04
H8	White anodized finish	H8-04
H8	Power white anodized finish	H8-08
H8	Power blue anodized finish	H8-08

Ordering Information

Example: LR6-18L-300K-120V-A-08

Series	Trim	Lumen Output	Color Temperature	Voltage	Version	Options
LR6	A	1800 Lumens, 80 L/W	2700 Kelvin	120V-277V, 0-10V Dim	A	08: Power - 27" Stud

Project Name: _____ Feature Type: _____ 04/2016
Catalog #: _____ LSI INDUSTRIES INC.

MANUFACTURER SPECIFICATION SHEET FOR CANOPY FIXTURE

MANUFACTURER SPECIFICATION SHEET FOR SOFFIT FIXTURE "J"

PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

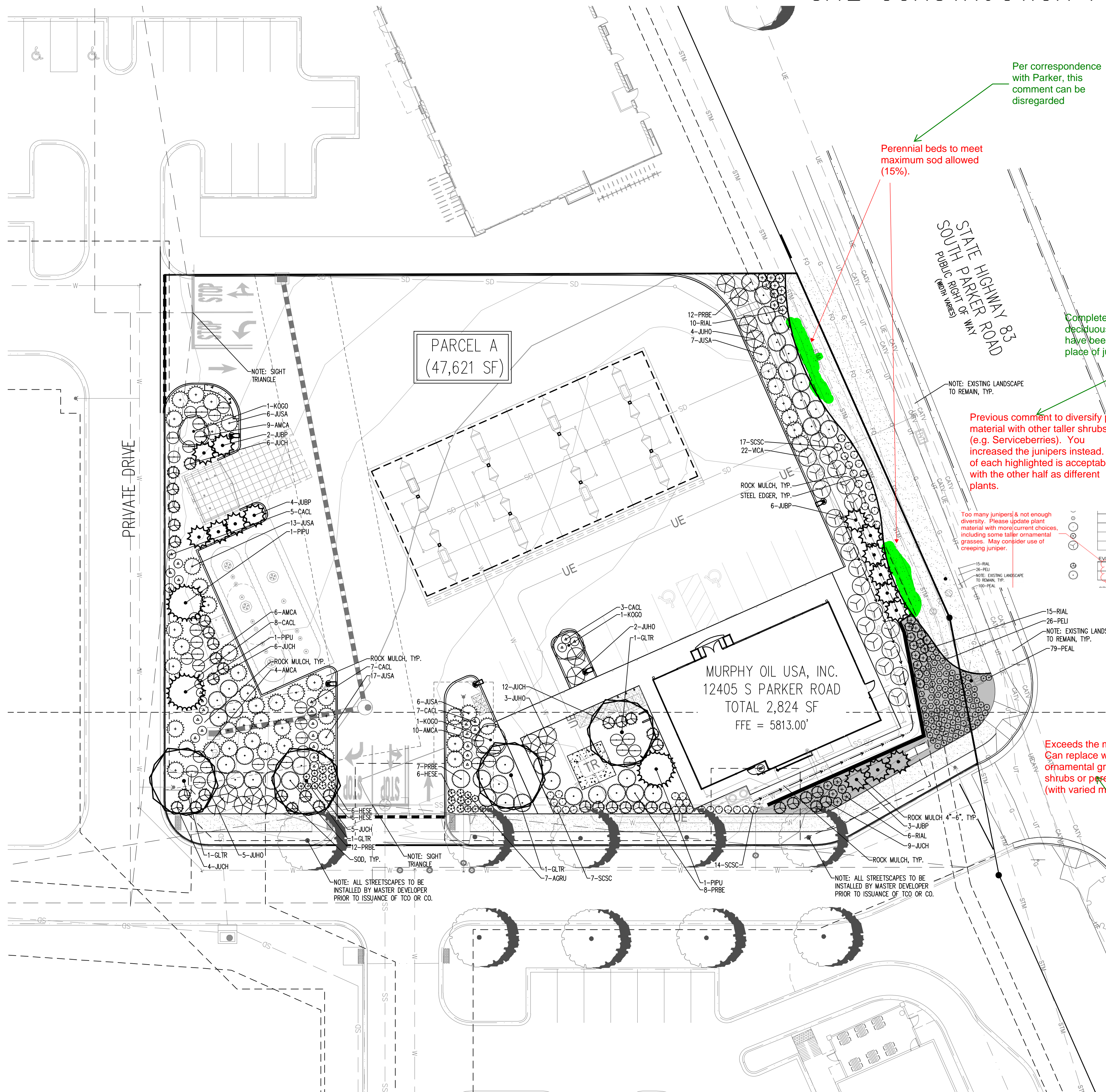
SITE CONSTRUCTION PLANS



Know what's below.
Call before you dig.

SHEET NO.

L1.1



LANDSCAPE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA	47,621 SF	15% MIN. OF TOTAL SITE AREA (7,143 SF TOTAL SITE)	7,143 SF REQUIRED	16,839 SF PROVIDED (30.6X OF TOTAL SITE AREA)
SITE PERIMETER LANDSCAPING		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE		
WEST PERIMETER	173' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	4 TREES / 22 SHRUBS
SOUTH PERIMETER	216' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	5 TREES / 27 SHRUBS
EAST PERIMETER	176' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	4 TREES / 22 SHRUBS
SOD COVERAGE	16,839 SF	15% MAXIMUM TURF COVERAGE	2,525 SF MAX	2,490 SF (14.7%)
GROUND COVERAGE	16,839 SF	75% LIVING GROUND COVERAGE AT MATURITY	12,629 SF	12,706 SF (80%)

NOTE: TEN SHRUBS MAY BE SUBSTITUTED FOR ONE TREE. ONE ORNAMENTAL GRASS IN A FIVE-GALLON CONTAINER OR THREE ORNAMENTAL GRASSES IN A ONE-GALLON CONTAINER MAY BE SUBSTITUTED FOR ONE SHRUB. ANY AND ALL SUBSTITUTIONS MUST BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.

NOTE: STREETSCAPE LANDSCAPING BY MDP.

NOTE: SITE PERIMETER LANDSCAPE AND PARKING LOT PERIMETER LANDSCAPE OVERLAP; THEREFORE, THE STRICTER OF THE TWO IS BEING USED PER SECTION 13.6.07(C) BEING SITE PERIMETER LANDSCAPING.

NOTE: EAST PERIMETER LANDSCAPE TREES ARE BEING SUBSTITUTED FOR AN ADDITIONAL 40 LARGE SHRUBS PER THE APPROVED PARKER PLANT LIST ON TOP OF THE 22 REQUIRED SHRUBS TO MEET THE TREE REQUIREMENT. MULTIPLE UTILITY CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND EASEMENTS.

Completed, all shrub substitutions are shown in red on the revised plans.

Please identify which shrubs are used as substitutions. All substitutions should be identified.

Completed, additional deciduous shrubs have been added in place of junipers.

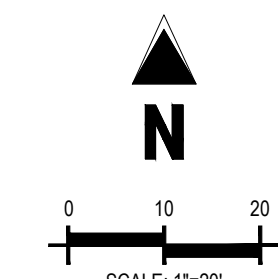
Previous comment to diversify plant material with other taller shrubs (e.g. Serviceberries). You increased the junipers instead. Half of each highlighted is acceptable with the other half as different plants.

Too many junipers & not enough diversity. Please update plant material with more current choices, including some taller ornamental grasses. May consider use of creeping juniper.

Exceeds the max 15%. Can replace with ornamental grasses, shrubs or perennial beds (with varied material).

PLANTING LEGEND

QTY	LEGEND	ABBREV.	BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE	WATER USE (V.L./M.H)	SUN/SHADE	PERCENT TREE SPECIES	PERCENT GROUND COVER IN S.F.
DECIDUOUS TREES										
4	GLTR		GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2.5" CAL. B&B	50'X35'	L	SUN	70%	
EVERGREEN TREES										
3	PIPU		PICEA PUNGENS 'BAKERI'	BAKERI SPRUCE	8' HEIGHT B&B	30'X10'	M	SUN	30%	340
ORNAMENTAL TREES										
3	KOGO		KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1.5" CAL. B&B	30'X25'	L	SUN	70%	1,470
UPRIGHT JUNIPERS										
15	JUBP		JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5 CONT. 3" HEIGHT	12'X6'	VL	SUN/PART SHADE		540
DECIDUOUS SHRUBS										
36	AMCA		AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN		576
25	CACL		CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	#5 CONT. 18-24"	3'X3'	VL	SUN		225
26	PELI		PEROVSKIA X 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	#5 CONT. 18-24"	2'X2'	L	SUN		104
39	PRBE		PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5 CONT. 18-24"	18'X6'	VL	SUN		1404
31	RIAL		RIBES ALPINUM	GREEN MOUND ALPINE CURRANT	#5 CONT. 18-24"	4'X4'	L/M	SUN/PART SHADE		400
20	VICA		VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	#5 CONT. 18-24"	6'X6'	M	SUN		720
EVERGREEN SHRUBS										
39	JUCH		JUNIPERUS CHINENSIS 'ARMSTRONGII'	ARMSTRONG JUNIPER	#5 CONT. 18-24"	4'X4'	VL	SUN		672
14	JUHO		JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	#5 CONT. 18-24"	10'X6'	VL	SUN/PART SHADE		604
57	JUSA		JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#5 CONT. 18-24"	12'X6'	VL	SUN/PART SHADE		2,052
ORNAMENTAL GRASSES										
12	HESE		HELICTOTRICHON SEMPERVIRENS	BLUE AVEÑA	#3 CONT. 2.5'X2.5"	VL	SUN/PART SHADE			276
79	PEAL		PENNSSETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#5 CONT. 2'X2'	M	SUN			416
38	SCSC		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#3 CONT. 3'X2'	VL	SUN			152
PERENNIALS										
13	AGRU		AGASTACHE RUPESTRIS 'SUNSET'	SUNSET HYSSOP	#1 CONT. 30'X24"	VL	SUN			265
SOD - IRRIGATED TURF										
2,490 S.F.			FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)	SOD		M			2,490
MULCH										
10,050 S.F.			ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	MULCH					
1,175 S.F.			ROCK COBBLE MULCH	4"-8" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	MULCH					
AS NEEDED			WOOD MULCH	NATURAL CEDAR FIBER MULCH	MULCH					
EDGING										
175 L.F.			STEEL EDGING	BLACK STEEL EDGING. SEE LANDSCAPE NOTES	EDGING					
TOTAL GROUND COVERAGE										
			TOTAL LS AREA = 16,839 S.F.	75% GROUND COVERAGE = 12,629 S.F.						TOTAL = 12,706



CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

LANDSCAPE PLAN
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

MURPHY OIL USA, INC.

MURPHY USA
200 PEACH STREET
EL DORADO, AR 71730

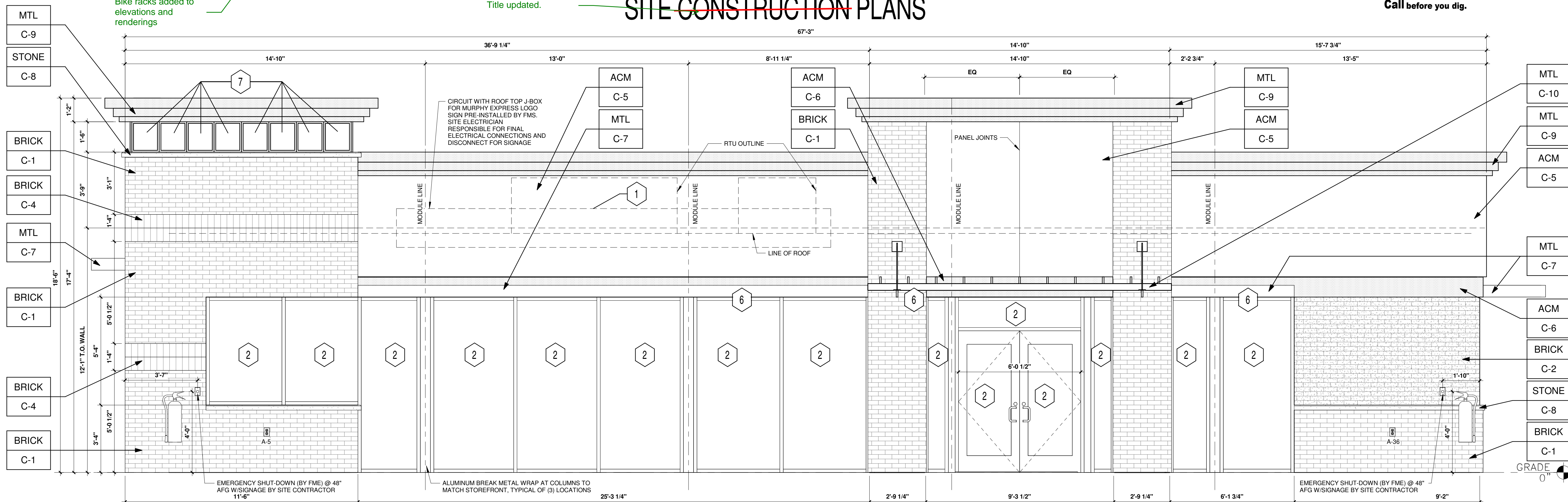
TOWN OF PARKER, DIRECTOR OF ENGINEERING

DATE

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



Description updated.

Title updated.

Add/show bike racks at front/primary entrance.

Bike racks added to elevations and renderings

KEYED NOTES:

- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 DOWNCAST WALL LIGHT. REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 METAL AWNING C-7
- 7 CLEARSTORY WINDOWS BY FMS
- 8 METAL PANELS BY FMS
- 9 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER OR EQUAL / LIGHT BOXES C-7

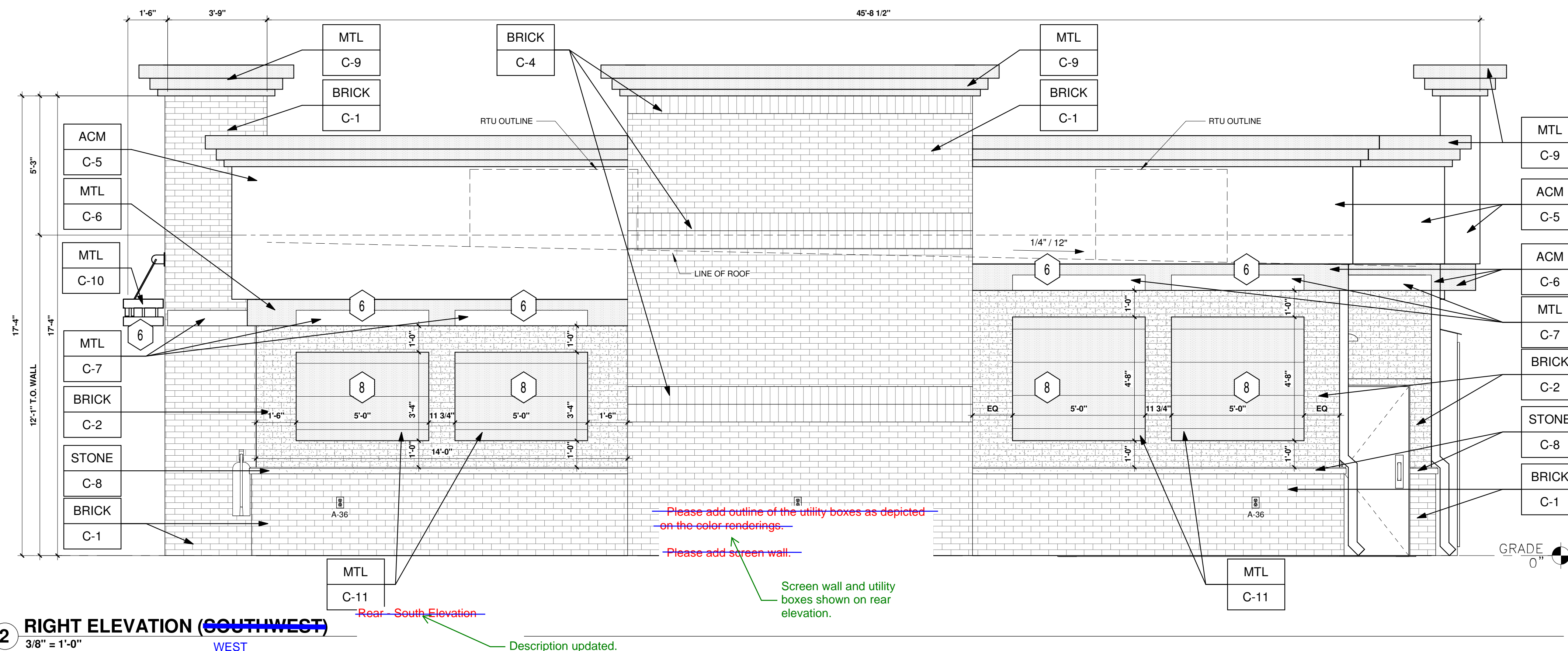
EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-3 'DORMER BROWN' SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-5 'TEAK' BY ALPOLIC BY FMS
- C-6 'PROGRAM RED' BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT / METAL AWNING BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS
- C-9 'DORIAN GRAY' SW #7017 BY FMS
- C-10 BRUSHED ALUMINUM BY FMS
- C-11 SPECKLED COPPER BY FMS

1 FRONT ELEVATION (NORTHWEST)
 3/8" = 1'-0"



2 RIGHT ELEVATION (SOUTHWEST)
 3/8" = 1'-0"

Description updated.

Description updated.

Front - North FRONT ELEVATION

AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SOFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	278	40%	69%

Right - West RIGHT ELEVATION

AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SOFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
246	75	25%	31%

Please add outline of the utility boxes as depicted on the color renderings.

Please add screen wall.

Screen wall and utility boxes shown on rear elevation.

Rear - South Elevation

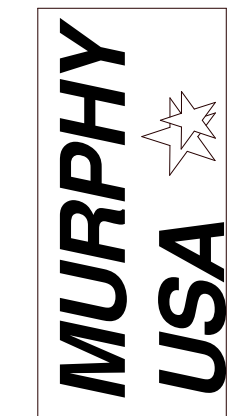
Description updated.

SHEET NO. A1.1

ARCHITECTURAL ELEVATIONS (BUILDING)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER COLORADO



MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730



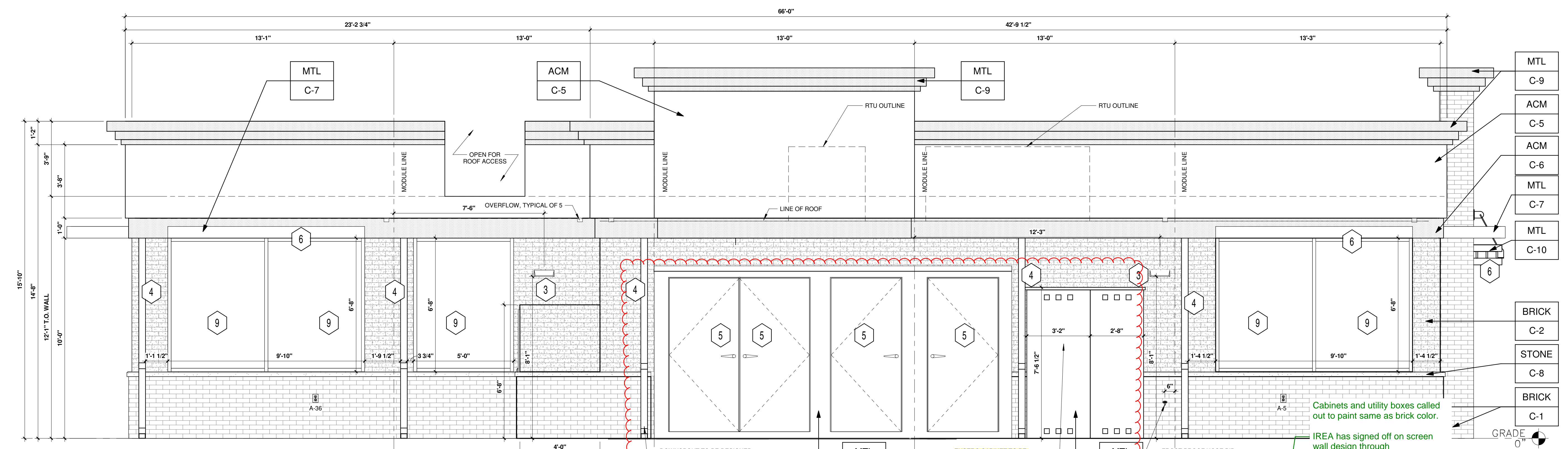
Description updated.

MURPHY OIL USA, INC.

~~A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1~~
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

Title updated.

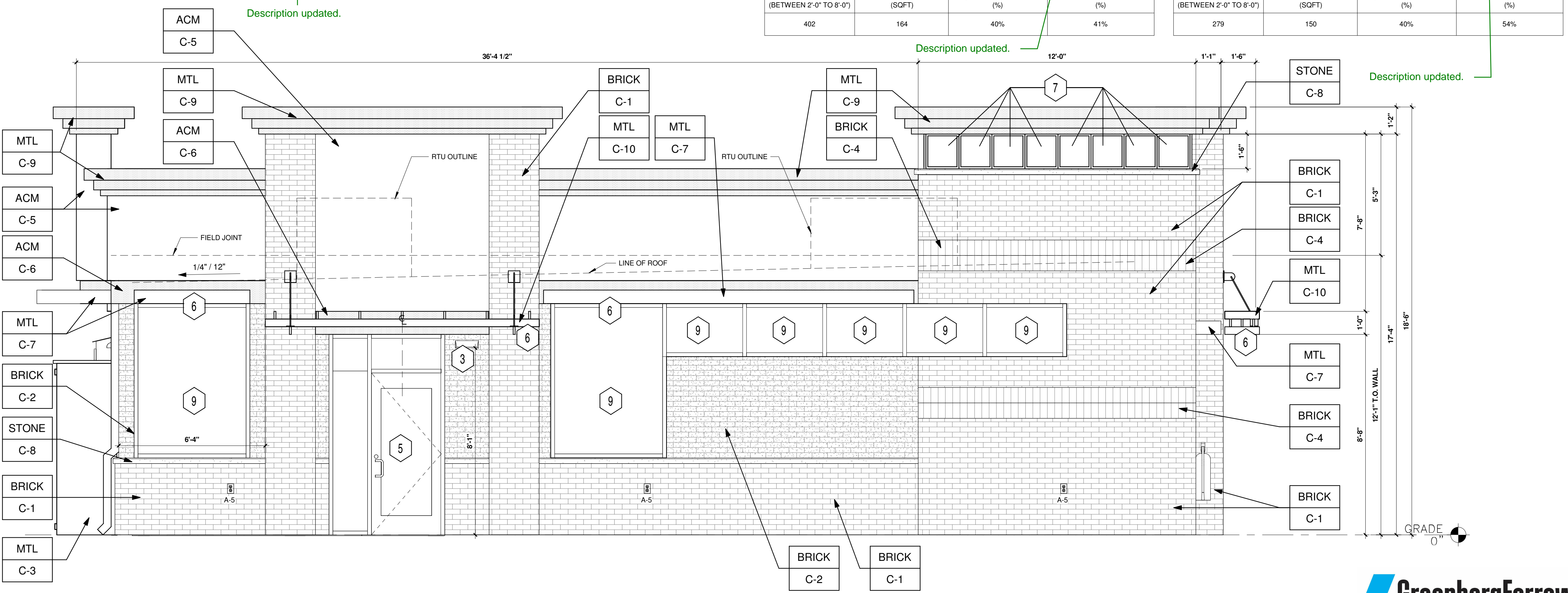
SITE CONSTRUCTION PLANS



- KEYED NOTES:**
- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
 - 2 BLACK ALUMINIUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
 - 3 DOWNCAST WALL LIGHT. REFER TO LIGHTING PLAN SHEET EL2
 - 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
 - 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
 - 6 METAL AWNING C-7
 - 7 CLEARSTORY WINDOWS BY FMS
 - 8 METAL PANELS BY FMS
 - 9 BLACK ALUMINIUM STOREFRONT SYSTEM KAWNEER OR EQUAL / LIGHT BOXES C-7
- EXTERIOR FINISHES:**
- ACM ACM (3MM THICKNESS) BY FMS
 - BRICK THIN BRICK BY FMS
 - MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
 - STONE STONE SILL BY FMS
- EXTERIOR PAINT/COLORS:**
- C-1 THIN BRICK VENEER - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLEND GREY COLOR GROUT BY FMS
 - C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLEND GREY COLOR GROUT BY FMS
 - C-3 DORMER BROWN SW #7521 BY FMS
 - C-4 THIN BRICK VENEER SOLDIER COURSE - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLEND GREY COLOR GROUT BY FMS
 - C-5 TEAK BY ALPOLIC BY FMS
 - C-6 PROGRAM RED BY ALPOLIC BY FMS
 - C-7 BLACK ALUMINIUM STOREFRONT / METAL AWNING BY FMS
 - C-8 STONE SILL - CONCRETE GRAY CAP BY FMS
 - C-9 DORIAN GRAY SW #7017 BY FMS
 - C-10 BRUSHED ALUMINIUM BY FMS
 - C-11 SPECKLED COPPER BY FMS

3 REAR ELEVATION (SOUTHEAST)
 3/8" = 1'-0"
 East North Elevation REAR ELEVATION (SOUTH)

REAR ELEVATION - South Elevation				LEFT ELEVATION - East Elevation			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)	AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	164	40%	41%	279	150	40%	54%



4 LEFT ELEVATION (NORTHEAST)
 3/8" = 1'-0"
 EAST



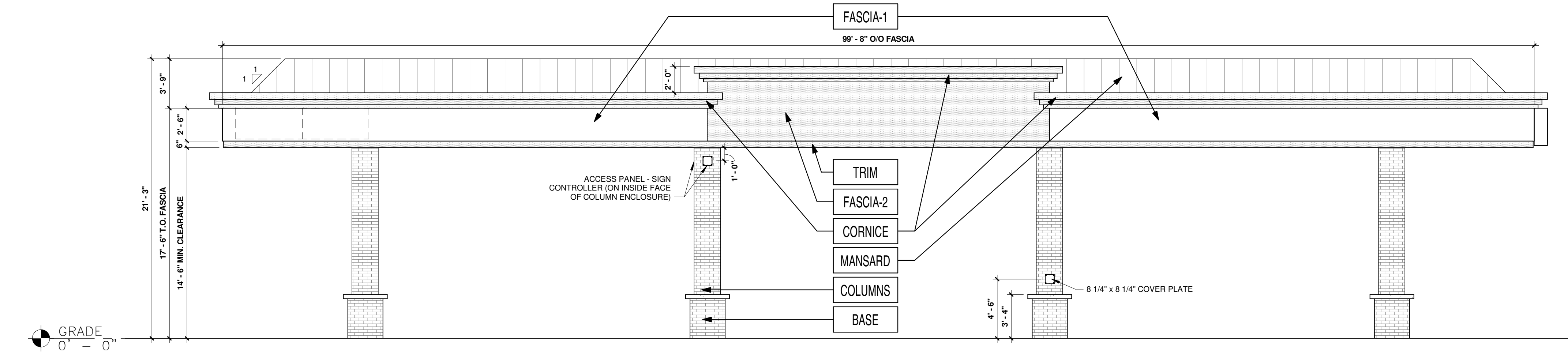
Description updated.

MURPHY OIL USA, INC.

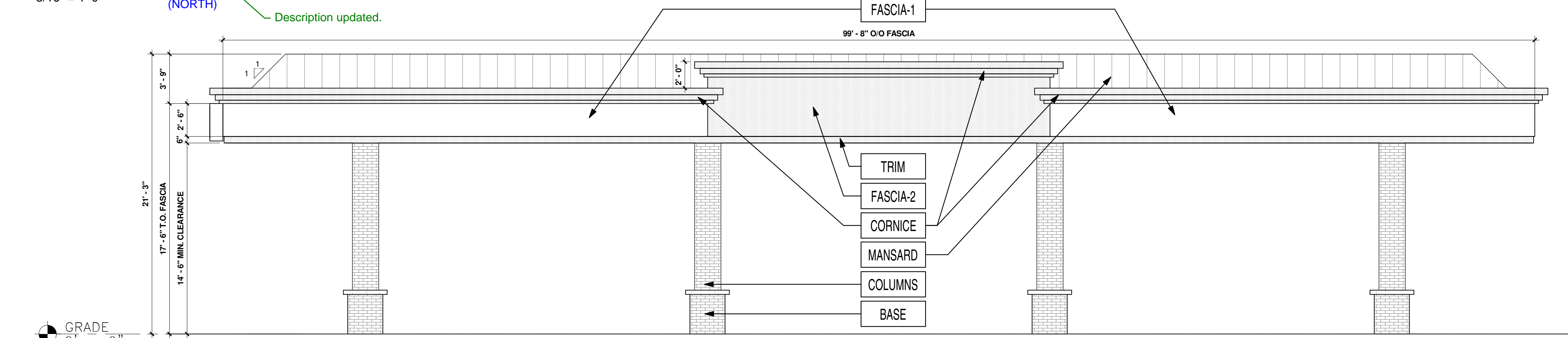
~~A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1~~
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

Title updated.

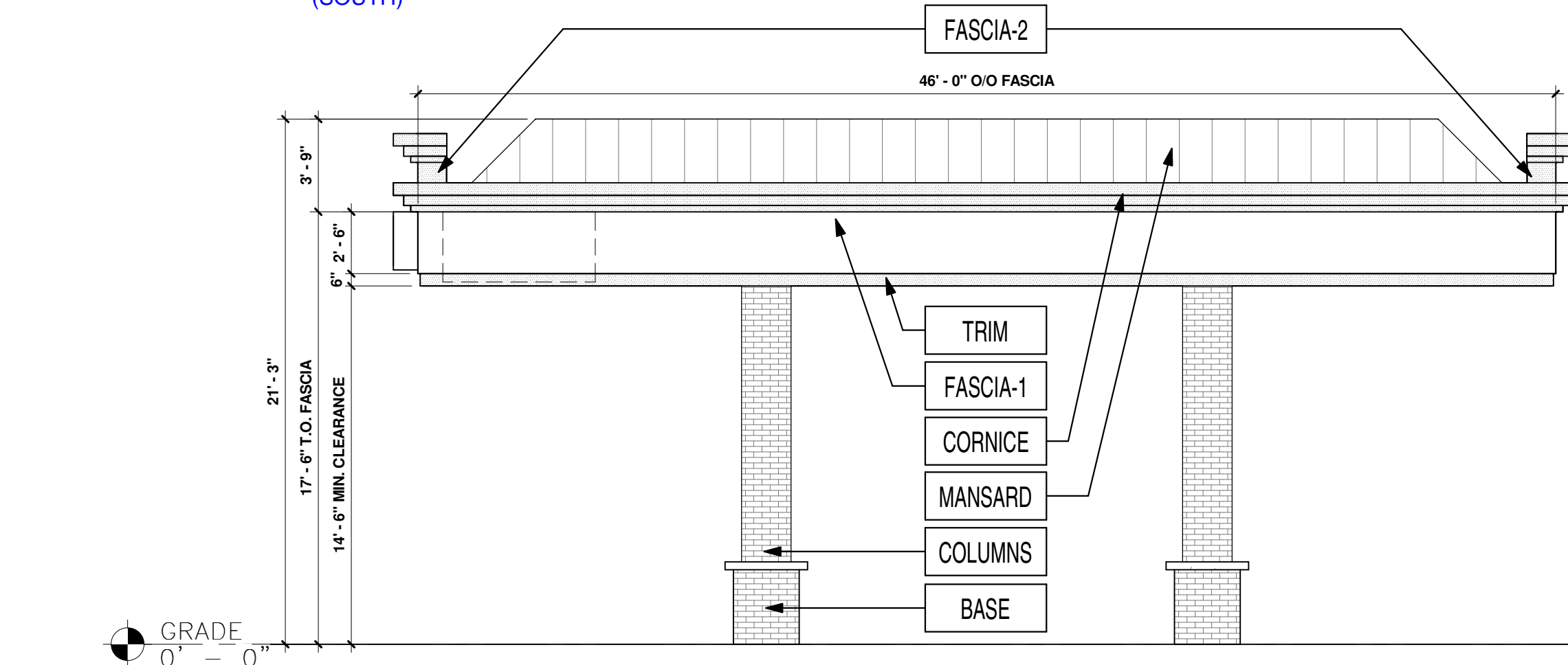
SITE CONSTRUCTION PLANS



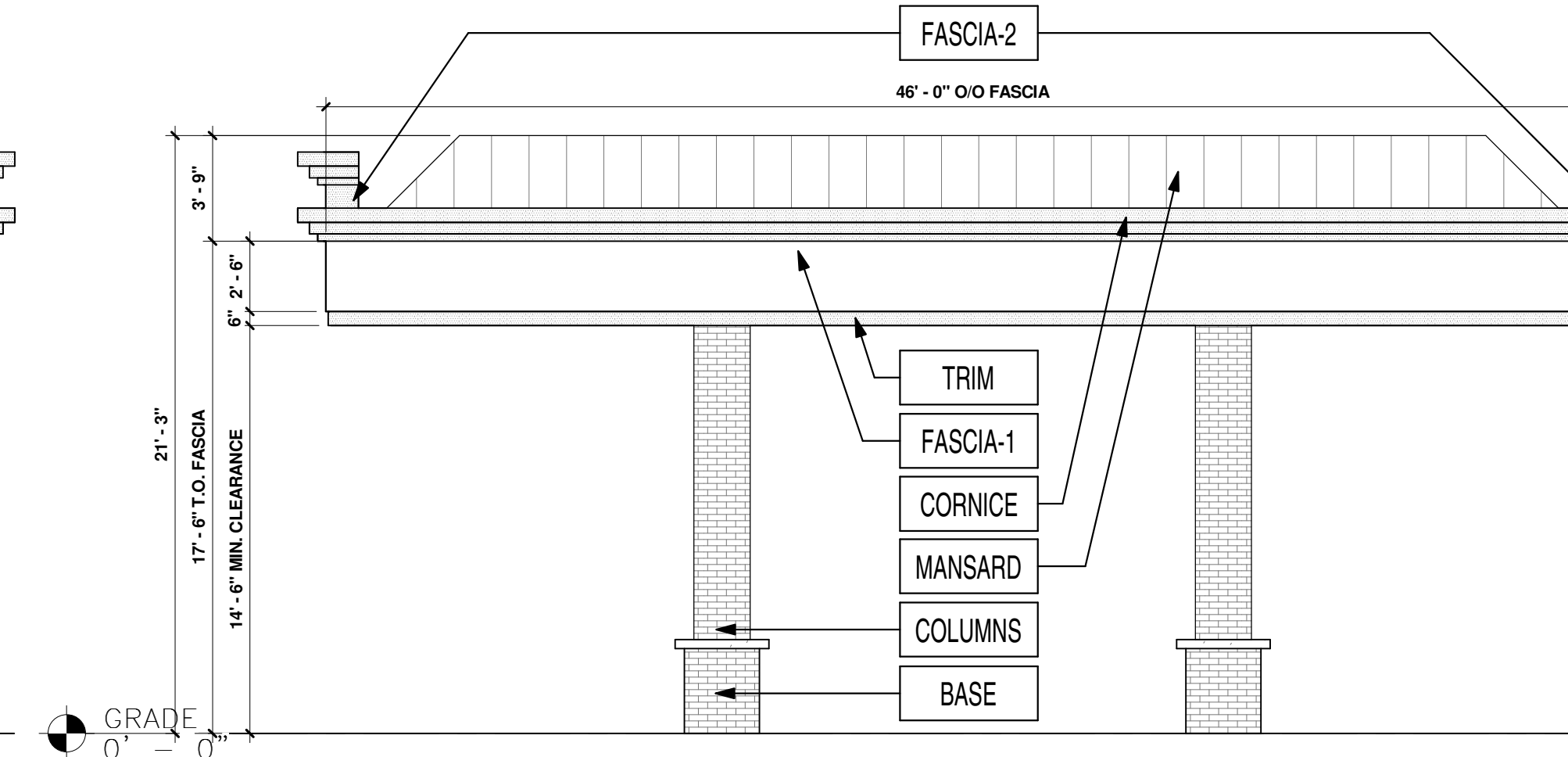
1 FRONT ELEVATION (NORTHWEST)
 3/16" = 1'-0"



2 REAR ELEVATION (SOUTH EAST)
 3/16" = 1'-0"



3 RIGHT ELEVATION (SOUTH WEST)
 3/16" = 1'-0"



4 LEFT ELEVATION (NORTH EAST)
 3/16" = 1'-0"

FINISH SCHEDULE		
FASCIA-1	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA - 'BRUSHED ALUMINIUM'
FASCIA-2	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA - 'TEAK' BY ALPOLIC
TRIM	20 GA. SHEET METAL	6" HT PRE-FINISHED METAL ACCENT BAND 'PROGRAM RED' BY ALPOLIC
COLUMNS	THIN BRICK VENEER	'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
BASE	THIN BRICK VENEER	'DARK SANDSTONE VELOUR' BY ENDICOTT
CORNICE	ACM (ALUMINUM COMPOSITE MATERIAL)	PAINTED 'DORIAN GRAY' SW #7017
MANSARD	20 GA. SHEET METAL (STANDING SEAM)	PAINTED 'DORIAN GRAY' SW #7017

SHEET NO.
A1.3

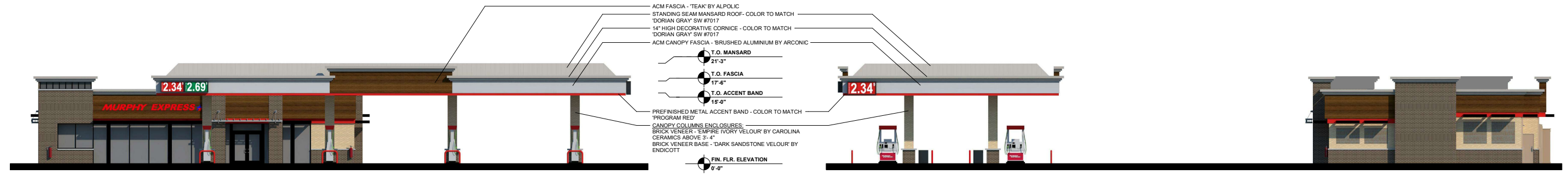
ARCHITECTURAL ELEVATIONS (CANOPY)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO

Galloway
 6165 S. Willow Drive, Suite 200
 Centennial, Colorado, 80111
 303.770.8884
 GallowayUS.com

MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

MURPHY USA





1 ELEVATION- FRONT (NORTH WEST) (NORTH)

2 ELEVATION- RIGHT (SOUTH WEST) (WEST)

Description updated.

Description updated.



3 ELEVATION- REAR (SOUTH EAST) (SOUTH)



4 ELEVATION- LEFT (NORTH EAST) (EAST)

Description updated.

Description updated.

REAR ELEVATION				LEFT ELEVATION			
AREA OF FACADE	AREA OF PENETRATION (SQFT)	REQUIRED PENETRATION (%)	PROVIDED PENETRATION (%)	AREA OF FACADE	AREA OF PENETRATION (SQFT)	REQUIRED PENETRATION (%)	PROVIDED PENETRATION (%)
402	164	40%	41%	279	150	40%	54%

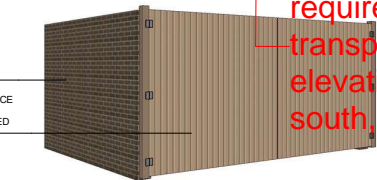


5 ELEVATION- FRONT BUILDING ONLY (NORTH WEST)

Please add south depiction/color rendering with screen wall. Ensure all utility cabinets are painted to match the building and screened.

NOTE: ensure you coordinate with IREA on their requirements for screening (setbacks, etc.).

IREA has signed off on screen wall location, material, and height. Screen wall shown in rendering.



WASH ENCLOSURE

Add all elevations and their required & provided transparency. Please distinguish elevations using also north, south, east, west directionals.

Description updated.

Add/show bike racks at front/primary entrance.

Bike racks shown in rendering

