

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.

TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN DOCUMENTS



Know what's below.
Call before you dig.

PROJECT CONTACTS:

RECORD OWNER
EVI PARKER COLORADO, LLC
2710 E. CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016
TEL: (602) 468-6100
CONTACT: RYAN AMATO

DEVELOPER/APPLICANT
MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
CONTACT: GARY HEGENER

ENGINEER/CONSULTANT
GALLOWAY & COMPANY, INC.
6162 S. WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
FAX: (303) 770-8884
CONTACT: JIM ERWIN-SVIBODA, P.E.
EMAIL: JIMERWINSVIBODAGALLOWAYUS.COM

LANDSCAPE/CONSULTANT
GALLOWAY & COMPANY, INC.
6162 S. WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
FAX: (303) 770-8884
CONTACT: TIM NELSON, RLA, ASLA, CDP
EMAIL: TIMNELSON@GALLOWAYUS.COM

SURVEYOR
GALLOWAY & COMPANY, INC.
1755 TELESTAR DR, SUITE 107
COLORADO SPRINGS, CO 80920
TEL: (303) 770-8884
FAX: (303) 770-8884
CONTACT: BRIAN DENNIS, PLS
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

MUNICIPAL & UTILITY CONTACTS:

ENGINEERING
TOWN OF PARKER – ENGINEERING
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA

STORM SEWER
TOWN OF PARKER – PUBLIC WORKS
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 840-9546

FIRE
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

WATER & SANITARY SEWER
PARKER WATER AND SANITATION DISTRICT
1800 E. WOODMAN DRIVE
PARKER, CO 80134
TEL: (303) 841-4627
CONTACT: DRAYTON SANDERSON

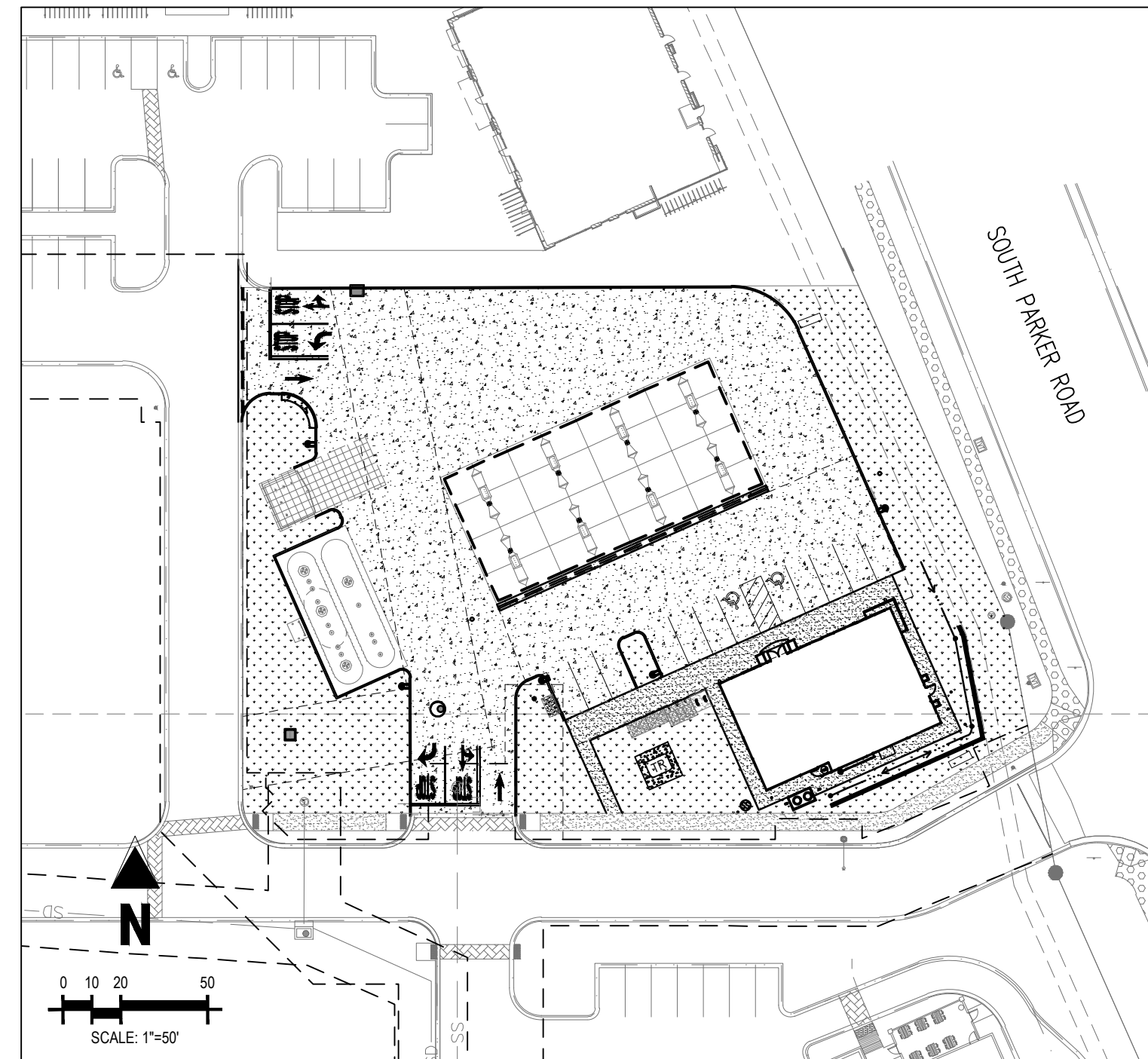
PLANNING
TOWN OF PARKER – PLANNING
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 841-2332

GAS
XCEL ENERGY
1800 LARIMER STREET
DENVER, CO 80202
EMAIL: RON.H.JOHNSON@XCELENERGY.COM
CONTACT: RON JOHNSON

ELECTRIC
INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
5496 NORTH US HIGHWAY 85
SEDALIA, CO 80135
TEL: (303) 688-3100
CONTACT: AMANDA STEINER

TELEVISION
COMCAST
1601 MILE HIGH STADIUM CIRCLE
DENVER, CO 80204
EMAIL: DEAN.FLENTHROP@COMCAST.COM
CONTACT: DEAN FLENTHROP

TELEPHONE
CENTURYLINK
1801 CALIFORNIA STREET, SUITE 240
DENVER, CO 80202
CONTACT: IZZY MILLER
EMAIL: IZZY.MILLER@CENTURYLINK.COM



SITE MAP
SCALE: 1"=50'



VICINITY MAP
(NOT TO SCALE)

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C-0.0	COVER SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C-1.1	SITE PLAN
C-3.5	PHOTOMETRIC PLAN
C-3.6	PHOTOMETRIC DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS & NOTES
A1.1	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.2	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.3	ARCHITECTURAL ELEVATIONS (CANOPY)
1 OF 1	COLORING RENDERING

SITE DATA TABLE

SITE AREA	47,621 SF / 1.09 AC
ZONING	PLANNED DEVELOPMENT – PARKER AND PINE PD; HIGHWAY ORIENTED COMMERCIAL
BUILDING:	SINGLE STORY – 2,824 SF (BUILDING) SINGLE STORY – 4,830 SF (CANOPY)
FAR:	25% MAX. / 16.1% ACTUAL
BUILDING COVERAGE:	50% MAX. / 16.1% ACTUAL
LANDSCAPING:	15% MIN. / 30.6% ACTUAL (16,839 SF LANDSCAPED AREA)
BUILDING SETBACK:	EAST: 10' MIN / 80' MAX / 55' ACTUAL SOUTH: 10' MIN / 16.7' ACTUAL NORTH: 10' MIN / 110' ACTUAL WEST: 10' MIN / 164' ACTUAL
BUILDING HT:	45' MAX / 18.5' ACTUAL
CAR PARKING:	12 SPACES REQUIRED PER SCHEDULE 13.06.050A (1 SPA / 250 SF) / 12 SPACES PROVIDED (INCLUDES 2 ADA) PROVIDED
BICYCLE PARKING:	2 REQUIRED PER SCHEDULE 13.06.060A / 2 PROVIDED

DEVELOPMENT PLAN NOTES

LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGN TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDINGS PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

THE APPROVED SITE PLAN IS THE FINAL DOCUMENT AND NOT CONCEPTUAL. ANY PROPOSED DEVIATION / MODIFICATIONS / SUBSTITUTION WILL NEED PRIOR APPROVAL THROUGH THE APPROPRIATE PLANNING DEPARTMENT PROCESS.

SHEET NO.
C-0.0

COVER SHEET
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730



PARKER COLORADO

Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 09/27/2021

Planning Approval By: M. Munekata

ALTA/NSPS LAND TITLE SURVEY

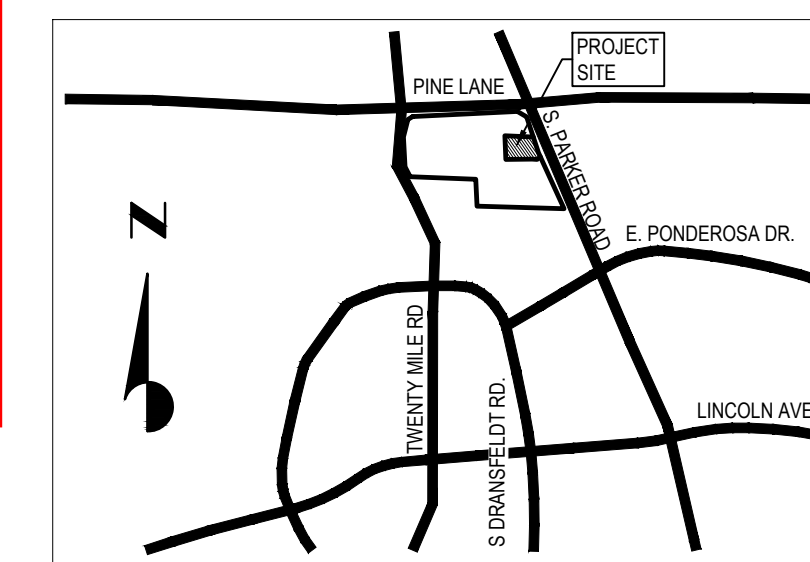
A PORTION OF LOT 1 BLOCK 3, PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO.



Final Document
 Subject To Conditions In Approval Letter

APPROVED DATE: 09/27/2021

Planning Approval By: M. Munekata



PROPERTY DESCRIPTION

A PORTION OF LOT 1 BLOCK 3, PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO.

GENERAL NOTES

- ACCESS TO THE PROPERTY IS OBTAINED FROM A CURB CUT ON SOUTH PARKER ROAD FROM THE EAST
- FIELD WORK WAS COMPLETED ON: APRIL 2, 2019.
- UTILITY NOTE: THE LOCATION OF UTILITIES SHOWN HEREON WAS ESTABLISHED FROM SURFACE EVIDENCE, EXISTING UTILITY MARKERS AND UTILITY LOCATES FROM A UTILITY CONTRACTOR. THE EXACT LOCATION OF BURIED UTILITIES IS UNCERTAIN. PRIOR TO ANY EXCAVATION THE CONTRACTOR SHOULD CONTACT THE UTILITY NOTIFICATION CENTER. THE SURVEYOR MAKES NO GUARANTEE EITHER EXPRESSED OR IMPLIED THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION DEPICTED ALTHOUGH THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE AT THE TIME OF THE SURVEY. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS MAP OR PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED IN THE SURVEYOR'S STATEMENT HEREON. SAID STATEMENT DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS RE-STATEMENT BY THE SURVEYOR.
- PER THE FEMA FLOOD INSURANCE RATE MAPS (FIRM), MAP NO. 08035C0067G, HAVING AN MAP REVISED DATE OF MARCH 16, 2016, INDICATES THE SUBJECT PROPERTY TO BE DESIGNATED AS ZONE X (OUTSIDE 0.2% CHANCE OF FLOOD). THIS SURVEY MAKES THIS STATEMENT BY GRAPHIC PLOTTING ONLY. THE SURVEYOR RECOMMENDS A FLOOD STUDY IF MORE INFORMATION IS REQUIRED.
- ALL LINEAL MEASUREMENTS SHOWN ARE GROUND DISTANCES AND U.S. SURVEY FEET.
- EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED ON THIS SURVEY WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESTRICTIONS, EXCLUSIONS, CONDITIONS, OBLIGATIONS, TERMS OR AS THE RIGHT TO GRANT THE SAME.
- CAUTION: THE SURVEYOR PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. ALL CHANGES TO THIS EXHIBIT MUST BE APPROVED IN WRITING BY THE SURVEYOR IN CHARGE.
- SITE WAS VACANT AT THE TIME OF SURVEY.
- THERE WAS NO OBSERVABLE EVIDENCE OR CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF SURVEY.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WERE DISCOVERED AT THE TIME OF SURVEY.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. C.R.S. 13-80-105(3)(A).
- THERE WERE NO PARKING LOTS OR SPACES ON THIS SITE AT TIME OF SURVEY.
- THERE WERE NO FIELD DELINEATION OF WETLANDS OBSERVED AT THE TIME OF SURVEY.
- THERE WERE NO BUILDINGS OR PARTY WALLS ON SITE AT TIME OF SURVEY.
- OFFSITE EASEMENTS THAT BENEFIT THE SUBJECT PROPERTY ARE SHOWN HEREON.
- NO ZONING REPORT PROVIDED BY THE CLIENT AT TIME OF SURVEY.
- PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST, BUT THIS ITEM SHALL NOT BE ADDRESSED ON THE FACE OF THE PLAT OR MAP.
- PARCEL IS ZONED IS "PLANNED DEVELOPMENT-COMMERCIAL (PD-C)", INFORMATION PROVIDED BY OTHERS
- FOR LOTS WHICH ABUT PARKER RD., THE FRONT YARD SETBACK, AND AT LEAST ONE (1) SIDE YARD SETBACK SHALL BE CONSIDERED A "BUILD-TO" LINES. AT LEAST THREE POINTS OF THE BUILDING MUST TOUCH THIS SETBACK LINE, AND AT LEAST 50% OF THE BUILDING FOOTPRINT AREA MUST BE WITHIN 40 FT. OF THE SETBACK LINE. INFORMATION PROVIDED BY OTHERS

BASIS OF BEARINGS

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24960 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S21°56'20"E, A DISTANCE OF 553.91 FEET.

BENCHMARK

ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
 ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

SURVEYOR'S CERTIFICATE:

TO: MURPHY OIL USA, INC., A DELAWARE CORPORATION AND FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEY, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(B), 7(A), 7(B), 7(C), 8, 9, 10(A), 11, 13, 14, 16, 17, 18, 19, AND 20 OF TABLE A THEREOF.

Checked By: BWD/BJD
 Date: 2019-04-10



BRIAN J. DENNIS
 COLORADO PROFESSIONAL LAND SURVEYOR NO. 38069
 PROJECT NO: M00000610
 FOR AND ON BEHALF OF GALLOWAY & COMPANY, INC.

TITLE COMMITMENT/REPORT INFORMATION

THIS MAP DOES NOT REPRESENT A TITLE SEARCH BY GALLOWAY & COMPANY, INC. TO DETERMINE OWNERSHIP OR THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT OF WAY OR TITLE THEREOF, GALLOWAY & COMPANY INC. RELIED UPON THE INFORMATION OR TITLE COMMITMENT/REPORT PROVIDED AT THE TIME OF SURVEY BY THE CLIENT.

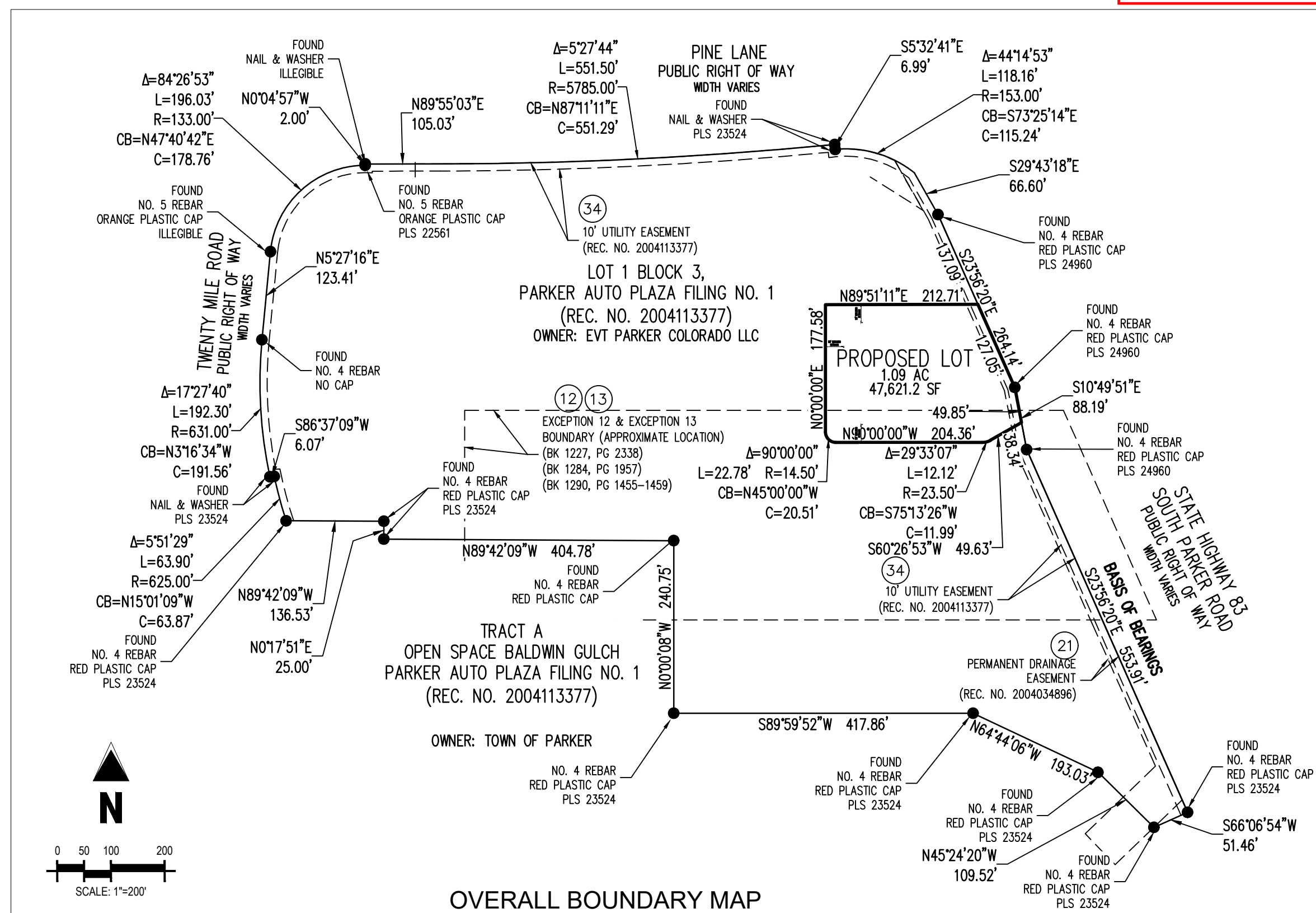
TITLE COMMITMENT PROVIDED BY CLIENT AND PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-889354-CHAR, WITH AN EFFECTIVE DATE OF FEBRUARY 01, 2018 AT 5:00 P.M.

- ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS, BUT WHICH COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF.
 (NONE OBSERVED AT TIME OF SURVEY, EXCEPT AS SHOWN)
- EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS.
 (NONE OBSERVED AT TIME OF SURVEY, EXCEPT AS SHOWN)
- DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, AND ANY FACTS WHICH A CORRECT SURVEY AND INSPECTION OF THE LAND WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.
 (NONE OBSERVED AT TIME OF SURVEY, EXCEPT AS SHOWN)
- ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN IN THE PUBLIC RECORDS.
 (NOT SURVEY RELATED)
- ANY AND ALL UNPAID TAXES, ASSESSMENTS AND UNREDEEMED TAX SALES.
 (NOT SURVEY RELATED)
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
 (NOT SURVEY RELATED)
- THE RIGHT OF A PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES, AS RESERVED IN UNITED STATES PATENT RECORDED MARCH 22, 1892 IN BOOK P AT PAGE 113.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- RIGHT-OF-WAY GRANTED TO THE COLORADO TELEPHONE COMPANY IN DEED RECORDED DECEMBER 19, 1905 IN BOOK 34 AT PAGE 339 AND ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY IN DEED RECORDED JULY 31, 1911 IN BOOK 39 AT PAGE 547.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- RESERVATION OF AN UNDIVIDED ONE-HALF INTEREST IN OIL, GAS AND OTHER MINERALS AS RESERVED IN DEED RECORDED JANUARY 3, 1953 IN BOOK 108 AT PAGE 164, AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, DOCUMENT IS ILLEGIBLE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENT DEED TO THE PARKER WATER AND SANITATION DISTRICT RECORDED MARCH 13, 1973 IN BOOK 243 AT PAGE 418.
 (PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- RIGHT-OF-WAY, WHETHER IN FEE OR EASEMENT ONLY, FOR SANITARY SEWER PIPELINE AND INCIDENTAL PURPOSES, AS GRANTED TO PARKER WATER AND SANITATION DISTRICT, BY THE EASEMENT DEED RECORDED MARCH 15, 1973 IN BOOK 243 AT PAGE 521.
 (PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE PARKER WATER AND SANITATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 1, 1994 IN BOOK 1227 AT PAGE 2338.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, PLOTTED HEREON)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE NON-TRIBUTARY GROUND WATER CONSENT LAND OWNERSHIP STATEMENT RECORDED AUGUST 30, 1995 IN BOOK 1284 AT PAGE 1957, AND SEPTEMBER 27, 1995 IN BOOK 1290 AT PAGES 1455, 1457 AND 1458.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, PLOTTED HEREON)
- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE PARKER WATER AND SANITATION DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED NOVEMBER 2, 1984 IN BOOK 546 AT PAGE 540.
 (PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE LANDOWNERSHIP AFFIDAVIT AND CONSENT TO APPROPRIATE, USE OR CLAIM GROUNDWATER RECORDED SEPTEMBER 20, 1985 IN BOOK 596 AT PAGE 193.
 (PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE FINDINGS, JUDGMENT AND DECREE CONCERNING THE APPLICATION FOR APPROVAL OF PLAN FOR AUGMENTATION RECORDED AUGUST 4, 1987 IN BOOK 1452 PAGE 926.
 (PROPOSED LOT MAY BE SUBJECT TO THIS EXCEPTION, NO CLEARLY DEFINED AREA, THE DOCUMENT CALLS OUT LOCATIONS OF WELL LOCATIONS, NONE ARE SHOWN WITHIN THE PROPOSED LOT)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. R-28-34 RECORDED APRIL 28, 1982 IN BOOK 440 AT PAGE 204 AND RE-RECORDED FEBRUARY 8, 1983 IN BOOK 465 AT PAGE 324.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE CHERRY CREEK BASIN AUTHORITY, AS EVIDENCED BY INSTRUMENT RECORDED MAY 6, 1988 IN BOOK 790 AT PAGE 718.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE STANDARD AVIATION AND HAZARD EASEMENT IN FAVOR OF THE ARAPAHOE COUNTY PUBLIC AIRPORT AUTHORITY RECORDED SEPTEMBER 6, 2001 IN BOOK 2124 AT PAGE 522.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ORDINANCE NO. 3.1936 RECORDED APRIL 5, 2002 IN BOOK 2304 AT PAGE 1651.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE DRAINAGE EASEMENT AGREEMENT BY AND BETWEEN PARKER AUTOMOTIVE PLAZA, LLLP AND THE TOWN OF PARKER RECORDED APRIL 7, 2004 AT RECEPTION NO. 2004034896.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, PLOTTED HEREON)
- ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE PARKER AUTOMOTIVE METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENTS RECORDED JUNE 28, 2004 AT RECEPTION NO. 2004066836 AND MAY 21, 2004 AT RECEPTION NO. 2004052371.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, DOCUMENT PARCEL B & PARCEL C COVER THE PROPOSED LOT, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE DEVELOPMENT PLAN RECORDED MARCH 19, 2004 AT RECEPTION NO. 2004027563.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENT AGREEMENT RECORDED JULY 26, 2004 AT RECEPTION NO. 2004077572.
 (PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)

- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE EASEMENT AGREEMENT RECORDED FEBRUARY 11, 2003 AT RECEPTION NO. 2003018240.
 (PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE EASEMENT AGREEMENT RECORDED FEBRUARY 11, 2003 AT RECEPTION NO. 2003018241.
 (PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ORDINANCE NO. 2.187 RECORDED MAY 10, 2007 AT RECEPTION NO. 2007038423, AND MAY 11, 2007 AT RECEPTION NO. 2007038637.
 (PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION, AREA ADDED IS OUTSIDE PROPOSED LOT, BUT IS ADDED TO THE TOTAL ANNEXATION ORDINANCE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ORDINANCE NO. 3.1932 RECORDED MAY 10, 2007 AT RECEPTION NO. 2007038425.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE WATER RIGHTS DECREE WITH PARKER WATER AND SANITATION DISTRICT RECORDED JULY 3, 2006 AT RECEPTION NO. 2006056119.
 (PROPOSED LOT MAY BE SUBJECT TO THIS EXCEPTION, NO CLEARLY DEFINED AREA, EXHIBIT WITHIN THE DOCUMENT SHOWS WELL LOCATIONS, NONE ARE SHOWN WITHIN THE PROPOSED LOT)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ORDINANCE NO. 3.1933, SERIES OF 2009 RECORDED APRIL 27, 2009 AT RECEPTION NO. 2009030058.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ORDINANCE NO. 2009030059.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- COVENANTS, CONDITIONS, RESTRICTIONS, PROVISIONS, EASEMENTS AND ASSESSMENTS AS SET FORTH IN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR PARKER AUTO PLAZA RECORDED APRIL 11, 2005 AT RECEPTION NO. 2005031889, AND AMENDMENT THERETO RECORDED AUGUST 12, 2014 AT RECEPTION NO. 2014045411, BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN, AND ANY AND ALL AMENDMENTS, ASSIGNMENTS, OR ANNEXATIONS THERETO.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE SUBDIVISION AGREEMENT RECORDED NOVEMBER 4, 2004 AT RECEPTION NO. 2004113378, AND FIRST AMENDMENT THERETO RECORDED FEBRUARY 27, 2006 AT RECEPTION NO. 2006016153. NOTE: AFFIDAVIT OF FACT AFFECTING REAL PROPERTY IN CONNECTION THEREWITH RECORDED JANUARY 12, 2015 AT RECEPTION NO. 2015001808.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF PARKER AUTO PLAZA FILING NO. 1, RECORDED NOVEMBER 4, 2004 AT RECEPTION NO. 2004113377.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, PLOTTABLE ITEMS SHOWN HEREON)
- AN EASEMENT FOR SLOPE AND INCIDENTAL PURPOSES GRANTED TO TOWN OF PARKER, AS SET FORTH IN AN INSTRUMENT RECORDED APRIL 7, 2004 AT RECEPTION NO. 2004034894.
 (PROPOSED LOT IS NOT SUBJECT TO THIS EXCEPTION)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE IMPACT AREA AGREEMENT RECORDED OCTOBER 31, 2002 AT RECEPTION NO. 2002115436, NOTICE OF EXTENSION OF IMPACT AREA AGREEMENT RECORDED SEPTEMBER 10, 2009 AT RECEPTION NO. 2009071747, AND SECOND AMENDMENT TO IMPACT AREA AGREEMENT AND SECOND NOTICE OF EXTENSION RECORDED AUGUST 25, 2016 AT RECEPTION NO. 2016057577.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE EXTENSION FEE ASSIGNMENT AGREEMENT RECORDED MAY 12, 2016 AT RECEPTION NO. 2016029488, AND AMENDED AND RE-STATEMENT CONSTRUCTION CHARGES AND EXTENSION FEE ASSIGNMENT AGREEMENT RECORDED MAY 12, 2016 AT RECEPTION NO. 2016029489.
 (PROPOSED LOT IS SUBJECT TO THIS EXCEPTION, BLANKET IN NATURE)
- EXISTING LEASES AND TENANCIES.
 (NOT SURVEY RELATED)

LEGEND

- FOUND MONUMENT (AS DESCRIBED)
- SET MONUMENT NO. 5 REBAR WITH YELLOW PLASTIC CAP, STAMPED PLS 38368
- ⊙ SANITARY MANHOLE
- ⊠ COMMUNICATION BOX/VAULT
- ⊙ STORM DRAIN MANHOLE
- SIGN
- BOLLARD
- # EXCEPTION NUMBER



LOT 1 BLOCK 3,
 PARKER AUTO PLAZA FILING NO. 1
 (REC. NO. 2004113377)

OWNER: EVT PARKER COLORADO LLC

LOT 1 BLOCK 3,
 PARKER AUTO PLAZA FILING NO. 1
 (REC. NO. 2004113377)

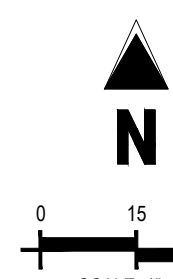
OWNER: EVT PARKER COLORADO LLC

A PORTION OF LOT 1 BLOCK 3,
 PARKER AUTO PLAZA FILING NO. 1
 (REC. NO. 2004113377)

PROPOSED LOT
 1.09 AC
 47,621.2 SF

LOT 1 BLOCK 3,
 PARKER AUTO PLAZA FILING NO. 1
 (REC. NO. 2004113377)

OWNER: EVT PARKER COLORADO LLC



ALTA/NSPS LAND TITLE SURVEY
 A PORTION OF LOT 1 BLOCK 3, PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10,
 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.,
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO
 ADDRESS: 12405 SOUTH PARKER ROAD, PARKER, COLORADO

#	Date	Issue / Description	Init.
1	04/16/19	ADD SETBACKS & ZONING	BWD
2	04/01/20	REVISE PLS	BJD



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Planning Approval By: M. Munekata

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

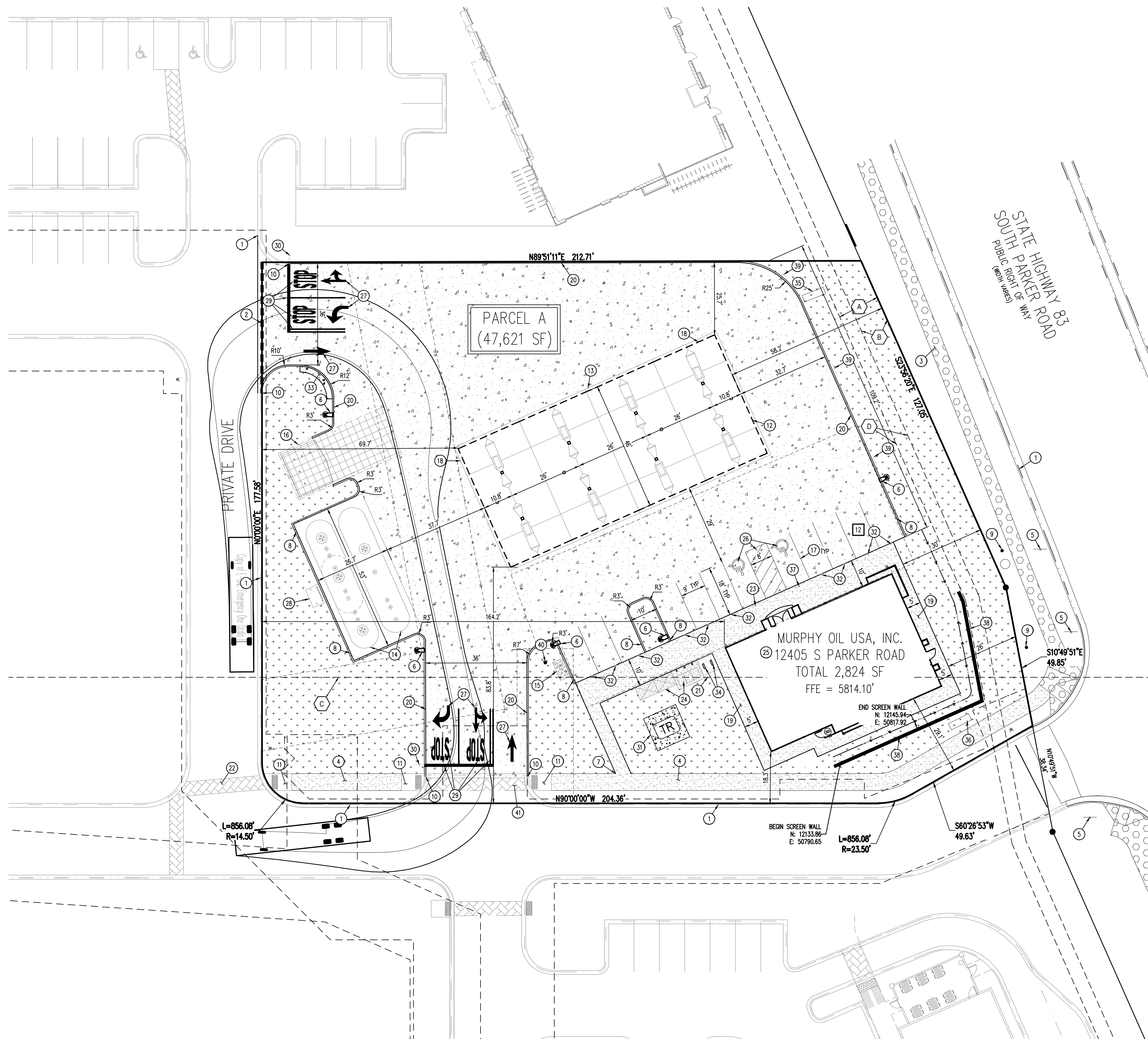
MURPHY OIL USA, INC.

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN DOCUMENTS



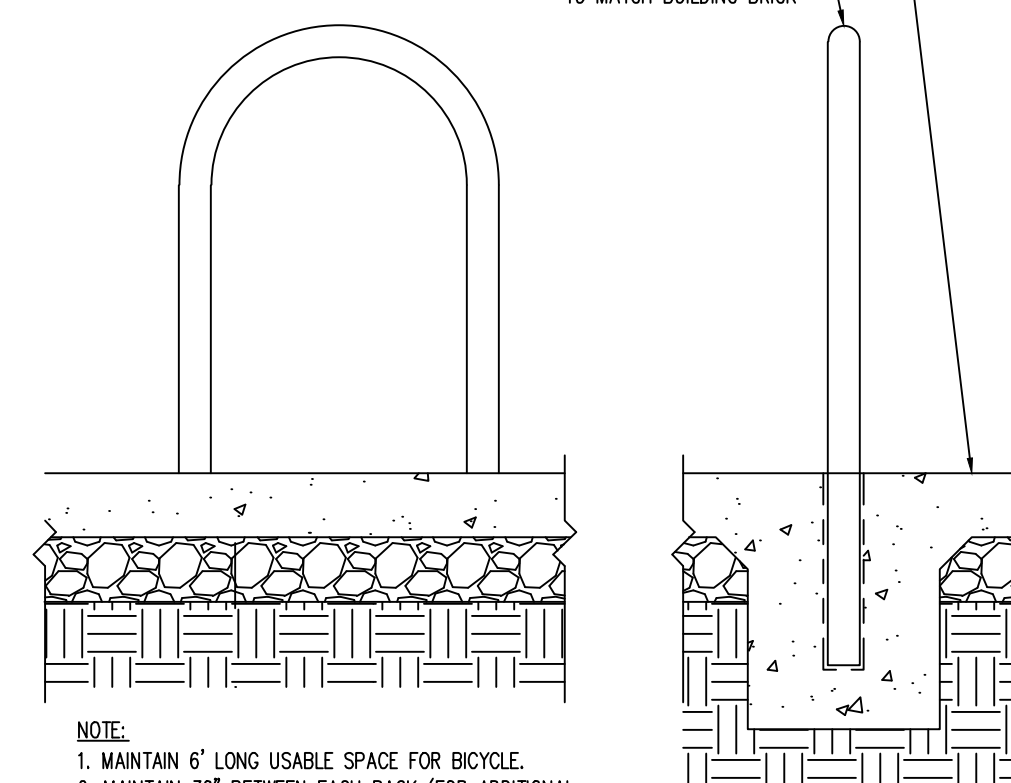
Know what's below.
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LEGEND

- LOT BOUNDARY
- - - EASEMENT BOUNDARY LINE
- - - SAWCUT LIMITS
- - - EXISTING SIGN
- - - PROPOSED SIGN
- - - PROPOSED BOLLARD
- [Pattern] PROPOSED STANDARD DUTY CONCRETE PAVEMENT
- [Pattern] EXISTING CONCRETE PAVEMENT
- [Pattern] PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- [Pattern] PROPOSED CONCRETE SIDEWALK
- [Pattern] PROPOSED LANDSCAPING (REF LANDSCAPE PLAN)
- [Symbol] PROPOSED SITE LIGHTING
- [Symbol] PARKING COUNT

4" MIN CONC. PAVING ON 4" A.B.C.
(ACTUAL DEPTHS PER SOILS REPORT)
2" DIA. STEEL PIPE BIKE
RACK, PRIMED & PAINTED
TO MATCH BUILDING BRICK.



BIKE RACK DETAIL

SCALE: 1" = 1'-0"

- NOTE:
1. MAINTAIN 6" LONG USABLE SPACE FOR BICYCLE.
 2. MAINTAIN 30" BETWEEN EACH RACK (FOR ADDITIONAL RACK)
 3. MAINTAIN 15" CLEAR DISTANCE BEYOND RACK

EASEMENT SCHEDULE

- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
- (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
- (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION)
(BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
- (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047

SCHEDULE

- (1) EXISTING CURB AND GUTTER TO REMAIN
- (2) SAWCUT EXISTING ASPHALT AND REMOVE EXISTING CURB AT NEW DRIVEWAY ACCESS
- (3) EXISTING 8" CONCRETE SIDEWALK TO REMAIN
- (4) PROPOSED AS PART OF MOP CONCRETE SIDEWALK INSTALLED BY DEVELOPER
- (5) EXISTING SIGN TO REMAIN
- (6) PROPOSED SITE LIGHT
- (7) CONNECTION TO EXISTING SIDEWALK
- (8) CURB TRANSITION
- (9) EXISTING BOLLARD TO REMAIN
- (10) PROPOSED CURB TO MATCH EXISTING
- (11) PROPOSED AS PART OF MOP CONCRETE RAMP INSTALLED BY DEVELOPER
- (12) PROPOSED OVERHEAD CANOPY
- (13) EDGE OF CONCRETE SLAB UNDERNEATH THE CANOPY
- (14) PROPOSED UNDERGROUND STORAGE TANKS
- (15) PROPOSED AIR VACUUM UNIT WITH 4X7' CONCRETE SLAB
- (16) PROPOSED 6' TALL TRASH ENCLOSURE
- (17) PROPOSED PARKING STALL STRIPING
- (18) PROPOSED PRICE SIGN PER APPROVED ELEVATION
- (19) PROPOSED SIDEWALK PER MURPHY STANDARDS
- (20) PROPOSED INTEGRAL CONCRETE CURB
- (21) PROPOSED 7X10' CONCRETE SLAB FOR PROPANE TANKS
- (22) PROPOSED AS PART OF MOP STAMPED CONCRETE CROSSWALK INSTALLED BY DEVELOPER
- (23) PROPOSED ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
- (24) PROPOSED 5X7' CONCRETE PAD (2 TOTAL) FOR ICE UNIT
- (25) PROPOSED 2,824 SQUARE FOOT MURPHY EXPRESS KIOSK
- (26) PROPOSED ACCESSIBLE PARKING SYMBOLS AND STRIPING
- (27) PROPOSED DIRECTIONAL TRAFFIC FLOW ARROW
- (28) PROPOSED REMOTE TANK VENTS
- (29) PROPOSED "STOP" BAR, LANE STRIPING, AND "STOP" LETTERING
- (30) PROPOSED "STOP" SIGN
- (31) PROPOSED CONCRETE TRANSFORMER PAD
- (32) PROPOSED SINGLE GUARD POST
- (33) PROPOSED 2" WIDE CONCRETE BUFFER
- (34) PROPOSED BICYCLE RACK (2 SPOTS)
- (35) PROPOSED MURPHY MONUMENT SIGN (APPROVED UNDER SEPARATE PERMIT)
- (36) PROPOSED DEVELOPER MONUMENT SIGN (APPROVED UNDER SEPARATE PERMIT)
- (37) PROPOSED VAN ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
- (38) PROPOSED WALL (REFERENCE GRADING PLAN FOR DETAILS)
- (39) PROPOSED "NO PARKING FIRE LANE" SIGN
- (40) PROPOSED FIRE HYDRANT (REFERENCE UTILITY PLAN FOR DETAILS)
- (41) STAMPED CONCRETE TO BE REPLACED (REFERENCE SITE DETAILS)

BENCHMARK

ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN, VERTICAL DATUM IS APPROXIMATELY 2.6± FEET BELOW NAVD 88.

SITE BENCHMARKS:

- SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76
- SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

BASIS OF BEARING

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24860 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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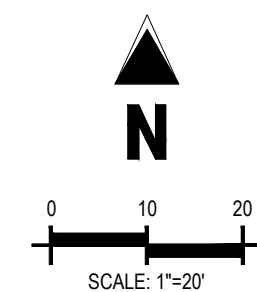
SHEET NO. C-1.1

SITE PLAN
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

6162 S. Willow Drive, Suite 320
Parker, CO 80111
303.770.8864
GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
MURPHY USA





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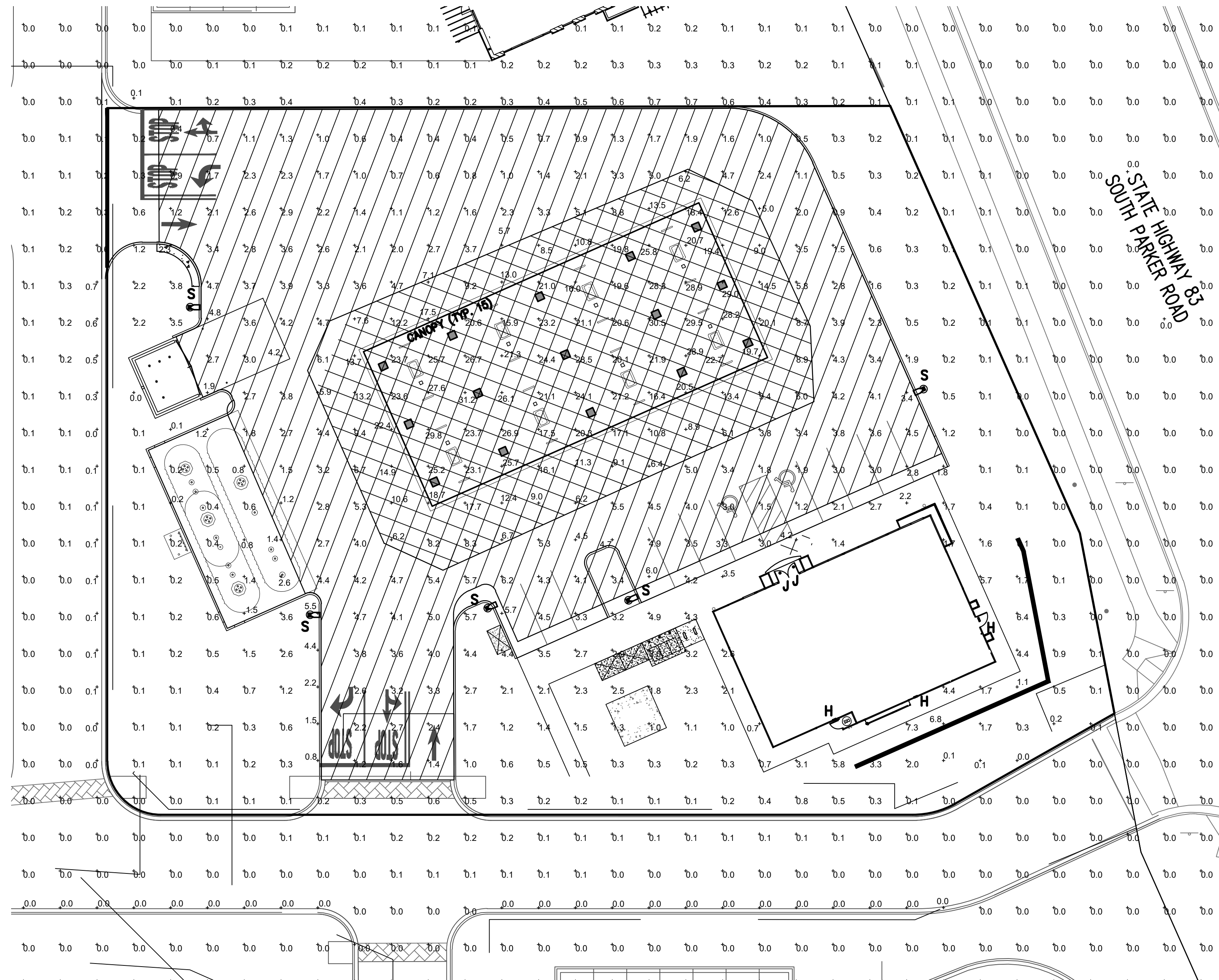
SHEET NO. C-3.5

PHOTOMETRIC PLAN
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

6102 S. Willow Drive, Suite 320
Englewood, CO 80111
303.770.8844
GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
MURPHY USA



1 PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"

LUMINAIRE SCHEDULE									
MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION	COLOR
S		5	18'-6"	16'-6"	12247	93	SLM-12L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 12,000 LUMENS PACKAGE, 5000K, 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW	BRONZE
CANOPY		15	15'-0"	N/A	12949	114	CRUS-SC-LED-SS-40-UE-WHT	LSI LIGHTING, LEGACY SERIES, SUPER SAVER DRIVER, 4000K, FLAT LENS CANOPY FIXTURE	WHITE
H		3	8'-1"	N/A	4109	42	XSPWA03MCUS-UZK	CREE LIGHTING, XSP WALL MOUNT LUMINAIRE, 5700K CCT, WITH PHOTOCELL SENSOR	BRONZE
J		2	8'-8"	N/A	1800	20	LR6-18L-35K-120V-A-DR W/LT6A	CREE LIGHTING, LR-6 DOWN LIGHT LUMINAIRE, 3500K CCT, 1800 LUMENS, 120V, 3,500K CCT, FULLY RECESSED ENTRY LIGHTS WITH HOUSING RC6-12W-GU24	DIFFUSE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.
ALL FIXTURES ARE FULL CUT-OFF FIXTURES

POLE SCHEDULE					
MOUNTING CONFIG	SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION
S		4	16'-6"	4SQB3-S11G-16.5-S-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
POLES RATED TO 130 MPH WIND VELOCITY

CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-6" FROM BACK OF CURB TO CENTER OF POLE/BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS

TOWN OF PARKER NOTE:

ALL FIXTURES ARE TO COMPLY WITH THE FULL SHIELDING REQUIREMENT OF THE TOWN OF PARKER LAND DEVELOPMENT CODE (13.10.140(C)(11)).

NOTES:

PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.

THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.

ACTUAL ILLUMINATION LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.

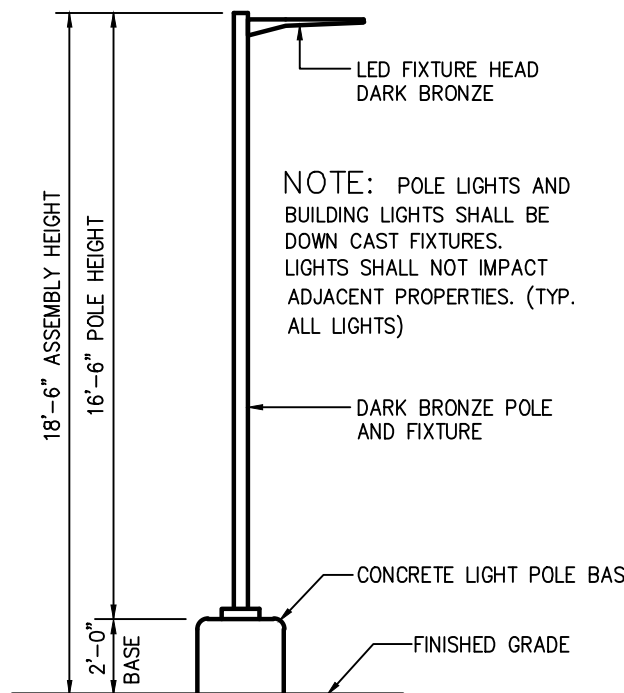
THE 18'-6" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.

THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

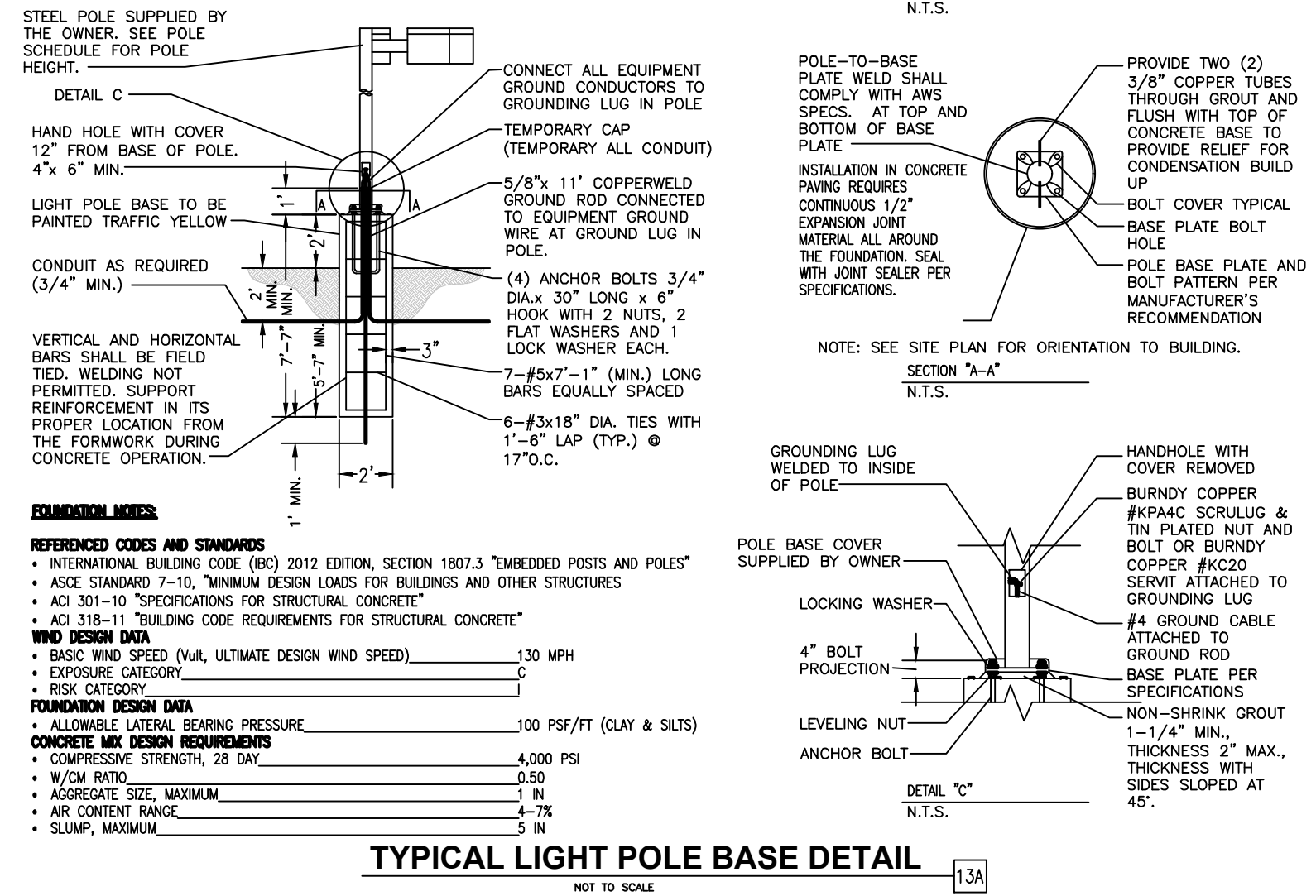
CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
INVENTORY AND GENERAL PARKING	FC	2.98	6.9	1.0	2.98 to 1	6.80 to 1
PRINCIPAL DISPLAY	FC	17.48	31.2	8.0	2.91 to 1	5.20 to 1

PRINCIPAL DISPLAY = 9,154 sf WHICH IS 19.2% OF TOTAL ILLUMINATED SITE AREA (47,621 sf)



2 AREA LIGHT DETAIL
SCALE: NOT TO SCALE



TYPICAL LIGHT POLE BASE DETAIL
NOT TO SCALE



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Planning Approval By: M. Munekata

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN DOCUMENTS



Know what's below.
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SHEET NO.

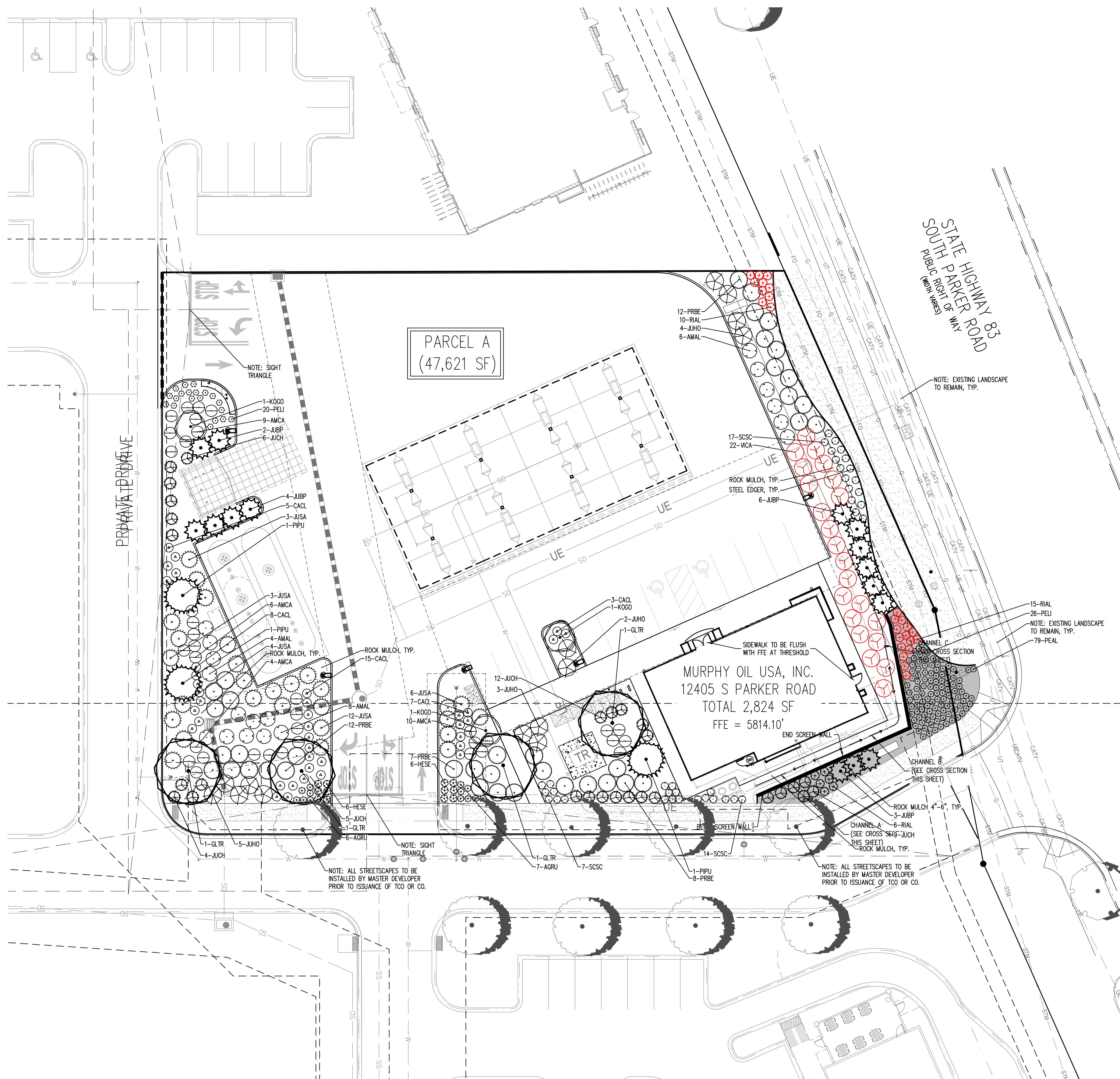
L1.1

LANDSCAPE PLAN
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

6162 S. Willow Drive, Suite 320
Englewood, CO 80111
303.770.9844
GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
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MURPHY USA



LANDSCAPE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA	47,621 SF	15% MIN. OF TOTAL SITE AREA (7,143 SF TOTAL SITE)	7,143 SF REQUIRED	16,839 SF PROVIDED (30.6% OF TOTAL SITE AREA)
SITE PERIMETER LANDSCAPING		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE		
WEST PERIMETER	173' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES / 22 SHRUBS	4 TREES / 22 SHRUBS
SOUTH PERIMETER	216' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES / 27 SHRUBS	5 TREES / 27 SHRUBS
EAST PERIMETER	176' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES / 22 SHRUBS	4 TREES / 22 SHRUBS
SOD COVERAGE	16,839 SF	15% MAXIMUM TURF COVERAGE	2,525 SF MAX	2,490 SF (14.7%)
GROUND COVERAGE	16,839 SF	75% LIVING GROUND COVERAGE AT MATURITY	12,629 SF	12,946 SF (77%)

NOTE: TEN SHRUBS MAY BE SUBSTITUTED FOR ONE TREE. ONE ORNAMENTAL GRASS IN A FIVE-GALLON CONTAINER OR THREE ORNAMENTAL GRASSES IN A ONE-GALLON CONTAINER MAY BE SUBSTITUTED FOR ONE SHRUB. ANY AND ALL SUBSTITUTIONS MUST BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.

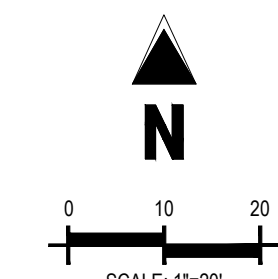
NOTE: STREETSCAPE LANDSCAPING BY MDP.

NOTE: SITE PERIMETER LANDSCAPE AND PARKING LOT PERIMETER LANDSCAPE OVERLAP; THEREFORE, THE STRICTER OF THE TWO IS BEING USED PER SECTION 13.06.07(C) BEING SITE PERIMETER LANDSCAPING.

NOTE: (SUBSTITUTIONS SHOWN IN RED) EAST PERIMETER LANDSCAPE TREES ARE BEING SUBSTITUTED FOR AN ADDITIONAL 40 LARGE SHRUBS PER THE APPROVED PARKER PLANT LIST ON TOP OF THE 22 REQUIRED SHRUBS TO MEET THE TREE REQUIREMENT. MULTIPLE UTILITY CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND EASEMENTS.

PLANTING LEGEND

QTY	LEGEND	BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE (V.L.L.M.H)	WATER USE	SUN/SHADE	PERCENT TREE SPECIES	PERCENT GROUND COVER IN S.F.
DECIDUOUS TREES									
4	GLTR	GLEDTISIA TRIACANTHOS 'INERMIS'	SHADEMASTER HONEYLOCUST	2.5' CAL. B&B	50'X50'	L	SUN	70%	
EVERGREEN TREES									
3	PIPU	PICEA PUNGENS 'BAKERI'	BAKERI SPRUCE	8' HEIGHT B&B	30'X10'	M	SUN	30%	340
ORNAMENTAL TREES									
3	KOGO	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1.5' CAL. B&B	30'X25'	L	SUN	70%	1,470
UPRIGHT JUNIPERS									
15	JUBP	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5 CONT. 3' HEIGHT	12'X8'	VL	SUN/PARTY SHADE		540
DECIDUOUS SHRUBS									
18	AMAL	AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	#5 CONT. 18-24"	6'X5'	VL	SUN		504
36	AMCA	AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN		468
33	CACL	CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	#5 CONT. 18-24"	3'X3'	VL	SUN		231
46	PELI	PEROVSKIA X 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	#5 CONT. 18-24"	2'X2'	L	SUN		104
39	PRBE	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5 CONT. 18-24"	18'X8'	VL	SUN		1,404
31	RIAL	RIBES ALPINUM	GREEN MOUND ALPINE CURRANT	#5 CONT. 18-24"	4'X4'	L/M	SUN/PARTY SHADE		400
22	VICA	VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	#5 CONT. 18-24"	6'X6'	M	SUN		720
EVERGREEN SHRUBS									
28	JUCH	JUNIPERUS CHINENSIS 'ARMSTRONGI'	ARMSTRONG JUNIPER	#5 CONT. 18-24"	4'X6'	VL	SUN		798
14	JUHO	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	#5 CONT. 18-24"	10'X8'	VL	SUN/PARTY SHADE		604
28	JUSA	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#5 CONT. 18-24"	12'X8'	VL	SUN/PARTY SHADE		1,764
ORNAMENTAL GRASSES									
12	HESG	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA	#3 CONT. 2.5'X2.5'	VL	SUN/PARTY SHADE			276
79	PEAL	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#5 CONT. 2'X2'	M	SUN			416
38	SCSC	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#3 CONT. 3'X2'	VL	SUN			152
PERENNIALS									
13	AGRU	AGASTACHE RUPESTRIS 'SUNSET'	SUNSET HYSSOP	#1 CONT. 30'X24"	VL	SUN			265
SOD - IRRIGATED TURF									
2,490 S.F.		FESCUE SOD	RIF (RHIZOMATOUS TALL FESCUE)	SOD	M				2,490
MULCH									
10,050 S.F.		ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS.	MULCH					
1,175 S.F.		ROCK COBBLE MULCH	4"-6" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS.	MULCH					
AS NEEDED		WOOD MULCH	NATURAL CEDAR FIBER MULCH	MULCH					
EDGING									
175 L.F.		STEEL EDGING	BLACK STEEL EDGING. SEE LANDSCAPE NOTES.	EDGING					
TOTAL GROUND COVERAGE									
		TOTAL LS AREA = 16,839 S.F.	75% GROUND COVERAGE = 12,629 S.F.						TOTAL= 12,946



CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING
THEIR LOCATION PRIOR TO CONSTRUCTION.



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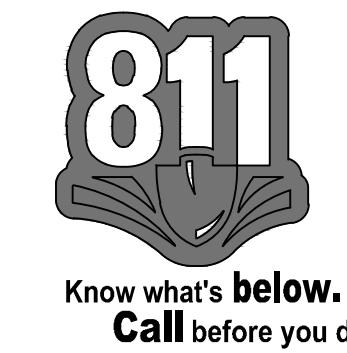
APPROVED DATE: 09/27/2021

Planning Approval By: M. Munkata

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN DOCUMENTS



SHEET NO.
L1.2

LANDSCAPE DETAILS & NOTES
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER, COLORADO



6162 S. Willow Drive, Suite 320
Englewood, CO 80111
303.770.8844
GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
MURPHY USA

PLANTING NOTES

- GENERAL**
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLAN QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONSTRUCTION DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBTURSED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRING CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION**
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PROVIDED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT

- FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
 - AT A MINIMUM ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 50 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- PLANTING**
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
 - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING**
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF NATURAL CEDAR FIBER MULCH AROUND ALL PLANT MATERIAL IN ROOK

- MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL DENTIT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE JCT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

SEED NOTES

- ALL SEED MIXES AVAILABLE THROUGH:
WESTERN NATIVE SEED COMPANY
P.O. BOX 1188
COALDALE, CO 81222
(719) 942-3935
- DRYLAND SEED MIXES ARE AVAILABLE AS FOLLOWS:
50% "FOOTHILLS GRASS MIX", 50% "VERISCAPE WILDOLOVER MIX"
- ALL SEED APPLICATIONS SHALL BE DRILL SEEDING, WITH HYDROSLURRY APPLIED OVER THE SEED BED AFTER SEEDING. THE SLURRY MIX SHALL CONTAIN THE FOLLOWING:

	LSB.11.000 SF
WOOD FIBER MULCH	46
15-15-15 ORGANIC FERTILIZER	9
ORGANIC BINDER	4

SEED ESTABLISHMENT NOTES

- THE LANDSCAPE CONTRACTOR SHALL SEED ALL NATIVE SEED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS. SOIL PREPARATION MEASURES IN AREAS TO BE SEEDING SHALL BE COMPLETED PRIOR TO SEEDING.
- FOR PROPER ESTABLISHMENT, SEED SHALL BE INSTALLED WHEN AT LEAST THREE MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN THREE MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. THE IRRIGATION SYSTEM FOR SEEDING AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS AND ENSURE TIMELY CLOSURE. THESE MEASURES MAY INCLUDE, BUT NOT BE LIMITED TO, RESEEDING OF SPARSELY GERMINATED AREAS AND/OR INSTALLATION OF SOIL AND ALL SEEDING AREAS.

UTILITY NOTES

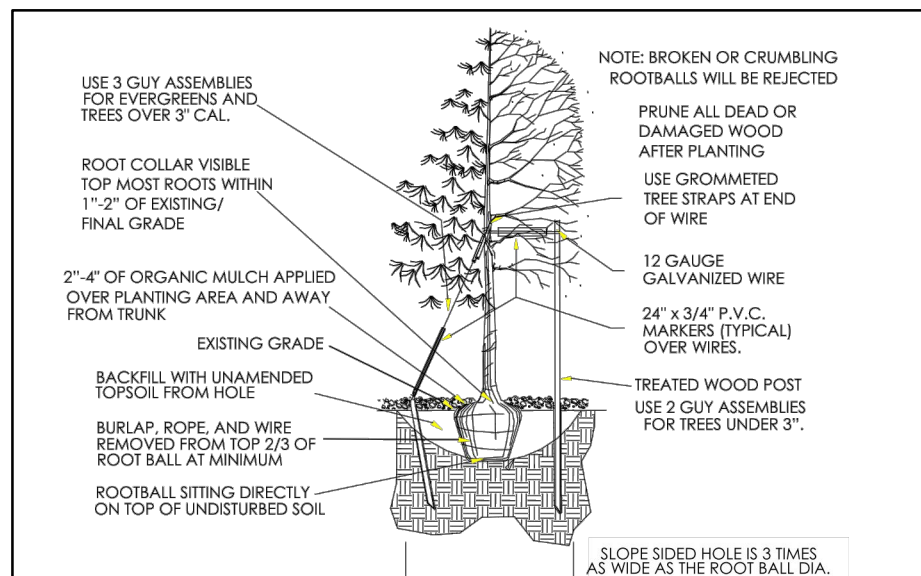
- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOO/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

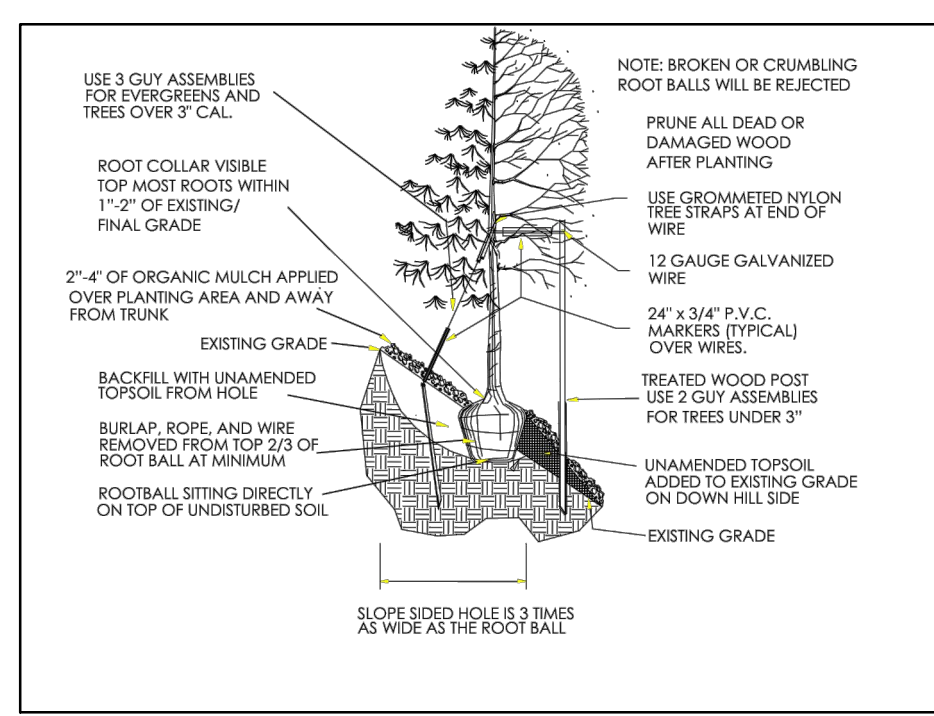
LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOO, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

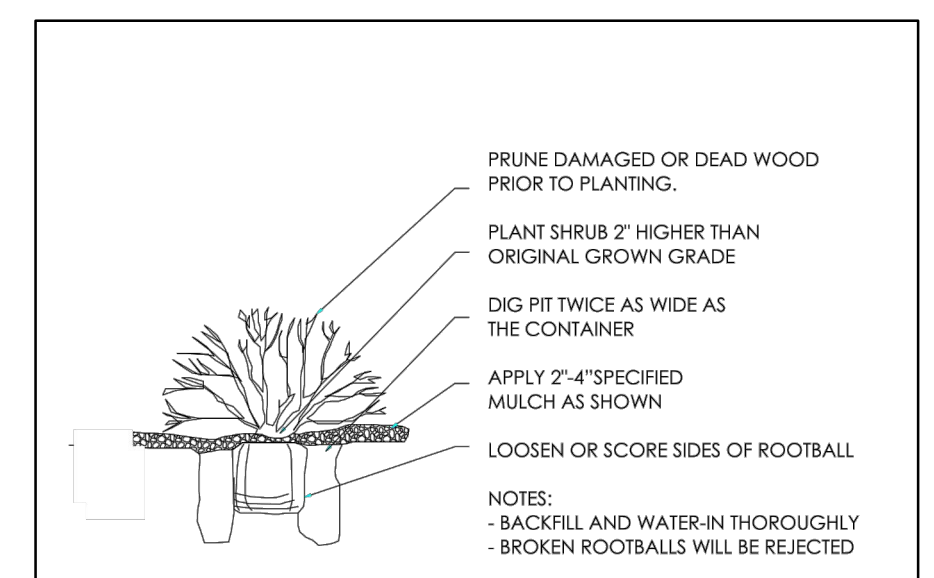


- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site soil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 12" of the root ball/finished grade measured 12" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (crown) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside spaces, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is not to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

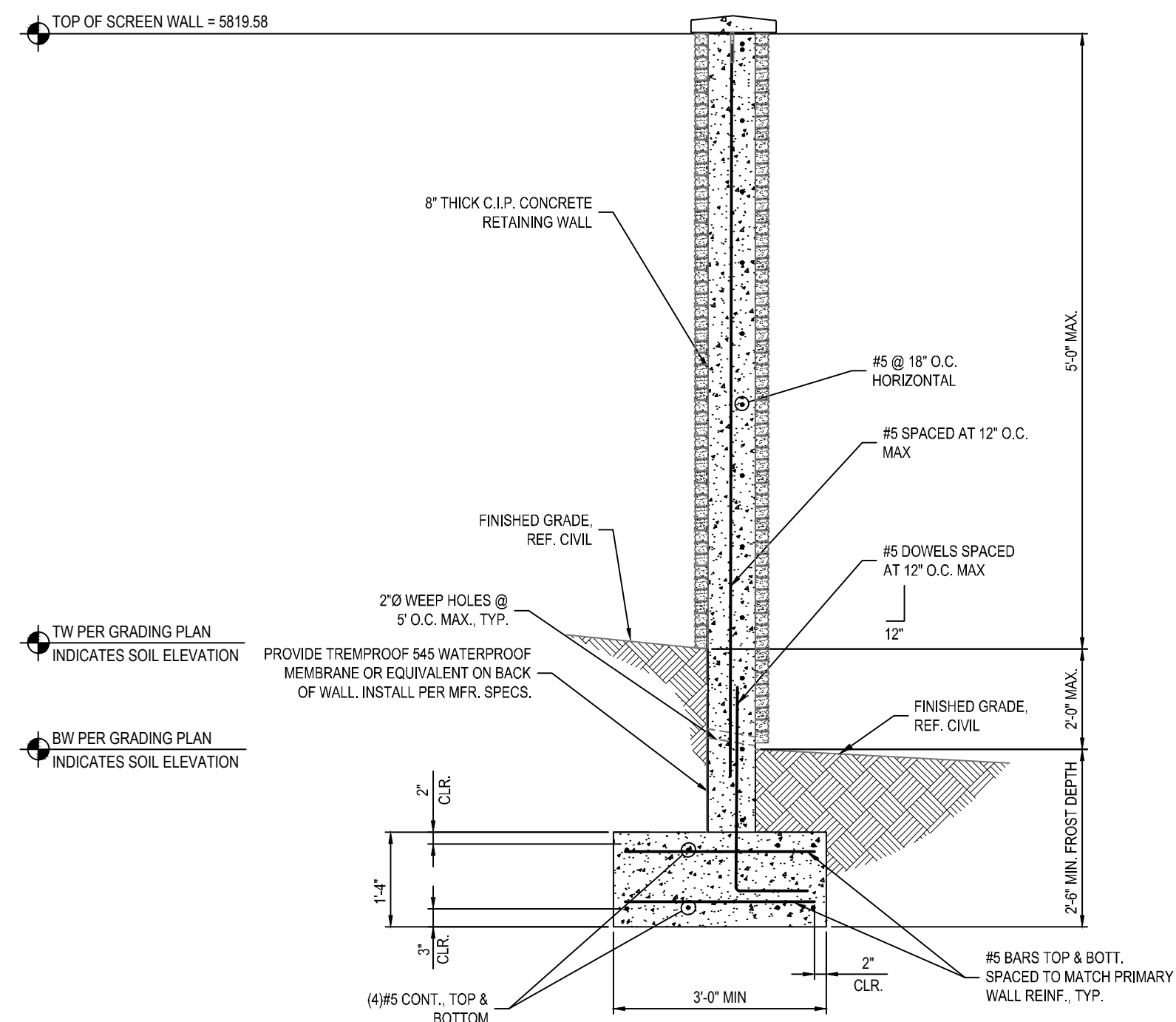
1 TREE PLANTING DETAIL
SCALE: NOT TO SCALE



2 TREE PLANTING DETAIL SLOPES
SCALE: NOT TO SCALE



3 SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE

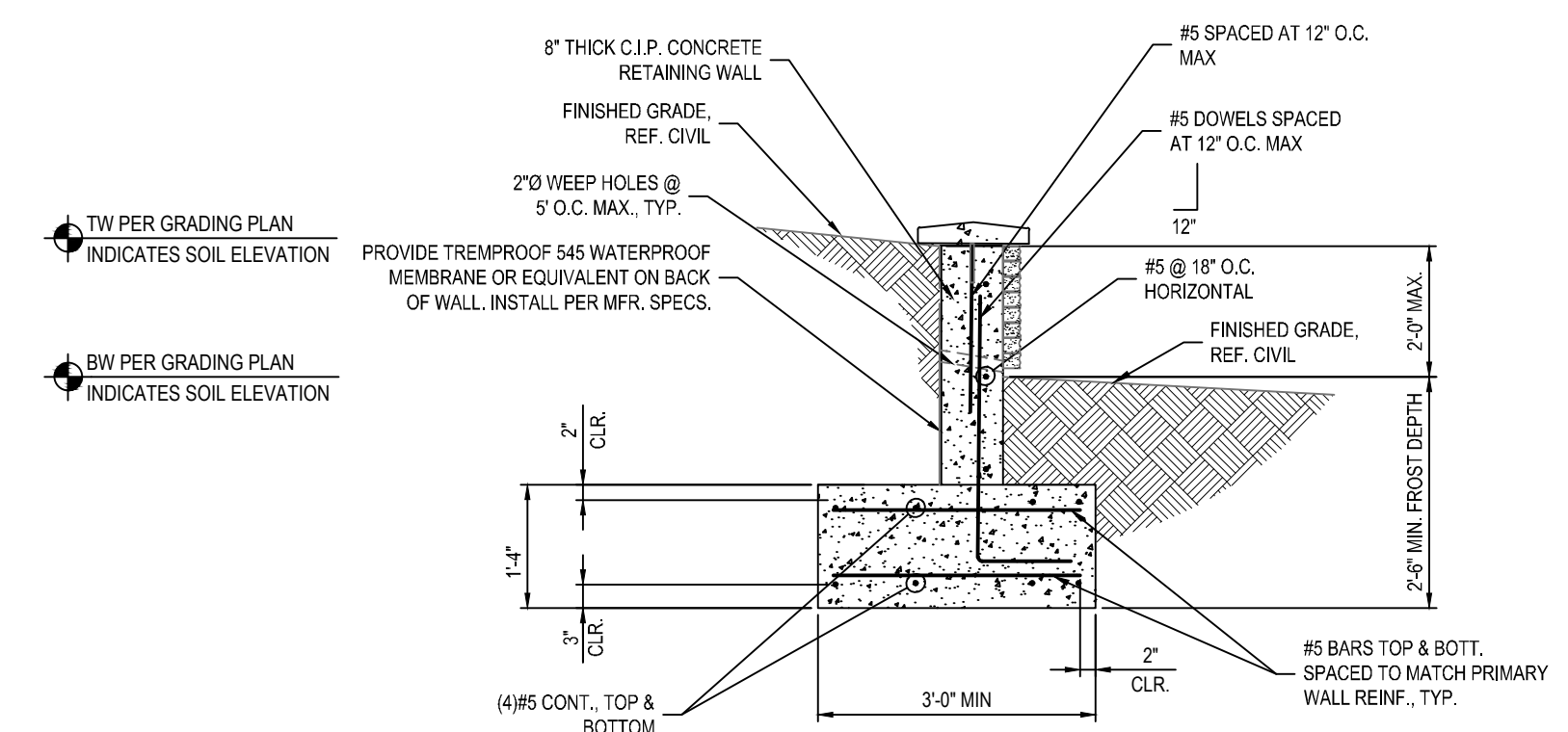


4 LANDSCAPE SCREEN WALL
SCALE: NOT TO SCALE

WALL FINISH SCHEDULE:
 • EXPOSED FACES OF SCREEN WALL AND RETAINING WALL: THIN BRICK VENEER - DARK SANDSTONE
 • VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX
 • PRE-BLENDED GREY COLOR GROUT

***PROVIDE MATERIAL SAMPLES OR MOCK-UP TO OWNER & CITY OF PARKER PLANNING DEPT. AS ALL FINISHES SHALL BE APPROVED BY OWNER & CITY OF PARKER PLANNING DEPT. PRIOR TO ORDER AND INSTALLATION OF MATERIALS**

NOTE:
SEE GRADING PLAN FOR EXTENTS OF SCREEN WALL.



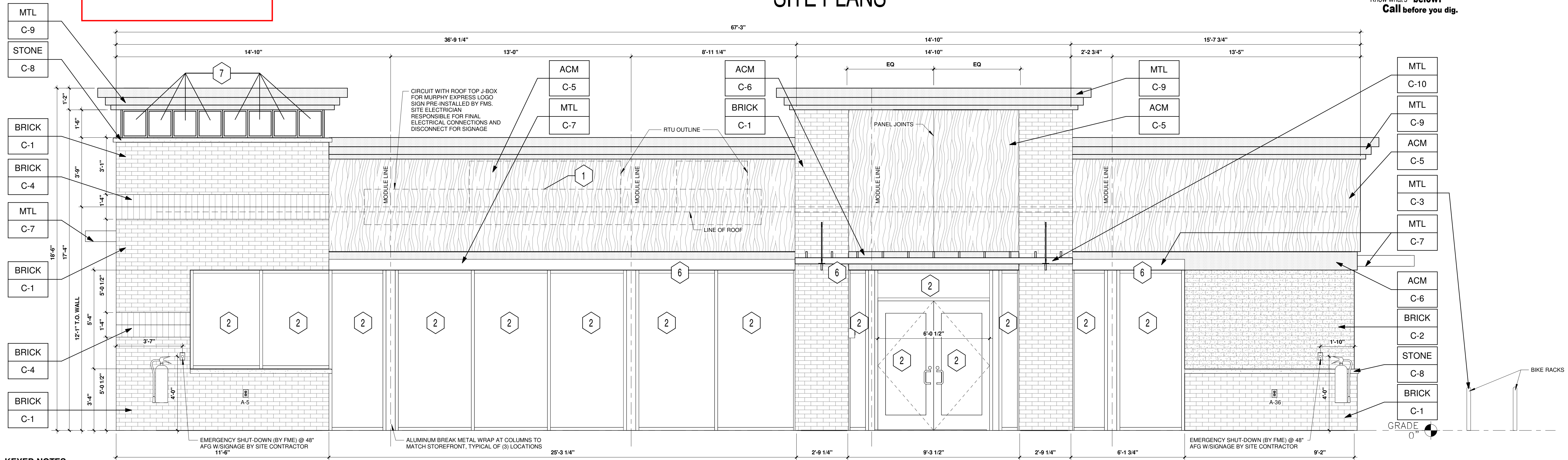
5 RETAINING WALL
SCALE: NOT TO SCALE

CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

MURPHY OIL USA, INC.

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6'SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLANS



KEYED NOTES:

- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 DOWNCAST WALL LIGHT. REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 METAL AWNING C-7
- 7 CLEARSTORY WINDOWS BY FMS
- 8 METAL PANELS BY FMS
- 9 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER OR EQUAL / LIGHT BOXES C-7

EXTERIOR FINISHES:

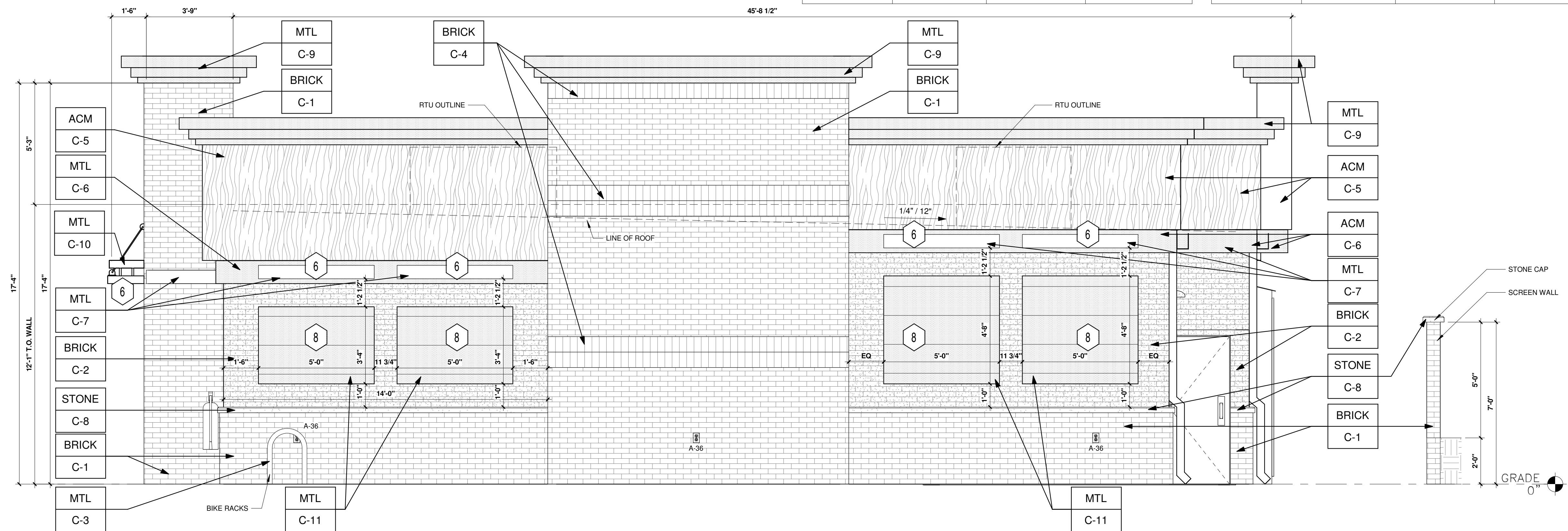
- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLEND GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLEND GREY COLOR GROUT BY FMS
- C-3 'DORMER BROWN' SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLEND GREY COLOR GROUT BY FMS
- C-5 'TEAK' BY ALPOLIC BY FMS
- C-6 'PROGRAM RED' BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT / METAL AWNING BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS
- C-9 'DORIAN GRAY' SW #7017 BY FMS
- C-10 'BRUSHED ALUMINUM' BY FMS
- C-11 'SPECKLED COPPER' BY FMS

1 FRONT ELEVATION (NORTH)

3/8" = 1'-0"



2 RIGHT ELEVATION (WEST)

3/8" = 1'-0"

FRONT - NORTH ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	278	40%	69%

RIGHT - WEST ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
246	75	25%	31%



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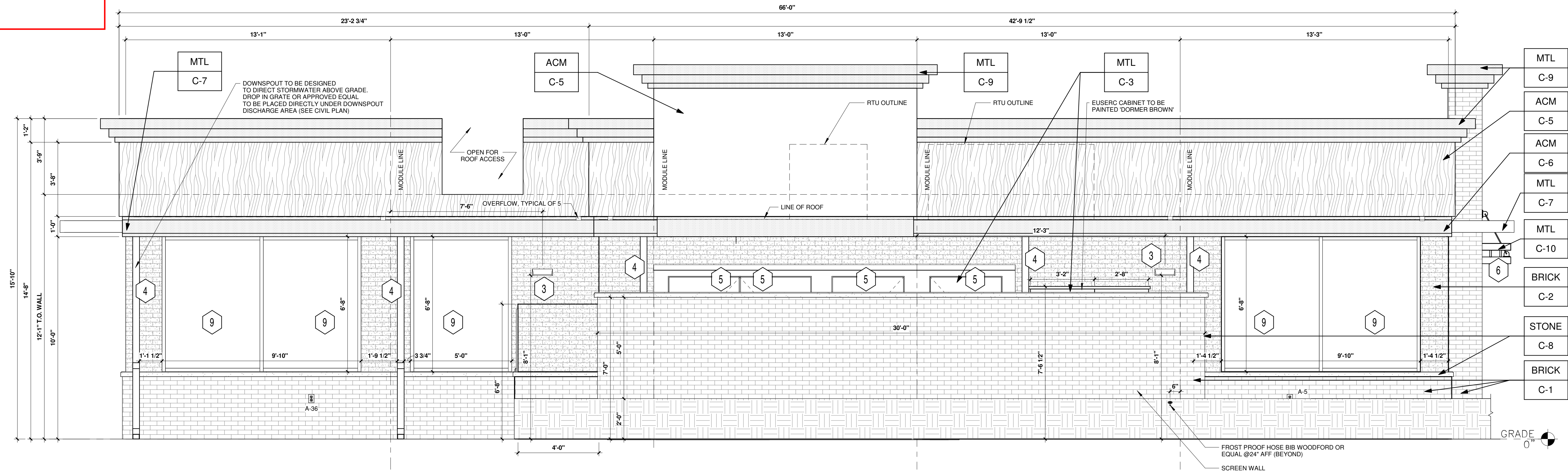
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TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLANS



Know what's below.
Call before you dig.



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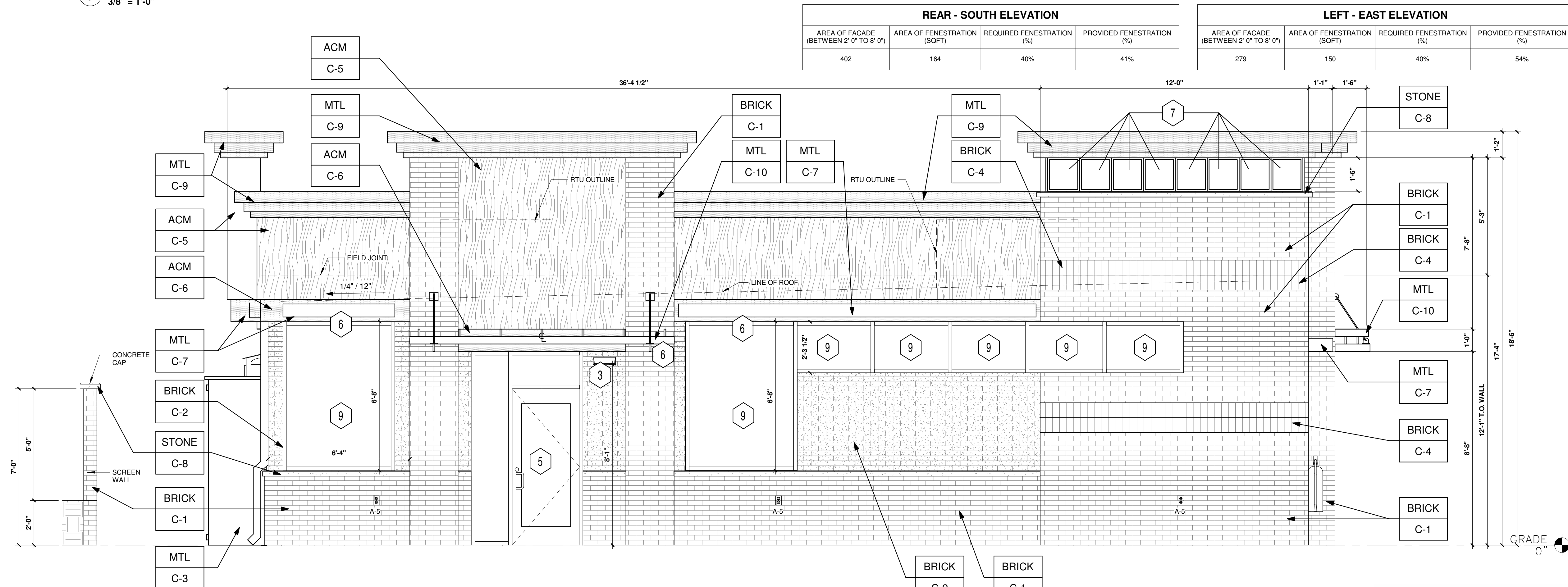
EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLEND GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLEND GREY COLOR GROUT BY FMS
- C-3 'DORMER BROWN' SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - DARK SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLEND GREY COLOR GROUT BY FMS
- C-5 'TEAK' BY ALPOLIC BY FMS
- C-6 'PROGRAM RED' BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT / METAL AWNING BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS
- C-9 'DORIAN GRAY' SW #7017 BY FMS
- C-10 'BRUSHED ALUMINUM' BY FMS
- C-11 'SPECKLED COPPER' BY FMS

3 REAR ELEVATION (SOUTH)
3/8" = 1'-0"



4 LEFT ELEVATION (EAST)
3/8" = 1'-0"

REAR - SOUTH ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	164	40%	41%

LEFT - EAST ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
279	150	40%	54%



SHEET NO.

A1.2

ARCHITECTURAL ELEVATIONS (BUILDING)
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO



6165 S. Wilcox Drive, Suite 200
Greensboro, NC 27409
360.770.8884
GalowayUS.com

MURPHY OIL USA, INC.

MURPHY USA
200 PEACH STREET
EL DORADO, AR 71730



Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 09/27/2021

Planning Approval By: M. Munekata

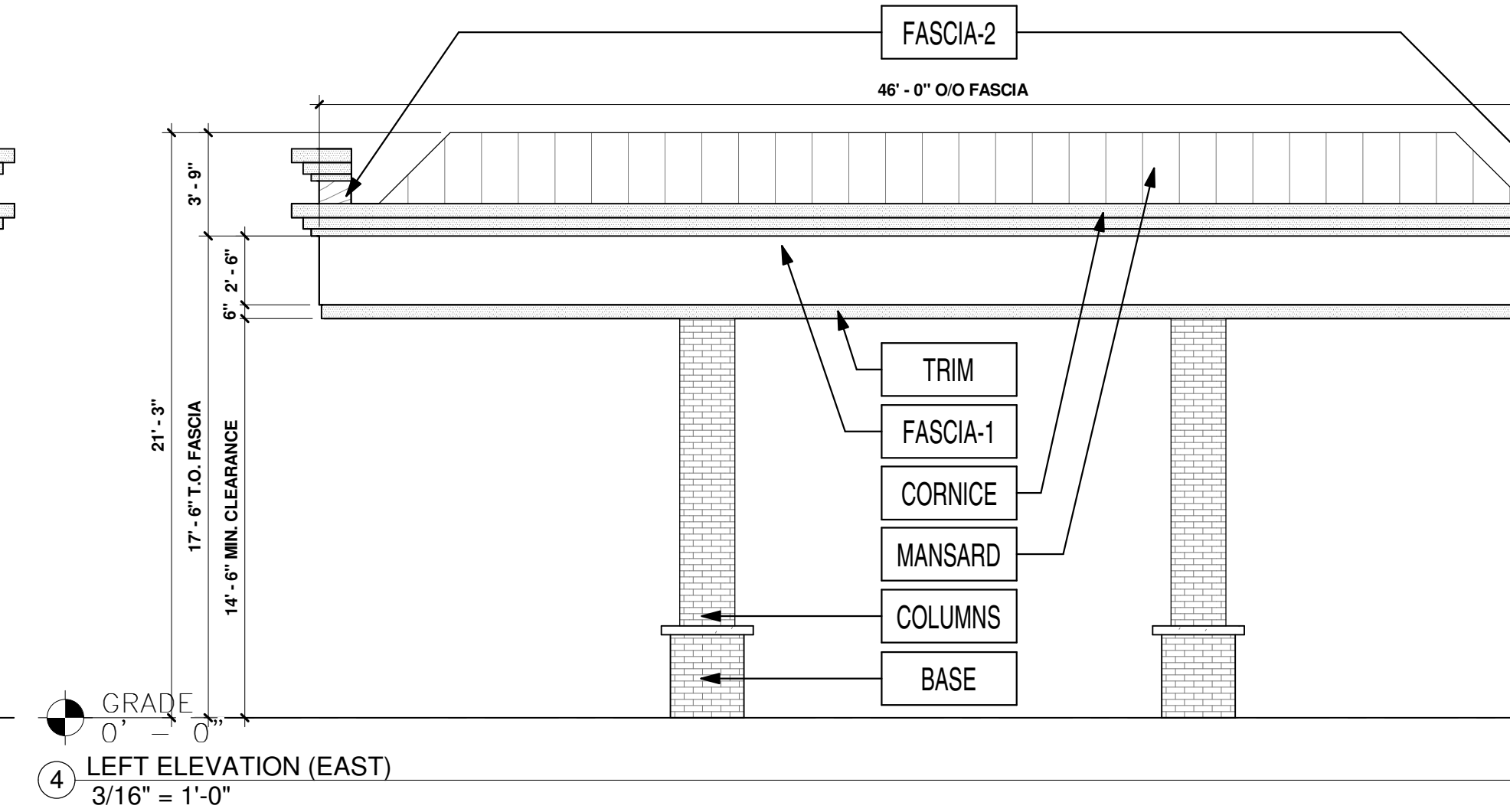
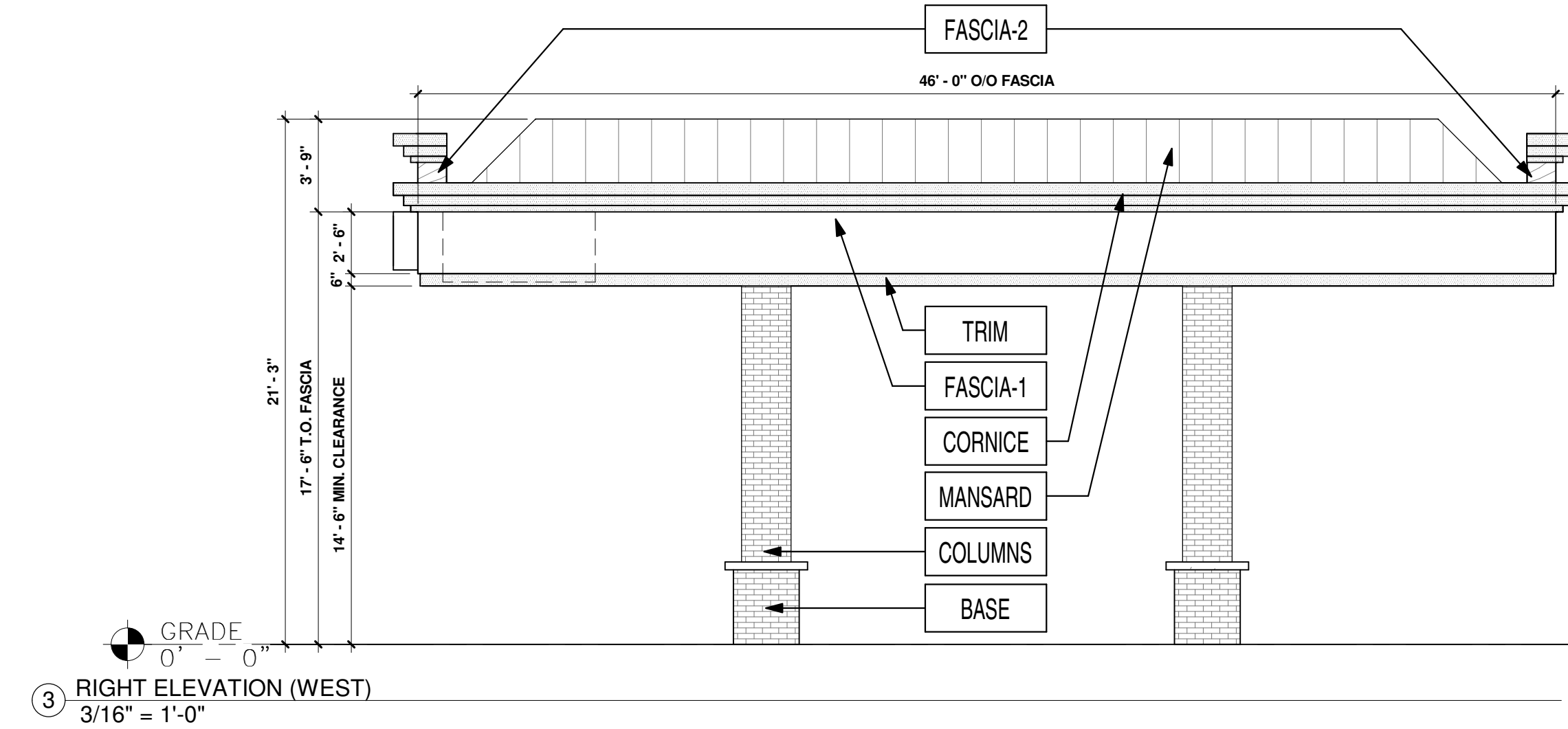
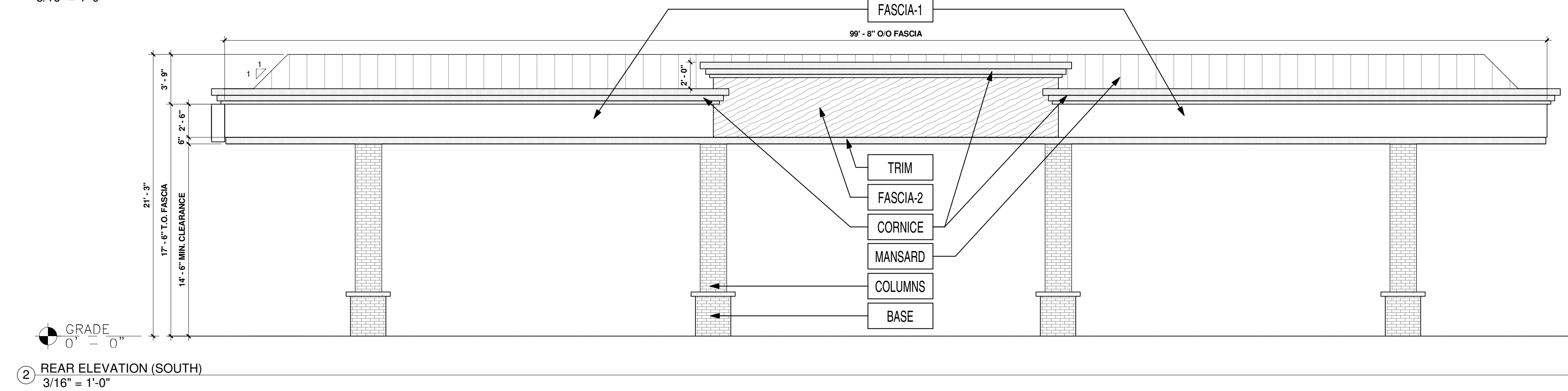
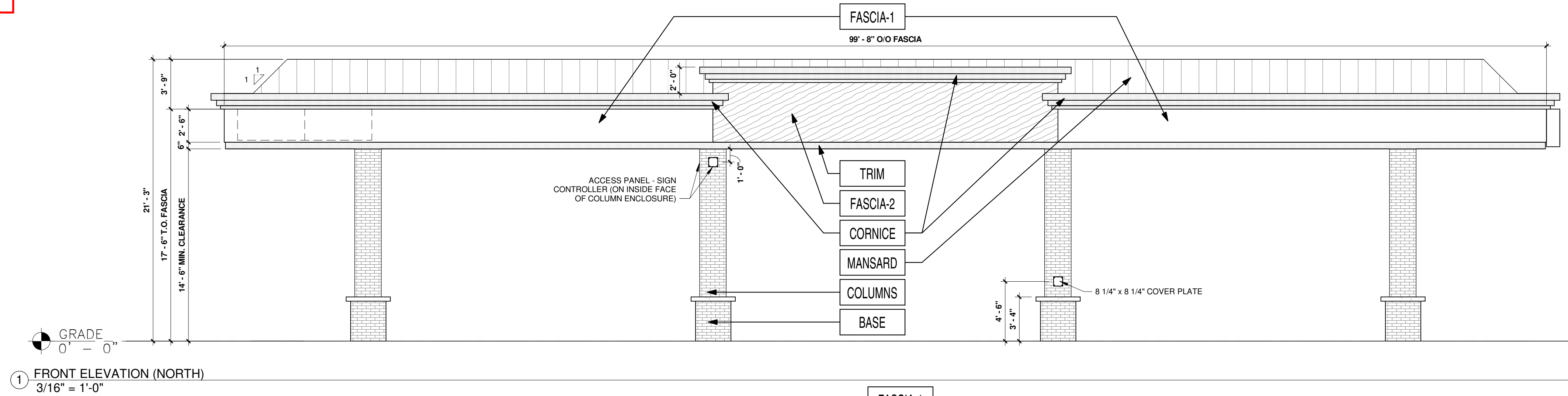
MURPHY OIL USA, INC.

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLANS



Know what's below.
Call before you dig.



FINISH SCHEDULE			
FASCIA-1	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA - 'BRUSHED ALUMINIUM'	FURNISHED & INSTALLED BY FMS
FASCIA-2	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA - 'TEAK' BY ALPOLIC	FURNISHED & INSTALLED BY FMS
TRIM	20 GA. SHEET METAL	6" HT PRE-FINISHED METAL ACCENT BAND 'PROGRAM RED' BY ALPOLIC	FURNISHED & INSTALLED BY FMS
COLUMNS	THIN BRICK VENEER	'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS	FURNISHED & INSTALLED BY FMS
BASE	THIN BRICK VENEER	'DARK SANDSTONE VELOUR' BY ENDICOTT	FURNISHED & INSTALLED BY FMS
CORNICE	ACM (ALUMINUM COMPOSITE MATERIAL)	PAINTED 'DORIAN GRAY' SW #7017	FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD
MANSARD	20 GA. SHEET METAL (STANDING SEAM)	PAINTED 'DORIAN GRAY' SW #7017	FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD

SHEET NO.
A1.3

ARCHITECTURAL ELEVATIONS (CANOPY)
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway
6165 S. Willow Drive, Suite 200
Centennial, CO 80111
303.770.8884
GallowayUS.com

MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730

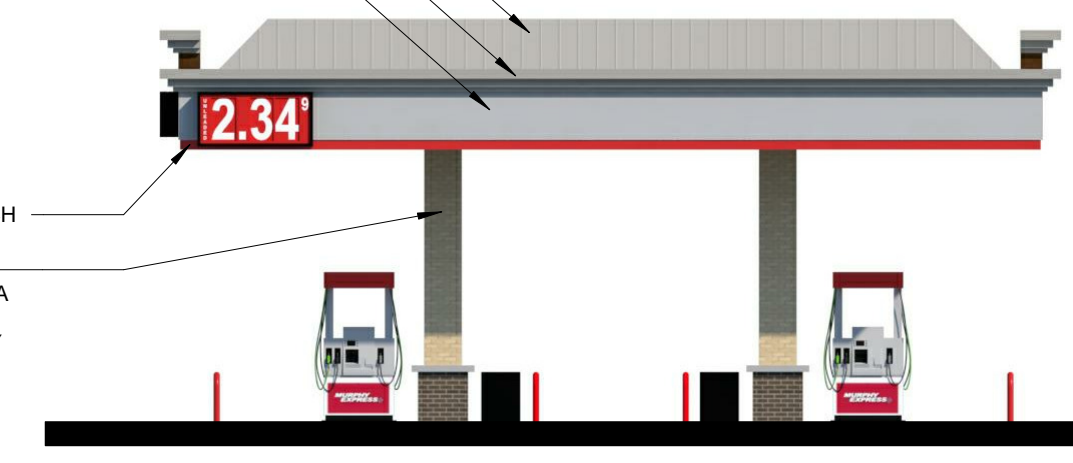
MURPHY USA





1 ELEVATION - FRONT (NORTH)

- ACM FASCIA - 'TEAK' BY ALPOLIC
- STANDING SEAM MANSARD ROOF - COLOR TO MATCH 'DORIAN GRAY' SW #7017
- 14" HIGH DECORATIVE CORNICE - COLOR TO MATCH 'DORIAN GRAY' SW #7017
- ACM CANOPY FASCIA - BRUSHED ALUMINIUM BY ARCONIC
- T.O. MANSARD 21'-3"
- T.O. FASCIA 17'-6"
- T.O. ACCENT BAND 15'-0"
- PREFINISHED METAL ACCENT BAND - COLOR TO MATCH PROGRAM RED
- CANOPY COLUMNS ENCLOSURES: BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS ABOVE 3'-4" BRICK VENEER BASE - 'DARK SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"



2 ELEVATION - RIGHT (WEST)



3 ELEVATION - REAR (SOUTH)

- STANDING SEAM MANSARD ROOF - COLOR TO MATCH 'DORIAN GRAY' SW #7017
- FAUX WINDOWS
- 14" HIGH DECORATIVE CORNICE - COLOR TO MATCH 'DORIAN GRAY' SW #7017
- ACM FASCIA - 'TEAK' BY ALPOLIC
- T.O. MANSARD 21'-3"
- T.O. FASCIA 17'-6"
- T.O. TOWER 18'-6"
- T.O. BUILDING 15'-10"
- B.O. ACCENT BAND 14'-6"
- ACM FASCIA - 'PROGRAM RED' BY ALPOLIC
- BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
- CONCRETE CAP
- BRICK VENEER - 'DARK SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"



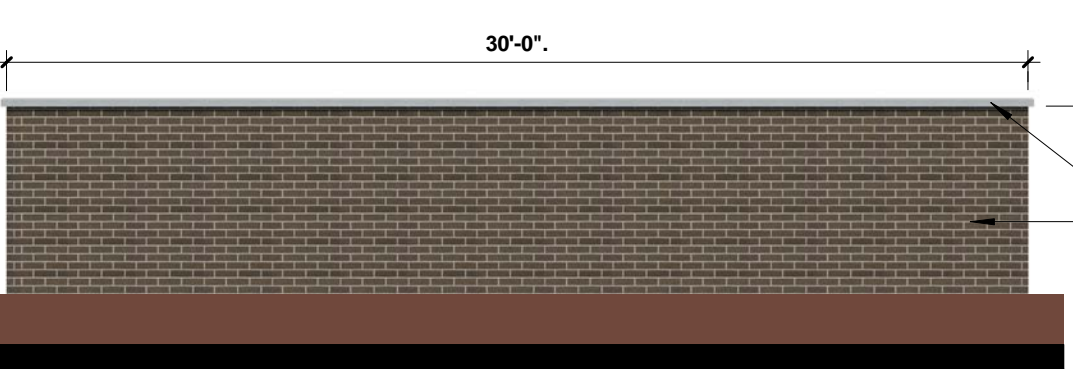
4 ELEVATION - LEFT (EAST)

- BLACKED OUT WINDOWS WITH LIGHTS FROM INSIDE
- EUSERC CABINET TO BE PAINTED 'DORMER BROWN'
- METAL DOORS AND FRAMES TO BE PAINTED 'DORMER BROWN' SW #7521
- SCREEN WALL
- BLACKED OUT WINDOWS WITH LIGHTS FROM INSIDE



5 ELEVATION - FRONT BUILDING ONLY (NORTH)

- FAUX WINDOWS
- 14" HIGH DECORATIVE CORNICE TO MATCH - 'DORMER BROWN' SW #7521
- T.O. TOWER 18'-6"
- T.O. BUILDING 15'-10"
- BRICK VENEER SOLDIER COURSE - 'DARK SANDSTONE VELOUR' BY ENDICOTT
- ACM FASCIA - TO MATCH 'TEAK' BY ALPOLIC
- ACM FASCIA - 'PROGRAM RED' BY ALPOLIC
- METAL AWNING - COLOR TO MATCH 'BLACK'
- BRICK VENEER - 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS
- BRICK VENEER SOLDIER COURSE - 'DARK SANDSTONE VELOUR' BY ENDICOTT
- BLACK ALUMINIUM STOREFRONT
- BRICK VENEER - 'DARK SANDSTONE VELOUR' BY ENDICOTT
- CONCRETE CAP
- BIKE RACKS
- FIN. FLR. ELEVATION 0'-0"



8 SCREEN WALL

- T.O. SCREEN WALL 7'-0"
- CONCRETE CAP
- BRICK VENEER - 'DARK SANDSTONE VELOUR' BY ENDICOTT
- FIN. FLR. ELEVATION 0'-0"

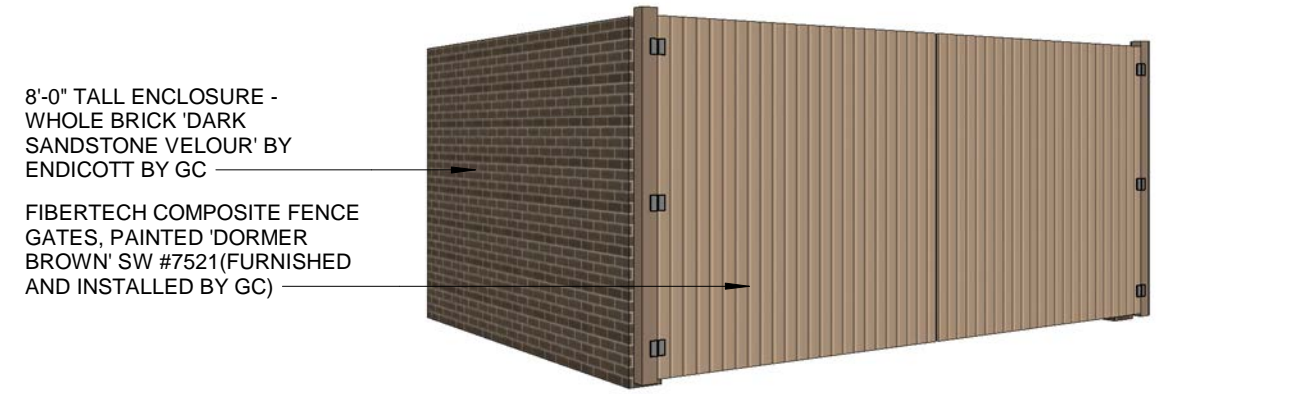


FRONT - NORTH ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SOFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	278	40%	69%

REAR - SOUTH ELEVATION			
AREA OF FACADE	AREA OF FENESTRATION (SOFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	164	40%	41%

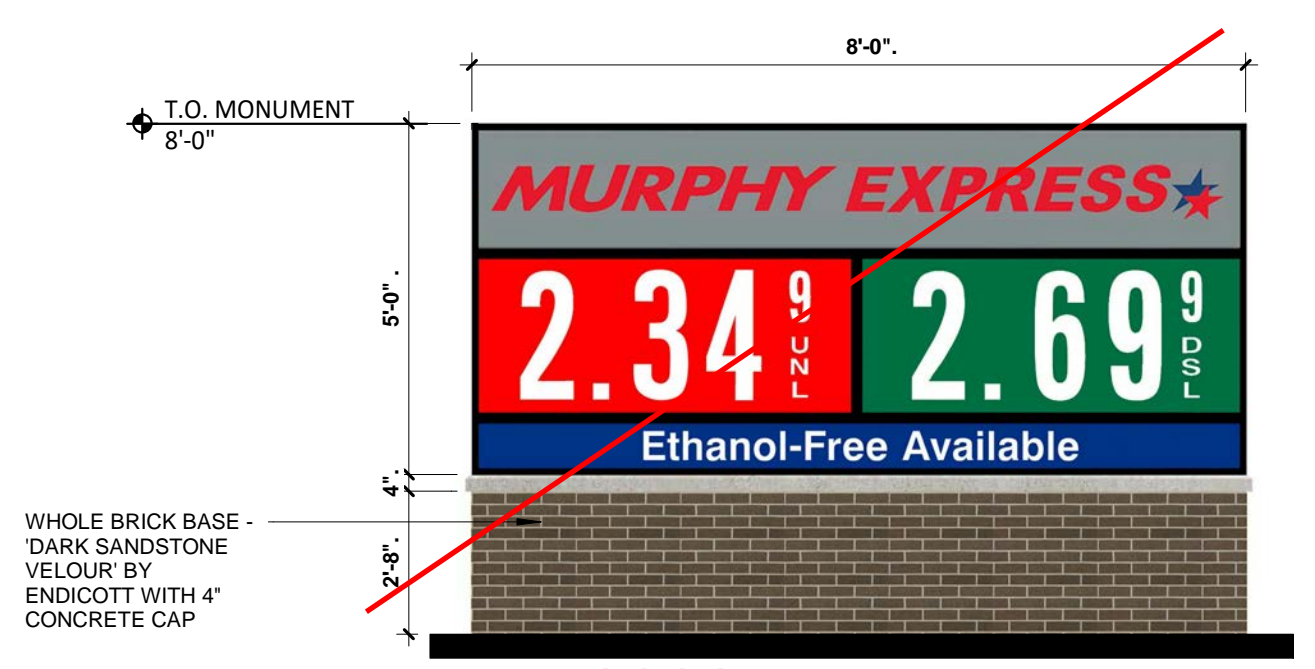
RIGHT - WEST ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SOFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
246	75	25%	31%

LEFT - EAST ELEVATION			
AREA OF FACADE	AREA OF FENESTRATION (SOFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
279	150	40%	54%



6 TRASH ENCLOSURE

- 8'-0" TALL ENCLOSURE - WHOLE BRICK 'DARK SANDSTONE VELOUR' BY ENDICOTT BY GC
- FIBERTECH COMPOSITE FENCE GATES, PAINTED 'DORMER BROWN' SW #7521 (FURNISHED AND INSTALLED BY GC)



7 MONUMENT SIGN

Signage NOT a part of this approval. Separate Sign Permit required.

SIGN	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY EXPRESS BLDG. LOGO SIGN	1			27.71	27.71
COMBINED EXTRA SMALL CANOPY PRICE SIGN (UNL / DSL)	1	28.25'	121.50'	23.84	23.84
SMALL CANOPY PRICE SIGN (UNL)	1	34.13'	74.00'	17.54	17.54
TOTAL:				69.09 S.F.	
MONUMENT SIGN:					
LOGO / UNL / DSL / ETHANOL-FREE AVAILABLE	1	60.00'	96.00'	40.00	40.00
TOTAL:				40.00 S.F.	