



Your kind of place.

TO: Jim Erwin-Svoboda, Galloway and Company, Inc

FROM: Stacey Nerger, Associate Planner

DATE: August 24, 2020

SUBJECT: Parker and Pine Filing No. 1 Lot 2 - Site Plan
[Application SP20-019]

The following are the comments regarding your application. All comments must be responded to, and if you disagree with a comment please indicate the reasoning of your disagreement. Please sign and return this memo with your next submittal. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance.

TOWN OF PARKER PLANNING DEPARTMENT:
ATTN: STACEY NERGER
E-MAIL: snerger@parkeronline.org
FAX: 303-841-3223
PHONE: 303-805-3199

PARKER AND PINE FILING 1 LOT 2 - SITE PLAN

General Comments:

1. Please reference the redlines for additional comments/clarification.

Complied: Yes No

Response:

Parking:

2. Please provide an image of what the bicycle rack will look like including the color/material.

Complied: Yes No

Response:



Your kind of place.

Landscaping:

3. Please see the attached redlines for additional changes to be made to the landscape table.

Complied: Yes No

Response:

4. Pursuant to Section 13.06.070 (l) of the Town of Parker LDO one tree and five shrubs shall be planted for each 1,500 square fee of lot area not covered by a building or required parking. Based on the landscape table there is approximately 16,839 square feet of landscaped area. This means that 1 tree and 5 shrubs shall be planted per each 1,500 square feet within 16,839. Please adjust your table and counts to meet this requirement.

Complied: Yes No

Response:

5. Pursuant to the LDO Section 13.06.070 (q) site perimeter landscaping is required to establish minimum requirements for plantings around the perimeter of a site. When a commercial use is next to a commercial use a minimum of 1 tree and 5 shrubs is required for every 40 lineal feet of edge. Based on the above you are required to have the following landscaping totals:

East – 4 trees and 22 shrubs

South – 5 trees and 27 shrubs

West – 4 trees and 22 shrubs

These trees and shrubs should be located along the property perimeter (5 – 10 feet inside the property line).

When including trees and shrubs within the table as meeting this requirement, please only include those trees and shrubs actually located on this property line. Trees and shrubs placed elsewhere do not count.

Complied: Yes No

Response:

6. The Parker Road frontage is a highly visual corner and additional landscaping needs to be added. Understood that this property line consists of multiple utility easements, but

meandering traditional turf grass should be added to the back of the sidewalk along with additional shrubs beds.

Complied: Yes No

Response:

7. Pursuant the Development Design Standards III.1.C; Buildings located at intersections shall include a plaza, courtyard or similar public space to create attractive and active outdoor public spaces with enhanced landscaping. Dependent upon easement ability, landscaping at the intersections of Parker Road and the southeast corner of your property should be enhanced. Also, please see the image of the approved corner landscape treatment approved as part of the Minor Development Plat (MDP).

Complied: Yes No

Response:

Lighting:

Staff has no additional comments on the lighting plans for the property.

Building Elevations:

8. Pursuant the Development Design Standards; A sample material board is required to be submitted. Material Boards can be dropped off at Town Hall. A 3rd referral will not take place until the materials board is received by Planning.

Complied: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

9. Please address all outside referral agency comments with a written response. Copies of these comments can be found within the case file in TRAKiT.

Complied: Yes No



Your kind of place.

Response:

Property Owner

Date

Project Representative

Date

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN



Know what's below.
 Call before you dig.

PROJECT CONTACTS:

RECORD OWNER
 EVI PARKER COLORADO, LLC
 2710 E. CAMELBACK ROAD, SUITE 210
 PHOENIX, AZ 85016
 TEL: (602) 468-6100
 CONTACT: RYAN AMATO

DEVELOPER/APPLICANT
 MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730
 CONTACT: GARY HEGENER

ENGINEER/CONSULTANT
 GALLOWAY & COMPANY, INC.
 6162 S. WILLOW DRIVE, SUITE 320
 GREENWOOD VILLAGE, CO 80111
 TEL: (303) 770-8884
 FAX: (303) 770-3636
 CONTACT: JIM ERWIN-SVOBODA, P.E.
 EMAIL: JIMERWIN@GALLOWAYUS.COM

LANDSCAPE/CONSULTANT
 GALLOWAY & COMPANY, INC.
 6162 S. WILLOW DRIVE, SUITE 320
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 FAX: (303) 770-3636
 CONTACT: TIM NELSON, RLA, ASLA, CPC
 EMAIL: TIMNELSON@GALLOWAYUS.COM

SURVEYOR
 GALLOWAY & COMPANY, INC.
 1755 TELESTAR DR, SUITE 107
 COLORADO SPRINGS, CO 80920
 TEL: (303) 770-8884
 FAX: (303) 770-3636
 CONTACT: BRIAN DENNIS, PLS
 EMAIL: BRIANDENNIS@GALLOWAYUS.COM

MUNICIPAL & UTILITY CONTACTS:

ENGINEERING
 TOWN OF PARKER – ENGINEERING
 20120 E. MAIN STREET
 PARKER, CO 80138
 TEL: (303) 805-3169
 CONTACT: RANDY CAPRA

STORM SEWER
 TOWN OF PARKER – PUBLIC WORKS
 20120 E. MAIN STREET
 PARKER, CO 80138
 TEL: (303) 840-9546

FIRE
 SOUTH METRO FIRE RESCUE AUTHORITY
 9193 E. MINERAL AVE
 CENTENNIAL, CO 80112
 TEL: (720) 989-2244
 CONTACT: CHIP KERKHOVE

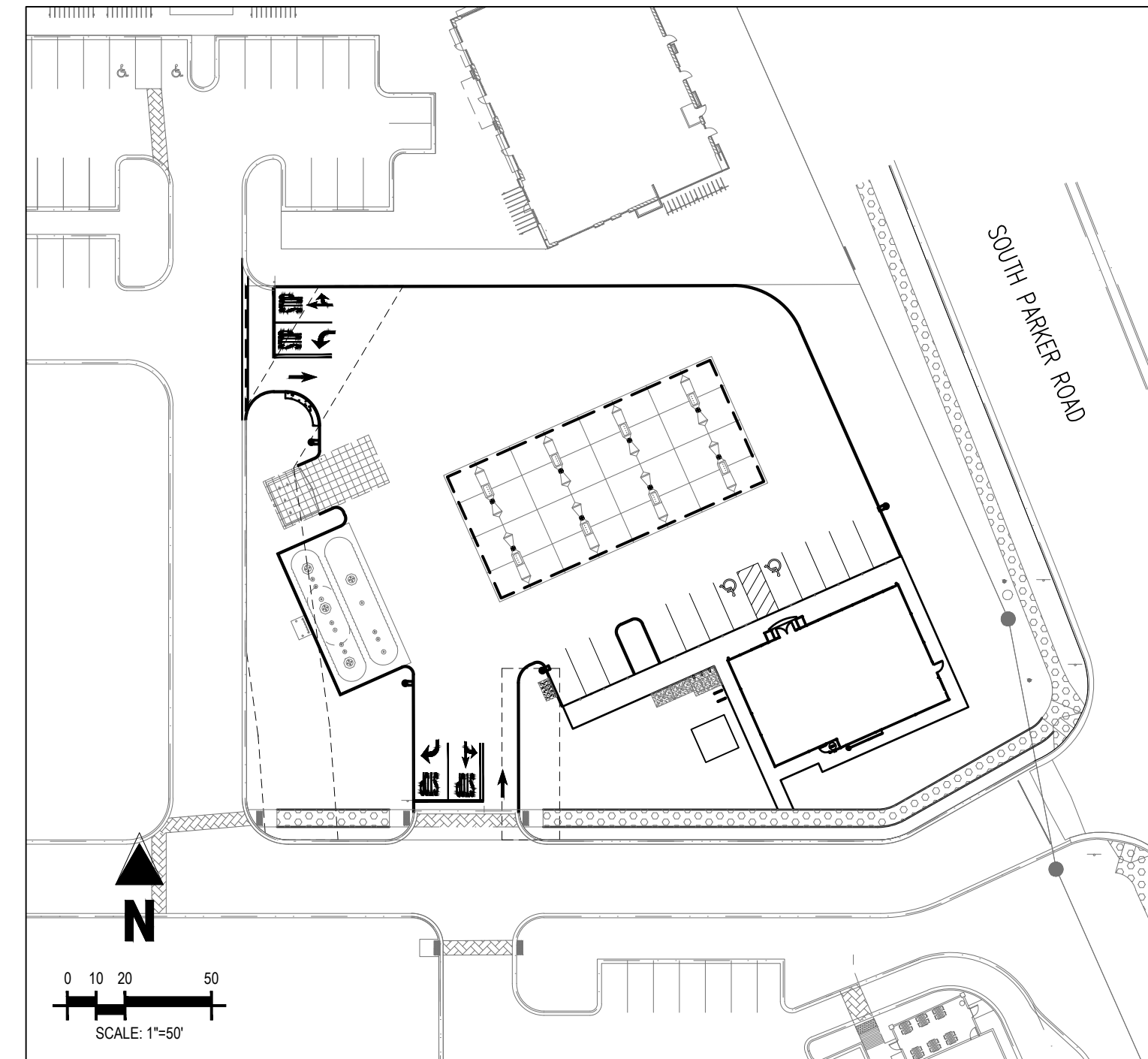
WATER & SANITARY SEWER
 PARKER WATER AND SANITATION DISTRICT
 1800 E. WOODMAN DRIVE
 PARKER, CO 80134
 TEL: (303) 841-4627
 CONTACT: DRAYTON SANDERSON

GAS
 XCEL ENERGY
 1800 LARIMER STREET
 DENVER, CO 80202
 EMAIL: RON.H.JOHNSON@XCELENERGY.COM
 CONTACT: RON JOHNSON

ELECTRIC
 INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
 5496 NORTH US HIGHWAY 85
 SEDALIA, CO 80135
 TEL: (303) 688-3100
 CONTACT: AMANDA STEINER

TELEVISION
 COMCAST
 1601 MILE HIGH STADIUM CIRCLE
 DENVER, CO 80204
 EMAIL: DEAN_FLENTHROP@COMCAST.COM
 CONTACT: DEAN FLENTHROP

TELEPHONE
 CENTURYLINK
 1801 CALIFORNIA STREET, SUITE 240
 DENVER, CO 80202
 CONTACT: IZZY MILLER
 EMAIL: IZZY.MILLER@CENTURYLINK.COM



SITE MAP
 SCALE: 1"=50'



VICINITY MAP
 (NOT TO SCALE)

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C-0.0	COVER SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C-1.1	HORIZONTAL CONTROL PLAN
C-3.5	PHOTOMETRIC PLAN
C-3.6	PHOTOMETRIC DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS & NOTES
A1.1	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.2	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.3	ARCHITECTURAL ELEVATIONS (CANOPY)
1 OF 1	COLORING RENDERING

SITE DATA TABLE

SITE AREA	47,621 SF / 1.09 AC
ZONING	PLANNED DEVELOPMENT – HIGHWAY ORIENTED COMMERCIAL
BUILDING:	SINGLE STORY – 2,824 SF (BUILDING) SINGLE STORY – 4,830 SF (CANOPY)
FAR:	25% MAX. / 16.1% ACTUAL
BUILDING COVERAGE:	50% MAX. / 16.1% ACTUAL
OPEN SPACE:	15% MIN. / 30.6% ACTUAL (16,839 SF LANDSCAPED AREA)
BUILDING SETBACK:	25' PUBLIC R.O.W. 25' SIDE & REAR
BUILDING HT:	45' MAX. / 18.5' ACTUAL
CAR PARKING:	12 REQUIRED / 12 SPACES (INCLUDES 2 ADA) PROVIDED
BICYCLE PARKING:	2 REQUIRED / 2 PROVIDED

DEVELOPMENT PLAN NOTES

LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGN TRIANGLES AND EASMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDINGS PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

SHEET NO.

C-0.0

COVER SHEET
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER
 COLORADO

Galloway

6162 S. Willow Drive, Suite 320
 Greenwood Village, CO 80111
 303.770.8884
 GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET
 EL DORADO, AR 71730

MURPHY USA

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

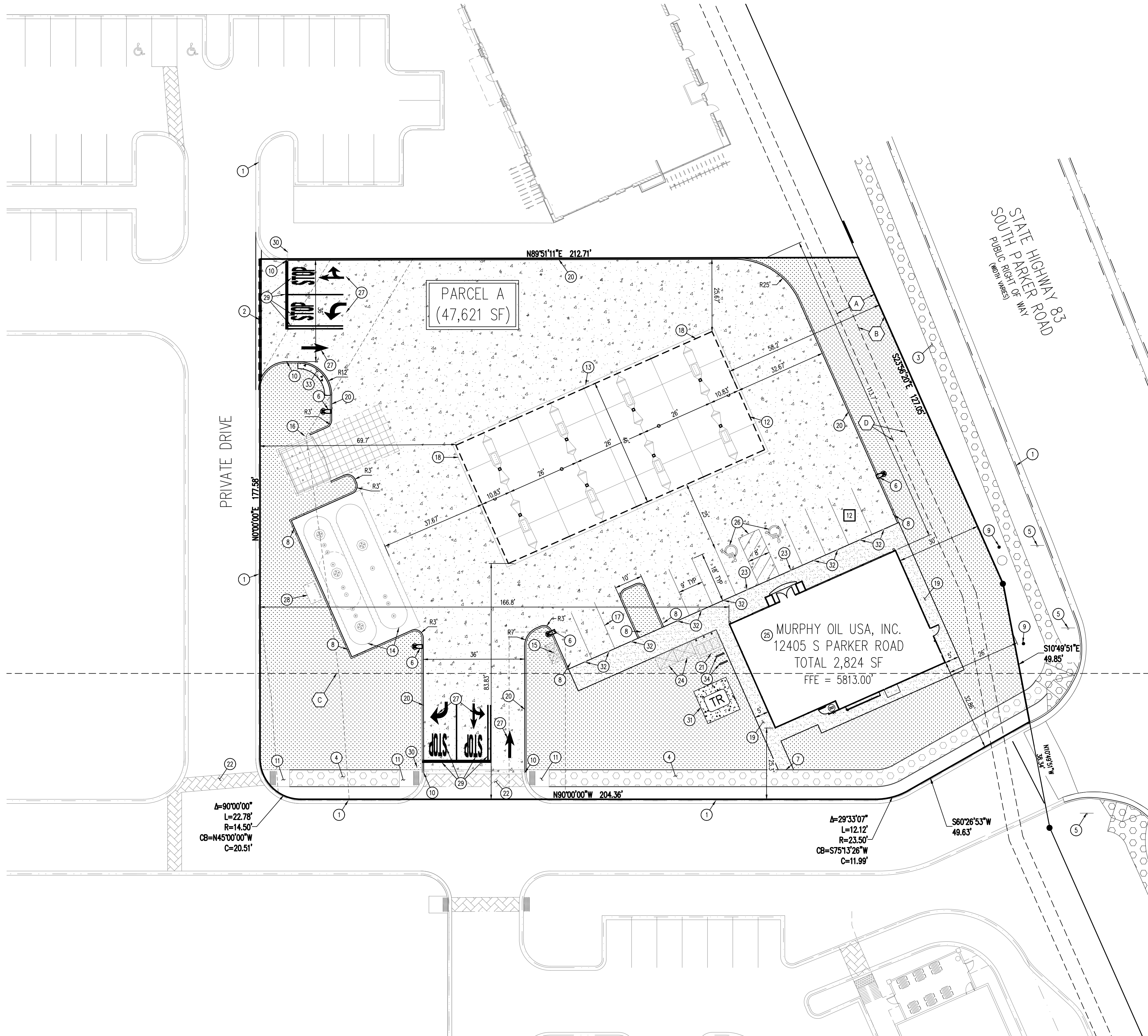
A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN



Know what's below.
 Call before you dig.

SHEET NO.
C-1.1



LEGEND

	LOT BOUNDARY
	EASEMENT BOUNDARY LINE
	SAWCUT LIMITS
	EXISTING SIGN
	PROPOSED SIGN
	PROPOSED BOLLARD
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	EXISTING CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED LANDSCAPING (REF LANDSCAPE PLAN)
	PROPOSED SITE LIGHTING
	PARKING COUNT

- EASEMENT SCHEDULE**
- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
 - (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
 - (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
 - (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047
- SCHEDULE**
- (1) EXISTING CURB AND GUTTER TO REMAIN
 - (2) SAWCUT EXISTING ASPHALT AT NEW DRIVEWAY ACCESS
 - (3) EXISTING CONCRETE SIDEWALK TO REMAIN
 - (4) PROPOSED AS PART OF MDP CONCRETE SIDEWALK INSTALLED BY DEVELOPER
 - (5) EXISTING SIGN TO REMAIN
 - (6) PROPOSED SITE LIGHT
 - (7) CONNECTION TO EXISTING SIDEWALK
 - (8) CURB TRANSITION
 - (9) EXISTING BOLLARD TO REMAIN
 - (10) PROPOSED CURB TO MATCH EXISTING
 - (11) PROPOSED AS PART OF MDP CONCRETE RAMP INSTALLED BY DEVELOPER
 - (12) PROPOSED OVERHEAD CANOPY
 - (13) EDGE OF CONCRETE SLAB UNDERNEATH THE CANOPY
 - (14) PROPOSED UNDERGROUND STORAGE TANKS
 - (15) PROPOSED AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB
 - (16) PROPOSED 6' TALL TRASH ENCLOSURE
 - (17) PROPOSED PARKING STALL STRIPING
 - (18) PROPOSED PRICE SIGN PER APPROVED ELEVATION
 - (19) PROPOSED SIDEWALK PER MURPHY STANDARDS
 - (20) PROPOSED INTEGRAL CONCRETE CURB
 - (21) PROPOSED 7'X10' CONCRETE SLAB FOR PROPANE TANKS
 - (22) PROPOSED AS PART OF MDP STAMPED CONCRETE CROSSWALK INSTALLED BY DEVELOPER
 - (23) PROPOSED ACCESSIBLE/VAN ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
 - (24) PROPOSED 5'X7' CONCRETE PAD (2 TOTAL) FOR ICE UNIT
 - (25) PROPOSED 2,824 SQUARE FOOT MURPHY EXPRESS KIOSK
 - (26) PROPOSED ACCESSIBLE PARKING SYMBOLS AND STRIPING
 - (27) PROPOSED DIRECTIONAL TRAFFIC FLOW ARROW
 - (28) PROPOSED REMOTE TANK VENTS
 - (29) PROPOSED "STOP" BAR, LANE STRIPING, AND "STOP" LETTERING
 - (30) PROPOSED "STOP" SIGN
 - (31) PROPOSED CONCRETE TRANSFORMER PAD
 - (32) PROPOSED SINGLE GUARD POST
 - (33) PROPOSED 2' WIDE CONCRETE BUFFER
 - (34) PROPOSED BICYCLE RACK (2 SPOTS)

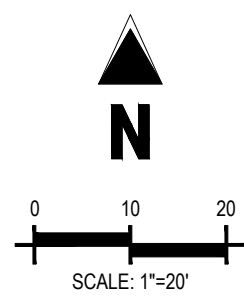
BENCHMARK
 ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN. VERTICAL DATUM IS APPROXIMATELY 2.64 FEET BELOW NAVD 88.

SITE BENCHMARKS:
 SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76
 SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

BASIS OF BEARING
 BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24980 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

CAUTION – NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD, REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

REV-1 07/09/2020 DATE PRN PM JES KML KML KML DRW
HORIZONTAL CONTROL PLAN
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER COLORADO

Galloway
 6162 S. Willow Drive, Suite 320
 Englewood, CO 80111
 303.770.8844
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MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

MURPHY USA

PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



This does not match the information on the first page nor this page. The total site is shown as 47,621 square feet. This should be the size of the lot. Anything off site would not count. Where is the 55,106 square feet coming from?

SHEET NO. L1.1

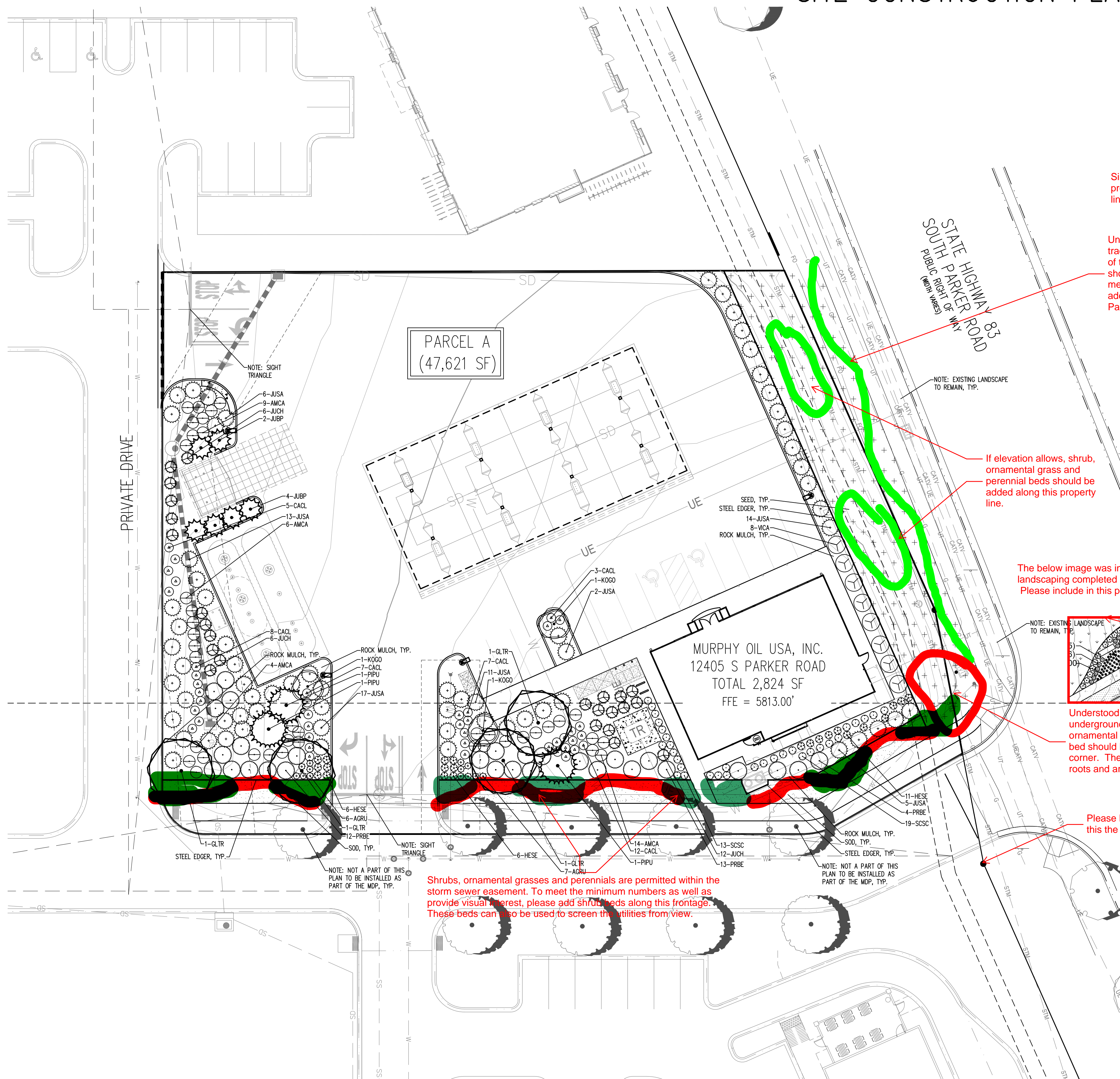
Please also add to this table the following:
 - Percentage of living
 - Amount of traditional turf grass with percentage.

All trees and shrubs included on site will count towards the overall landscape numbers

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 303.770.9848
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 200 PEACH STREET
 EL DORADO, AR 71730

MURPHY USA



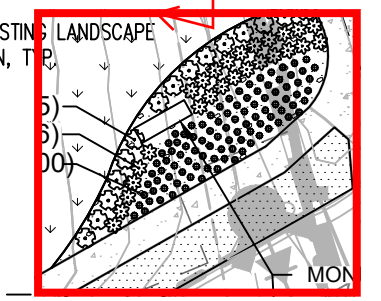
The 1 tree and 5 shrubs is based off of the provided landscaping, not what is required. Based off this language you will be required 12 trees and 56 shrubs.

Since you cannot provide the property line buffer on this property line, please remove from this table.

Understood that there is an underground gas line, but traditional turf grass should be added on the backside of the curb. This traditional turf grass does not and should not make up the entire frontage. The green meandering line is an example of how this could be added. You are the first proposed development along Parker Road and this landscape edge will be used as

If elevation allows, shrub, ornamental grass and perennial beds should be added along this property line.

The below image was included as part of the landscaping completed by the overall developer. Please include in this plan set.



Understood about the underground utilities, but a shrub, ornamental grass and perennial bed should be added at this corner. These have shallow roots and are typically permitted.

Please label this. Is this the sight triangle?

Shrubs, ornamental grasses and perennials are permitted within the storm sewer easement. To meet the minimum numbers as well as provide visual interest, please add shrub beds along this frontage. These beds can also be used to screen the utilities from view.

LANDSCAPE CALCULATIONS	AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA		55,106 SF	15% MIN. OF TOTAL SITE AREA (8,265 SF TOTAL SITE)	8,265 SF REQUIRED	16,839 SF PROVIDED (30.6% OF TOTAL SITE AREA)
REQUIRED LANDSCAPING	8,265 SF		1 TREE AND 5 SHRUBS PER 1,500 SF OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING	6 TREES 28 SHRUBS	6 TREES 28 SHRUBS
SITE PERIMETER LANDSCAPING			1 TREE AND 5 SHRUBS PER EACH 40 LINEAL FEET OF EDGE		
WEST PERIMETER	173' LF		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	5 TREES / 22 SHRUBS
SOUTH PERIMETER	218' LF		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	6 TREES / 27 SHRUBS
EAST PERIMETER	176' LF		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	4 TREES / 22 SHRUBS
NORTH PERIMETER	212' LF		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	4 TREES / 27 SHRUBS (SHRUBS IN LIEU OF TREES)

The rest of these numbers may need to be adjusted to match.

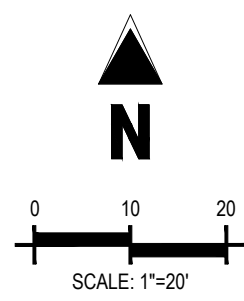
NOTE: MULTIPLE UTILITY CONFLICTS EXIST ON SITE TO ACHIEVE THE SITE PERIMETER LANDSCAPING REQUIREMENT. TREES HAVE BEEN SPREAD OUT ACROSS THE SITE AND SUBSTITUTED FOR SHRUBS TO ACHIEVE THE SITE PERIMETER LANDSCAPING FOR THE EAST PROPERTY LINE.
 NOTE: TEN SHRUBS MAY BE SUBSTITUTED FOR ONE TREE. ONE ORNAMENTAL GRASS IN A FIVE-GALLON CONTAINER OR THREE ORNAMENTAL GRASSES IN A ONE-GALLON CONTAINER MAY BE SUBSTITUTED FOR ONE SHRUB.
 NOTE: STREETScape LANDSCAPING BY MDP.

Where are these 4 trees?

The requirement for a specific type of landscaping needs to be provided as required.

PLANTING LEGEND

QTY	LEGEND	ABBREV. BOTANIC NAME	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE (V,L,M,H)	WATER USE	SUNSHADE
DECIDUOUS TREES							
4	GLTR	QLEDTRISIA TRIACANTHOS 'INERMIS' SHADEMASTER	SHADEMASTER HONEYLOCUST	2.5" CAL. B&B	50'X25'	L	SUN
EVERGREEN TREES							
3	PIPU	PICEA PUNGENS 'BAKERI'	BAKERI SPRUCE	8' HEIGHT B&B	30X10'	M	SUN
ORNAMENTAL TREES							
3	KOGO	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1.5" CAL. B&B	30'X25'	L	SUN
UPRIGHT JUNIPERS							
6	JUBP	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5 CONT. 3" HEIGHT	12'X6'	VL	SUN/PART SHADE
DECIDUOUS SHRUBS							
40	AMCA	AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN
37	CACL	CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	#5 CONT. 18-24"	3'X3'	VL	SUN
29	PRBE	PRUNUS BESSEYI 'PAWNEE BUTTIES'	PAWNEE BUTTIES SAND CHERRY	#5 CONT. 18-24"	18'X6'	VL	SUN
8	VICA	VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	#5 CONT. 18-24"	6'X6'	M	SUN
EVERGREEN SHRUBS							
24	JUCH	JUNIPERUS CHINENSIS 'ARMSTRONGI'	ARMSTRONG JUNIPER	#5 CONT. 18-24"	4'X4'	VL	SUN
67	JUSA	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#5 CONT. 18-24"	12'X6'	VL	SUN/PART SHADE
ORNAMENTAL GRASSES							
23	HESE	HELICOTRICHON SEMPERVIRENS	BLUE AVENA	#3 CONT. 2.5'X2.5'	VL	SUN/PART SHADE	
32	SCSC	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#3 CONT. 3'X2'	VL	SUN	
PERENNIALS							
13	AGRU	AGASTACHE RUPESTRIS 'SUNSET'	SUNSET HYSSOP	#1 CONT. 30'X24"	VL	SUN	
SEED							
4,500 S.F.		TOWN OF PARKER SEED MIX 1	TOWN OF PARKER SEED MIX 1	SEED	L		
SOD							
1,770 S.F.		FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)	SOD	M		
MULCH							
8,260 S.F.		ROCK COBBLE MULCH	2-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS	MULCH	N/A		
AS NEEDED		WOOD MULCH	DARK BROWN SHREDDED HARDWOOD MULCH	MULCH	N/A		
EDGING							
420 L.F.		STEEL EDGING	BLACK STEEL EDGING. SEE LANDSCAPE NOTES	EDGING	N/A		

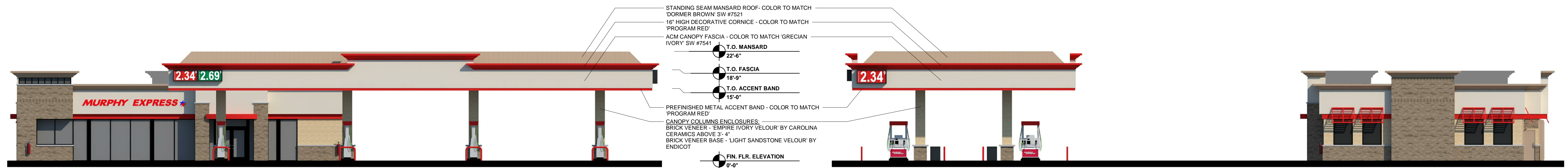


CAUTION
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.
 CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING
 THEIR LOCATION PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

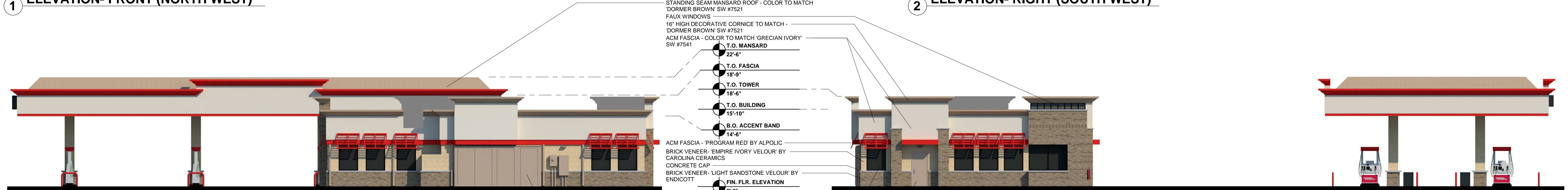
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE



1 ELEVATION- FRONT (NORTH WEST)

2 ELEVATION- RIGHT (SOUTH WEST)



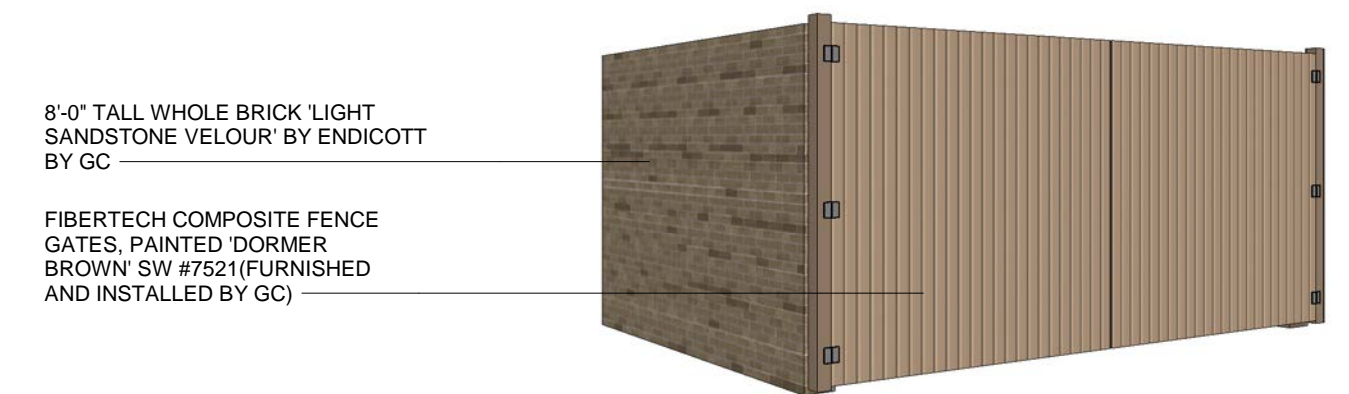
3 ELEVATION- REAR (SOUTH EAST)

4 ELEVATION- LEFT (NORTH EAST)

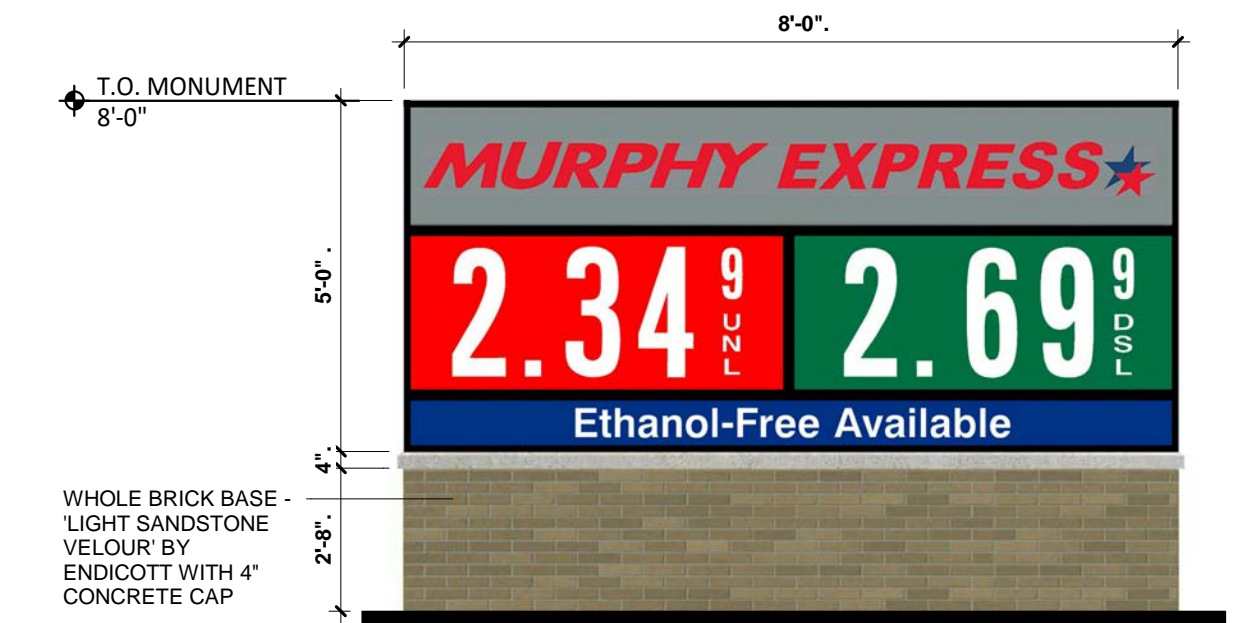


5 ELEVATION- FRONT BUILDING ONLY (NORTH WEST)

Please include an image of what the bicycle rack will look like and what color it will be painted.



6 TRASH ENCLOSURE



7 MONUMENT SIGN

SIGN	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY EXPRESS BLDG. LOGO SIGN	1			27.71	27.71
COMBINED EXTRA SMALL CANOPY PRICE SIGN (UNL / DSL)	1	28.25'	121.50'	23.84	23.84
SMALL CANOPY PRICE SIGN (UNL)	1	34.13'	74.00'	17.54	17.54
				TOTAL:	69.09 S.F.
MONUMENT SIGN:					
LOGO / UNL / DSL / ETHANOL-FREE AVAILABLE	1	60.00'	96.00'	40.00	40.00
				TOTAL:	40.00 S.F.