



MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO
SITE PLAN

PROJECT CONTACTS:

RECORD OWNER
 EVI PARKER COLORADO, LLC
 2710 E. CAMELBACK ROAD, SUITE 210
 PHOENIX, AZ 85016
 TEL: (602) 468-6100
 CONTACT: RYAN AMATO

DEVELOPER/APPLICANT
 MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730
 CONTACT: GARY HEGENER

ENGINEER/CONSULTANT
 GALLOWAY & COMPANY, INC.
 6162 S. WILLOW DRIVE, SUITE 320
 GREENWOOD VILLAGE, CO 80111
 TEL: (303) 770-8884
 FAX: (303) 770-3636
 CONTACT: JIM ERWIN-SVIBODA, P.E.
 EMAIL: JIMERWINSVIBODA@GALLOWAYUS.COM

LANDSCAPE/CONSULTANT
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 EMAIL: TIMNELSON@GALLOWAYUS.COM

SURVEYOR
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 EMAIL: BRIANDENNIS@GALLOWAYUS.COM

MUNICIPAL & UTILITY CONTACTS:

ENGINEERING
 TOWN OF PARKER - ENGINEERING
 20120 E. MAIN STREET
 PARKER, CO 80138
 TEL: (303) 805-3169
 CONTACT: RANDY CAPRA

STORM SEWER
 TOWN OF PARKER - PUBLIC WORKS
 20120 E. MAIN STREET
 PARKER, CO 80138
 TEL: (303) 840-9546

FIRE
 SOUTH METRO FIRE RESCUE AUTHORITY
 9195 E. MINERAL AVE
 CENTENNIAL, CO 80112
 TEL: (720) 989-2244
 CONTACT: CHIP KERKHOVE

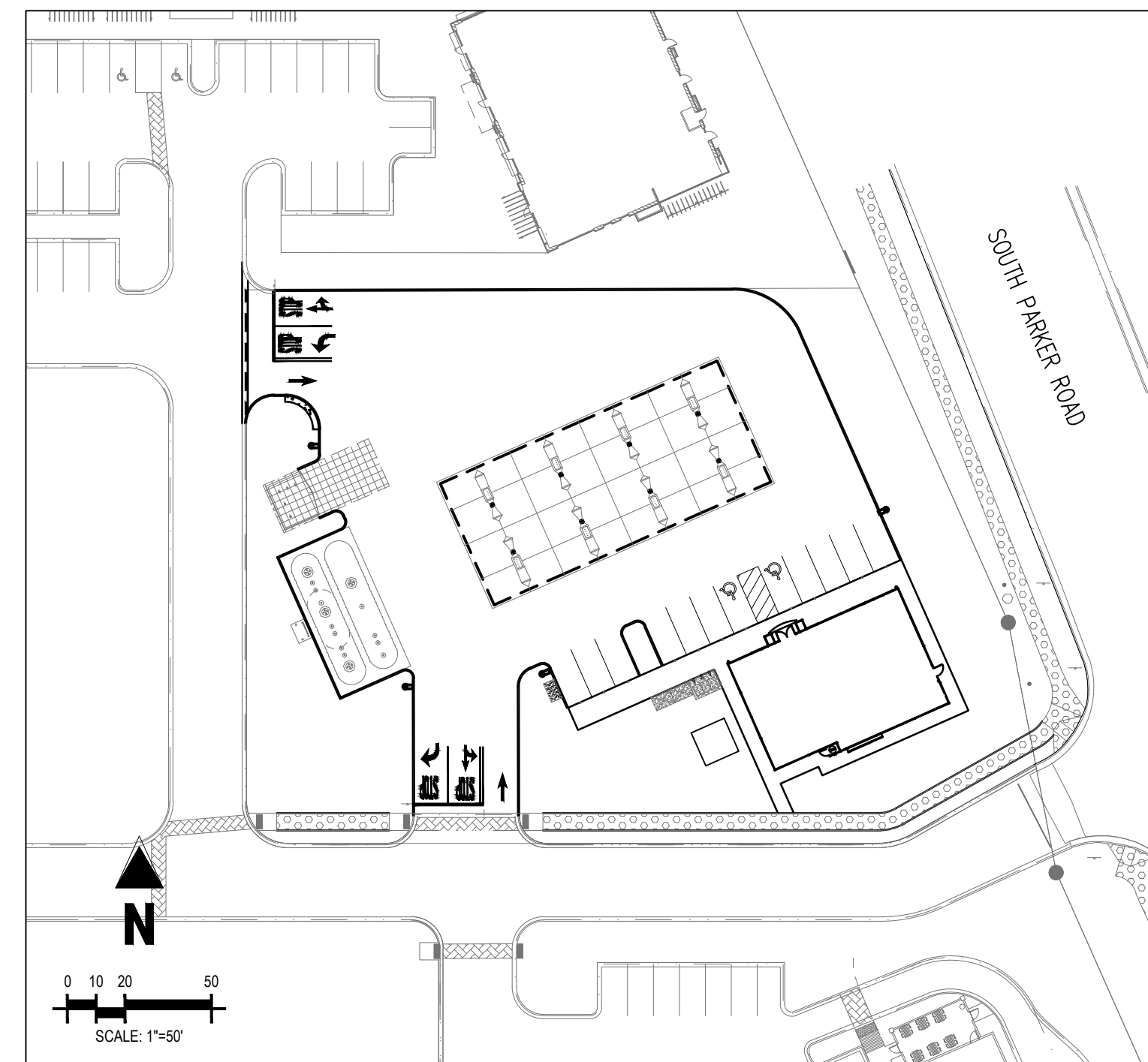
WATER & SANITARY SEWER
 PARKER WATER AND SANITATION DISTRICT
 1800 E. WOODMAN DRIVE
 PARKER, CO 80134
 TEL: (303) 841-4627
 CONTACT: DRAYTON SANDERSON

GAS
 XCEL ENERGY
 1800 LARIMER STREET
 DENVER, CO 80202
 EMAIL: RON.H.JOHNSON@XCELENERGY.COM
 CONTACT: RON JOHNSON

ELECTRIC
 INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
 5496 NORTH US HIGHWAY 85
 SEDALIA, CO 80135
 TEL: (303) 688-3100
 CONTACT: AMANDA STEINER

TELEVISION
 COMCAST
 1601 MILE HIGH STADIUM CIRCLE
 DENVER, CO 80204
 EMAIL: DEAN.FLENTHROP@COMCAST.COM
 CONTACT: DEAN FLENTHROP

TELEPHONE
 CENTURYLINK
 1801 CALIFORNIA STREET, SUITE 240
 DENVER, CO 80202
 CONTACT: IZZY MILLER
 EMAIL: IZZY.MILLER@CENTURYLINK.COM



SITE MAP
 SCALE: 1"=50'



VICINITY MAP
 (NOT TO SCALE)

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C-0.0	COVER SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C-1.1	SITE PLAN
C-3.5	PHOTOMETRIC PLAN
C-3.6	PHOTOMETRIC DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS & NOTES
A1.1	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.2	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.3	ARCHITECTURAL ELEVATIONS (CANOPY)
1 OF 1	COLORING RENDERING

SITE DATA TABLE

SITE AREA	47,621 SF / 1.09 AC
ZONING	PLANNED DEVELOPMENT - COMMERCIAL (PD-C)
BUILDING:	SINGLE STORY - 2,824 SF (BUILDING) SINGLE STORY - 4,830 SF (CANOPY)
FAR:	25% MAX. / 16.1% ACTUAL
BUILDING COVERAGE:	50% MAX. / 16.1% ACTUAL
OPEN SPACE:	20% MIN. / 30.6% ACTUAL (16,639 SF LANDSCAPED AREA)
BUILDING SETBACK:	25' PUBLIC R.O.W. 25' SIDE & REAR
MAX. BUILDING HT:	35'
PARKING:	12 SPACES (INCLUDES 2 ADA)

DEVELOPMENT PLAN NOTES

LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGN TRIANGLES AND EASMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDINGS PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

SHEET NO.
C-0.0

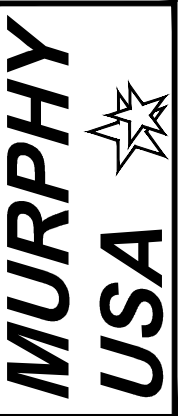
COVER SHEET
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

6162 S. Willow Drive, Suite 320
 Greenwood Village, CO 80111
 303.770.8884
 GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET
EL DORADO, AR 71730



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 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN



Know what's below.
 Call before you dig.

SHEET NO.
C-1.1

LEGEND

- LOT BOUNDARY
- EASEMENT BOUNDARY LINE
- SAWCUT LIMITS
- EXISTING SIGN
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED STANDARD DUTY CONCRETE PAVEMENT
- EXISTING CONCRETE PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPING (REF LANDSCAPE PLAN)
- PROPOSED SITE LIGHTING
- PARKING COUNT

EASEMENT SCHEDULE

- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
- (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
- (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)

SCHEDULE

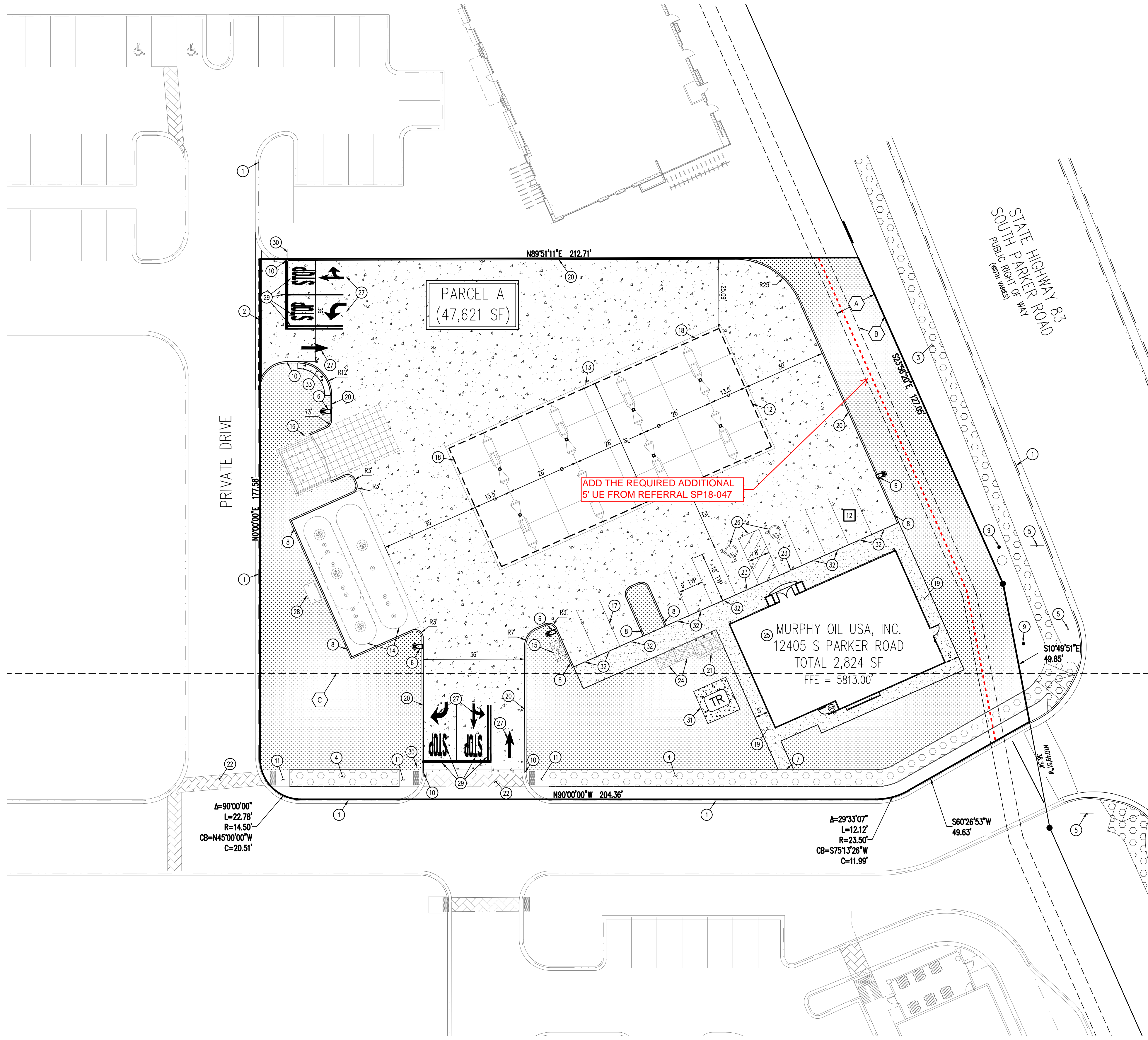
- (1) EXISTING CURB AND GUTTER TO REMAIN
- (2) SAWCUT EXISTING ASPHALT AT NEW DRIVEWAY ACCESS
- (3) EXISTING CONCRETE SIDEWALK TO REMAIN
- (4) EXISTING CONCRETE SIDEWALK INSTALLED BY DEVELOPER
- (5) EXISTING SIGN TO REMAIN
- (6) PROPOSED SITE LIGHT
- (7) CONNECTION TO EXISTING SIDEWALK
- (8) CURB TRANSITION
- (9) EXISTING BOLLARD TO REMAIN
- (10) PROPOSED CURB TO MATCH EXISTING
- (11) EXISTING CONCRETE RAMP INSTALLED BY DEVELOPER
- (12) PROPOSED OVERHEAD CANOPY
- (13) EDGE OF CONCRETE SLAB UNDERNEATH THE CANOPY
- (14) PROPOSED UNDERGROUND STORAGE TANKS
- (15) PROPOSED AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB
- (16) PROPOSED 6' TALL TRASH ENCLOSURE
- (17) PROPOSED PARKING STALL STRIPING
- (18) PROPOSED PRICE SIGN PER APPROVED ELEVATION
- (19) PROPOSED SIDEWALK PER MURPHY STANDARDS
- (20) PROPOSED INTEGRAL CONCRETE CURB
- (21) PROPOSED 7'X10' CONCRETE SLAB FOR PROPANE TANKS
- (22) EXISTING STAMPED CONCRETE CROSSWALK INSTALLED BY DEVELOPER
- (23) PROPOSED ACCESSIBLE/VAN ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
- (24) PROPOSED 5'X7' CONCRETE PAD (2 TOTAL) FOR ICE UNIT
- (25) PROPOSED 2,824 SQUARE FOOT MURPHY EXPRESS KIOSK
- (26) PROPOSED ACCESSIBLE PARKING SYMBOLS AND STRIPING
- (27) PROPOSED DIRECTIONAL TRAFFIC FLOW ARROW
- (28) PROPOSED REMOTE TANK VENTS
- (29) PROPOSED "STOP" BAR, LANE STRIPING, AND "STOP" LETTERING
- (30) PROPOSED "STOP" SIGN
- (31) PROPOSED CONCRETE TRANSFORMER PAD
- (32) PROPOSED SINGLE GUARD POST
- (33) PROPOSED 2' WIDE CONCRETE BUFFER

SITE PLAN
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER
COLORADO

Galloway

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 Highlands, CO 80111
 303.770.9844
 GallowayUS.com

MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730



BENCHMARK

ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING

BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24960 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

CAUTION - NOTICE TO CONTRACTOR

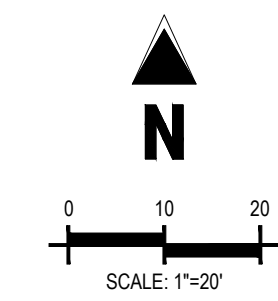
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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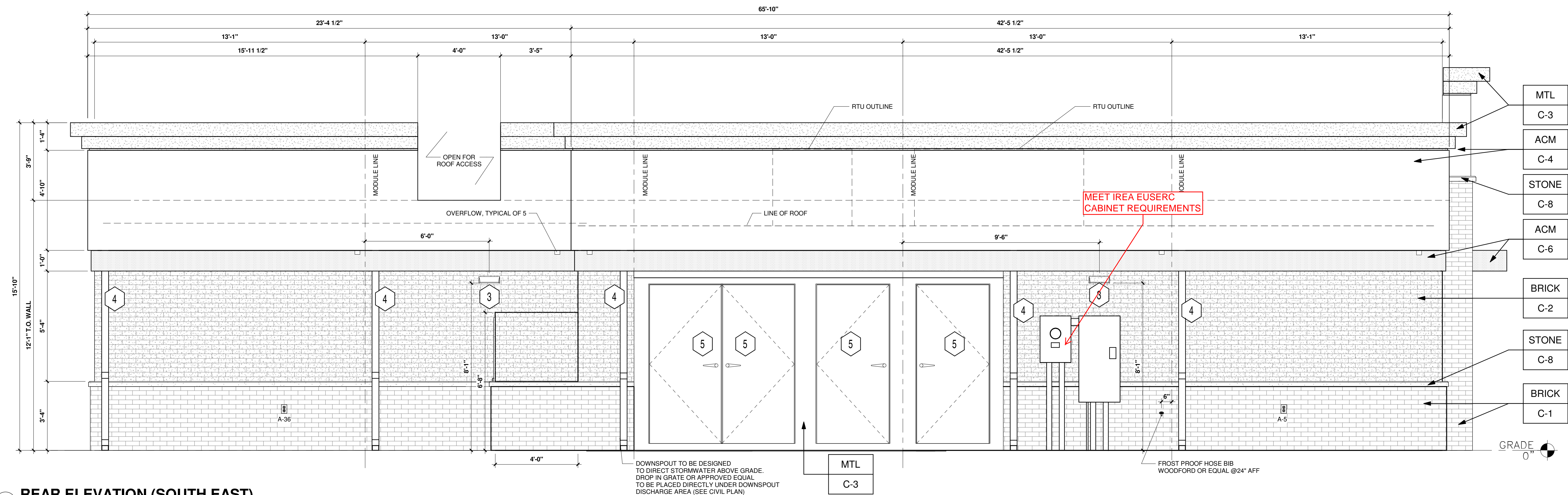
TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____



MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



3 REAR ELEVATION (SOUTH EAST)
 3/8" = 1'-0"

KEYED NOTES:

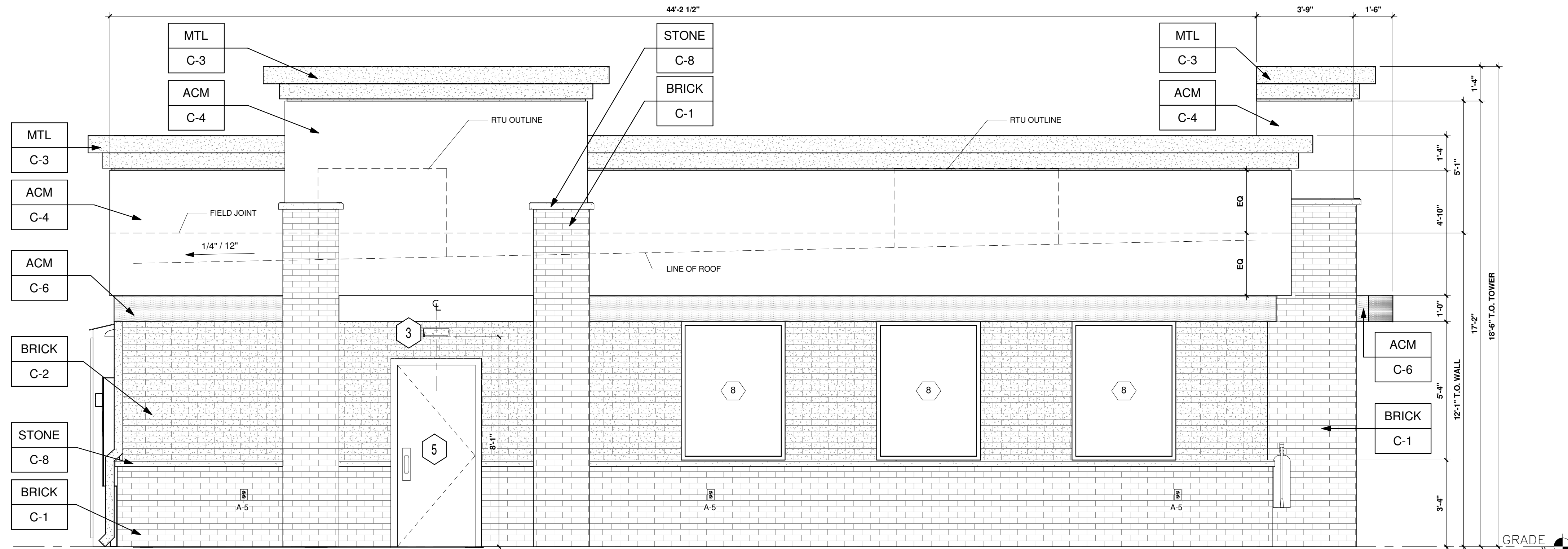
- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 OPEN BY FMS
- 7 OPEN BY FMS
- 8 FAUX WINDOW BY FMS

EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - ARCTIC WHITE BY INTERSTATE BY FMS
- C-3 'DORMER BROWN' SW #7521 BY FMS
- C-4 'GRECIAN IVORY' SW #7541 BY FMS
- C-5 OPEN BY FMS
- C-6 'PROGRAM RED' BY ALPOLIC BY FMS
- C-7 CLEAR ANODIZED ALUMINUM STOREFRONT BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS



4 LEFT ELEVATION (NORTH EAST)
 3/8" = 1'-0"

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SHEET NO. **A1.2**

ARCHITECTURAL ELEVATIONS (BUILDING)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO



MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

MURPHY USA

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____