

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE PLAN



Know what's below.
 Call before you dig.

PROJECT CONTACTS:

RECORD OWNER
 EVI PARKER COLORADO, LLC
 2710 E. CAMELBACK ROAD, SUITE 210
 PHOENIX, AZ 85016
 TEL: (602) 468-6100
 CONTACT: RYAN AMATO

DEVELOPER/APPLICANT
 MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730
 CONTACT: GARY HEGENER

ENGINEER/CONSULTANT
 GALLOWAY & COMPANY, INC.
 6162 S. WILLOW DRIVE, SUITE 320
 GREENWOOD VILLAGE, CO 80111
 TEL: (303) 770-8884
 FAX: (303) 770-3636
 CONTACT: JIM ERWIN-SVOBODA, P.E.
 EMAIL: JIMERWIN@GALLOWAYUS.COM

LANDSCAPE/CONSULTANT
 GALLOWAY & COMPANY, INC.
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 EMAIL: TIMNELSON@GALLOWAYUS.COM

SURVEYOR
 GALLOWAY & COMPANY, INC.
 1755 TELESTAR DR, SUITE 107
 COLORADO SPRINGS, CO 80920
 TEL: (303) 770-8884
 FAX: (303) 770-3636
 CONTACT: BRIAN DENNIS, PLS
 EMAIL: BRIANDENNIS@GALLOWAYUS.COM

MUNICIPAL & UTILITY CONTACTS:

ENGINEERING
 TOWN OF PARKER – ENGINEERING
 20120 E. MAIN STREET
 PARKER, CO 80138
 TEL: (303) 805-3169
 CONTACT: RANDY CAPRA

STORM SEWER
 TOWN OF PARKER – PUBLIC WORKS
 20120 E. MAIN STREET
 PARKER, CO 80138
 TEL: (303) 840-9546

FIRE
 SOUTH METRO FIRE RESCUE AUTHORITY
 9193 E. MINERAL AVE
 CENTENNIAL, CO 80112
 TEL: (720) 989-2244
 CONTACT: CHIP KERKHOVE

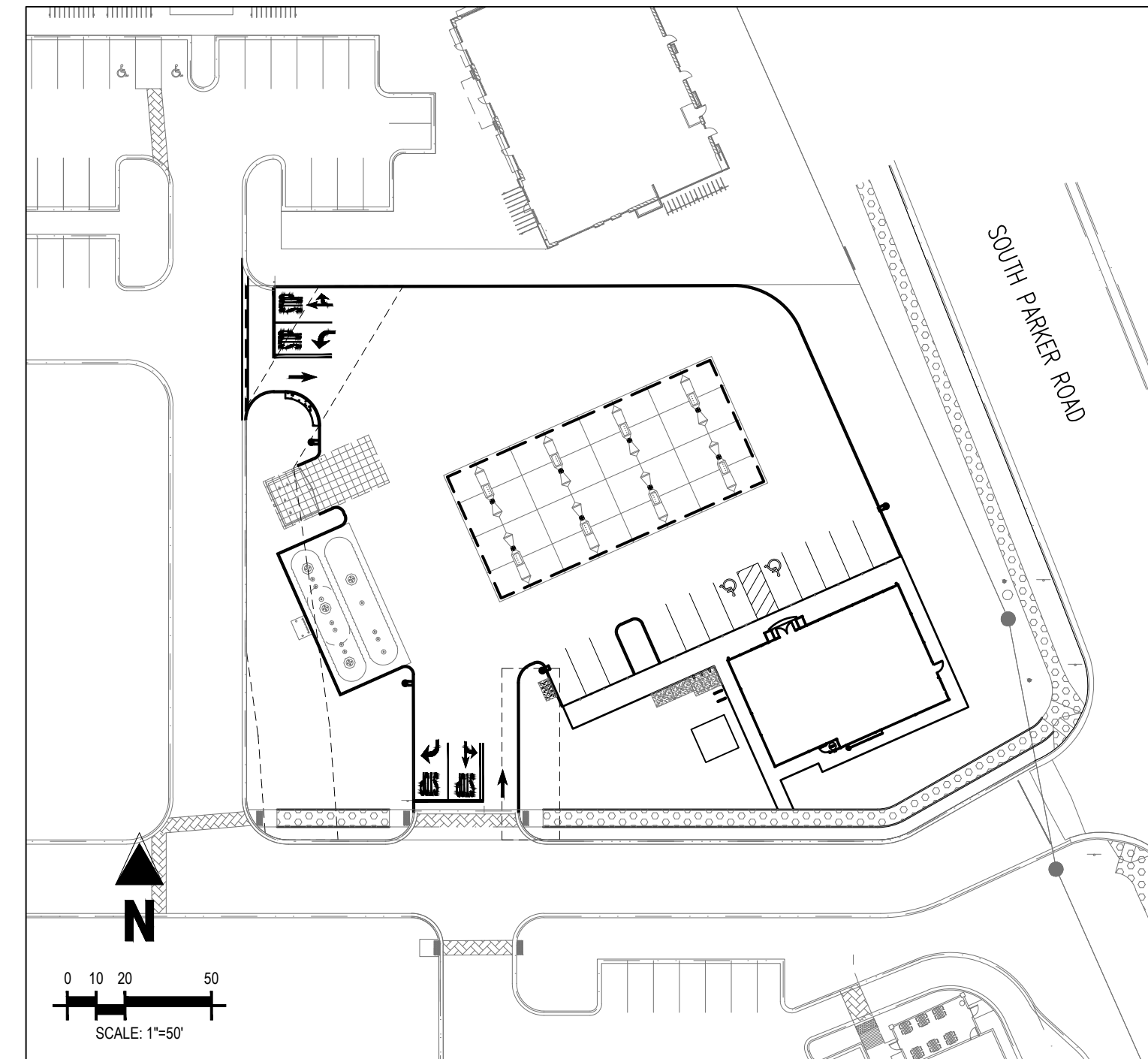
WATER & SANITARY SEWER
 PARKER WATER AND SANITATION DISTRICT
 1800 E. WOODMAN DRIVE
 PARKER, CO 80134
 TEL: (303) 841-4627
 CONTACT: DRAYTON SANDERSON

GAS
 XCEL ENERGY
 1800 LARIMER STREET
 DENVER, CO 80202
 EMAIL: RON.H.JOHNSON@XCELENERGY.COM
 CONTACT: RON JOHNSON

ELECTRIC
 INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
 5496 NORTH US HIGHWAY 85
 SEDALIA, CO 80135
 TEL: (303) 688-3100
 CONTACT: AMANDA STEINER

TELEVISION
 COMCAST
 1601 MILE HIGH STADIUM CIRCLE
 DENVER, CO 80204
 EMAIL: DEAN_FLENTHROP@COMCAST.COM
 CONTACT: DEAN FLENTHROP

TELEPHONE
 CENTURYLINK
 1801 CALIFORNIA STREET, SUITE 240
 DENVER, CO 80202
 CONTACT: IZZY MILLER
 EMAIL: IZZY.MILLER@CENTURYLINK.COM



SITE MAP
 SCALE: 1"=50'



VICINITY MAP
 (NOT TO SCALE)

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C-0.0	COVER SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C-1.1	HORIZONTAL CONTROL PLAN
C-3.5	PHOTOMETRIC PLAN
C-3.6	PHOTOMETRIC DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS & NOTES
A1.1	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.2	ARCHITECTURAL ELEVATIONS (BUILDING)
A1.3	ARCHITECTURAL ELEVATIONS (CANOPY)
1 OF 1	COLORING RENDERING

SITE DATA TABLE

SITE AREA	47,621 SF / 1.09 AC
ZONING	PLANNED DEVELOPMENT – HIGHWAY ORIENTED COMMERCIAL
BUILDING:	SINGLE STORY – 2,824 SF (BUILDING) SINGLE STORY – 4,830 SF (CANOPY)
FAR:	25% MAX. / 16.1% ACTUAL
BUILDING COVERAGE:	50% MAX. / 16.1% ACTUAL
OPEN SPACE:	15% MIN. / 30.6% ACTUAL (16,839 SF LANDSCAPED AREA)
BUILDING SETBACK:	25' PUBLIC R.O.W. 25' SIDE & REAR
BUILDING HT:	45' MAX. / 18.5' ACTUAL
CAR PARKING:	12 REQUIRED / 12 SPACES (INCLUDES 2 ADA) PROVIDED
BICYCLE PARKING:	2 REQUIRED / 2 PROVIDED

DEVELOPMENT PLAN NOTES

LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGN TRIANGLES AND EASMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDINGS PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

SHEET NO.

C-0.0

COVER SHEET
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER
 COLORADO

Galloway

6162 S. Willow Drive, Suite 320
 Greenwood Village, CO 80111
 303.770.8884
 GallowayUS.com

MURPHY OIL USA, INC.

200 PEACH STREET
 EL DORADO, AR 71730

MURPHY
 USA

PARKER AND PINE FILING NO. 1 LOT 2 – SITE PLAN

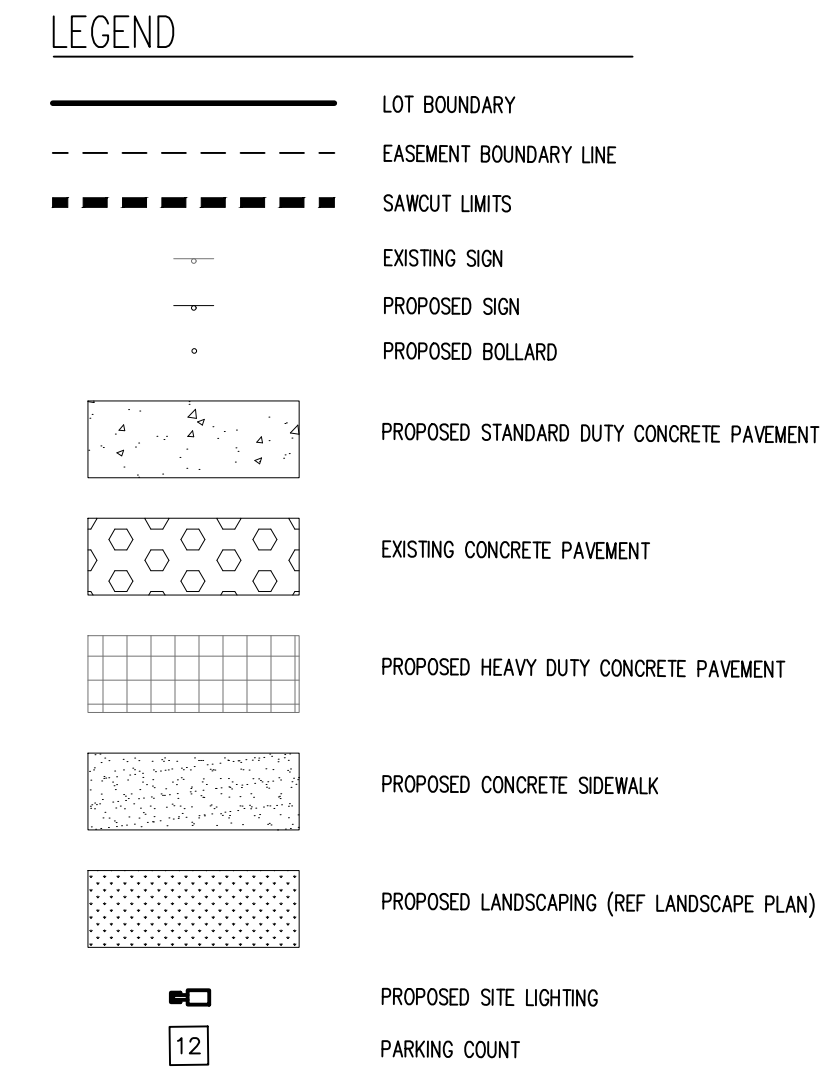
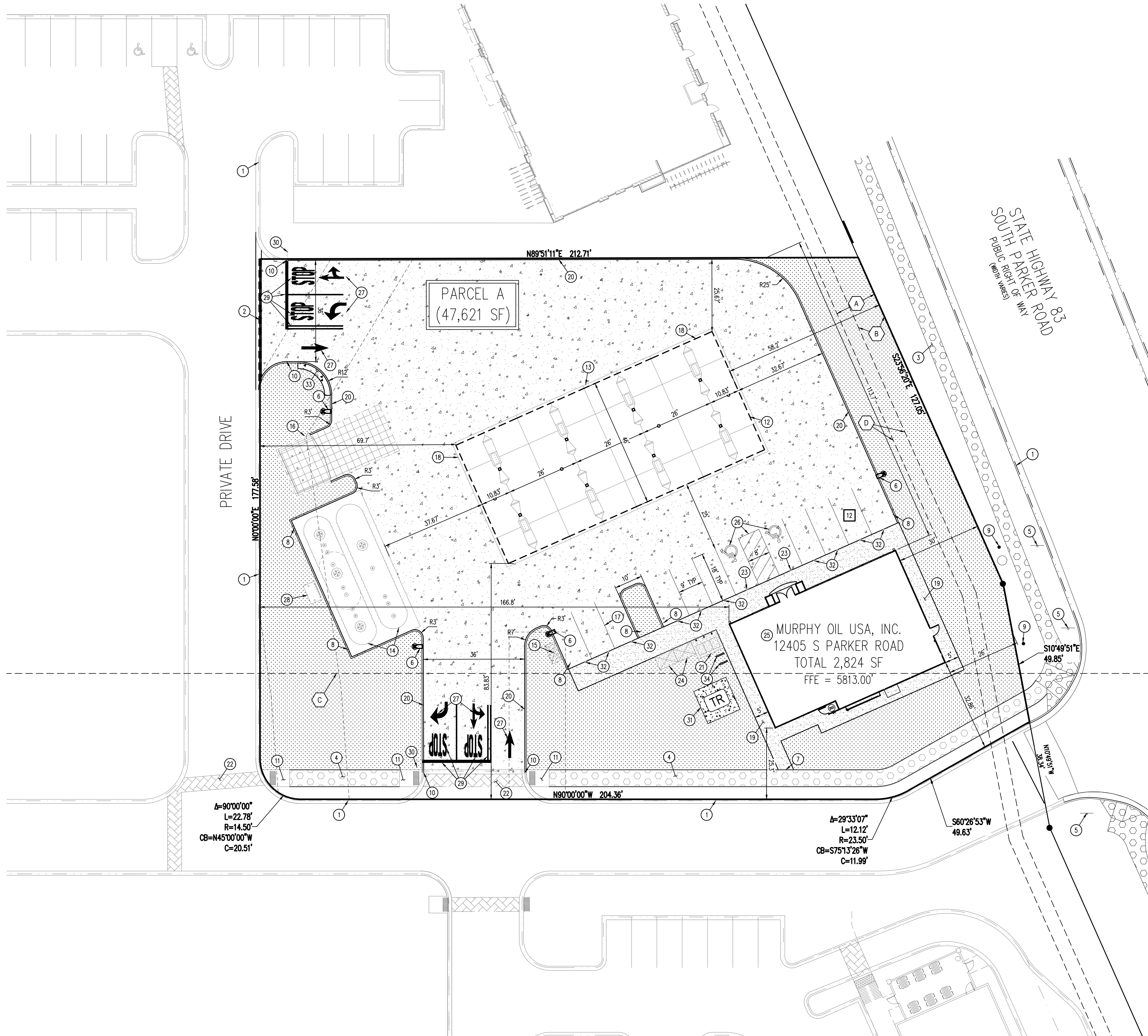
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SITE PLAN



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- EASEMENT SCHEDULE**
- (A) PERMANENT DRAINAGE EASEMENT (REC NO. 2004034896)
 - (B) 10' UTILITY EASEMENT (REC NO. 2004113377)
 - (C) EXCEPTION 12 & EXCEPTION 13 BOUNDARY (APPROXIMATE LOCATION) (BK 1227, PG 2338; BK 1284, PG 1957; BK 1290, PG 1455-1459)
 - (D) ADDITIONAL 5' UTILITY EASEMENT BY DEVELOPER PER REFERRAL SP18-047
- SCHEDULE**
- (1) EXISTING CURB AND GUTTER TO REMAIN
 - (2) SAWCUT EXISTING ASPHALT AT NEW DRIVEWAY ACCESS
 - (3) EXISTING CONCRETE SIDEWALK TO REMAIN
 - (4) PROPOSED AS PART OF MDP CONCRETE SIDEWALK INSTALLED BY DEVELOPER
 - (5) EXISTING SIGN TO REMAIN
 - (6) PROPOSED SITE LIGHT
 - (7) CONNECTION TO EXISTING SIDEWALK
 - (8) CURB TRANSITION
 - (9) EXISTING BOLLARD TO REMAIN
 - (10) PROPOSED CURB TO MATCH EXISTING
 - (11) PROPOSED AS PART OF MDP CONCRETE RAMP INSTALLED BY DEVELOPER
 - (12) PROPOSED OVERHEAD CANOPY
 - (13) EDGE OF CONCRETE SLAB UNDERNEATH THE CANOPY
 - (14) PROPOSED UNDERGROUND STORAGE TANKS
 - (15) PROPOSED AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB
 - (16) PROPOSED 6' TALL TRASH ENCLOSURE
 - (17) PROPOSED PARKING STALL STRIPING
 - (18) PROPOSED PRICE SIGN PER APPROVED ELEVATION
 - (19) PROPOSED SIDEWALK PER MURPHY STANDARDS
 - (20) PROPOSED INTEGRAL CONCRETE CURB
 - (21) PROPOSED 7'X10' CONCRETE SLAB FOR PROPANE TANKS
 - (22) PROPOSED AS PART OF MDP STAMPED CONCRETE CROSSWALK INSTALLED BY DEVELOPER
 - (23) PROPOSED ACCESSIBLE/VAN ACCESSIBLE PARKING SIGN MOUNTED ON BOLLARD
 - (24) PROPOSED 5'X7' CONCRETE PAD (2 TOTAL) FOR ICE UNIT
 - (25) PROPOSED 2,824 SQUARE FOOT MURPHY EXPRESS KIOSK
 - (26) PROPOSED ACCESSIBLE PARKING SYMBOLS AND STRIPING
 - (27) PROPOSED DIRECTIONAL TRAFFIC FLOW ARROW
 - (28) PROPOSED REMOTE TANK VENTS
 - (29) PROPOSED "STOP" BAR, LANE STRIPING, AND "STOP" LETTERING
 - (30) PROPOSED "STOP" SIGN
 - (31) PROPOSED CONCRETE TRANSFORMER PAD
 - (32) PROPOSED SINGLE GUARD POST
 - (33) PROPOSED 2' WIDE CONCRETE BUFFER
 - (34) PROPOSED BICYCLE RACK (2 SPOTS)

BENCHMARK
 ELEVATIONS SHOWN ARE BASED ON CONTROL PROVIDED BY MARTIN & MARTIN. VERTICAL DATUM IS APPROXIMATELY 2.64 FEET BELOW NAVD 88.

SITE BENCHMARKS:
 SITE BENCHMARK #1: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5634.76
 SITE BENCHMARK #2: #5 REBAR WITH 2" ALUMINUM; CAP STAMPED "PLS 36062"; EL = 5640.22

BASIS OF BEARING
 BEARINGS ARE BASED ON A PORTION OF THE EAST LINE OF LOT 1, BLOCK 3, PARKER AUTO PLAZA FILING NO. 1 AND BEING A PORTION OF THE WEST RIGHT OF WAY LINE OF PARKER ROAD, THE SOUTH END OF THE LINE BEING THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 3, MONUMENTED ON THE NORTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 24980 AND ON THE SOUTH END BY A FOUND NO. 4 REBAR RED PLASTIC CAP PLS 23524, AND IS CONSIDERED TO BEAR S23°56'20"E, A DISTANCE OF 553.91 FEET.

CAUTION – NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD, REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

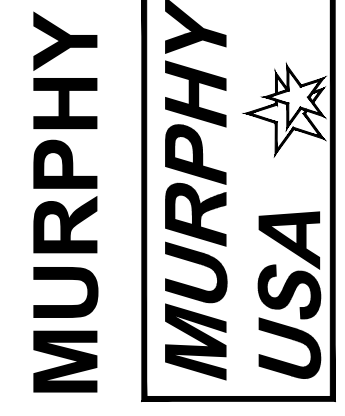
SHEET NO. C-1.1

HORIZONTAL CONTROL PLAN
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO

Galloway
 6162 S. Willow Drive, Suite 320
 Englewood, CO 80111
 303.770.8844
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 200 PEACH STREET
 EL DORADO, AR 71730

MURPHY USA



PARKER AND PINE FILING NO. 1 LOT 2

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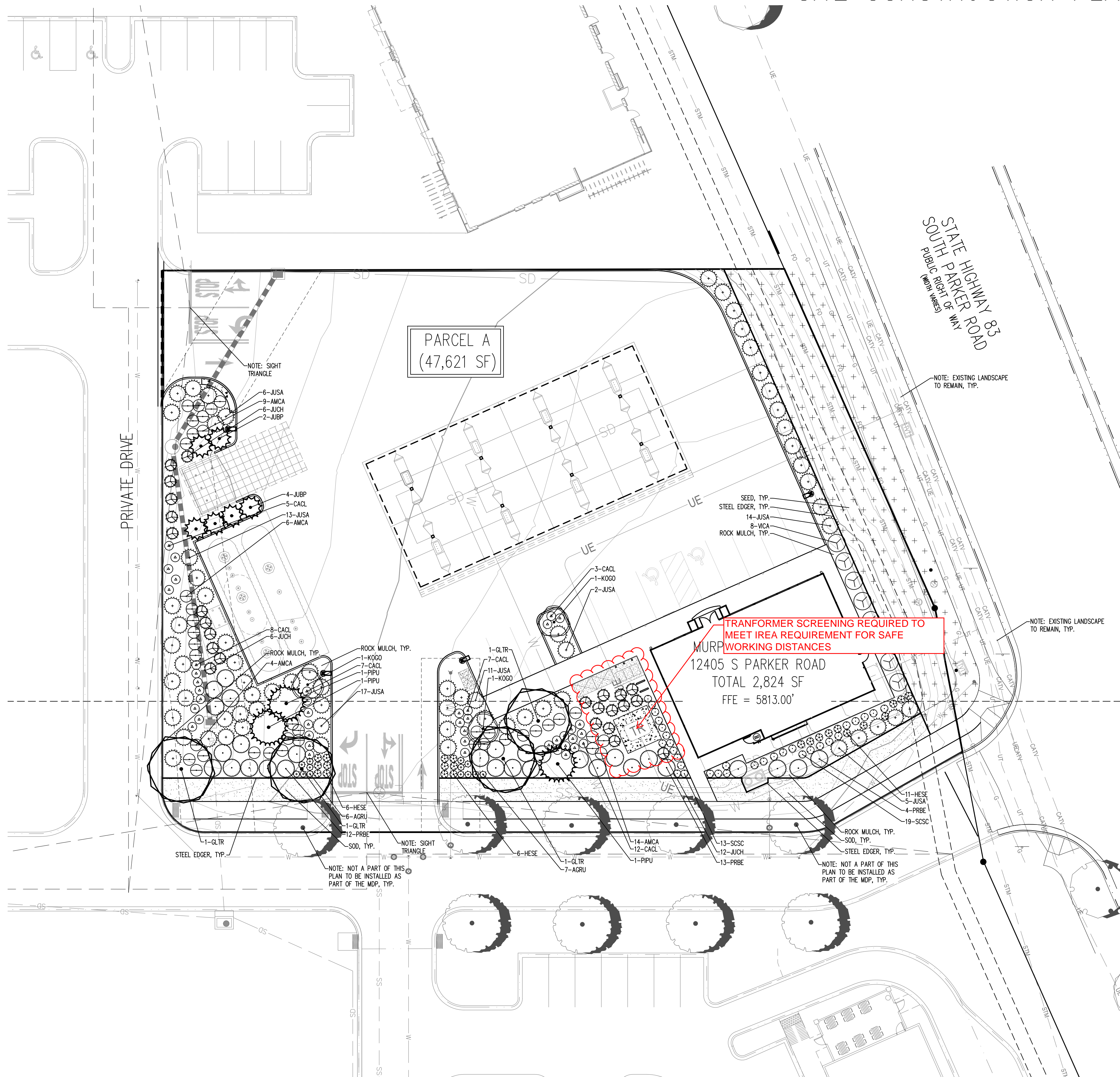
SITE CONSTRUCTION PLANS



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SHEET NO.

L1.1



LANDSCAPE CALCULATIONS

AREAS OF REQUIRED LANDSCAPING	AREA	FORMULA	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
TOTAL REQUIRED LANDSCAPE AREA	55,106 SF	15% MIN. OF TOTAL SITE AREA (8,265 SF TOTAL SITE)	8,265 SF REQUIRED	16,839 SF PROVIDED (30.6X OF TOTAL SITE AREA)
REQUIRED LANDSCAPING	8,265 SF	1 TREE AND 5 SHRUBS PER 1,500 SF OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING	6 TREES 28 SHRUBS	6 TREES 28 SHRUBS
SITE PERIMETER LANDSCAPING		1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE		
WEST PERIMETER	173' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	5 TREES / 22 SHRUBS
SOUTH PERIMETER	218' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	6 TREES / 27 SHRUBS
EAST PERIMETER	176' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	4 TREES 22 SHRUBS	4 TREES / 22 SHRUBS
NORTH PERIMETER	212' LF	1 TREE AND 5 SHRUBS FOR EACH 40 LINEAL FEET OF EDGE	5 TREES 27 SHRUBS	9 TREES / 77 SHRUBS (SHRUBS IN-LEU OF TREES)

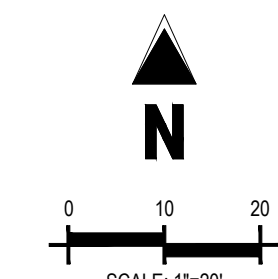
NOTE: MULTIPLE UTILITY CONFLICTS EXIST ON SITE TO ACHIEVE THE SITE PERIMETER LANDSCAPING REQUIREMENT. TREES HAVE BEEN SPREAD OUT ACROSS THE SITE AND SUBSTITUTED FOR SHRUBS TO ACHIEVE THE SITE PERIMETER LANDSCAPING FOR THE EAST PROPERTY LINE.

NOTE: TEN SHRUBS MAY BE SUBSTITUTED FOR ONE TREE. ONE ORNAMENTAL GRASS IN A FIVE-GALLON CONTAINER OR THREE ORNAMENTAL GRASSES IN A ONE-GALLON CONTAINER MAY BE SUBSTITUTED FOR ONE SHRUB

NOTE: STREETSCAPE LANDSCAPING BY MDP.

PLANTING LEGEND

QTY	LEGEND	LEGEND	COMMON NAME	PLANTING SIZE (MINIMUM)	MATURE SIZE (V,L,M,H)	WATER USE	SUN/SHADE
DECIDUOUS TREES							
4	GLTR	QLEDTSIA TRICANTHOS 'INERMIS'	SHADEMASTER HONEYLOCUST	2.5' CAL. B&B	50'X25'	L	SUN
EVERGREEN TREES							
3	PIPU	PICEA PUNGENS 'BAKER'	BAKERI SPRUCE	8' HEIGHT B&B	30X10'	M	SUN
ORNAMENTAL TREES							
3	KOGO	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1.5' CAL. B&B	30'X25'	L	SUN
UPRIGHT JUNIPERS							
6	JUBP	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	#5 CONT. 3' HEIGHT	12'X6'	VL	SUN/PART SHADE
DECIDUOUS SHRUBS							
40	AMCA	AMORPHA CANESCENS	LEADPLANT	#5 CONT. 18-24"	4'X4'	VL	SUN
37	CACL	CARYOPTERIS X CLANDONENSIS	BLUE MIST SPIREA	#5 CONT. 18-24"	3'X3'	VL	SUN
29	PRBE	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5 CONT. 18-24"	18'X6'	VL	SUN
8	VICA	VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	#5 CONT. 18-24"	6'X6'	M	SUN
EVERGREEN SHRUBS							
24	JUCH	JUNIPERUS CHINENSIS 'ARMSTRONG'	ARMSTRONG JUNIPER	#5 CONT. 18-24"	4'X4'	VL	SUN
67	JUSA	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	#5 CONT. 18-24"	12'X6'	VL	SUN/PART SHADE
ORNAMENTAL GRASSES							
23	HESE	HELICOTRICHON SEMPERVIRENS	BLUE AVENA	#3 CONT. 2.5'X2.5'		VL	SUN/PART SHADE
32	SCSC	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#3 CONT. 3'X2'		VL	SUN
PERENNIALS							
13	AGRU	AGASTACHE RUPESTRIS 'SUNSET'	SUNSET HYSSOP	#1 CONT. 30'X24"		VL	SUN
SEED							
4,500 S.F.		TOWN OF PARKER SEED MIX 1	TOWN OF PARKER SEED MIX 1			SEED	L
SOD							
1,770 S.F.		FESCUE SOD	RTF (RHIZOMATOUS TALL FESCUE)			SOD	M
MULCH							
8,260 S.F.		ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS			MULCH	N/A
AS NEEDED		WOOD MULCH	DARK BROWN SHREDDED HARDWOOD MULCH			MULCH	N/A
EDGING							
420 L.F.		STEEL EDGING	BLACK STEEL EDGING. SEE LANDSCAPE NOTES			EDGING	N/A



CAUTION
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.
 CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING
 THEIR LOCATION PRIOR TO CONSTRUCTION.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

REV-0 03/16/2020
 JES PRN PM DES DRW
 LANDSCAPE PLAN
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER COLORADO

Galloway

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MURPHY OIL USA, INC.

200 PEACH STREET
 EL DORADO, AR 71730





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SITE CONSTRUCTION PLANS

SHEET NO.
L1.2

LANDSCAPE DETAILS & NOTES
MURPHY EXPRESS
12405 SOUTH PARKER ROAD
PARKER COLORADO



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MURPHY USA

PLANTING NOTES

- GENERAL**
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLAN QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBTURATED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRING CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION**
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PROVIDED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT

- FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
 - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- PLANTING**
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE GUED AND WOOD STAKED AS PER DETAILS. NO "I-STAKES" SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
 - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, I.E., MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING**
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL

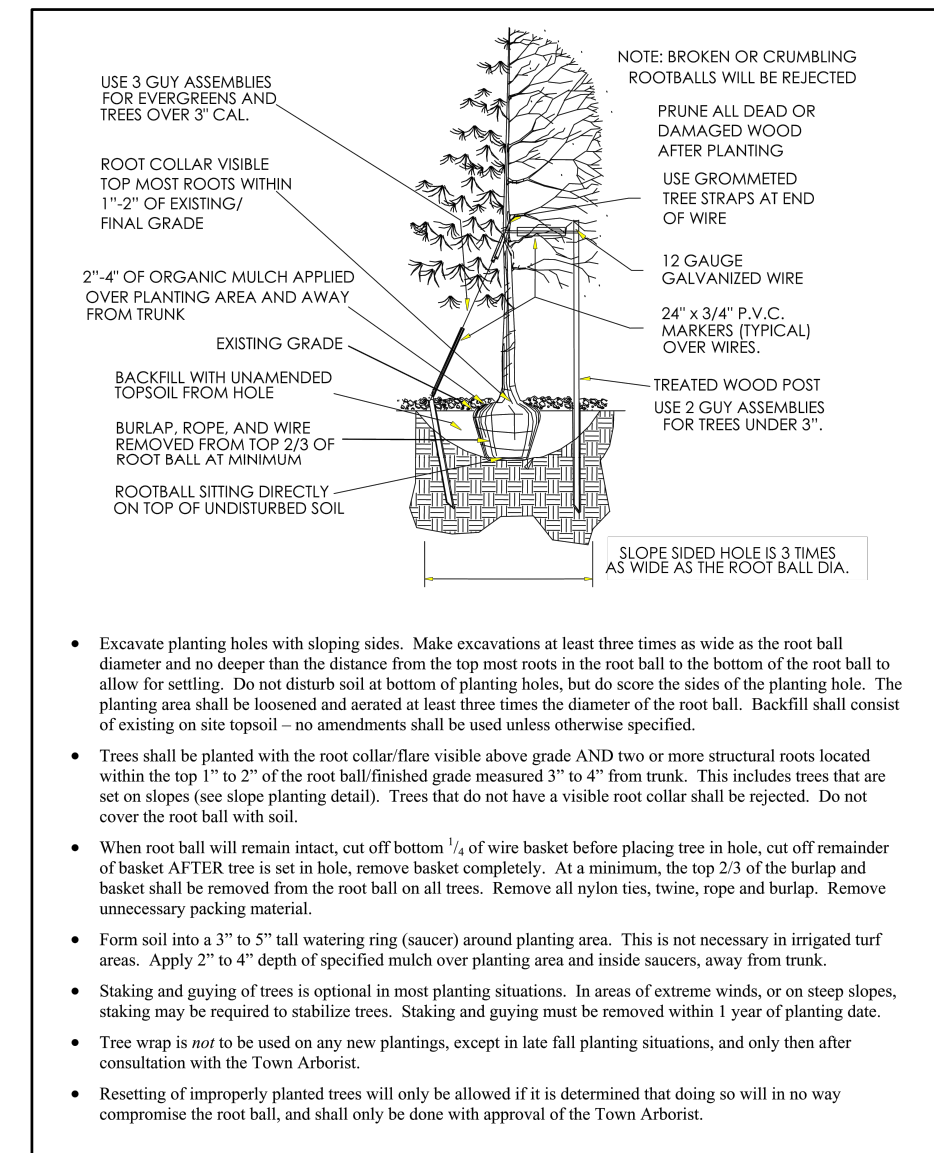
- IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS, WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL DEWIT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

SEED NOTES

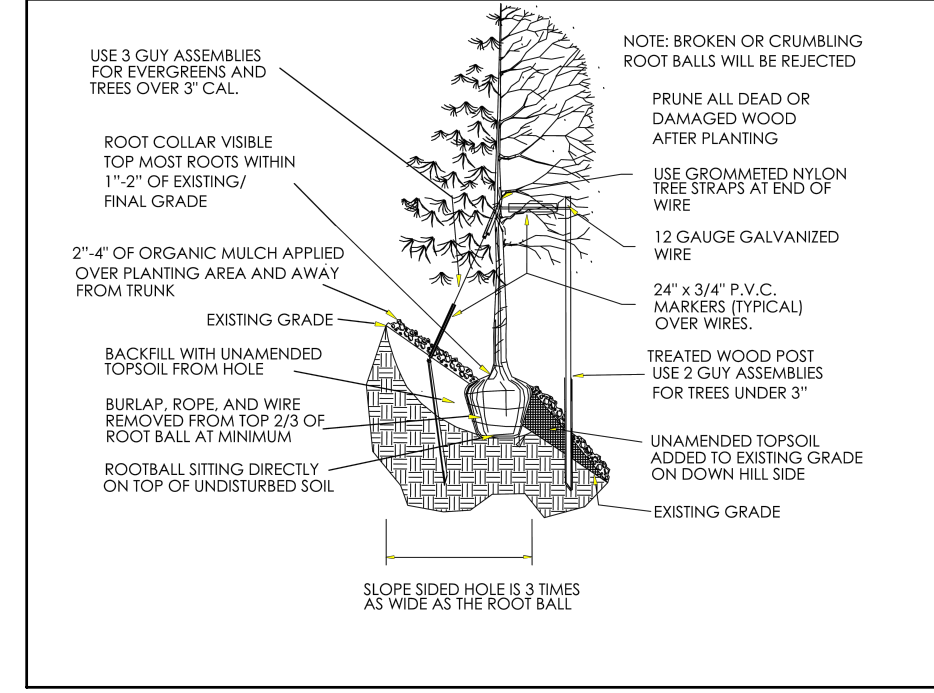
- ALL SEED MIXES AVAILABLE THROUGH:
WESTERN NATIVE SEED COMPANY
P.O. BOX 198
COALDALE, CO 81222
(719) 942-3835
 - DRYLAND SEED MIXES ARE AVAILABLE AS FOLLOWS:
50%-FOOTHILLS GRASS MIX*, 50%-XERISCAPE WILDOLOWER MIX*
 - ALL SEED APPLICATIONS SHALL BE DRILL SEEDED, WITH HYDROSLURRY APPLIED OVER THE SEED BED AFTER SEEDING. THE SLURRY MIX SHALL CONTAIN THE FOLLOWING:
- | | LSB.1,000 SF |
|-----------------------------|--------------|
| WOOD FIBER MULCH | 46 |
| 15-15-15 ORGANIC FERTILIZER | 9 |
| ORGANIC BINDER | 4 |

SEED ESTABLISHMENT NOTES

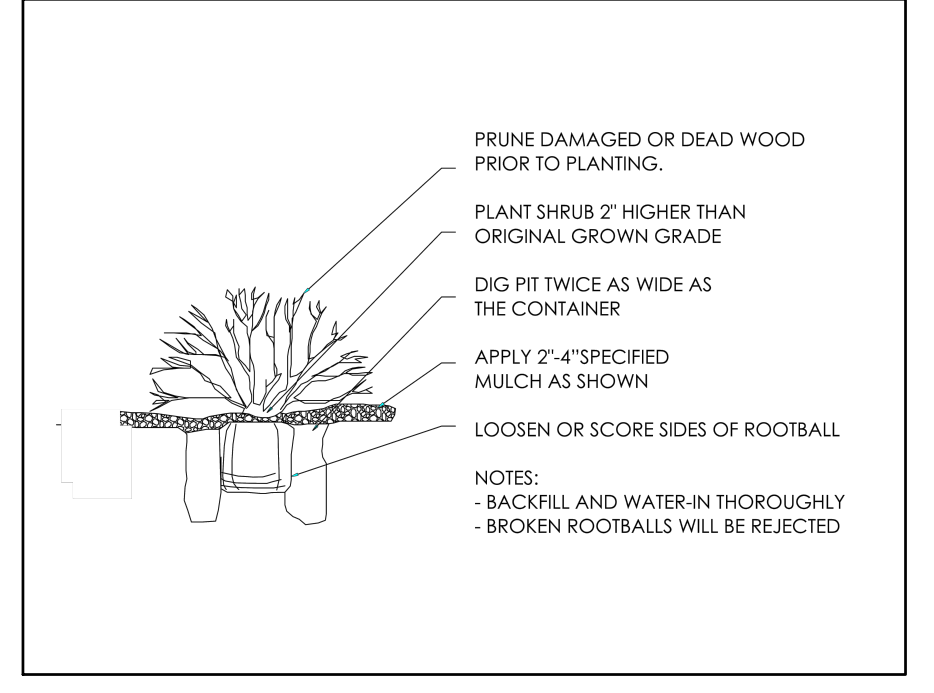
- THE LANDSCAPE CONTRACTOR SHALL SEED ALL NATIVE SEED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS. SOIL PREPARATION MEASURES IN AREAS TO BE SEEDED SHALL BE COMPLETED PRIOR TO SEEDING.
- FOR PROPER ESTABLISHMENT, SEED SHALL BE INSTALLED WHEN AT LEAST THREE MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN THREE MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES, AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS AND ENSURE TIMELY CLOSOUT. THESE MEASURES MAY INCLUDE, AT THE OWNER'S OPTION, RESEEDING OF SPARSELY GERMINATED AREAS AND/OR INSTALLATION OF SOU IN ALL SEEDED AREAS.



1 TREE PLANTING DETAIL
SCALE: NOT TO SCALE



2 TREE PLANTING DETAIL SLOPES
SCALE: NOT TO SCALE



3 SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOU/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOU, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AGRATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

CAUTION:
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS.
CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING
THEIR LOCATION PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY OR CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE



PARKER AND PINE FILING NO. 1 LOT 2

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

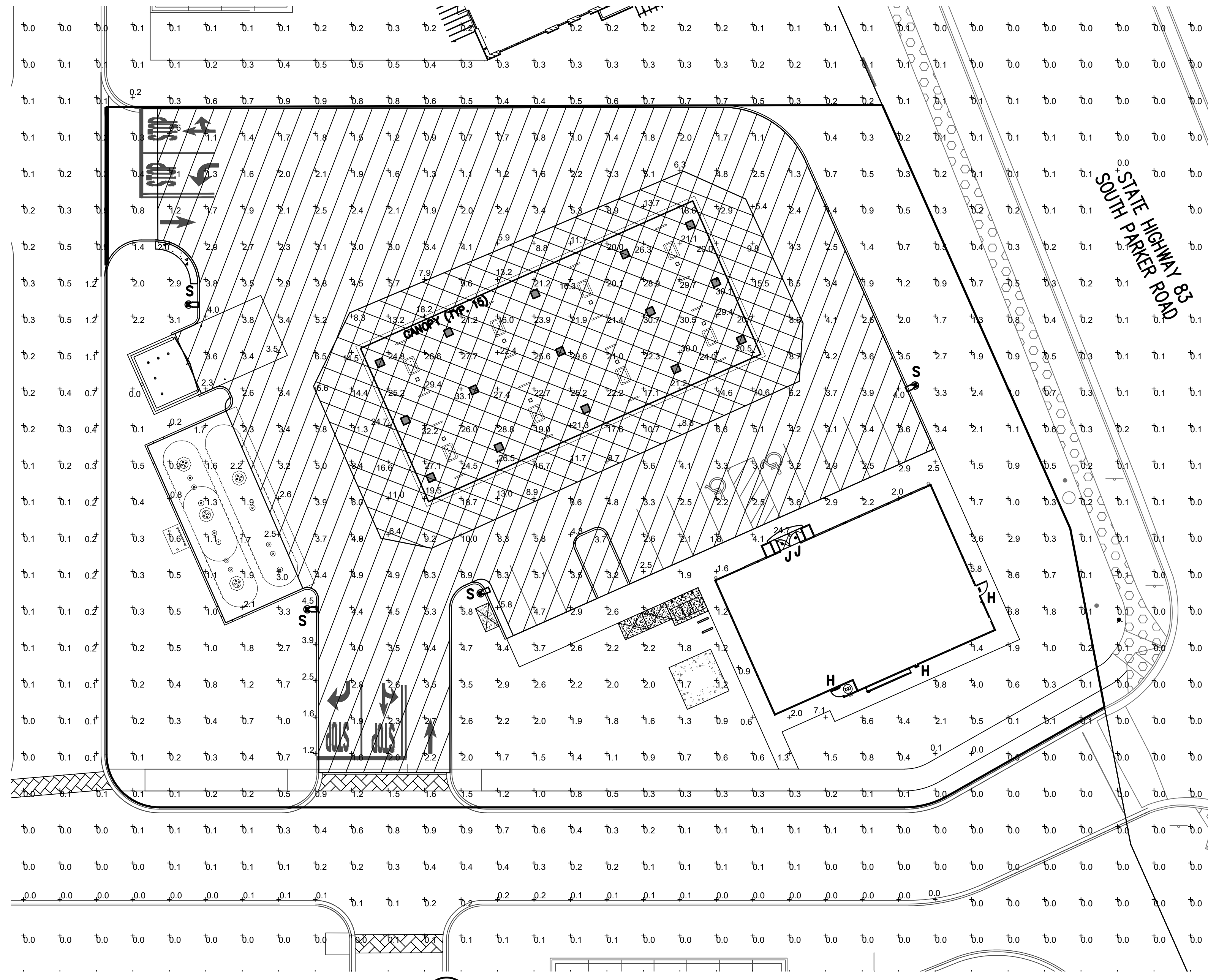
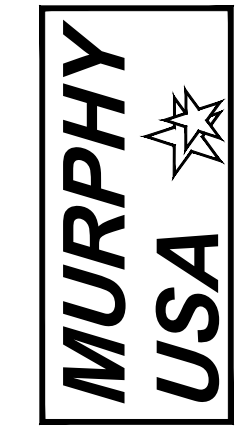
SITE CONSTRUCTION PLANS

SHEET NO. C-3.5

PHOTOMETRIC PLAN
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO

Galloway
 6162 S. Willow Drive, Suite 320
 Denver, CO 80111
 303.770.8844
 GallowayUS.com

MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730



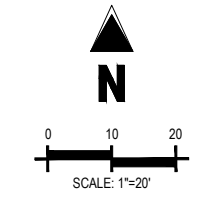
1 PHOTOMETRIC SITE PLAN
 SCALE: 1"=20'-0"

LUMINAIRE SCHEDULE							
SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION
S	4	26'-0"	24'-0"	19664	149	SLM-18L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K, 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW
CANOPY	15	15'-0"	N/A	12949	114	CRUS-SC-LED-SS-40-UE-WHT	LSI LIGHTING, LEGACY SERIES, SUPER SAVER DRIVER, 4000K, FLAT LENS CANOPY FIXTURE
H	3	8'-1"	N/A	4109	42	XSPWA03MCUS-UZK	CREE LIGHTING, XSP WALL MOUNT LUMINAIRE, 5700K CCT,
J	2	8'-8"	N/A	1800	20	LR6-18L-35K-120V-A-DR W/LT6A	CREE LIGHTING, LR-6 DOWN LIGHT LUMINAIRE, 3500K CCT, 1800 LUMENS, 120V, 3,500K CCT, FULLY RECESSED ENTRY LIGHTS WITH HOUSING RC6-12W-GU24

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
 ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.
 ALL FIXTURES ARE FULL CUT-OFF FIXTURES

POLE SCHEDULE			
SYMBOL	QTY	POLE HEIGHT	DESCRIPTION
S	4	24'-0"	4SQB3-S11G-24-S-BRZ-4BC

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
 POLES RATED TO 130 MPH WIND VELOCITY



CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-6" FROM BACK OF CURB TO CENTER OF POLE/BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS.

TOWN OF PARKER NOTE:

ALL FIXTURES ARE TO COMPLY WITH THE FULL SHIELDING REQUIREMENT OF THE TOWN OF PARKER LAND DEVELOPMENT CODE (13.10.140(C)(11)).

NOTES:

PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.

THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.

ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.

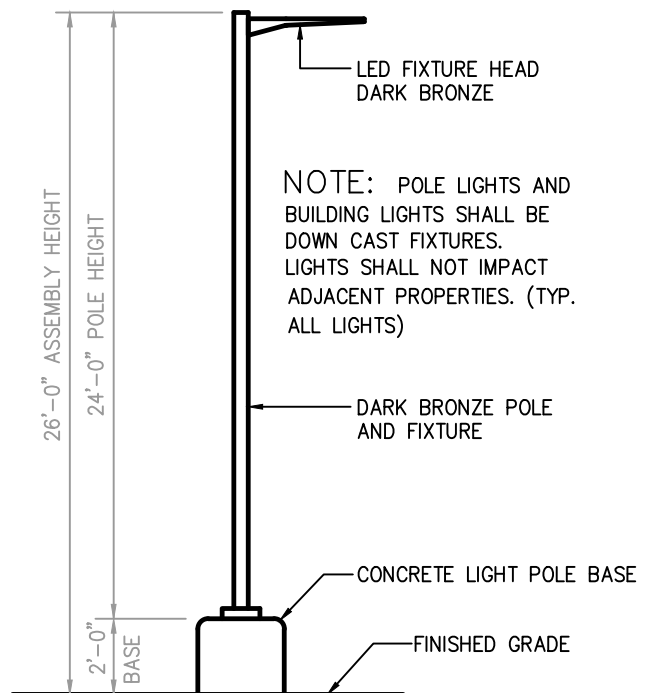
THE 26'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.

THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

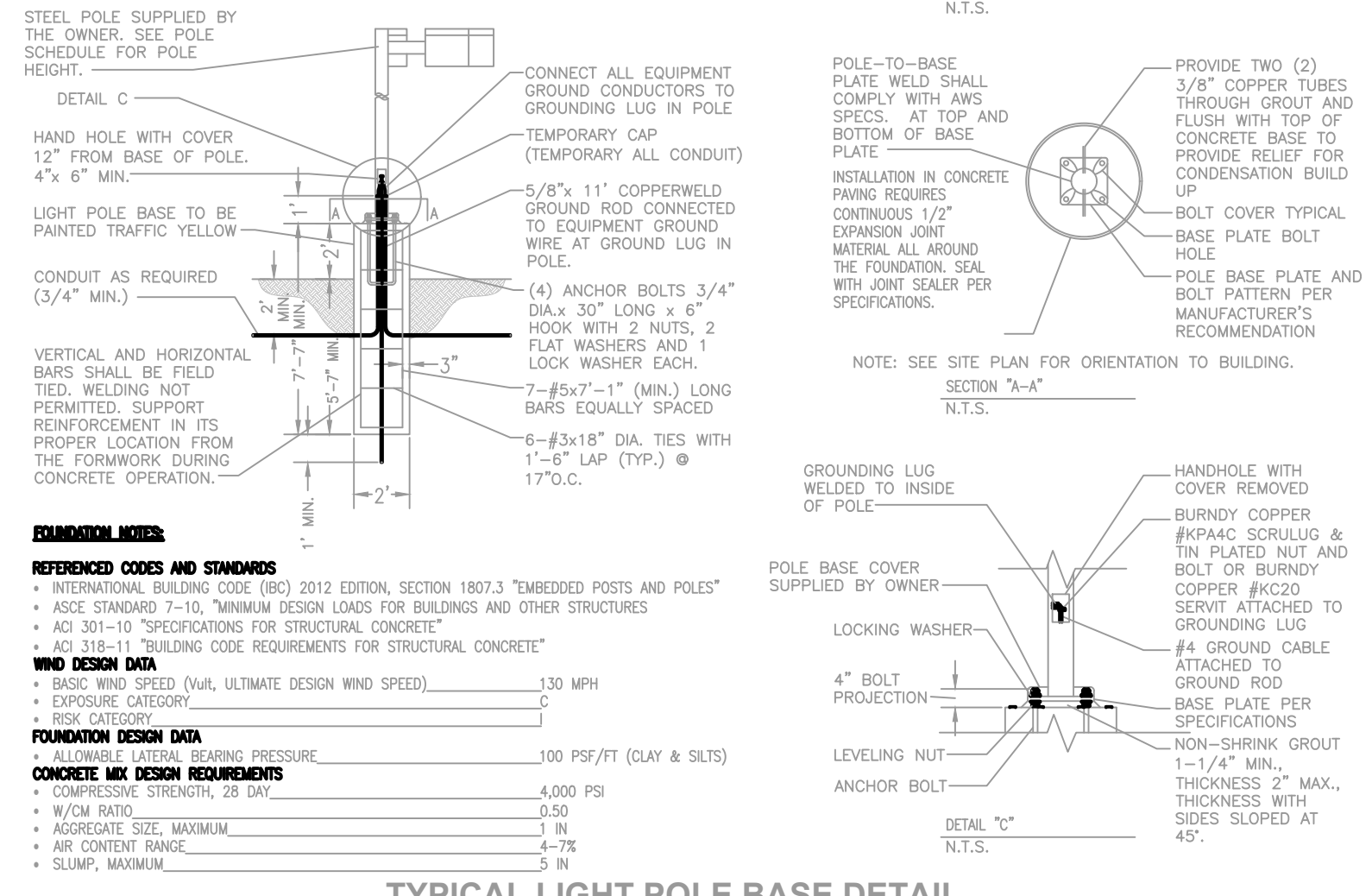
CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
INVENTORY AND GENERAL PARKING	FC	3.22	8.9	1.1	2.93 to 1	8.09 to 1
PRINCIPAL DISPLAY	FC	19.07	33.1	6.4	2.98 to 1	5.17 to 1

PRINCIPAL DISPLAY = 8,344 sf WHICH IS 17.5% OF TOTAL ILLUMINATED SITE AREA (47,621 sf)



2 AREA LIGHT DETAIL
 SCALE: NOT TO SCALE



TYPICAL LIGHT POLE BASE DETAIL
 NOT TO SCALE

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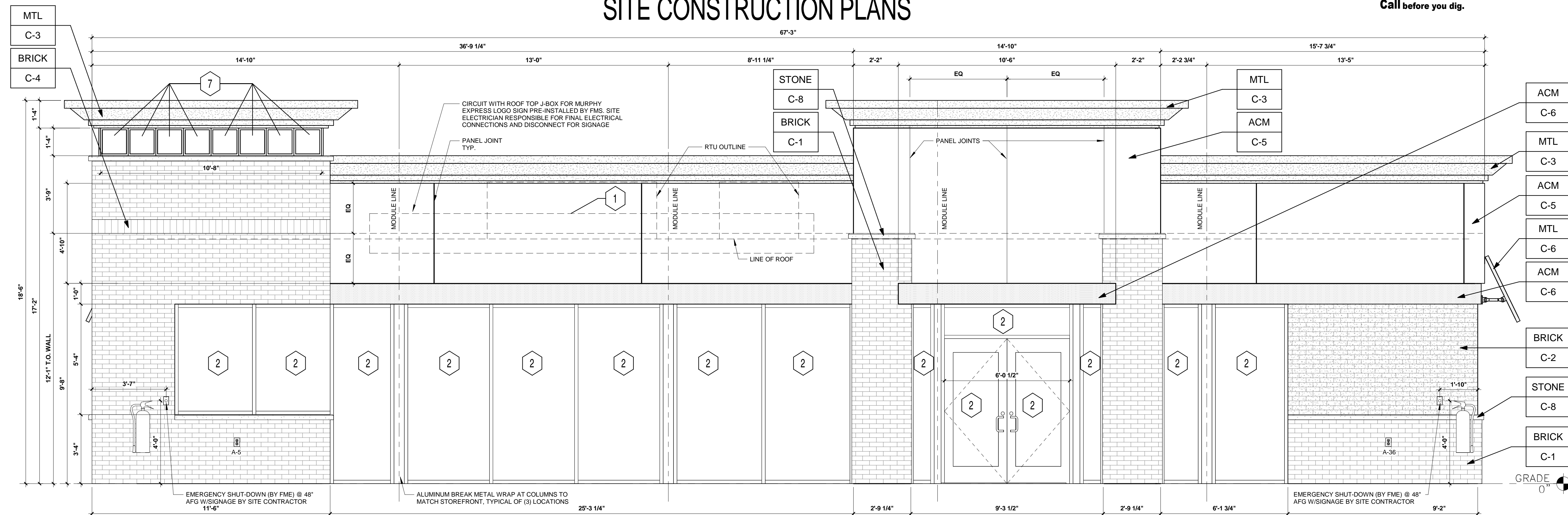
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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



1 FRONT ELEVATION (NORTH WEST)
 3/8" = 1'-0"

FRONT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	278	40%	69%

RIGHT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
246	75	25%	31%

KEYED NOTES:

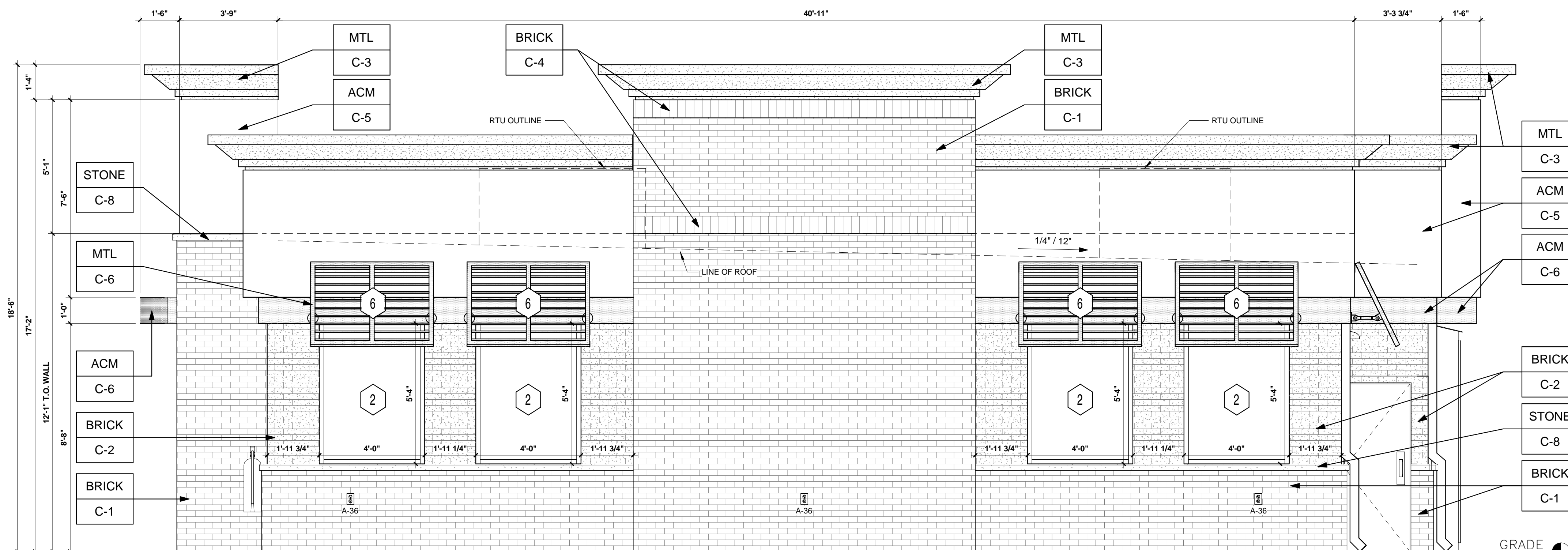
- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 METAL AWNING BY FMS
- 7 FAUX WINDOWS BY FMS

EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-3 DORMER BROWN SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDEN GREY COLOR GROUT BY FMS
- C-5 'GRECIAN IVORY' SW #7541 BY FMS
- C-6 'PROGRAM RED' BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS



2 RIGHT ELEVATION (SOUTH WEST)
 3/8" = 1'-0"

SHEET NO.
A1.1

ARCHITECTURAL ELEVATIONS (BUILDING)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER
 COLORADO

Galloway
 6162 S. Willow Drive, Suite 200
 Greenwood Village, CO 80111
 303.770.8884
 GallowayUS.com

MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

MURPHY USA



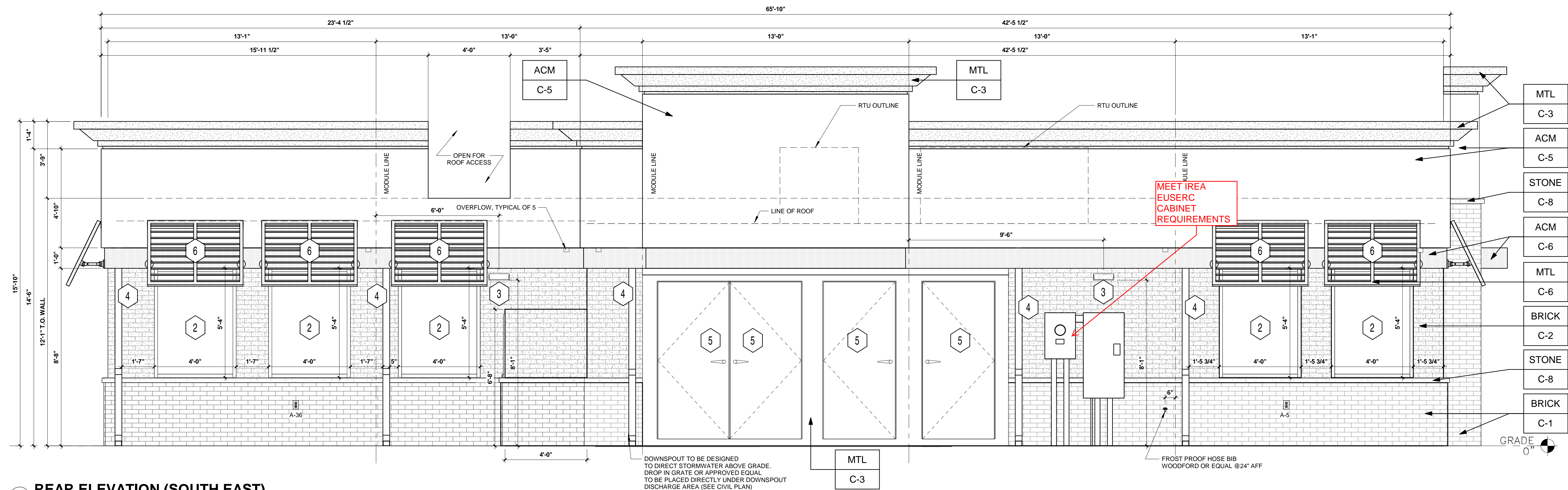
MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

SITE CONSTRUCTION PLANS



SHEET NO.
A1.2



3 REAR ELEVATION (SOUTH EAST)
3/8" = 1'-0"

REAR ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
402	93	40%	23%

LEFT ELEVATION			
AREA OF FACADE (BETWEEN 2'-0" TO 8'-0")	AREA OF FENESTRATION (SQFT)	REQUIRED FENESTRATION (%)	PROVIDED FENESTRATION (%)
279	112	40%	40%

KEYED NOTES:

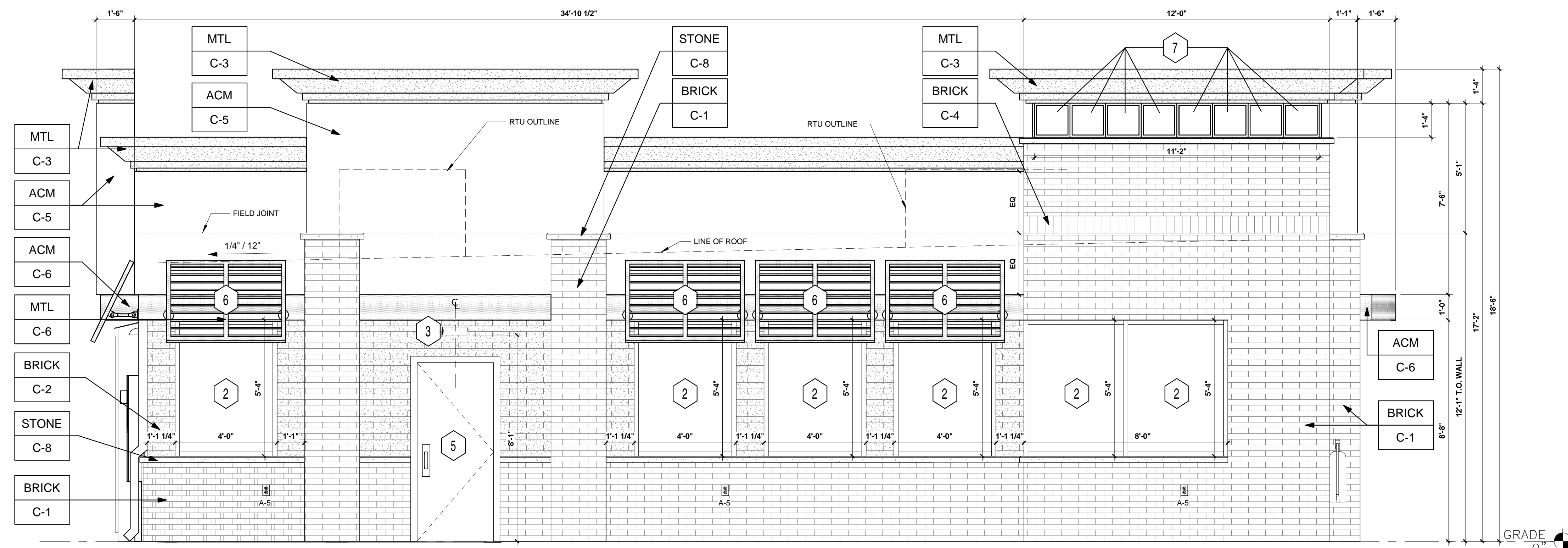
- 1 ROUTED LETTER LOGO SIGNAGE BY FMS
- 2 BLACK ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL C-7
- 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN SHEET EL2
- 4 4" x 4" PAINTED METAL DOWNSPOUTS C-3
- 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED C-3
- 6 METAL AWNING BY FMS
- 7 FAUX WINDOWS BY FMS

EXTERIOR FINISHES:

- ACM ACM (3MM THICKNESS) BY FMS
- BRICK THIN BRICK BY FMS
- MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) BY FMS
- STONE STONE SILL BY FMS

EXTERIOR PAINT/COLORS:

- C-1 THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-2 THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-3 DORMER BROWN SW #7521 BY FMS
- C-4 THIN BRICK VENEER SOLDIER COURSE - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT BY FMS
- C-5 'GRECIAN IVORY' SW #7541 BY FMS
- C-6 'PROGRAM RED' BY ALPOLIC BY FMS
- C-7 BLACK ALUMINUM STOREFRONT BY FMS
- C-8 STONE SILL - CONCRETE GRAY CAP BY FMS



4 LEFT ELEVATION (NORTH EAST)
3/8" = 1'-0"

ARCHITECTURAL ELEVATIONS (BUILDING)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER, COLORADO



MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

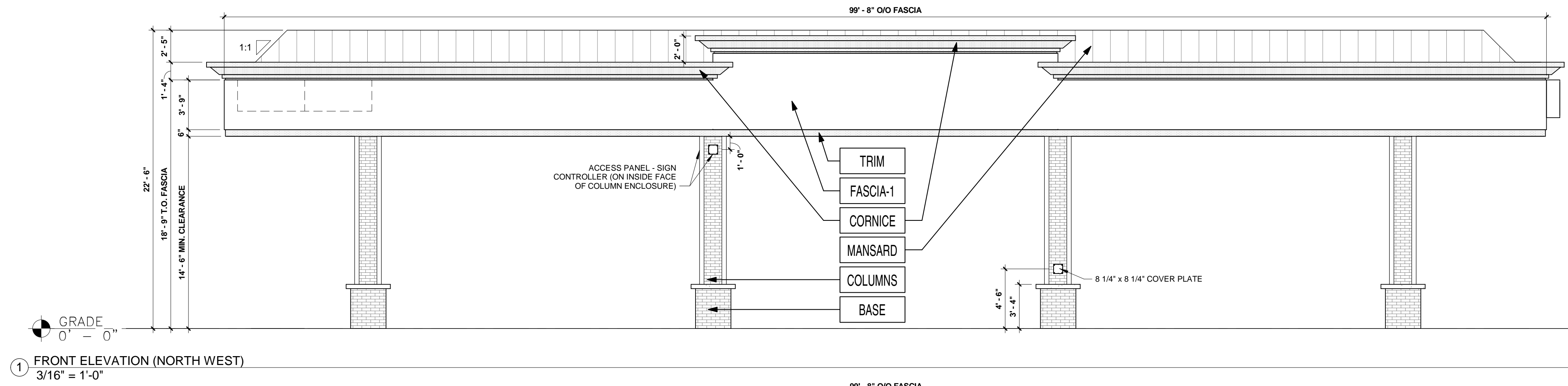
MURPHY USA



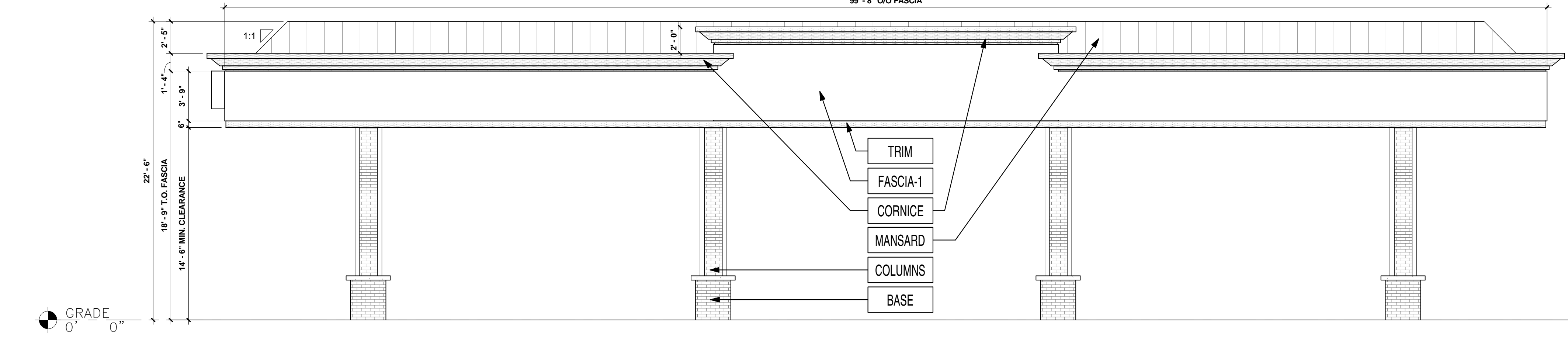
MURPHY OIL USA, INC.

A PORTION OF LOT 1, BLOCK 3 PARKER AUTO PLAZA FILING NO. 1
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, DOUGLAS COUNTY, STATE OF COLORADO

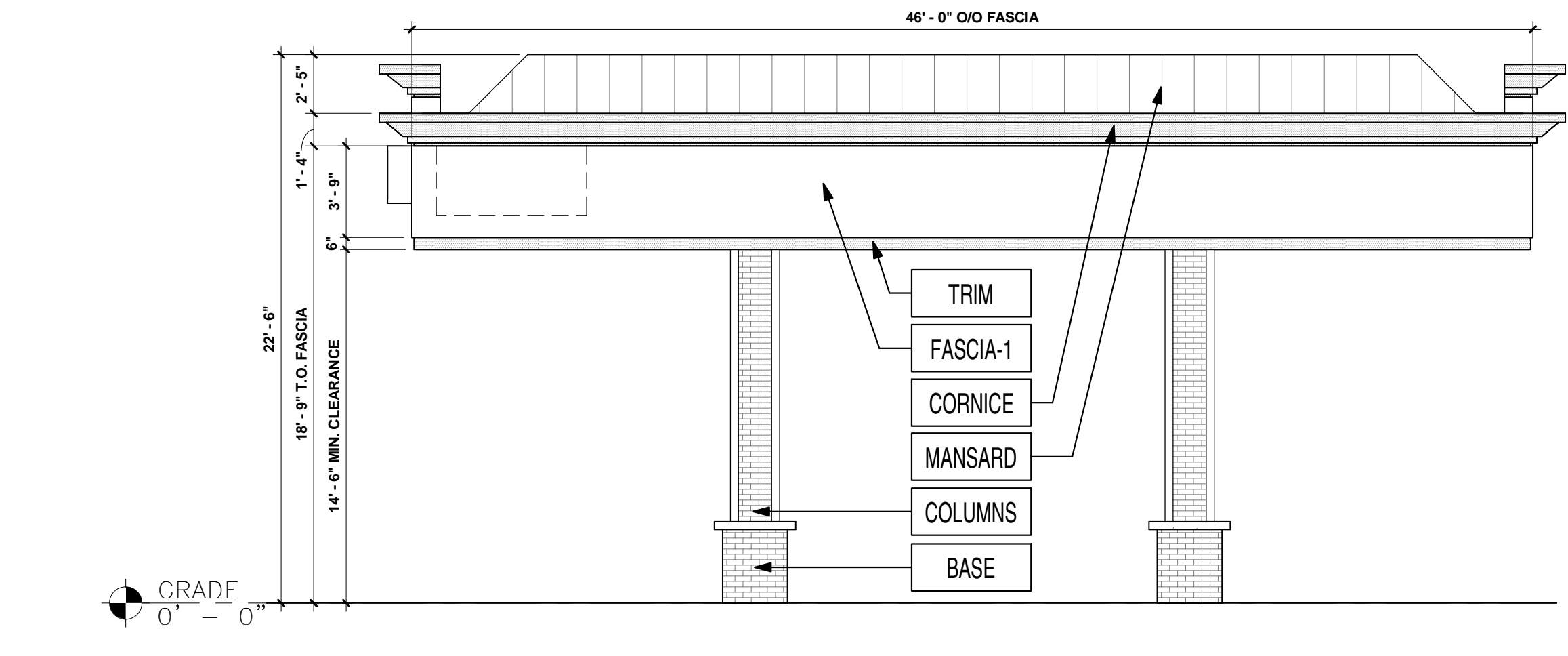
SITE CONSTRUCTION PLANS



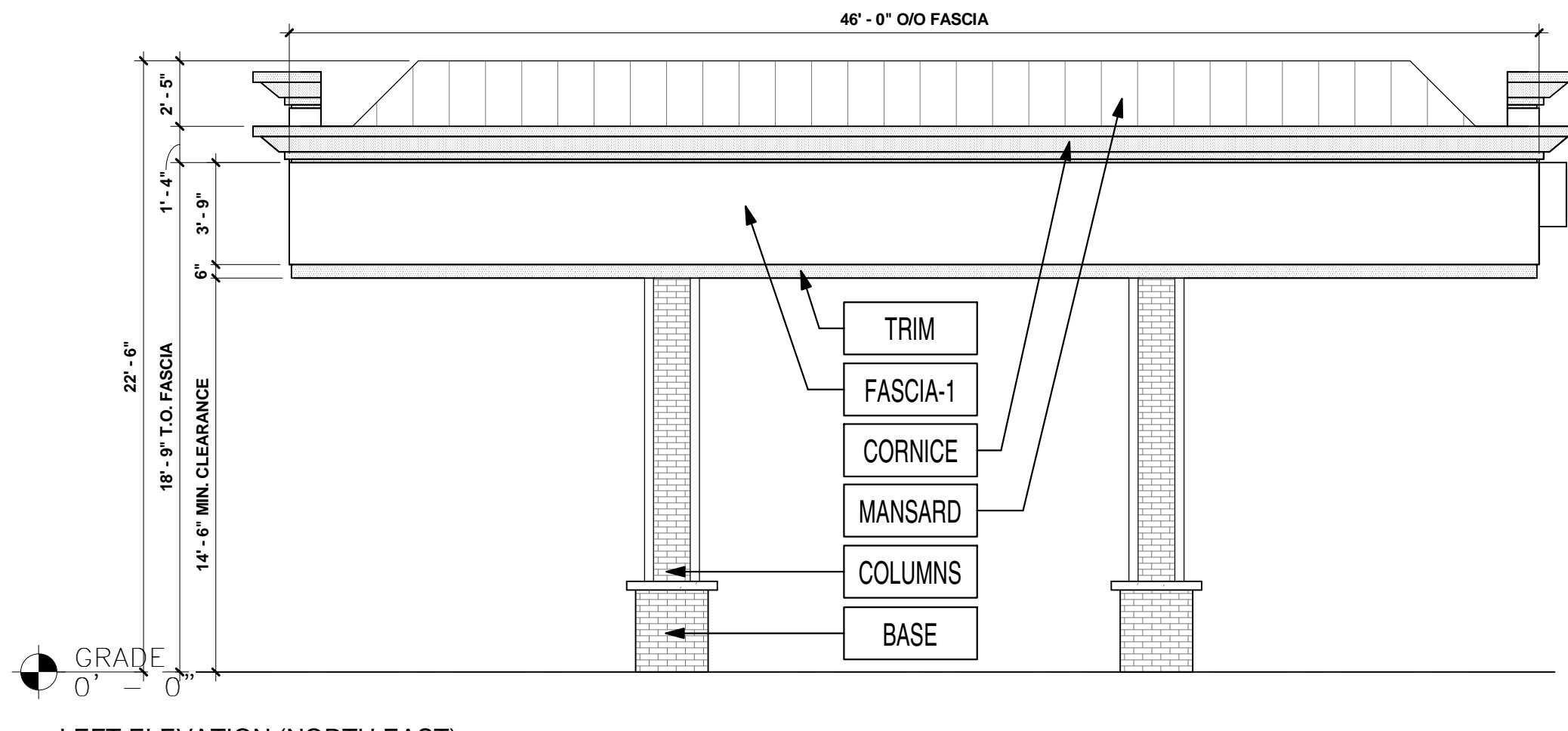
1 FRONT ELEVATION (NORTH WEST)
3/16" = 1'-0"



2 REAR ELEVATION (SOUTH EAST)
3/16" = 1'-0"



3 RIGHT ELEVATION (SOUTH WEST)
3/16" = 1'-0"



4 LEFT ELEVATION (NORTH EAST)
3/16" = 1'-0"

FINISH SCHEDULE		
FASCIA-1	ACM (ALUMINUM COMPOSITE MATERIAL) ACM FASCIA - 'GRECIAN IVORY' SW #7541	FURNISHED & INSTALLED BY FMS
TRIM	20 GA. SHEET METAL 6" HT PRE-FINISHED METAL ACCENT BAND 'PROGRAM RED' BY ALPOLIC	FURNISHED & INSTALLED BY FMS
COLUMNS	THIN BRICK VENEER 'EMPIRE IVORY VELOUR' BY CAROLINA CERAMICS	FURNISHED & INSTALLED BY FMS
BASE	THIN BRICK VENEER 'LIGHT SANDSTONE VELOUR' BY ENDICOTT	FURNISHED & INSTALLED BY FMS
CORNICE	ACM (ALUMINUM COMPOSITE MATERIAL) PAINTED 'PROGRAM RED' BY ALPOLIC	FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD
MANSARD	20 GA. SHEET METAL (STANDING SEAM) PAINTED 'DORMER BROWN' SW #7521	FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD

SHEET NO. **A1.3**

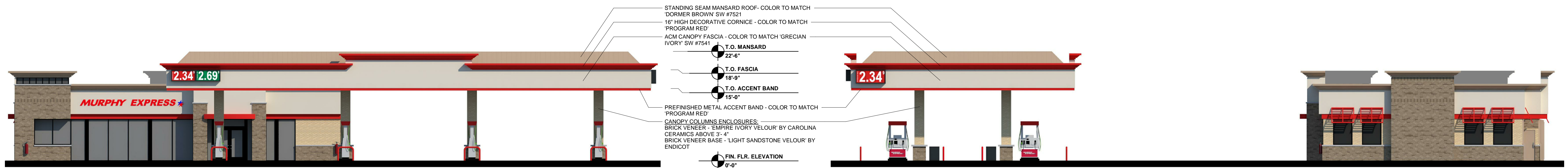
ARCHITECTURAL ELEVATIONS (CANOPY)
 MURPHY EXPRESS
 12405 SOUTH PARKER ROAD
 PARKER COLORADO

Galloway
 6162 S. Willow, Suite 300
 Greenwood Village, CO 80111
 303.770.8884
 GallowayUS.com

MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730

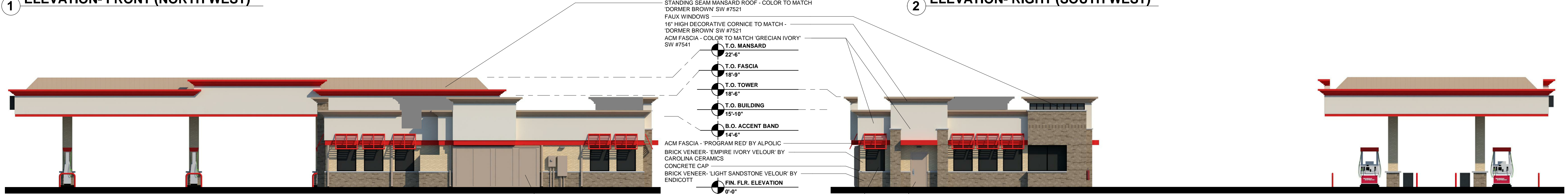
MURPHY USA





1 ELEVATION- FRONT (NORTH WEST)

2 ELEVATION- RIGHT (SOUTH WEST)

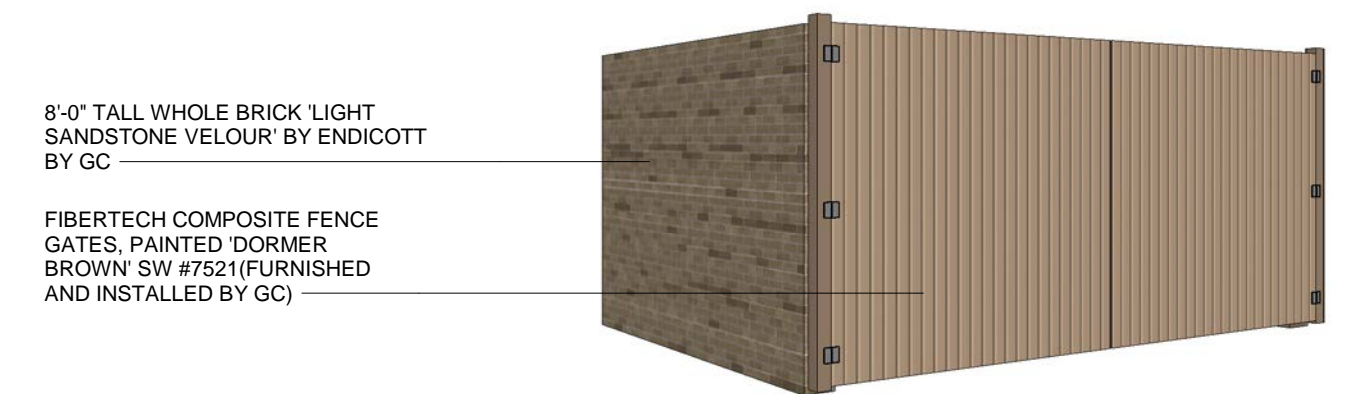


3 ELEVATION- REAR (SOUTH EAST)

4 ELEVATION- LEFT (NORTH EAST)

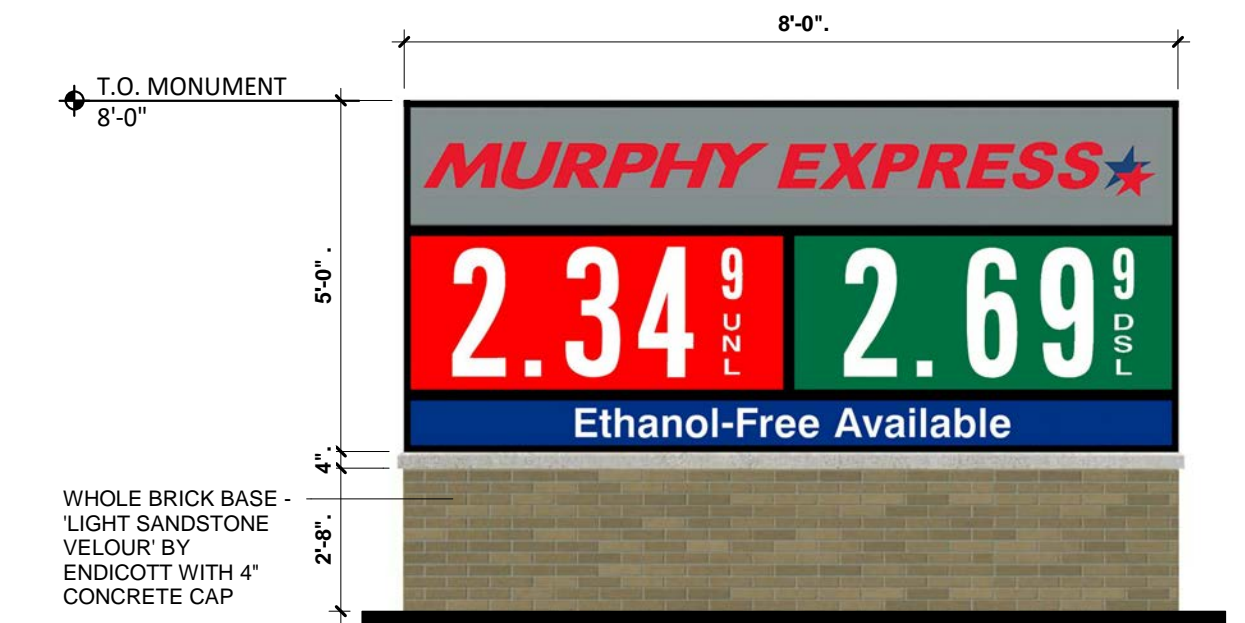


5 ELEVATION- FRONT BUILDING ONLY (NORTH WEST)



8'-0" TALL WHOLE BRICK 'LIGHT SANDSTONE VELOUR' BY ENDICOTT BY GC
 FIBERTECH COMPOSITE FENCE GATES, PAINTED 'DORMER BROWN' SW #7521 (FURNISHED AND INSTALLED BY GC)

6 TRASH ENCLOSURE



7 MONUMENT SIGN

SIGN	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY EXPRESS BLDG. LOGO SIGN	1			27.71	27.71
COMBINED EXTRA SMALL CANOPY PRICE SIGN (UNL / DSL)	1	28.25'	121.50'	23.84	23.84
SMALL CANOPY PRICE SIGN (UNL)	1	34.13'	74.00'	17.54	17.54
				TOTAL:	69.09 S.F.
MONUMENT SIGN:					
LOGO / UNL / DSL / ETHANOL-FREE AVAILABLE	1	80.00'	96.00'	40.00	40.00
				TOTAL:	40.00 S.F.