



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Chris Mueller, EES Inc.
Rick Stucy, Trail Star Development LLC

FROM: Mary Munekata, Senior Planner

DATE: September 4, 2020

SUBJECT: Parker and Pine Filing 1, Lot 3 – Slim Chickens Site Plan
Review Comments 01

Listed below are the Planning Division's comments related to your land use application. All comments must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. If needed, a follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT:

CASE PLANNER: Mary Munekata
EMAIL: mmunekata@parkeronline.org
PHONE: 303.805.3337

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at: [Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance \(LDO\)](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. **Please respond in detail to each of the requests in this comment letter.**
Redline comments: please respond to those comments by clouding each change with a brief description/title on your next submittal set.
6. **Final Plans** submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set**. The approved Site Plan is NOT conceptual and will be considered final.

General Comments:

1. Please reference the redlines in eTrakit for additional comments/clarification.

Comment Addressed: Yes No

Response:

Comments in eTrakit have been referenced and addressed in the submittal package.

Site Design – Sheet C1.0:

NOTE: Site design generally follows the *Parker and Pine Preliminary Site Plan (SP-18-047)* as the framework for development in this subdivision. Some comments herein reference the preliminary site plan.

1. The Preliminary Site Plan states the eastern sidewalk adjacent to Parker Road shall be 8’ in width. Please revise site plan to reflect an 8’ meandering sidewalk and turf grass (sod) for visual interest throughout this area. This same comment was provided to the Lot 2 applicant to the north. (See also Landscaping comment #2, third sentence).

Comment Addressed: Yes No

Response:

The Master Developer is going to install a straight walk. We have reflected this on C1.0.

2. The Town’s Development Design Standards require sidewalks located on any building side with a public entrance, to be a minimum of 10’ in width & span the entire length of the building. Please revise the site plan’s west elevation to reflect a 10’ sidewalk width.

Comment Addressed: Yes No

Response:

The sidewalk along the southwest side of the building has been widened to be 10’ along the entire length of the building. This is shown on C1.0.

3. All rooftop or ground-mounted mechanicals are to be depicted on the site plan (& Building Elevations). Please revise the site plan to show all mechanicals and how they will be screened. Include dimensions.

Comment Addressed: Yes No

Response:

Outlines of mechanical equipment have been added to C1.0, P4.0, P4.1. Dimensions are shown on the elevations P4.0, P4.1.

4. Please provide actual setbacks from building to property line – on all elevations as requested on the redlined site plan exhibit.

Comment Addressed: Yes No

Response:

Dimensions have been added from the outer building walls to the property lines on C1.0.

NOTE: See the Site Plan redlines for additional comments. Please respond to all for tracking purposes.

Landscaping – Sheets L1, L2):

1. Staff cannot determine the accuracy of provided landscape calculations as there are not dimensions or square footage on the site plan or landscape plan. Please provide area square footage and linear footage dimensions for staff to verify calculations and required landscaping.

Complied: Yes No

Response:

Areas and Dimensions have been added to L-1.

2. The Parker Road frontage is a highly visual frontage & corner and enhanced landscaping is required as a part of the approved master landscape plan. Please see redlines for snip of the required NE corner per the master landscape plan. Also, understanding that the eastern property line consists of multiple utility easements, however, a meandering traditional turf grass should be added to the back of the sidewalk along with additional quality shrub beds. This comment aligns with the additional landscaping requested for the lot to the north.

Complied: Yes No

Response:

The plants from the approved master landscape plans have been added at the corner, and incorporated into the legend. However, there is no physical space for a meandering turf border along the east, as the shrubs required for the islands take up the available planting area. Sheet L-1.

NOTE: See the Landscape Plan redlines for additional comments. Please respond to all for tracking purposes.

Lighting – Sheets P5.0, P5.1):

1. Please provide manufacturers cut sheets for proposed lighting. Clearly state the proposed fixtures, max illuminance, height and color. Confirm compliance with section 13.10.140 of the Land Development Ordinance – Lighting Standards. See redlines for further comments on photometric plan.

Complied: Yes No

Response:

Additional information has been added to the plans to align with redlines. P5.0, P5.1.

Parking:

Staff has no comment at this time.

Building Elevations:

1. All rooftop/RTUs or ground-mounted mechanicals must be shown on the building elevations (& site plan) and how they will be screened. Please revise the building elevations to show all mechanicals including dimensions and callout of materials and colors.

Complied: Yes No

Response:

Dashed outlines of mechanical equipment have been added to all elevations. P4.0, P4.1.

2. A materials sample board is required with the initial submittal. Material boards should be no larger than 9" W x 12" H and can be dropped off at Town Hall. Please provide with the next submittal (#2). **Further Planning review comments may be provided to applicant after receipt and review of actual materials.**

Comment Addressed: Yes No

Response:

Sample board will be sent to the City the week of 1-4-2021.

3. The colored building elevations need to depict the exact color and materials, or as closely as possible. Please revise to reflect called-out material colors.

Comment Addressed: Yes No

Response:

No revisions necessary. Exact material are depicted as closely as possible to depict exact color and materials. Refer to color board submitted with this round.

NOTE: See the Site Plan redlines for additional comments. Please respond to all for tracking purposes. Please reference and address all redlines on the Site Plan 2 and Building Elevations/Colored Building Elevations exhibits for additional comments and/or clarifications.

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review in eTrakit:

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

All outside agency comments have been noted and addressed in the submittal package.

Property Owner

Date

Chris Mueller PE NCEES

1-5-2021

Project Representative

Date



18 December 2020

Chris Mueller, PE, NCEES
EES
501 S. Cherry Street, Suite 300
Glendale, CO 80246

Subject: Slim Chicken's, Parker – Landscape Comments, 9/4/2020

Mr. Mueller:

In response to city comments and redlines dated 9/4/2020, we have the following responses:

Comment letter:

- 1) Landscaping comment 1: dimensions have been added.
- 2) Landscaping comment 2: the plants from the approved master landscape plans have been added at the corner, and incorporated into the legend. However, there is no physical space for a meandering turf border along the east, as the shrubs required for the islands take up the available planting area.

Plan redlines:

- 1) Notes and signature blocks have been updated as requested.
- 2) Spacing for *Pinus aristata* has been added.
- 3) In conjunction with the requests for a) more visual interest along the drive-through lane, and b) a reduction in *Juniperus 'Old Gold'*, many of them have been replaced with *Hypericum 'Sunburst'*, and *Hypericum* groups have been added along the drive-through lane.
- 4) We have left the quantity of *Rhus 'Gro-Low'* along the drive-through lane intact. There is sufficient visual interest along the lane, and *Rhus* is an excellent erosion control plant. Further, the mass of *Rhus* in this context provides a backdrop for the accent plants throughout the area. Finally, the site overall has a very diverse plant palette. As such, there is no need to randomly add another species in that area.
- 5) The overall quantity of landscape area provided in the calculations does not include streetscape area. Separate streetscape calculations have been added as requested.
- 6) An additional tree has been added to the northern frontage area.

Please feel free to call with questions.

Sincerely,

Lawrance M. Lesser, PLA, LEED AP, ISA Certified Arborist

EXTERIOR FINISH LEGEND (X-X)

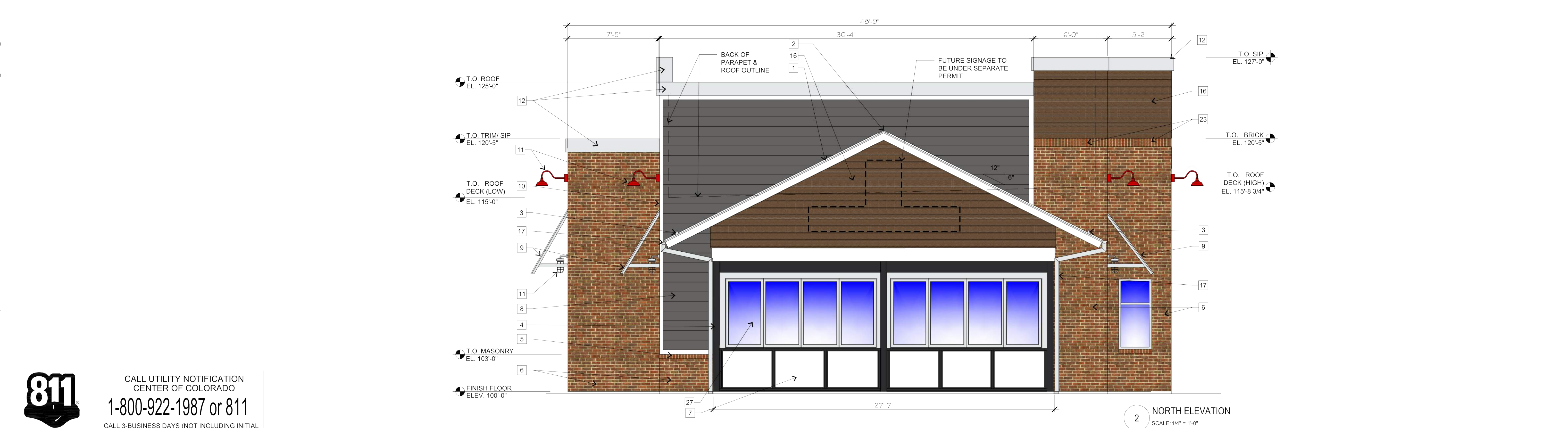
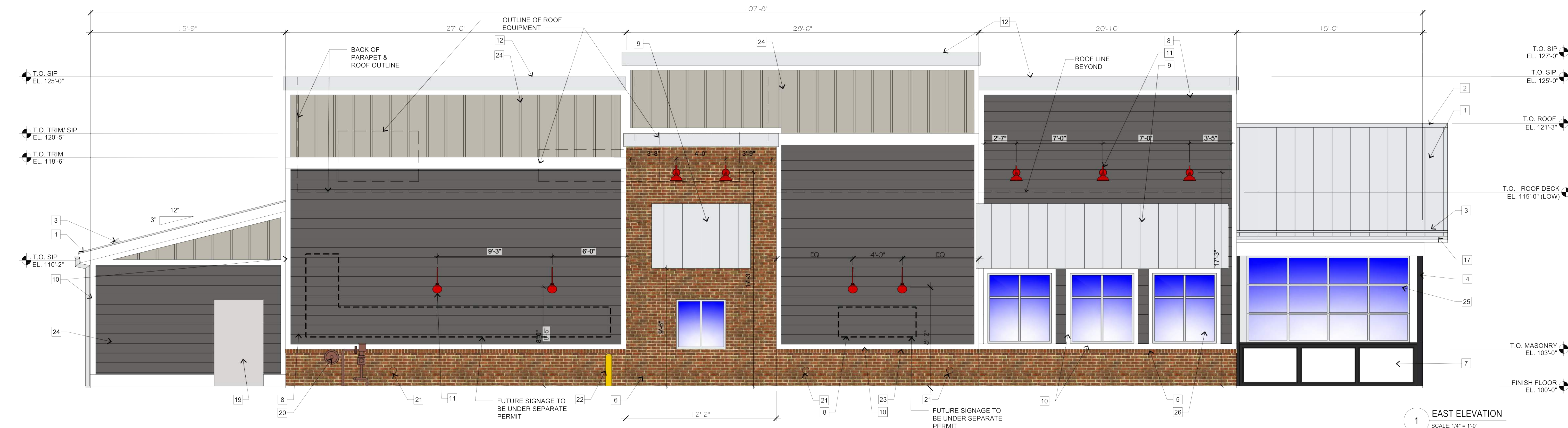
KEY	MATERIAL	MANUFACTURER	FINISH/STYLE	SPECIFICATIONS	LOCATION	MATERIAL NOTES
BR-1	BRICK	GENERAL SHALE	WATERTON	RUNNING BOND - ROWLOCK SILL WEATHERED WOOD	EXTERIOR WALLS PATIO SIGNAGE / DUMPSTER ENCLOSURE	ALTERNATE: HEBRON - BELLTOWER 1" GAPS BETWEEN BOARDS - FASTENED PER MFR RECOMMENDATIONS
CD-1	COMPOSITE DECKING BOARDS	ENVISION	2" X 6" NOMINAL BOARDS W/ SQUARE EDGES	---	BACK OF HOUSE AWNINGS AND PATIO ROOF	PROVIDE MANUFACTURERS STANDARD PVC CORNER GUARDS. INSTALL ABOVE BASE.
FRP-1	FIBERGLASS REINFORCED PANEL	MARLITE OR APPROVED EQUAL	P100 WHITE	---	---	---
MT-1	GALVALUME R-PANELS	METAL SALES MANUFACTURING CORP.	CLEAR	26 GAUGE .05" GAUGE	---	---
MT-2	PRE-FINISHED METAL COPING	FIRESTONE	UNA-CLAD / CLEAR ANODIZED KYNAR 500 FINISH	---	---	---
MT-3	GALVALUME COPING	METAL SALES MANUFACTURING CORP.	CLEAR	---	COPINGS AT DUMPSTER ENCLOSURE	---
MT-4	PRE-FINISHED METAL COPING	FIRESTONE	UNA-EDGE DE / CLEAR ANODIZED KYNAR 500 FINISH	.05" GAUGE	COPINGS AT DRIVE-THRU	---
P-1	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	SW 7005 - PURE WHITE	EXTERIOR FIBER CEMENT BOARD TRIM	---
P-2	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	---	EXTERIOR WOOD / FIBER CEMENT LAP SIDING / DUMPSTER ENCLOSURE STEEL POSTS AND CMU	---
P-4	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	---	---	---
P-5	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	BASE: TINT 50%	EXTERIOR WOOD / FIBER CEMENT LAP SIDING	---
P-5	PRIMER	SHERWIN WILLIAMS	LOXON BLOCK SURFACER	BASE: TINT 50%	DUMPSTER ENCLOSURE CMU	---
P-5	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE: TINT 50%	DUMPSTER ENCLOSURE STEEL POSTS	---
P-5	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC / ULTRADEEP / SEMI-GLOSS	SW 6258 - TRICORN BLACK	HM DOORS & FRAMES	---
P-5	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE: TINT 50%	---	---
P-6	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC / SAFETY YELLOW / GLOSS	SW 4084 - SAFETY YELLOW	BOLLARDS	---
P-6	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE: TINT 50%	---	---
P-7	PAINT	SHERWIN WILLIAMS	SATIN	MATCH SW THUNDER AF-685	FIBER CEMENT BOARD & BATTEN SIDING	---
P-8	PAINT	SHERWIN WILLIAMS	SATIN	MATCH BM 1183 SEMINOLE BROWN	GAS METER	---

KEY NOTES (X)

- FOR SHEETS A2.1 & A2.2
- R-PANEL METAL ROOF (MT-1)
 - RIDGE CAP
 - CONTINUOUS ALUMINUM SNOW GUARD
 - STEEL POST, RE: STRUCT
 - ROWLOCK BRICK SILL
 - BRICK - RUNNING BOND (BR-1)
 - NON-ILLUMINATED FROSTED TRANSLUCENT PANEL
 - FIBER CEMENT BOARD LAP SIDING (P-4)
 - METAL AWNING (MT-1)
 - FIBER CEMENT BOARD TRIM, TYP (P-1)
 - EXTERIOR LIGHTING FIXTURE, RE: ELECTRICAL
 - PREFINISHED METAL COPING (MT-2)
 - KNOX BOX
 - FIRE DEPARTMENT CONNECTION
 - WALL MOUNTED TV'S ABOVE WINDOWS RE: SPECS
 - COMPOSITE DECKING BOARD (CD-1)
 - 5" HALF ROUND GALVANIZED METAL GUTTER & 4" ROUND DOWNSPOUTS TYP.
 - HOLLOW METAL DOOR AND FRAME, PAINT (P-5)
 - ELECTRIC PANELS (P-4)
 - GAS METER (P-8)
 - ROOF DRAIN OUTLET, RE: ROOF PLAN
 - BOLLARDS, RE: CIVIL (P-6)
 - SOLDIER BRICK (BR-1)
 - FIBER CEMENT BOARD & BATTEN SIDING (P-7)
 - O.H. DOOR, RE: SCHEDULE
 - ALUMINUM STOREFRONT
 - BI-FOLD WINDOWS

GENERAL NOTES

- SIGNAGE COMPANY TO PERMIT THE LARGEST POSSIBLE SIGNAGE. COORDINATE WITH AHJ.
- FINISH NOTES**
- ANY/ ALL MATERIAL OR COLOR SUBSTITUTIONS MUST BE APPROVED BY TOWN PRIOR TO CONSTRUCTION
 - FORMULA FOR P-4:
1 GALLON FORMULA (TO MATCH HC-168 CHELSEA GRAY)
B1 - 18
N1 - 11
R2 - 1
Y3 - 7
W1 - 2Y
 - ALL CAULK/SEALANT USED IN PROJECT TO EXHIBIT COLOR THAT MATCHES ADJACENT FINISHES.



P:\SLIM CHICKENS\31902 - SLC PARKER (PARKER & PINE)\HISTORY\01 SITE PLAN SUBMITTALS\2020-12-29 SITE SUBMITTALS\A4.0 EXTERIOR ELEVATIONS.DWG

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CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

NO.	REVISION	DATE
1.	1st SDP SUBMITTAL	6/19/2020
2.	2nd SDP SUBMITTAL	12/22/2020

EES
ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7997 www.ees-us.com

Life Changing Chickens
SLIM CHICKENS
Chicken Tenders - Buffalo Wings - Sandwiches - Wraps

SITE PLAN
SLIM CHICKENS
501 S PARKER ROAD AND E PINE LANE, PARKER, CO 80134
BUILDING ELEVATIONS

PROJECT NO: TSD003.01
DESIGNED BY: BH
DRAWN BY: TS
DATE: 12/02/2020

P4.0

EXTERIOR FINISH LEGEND (X-X)

KEY	MATERIAL	MANUFACTURER	FINISH/STYLE	SPECIFICATIONS	LOCATION	MATERIAL NOTES
BR-1	BRICK	GENERAL SHALE	WATERTON	RUNNING BOND - ROWLOCK SILL	EXTERIOR WALLS	ALTERNATE: HEBRON - BELLTOWER
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P-4	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	SEE FINISH NOTE 2	---	---
P-5	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	BASE: TINT 50%	EXTERIOR WOOD / FIBER CEMENT LAP SIDING	---
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GENERAL NOTES

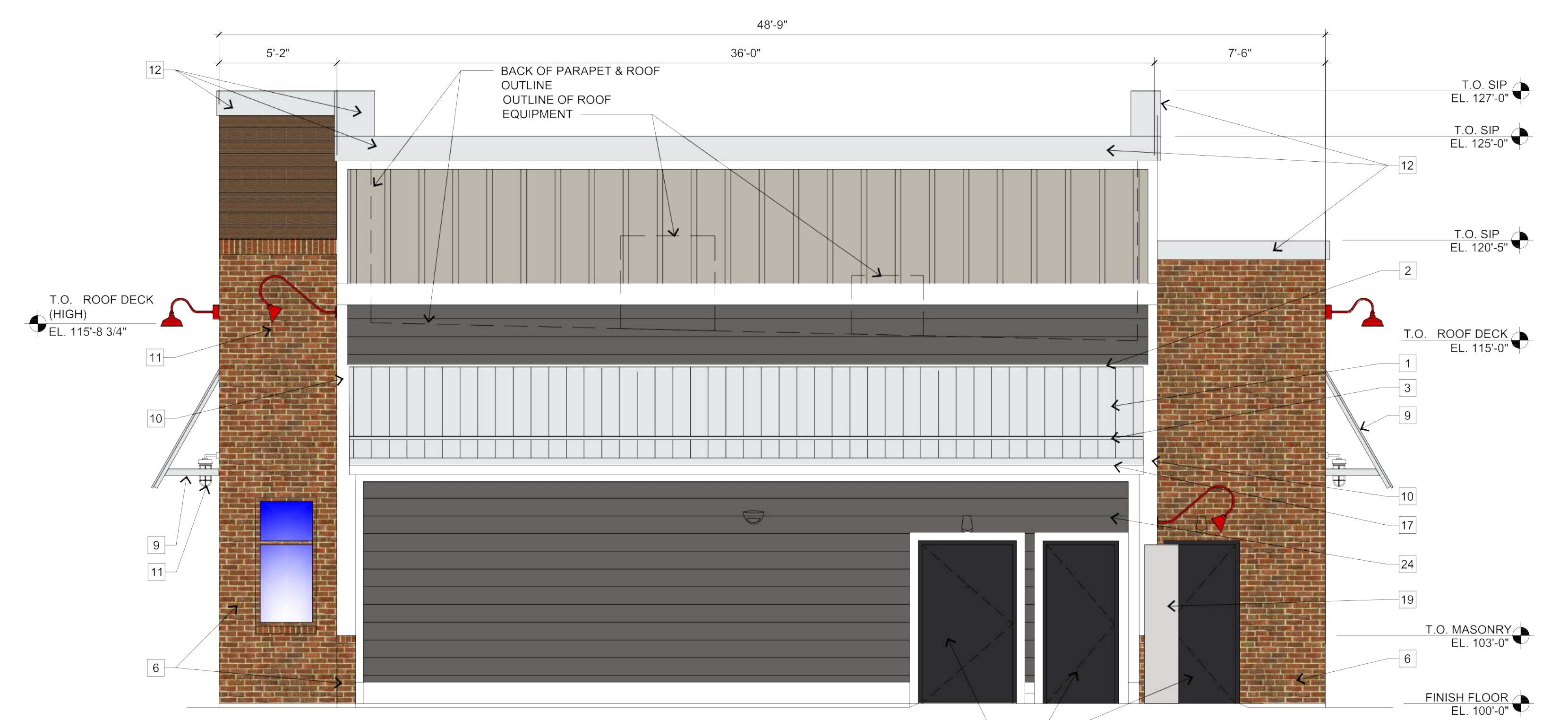
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FINISH NOTES

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2.	2nd SDP SUBMITTAL	12/22/2020



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

P:\SLIM CHICKENS\1902 - SC PARKER (PARKER & PINE)\HISTORY\01 SITE PLAN SUBMITTALS\2020-12-29 SITE SUBMITTAL\PA1_1 EXTERIOR ELEVATIONS.DWG

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SITE PLAN
SLIM CHICKENS
501 S. PARKER ROAD AND E. PINE LANE, PARKER, CO 80134
BUILDING ELEVATIONS

PROJECT NO: TSD003.01
DESIGNED BY: BH
DRAWN BY: TS
DATE: 12/02/2020

P4.1