

# SLIM CHICKENS SITE PLAN

PARKER AND PINE FILING NO. 1, LOT 3

A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND PART OF THE NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

**APPLICANT/OWNER**

TRAIL STAR DEVELOPMENT, LLC  
413 WILCOX ST. STE. 200  
CASTLE ROCK, CO 80104  
ATTN: RICK STUCY  
P: (303) 378-1592

**ENGINEERING CONSULTANT**

ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.  
501 S CHERRY STREET, SUITE 300  
GLENDALE, CO 80246  
ATTN: CHRIS MUELLER PE NCEES  
P: (314) 737-2758

**ARCHITECT**

CAHEN ARCHITECTURAL GROUP P.C.  
7000 E. BELLVIEW AVE., STE. 335  
GREENWOOD VILLAGE, CO 80111  
ATTN: BENJAMIN HUGHES  
P: (303) 743-0002, EXT. 213

**LANDSCAPE ARCHITECT**

EVERGREEN DESIGN GROUP  
1400 16TH ST STE 400  
DENVER, CO 80202  
ATTN: RODNEY MCNABB  
P: (713) 817-2125

**OWNER'S REP**

DEEP WATER POINT COMPANY  
317 14 RUBY RANCH ROAD  
EVERGREEN, CO 80439  
ATTN: TIMOTHY LEONARD  
P: (303) 674-7856

**SURVEYOR**

ENGINEERING SERVICE COMPANY  
1300 SOUTH POTOMAC ST., SUITE 126  
AURORA, CO 80012  
TEL: (303) 337-1393  
CONTACT: CHARLES BECKTROM, PLS

**TELEPHONE**

CENTURYLINK  
1601 CALIFORNIA STREET, SUITE 240  
DENVER, CO 80202  
CONTACT: IZZY MILLER  
EMAIL: IZZY.MILLER@CENTURYLINK.COM

**TELEVISION**

COMCAST  
1601 MILE HIGH STADIUM CIRCLE  
DENVER, CO 80204  
CONTACT: DEAN FLENTHROPE  
EMAIL: DEAN\_FLENTHROPE@CABLE.COMCAST.COM

**GAS SERVICE**

XCEL ENERGY  
1800 LARIMER STREET  
DENVER, CO 80202  
CONTACT: RON JOHNSON  
EMAIL: RON.H.JOHNSON@XCELENERGY.COM

**WATER/SANITARY SEWER**

PARKER WATER AND SANITATION DISTRICT  
18100 E. WOODMAN DRIVE  
PARKER, CO 80134  
TEL: (720) 842-4265  
CONTACT: DRAYTON SANDERSON

**TOWN OF PARKER PLANNING**

TOWN OF PARKER  
20120 EAST MAINSTREET  
PARKER, CO 80138-7334  
TEL: (303) 805-3337  
CONTACT: MARY MUNEKATA

**FIRE DEPARTMENT**

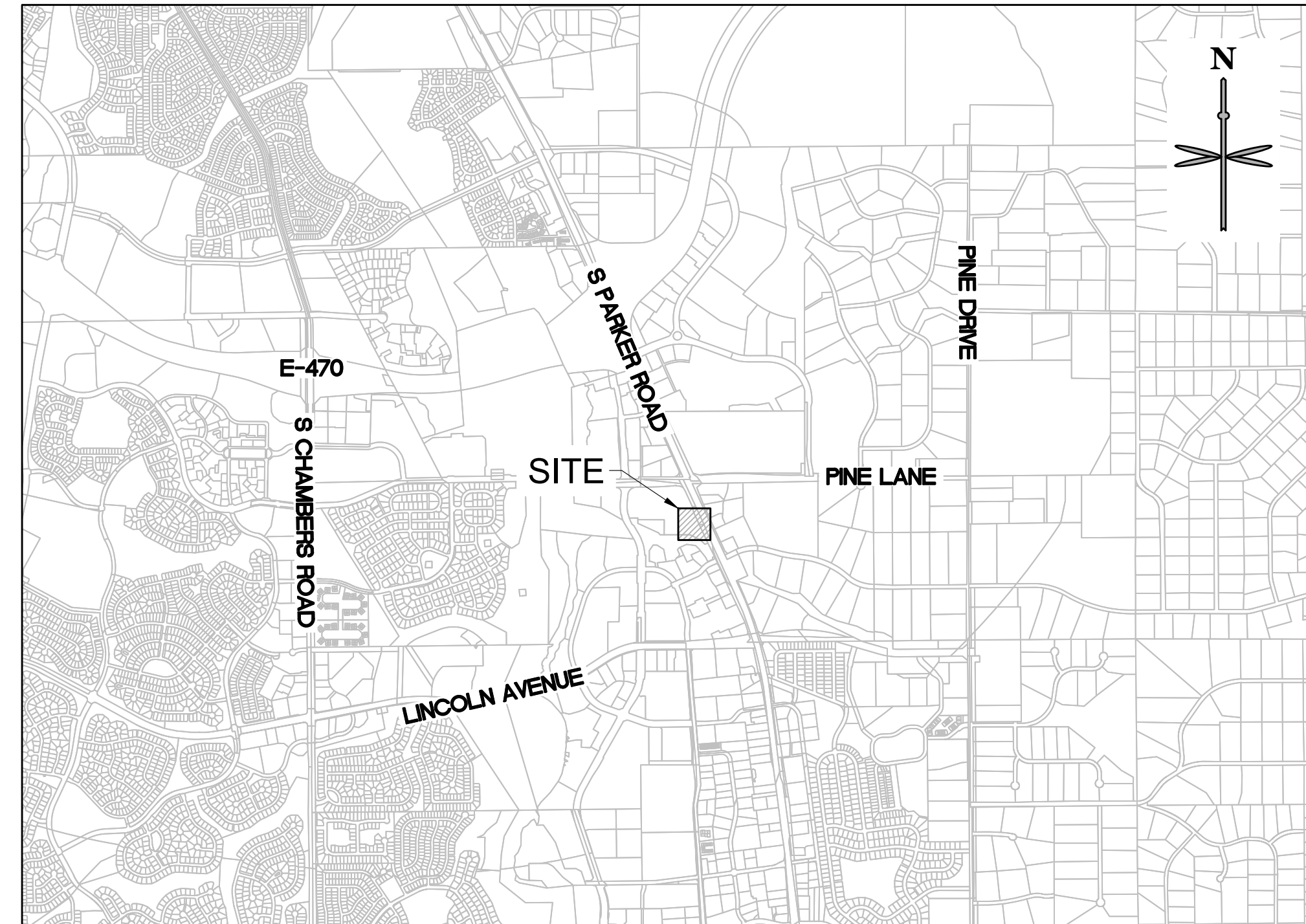
SOUTH METRO FIRE RESCUE AUTHORITY  
9195 E. MINERAL AVE.  
CENTENNIAL, CO 80112  
TEL: (720) 989-2244  
CONTACT: CHIP KERKHOVE

**ELECTRICAL SERVICE**

IREA  
5496 US HWY 85  
SEDALIA, CO 80135  
TEL: (303) 688-7431  
CONTACT: AMANDA STEINER

**TOWN OF PARKER FIRE/LIFE/SAFETY PLAN REVIEW**

TOWN OF PARKER ENGINEERING  
20120 E. MAINSTREET  
PARKER, CO 80138  
TEL: (303) 840-9548  
CONTACT: RANDY CAPRA



**VICINITY MAP**  
SCALE: 1" = 2000'

**SITE DATA TABLE:**

SITE AREA	LOT 3: 37,998 SF = 0.8723 AC	
ZONING	PLANNED DEVELOPMENT - PARKER AND PINE PD; HIGHWAY ORIENTED COMMERCIAL	
BUILDING	SINGLE STORY - 3,481 SF	
OPEN SPACE	20% MIN. VS. 8,443 /37,998 S.F. X 100 = 22%	
*BUILDING SETBACK	REQUIRED	PROPOSED
	EAST: MIN. 10', MAX. 80' FROM CURB	64.72'
	WEST: 10'	132.83'
	NORTH: 10'	19.59'
	SOUTH: 10'	38.85'
	*BUILDING SETBACKS PER "PARKER & PINE MIXED USE DEVELOPMENT PLANNED DEVELOPMENT GUIDE," 5/29/2020, SECTION IV.D., PAGE 9, FOR PLANNING AREA 3	
MAX. BUILDING HT	**45' VS. PROPOSED 27'	**PER PARKER AND PINE PD
PARKING	PER SCHEDULE 13.06.050A: RESTAURANT, LOUNGE, BAR, MICROBREWERY (WITH OR WITHOUT A DRIVE-THROUGH); 1 PER EACH 3 PERSONS OF RATED CAPACITY (EXCLUDING OUTDOOR SEATING AREAS) X 102 PERSONS= 34 SPACES REQUIRED 38 SPACES PROVIDED	
BICYCLE PARKING	PER SCHEDULE 13.06.060A: 4 SPACES REQUIRED - (2) RACKS 4 SPACES PROVIDED (2 SPACES ON EACH SIDE OF RACK)	
OFF-STREET LOADING/ STACKING	8 VEHICLE LENGTHS	

**TOWN OF PARKER NOTES:**

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.
- THE APPROVED SITE PLAN IS THE FINAL DOCUMENT AND NOT CONCEPTUAL. ANY PROPOSED DEVIATION/MODIFICATION/SUBSTITUTION WILL NEED PRIOR WRITTEN TOWN APPROVAL THROUGH THE APPROPRIATE PLANNING DEPARTMENT PROCESS.

**SHEET LIST TABLE**

SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	SITE PLAN
C2.0	GRADING PLAN
C3.0	UTILITY PLAN
L-1	PLANTING PLAN
L-2	PLANTING DETAILS + SPECIFICATIONS
P4.0	BUILDING ELEVATIONS
P4.1	BUILDING ELEVATIONS
P5.0	SITE LIGHTING PLAN
P5.1	SITE DETAILS

Please add Town of Parker Engineering/Public Works as requested in last review. **COMPLETED**

**LEGAL DESCRIPTION:**

PARKER AND PINE FILING 1, LOT 3, COUNTY OF DOUGLAS, STATE OF COLORADO.

**BENCHMARK:**

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF THE FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

**FLOODPLAIN NOTE:**

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP. COMMUNITY PANEL NUMBER 08035C0067G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

**DEVELOPMENT PLAN NOTES:**

LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTIES SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE: APPROVAL OF A SEPARATE SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.

AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.



CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987 or 811**

Know what's below. Call before you dig. CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DATE	BY	REVISION

No.	

**EES**  
ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.  
501 S Cherry St, Suite 300  
Glendale, CO 80248  
303-512-7997 www.ees.us.com

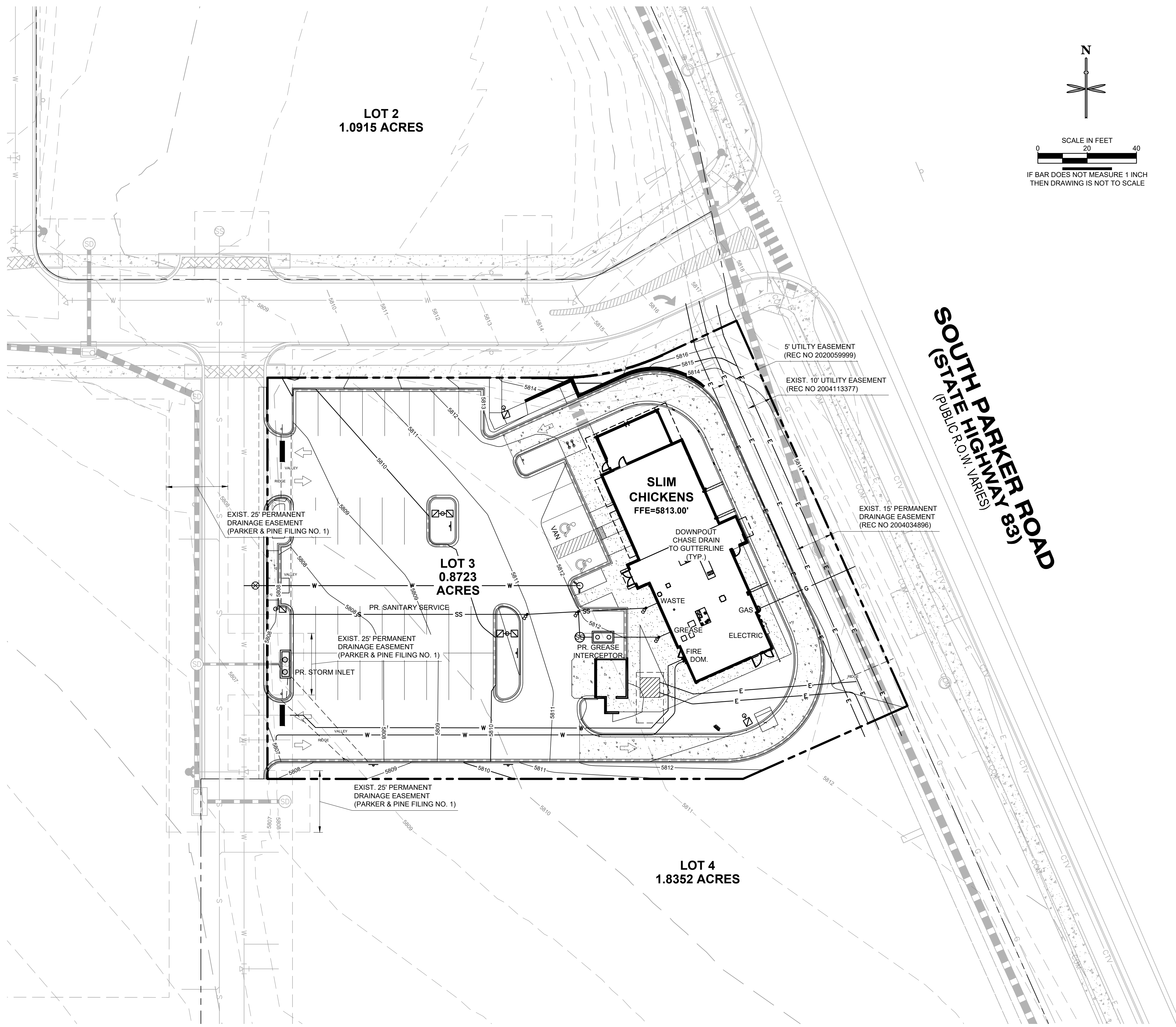
Life Changing Chicken  
**SLIM CHICKENS**  
Chicken tenders - Buffalo Wings - Sandwiches - Salads - Wraps

SITE PLAN  
**SLIM CHICKENS**  
SWC OF S. PARKER ROAD AND E. PINE LANE, PARKER, CO 80134  
**COVER SHEET**

PROJECT NO:	TSD003.01
DESIGNED BY:	CAM
DRAWN BY:	JLG
DATE:	04/26/2021

**C0.0**





**LEGEND**

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED SPILL CURB AND GUTTER
- PROPOSED FENCE
- PROPOSED RETAINING WALL
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED FLOW LINE ELEVATION
- PROPOSED SIDEWALK ELEVATION
- PROPOSED GRADE TO MATCH EXISTING
- PROPOSED TOP BACK OF CURB ELEVATION
- PROPOSED FINISHED GRADE ELEVATION
- PROPOSED EXTERIOR GRADE AT FOUNDATION
- FLOW ARROW AND GRADE

**GENERAL NOTES:**

1. CATCH CURB AND GUTTER FLOWLINE GRADES SHALL BE A MINIMUM 0.5%.
2. ALL ADA SIDEWALKS, RAMPS AND PARKING STALLS SHALL COMPLY WITH CITY AND STATE APPLICABLE CODES AND STANDARDS.
3. ALL SPOT ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK.
4. SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE.
5. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
6. OFFSITE EASEMENTS REQUIRED FOR ANY GRADING BEYOND PROPERTY BOUNDARY.
7. NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
8. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT ENGINEER APPROVAL.
9. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL APPROVED BY GEOTECHNICAL ENGINEER.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.

DATE	BY	REVISION

**EES**  
 ENGINEERING AND  
 SURVEYING SOLUTIONS, INC.  
 501 S Cherry St, Suite 300  
 Glendale, CO 80248  
 303-512-1997 www.ees.us.com

Life Changing Chicken  
**SLIM CHICKENS**  
 Chicken tenders - Buffalo Wings - Sandwiches - Wraps

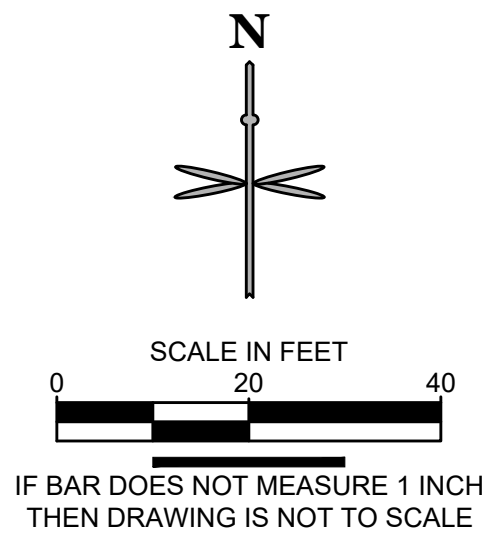
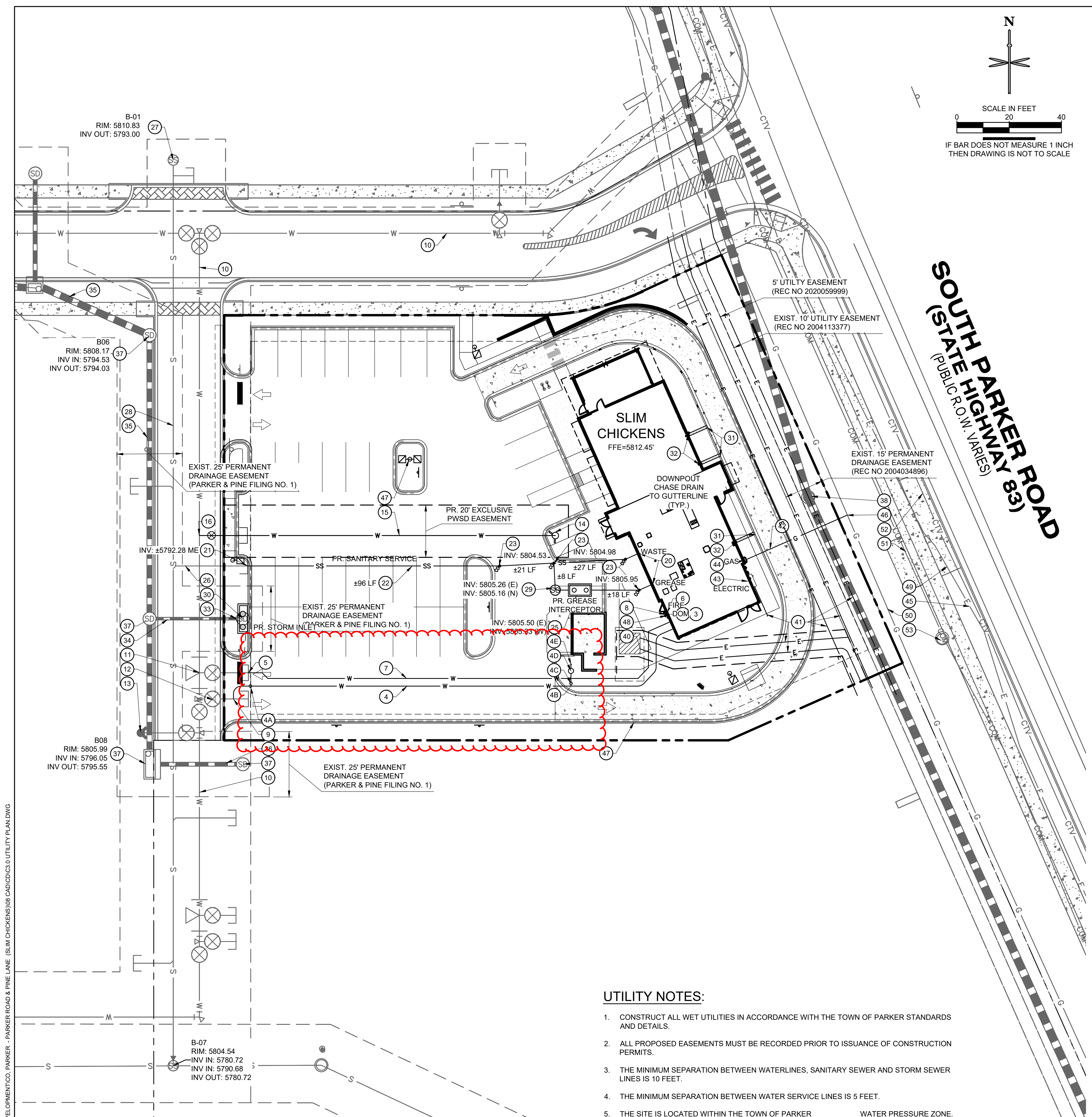
**SITE PLAN**  
**SLIM CHICKENS**  
 SWC OF S. PARKER ROAD AND E. PINE LANE, PARKER, CO 80134  
**GRADING PLAN**

PROJECT NO: TSD003.01  
 DESIGNED BY: CAM  
 DRAWN BY: JLG  
 DATE: 04/26/2021

**C2.0**

P:\TITIAL STAR DEVELOPMENT\CO. PARKER - PARKER ROAD & PINE LANE (SLIM CHICKENS)\JOB CAD\DC\DC2.0 GRADING PLAN.DWG

**811**  
 CALL UTILITY NOTIFICATION  
 CENTER OF COLORADO  
 1-800-922-1987 or 811  
 CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
 Know what's below.  
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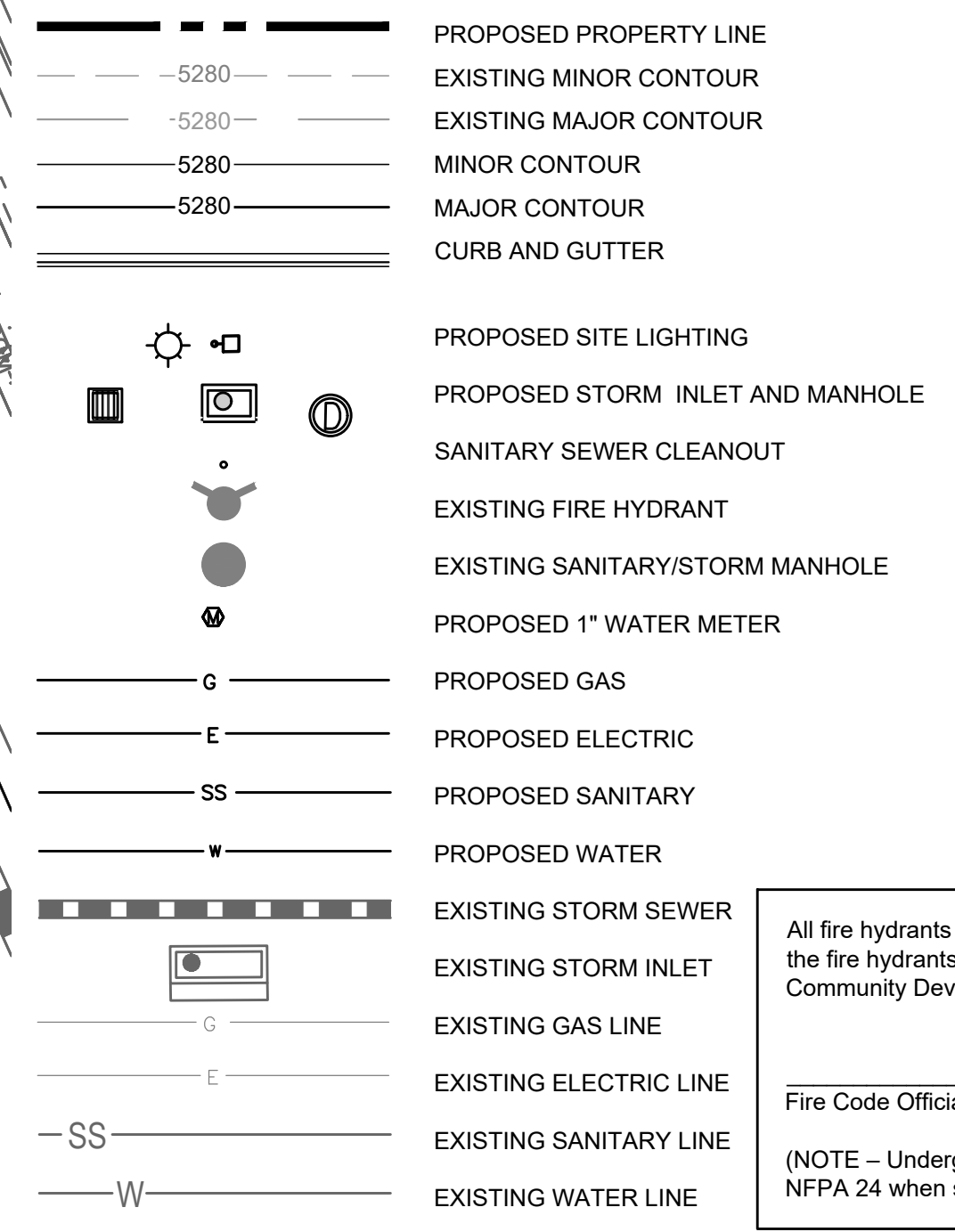


- WATER**
- 1 PROPOSED 1" TYPE K COPPER DOMESTIC WATER CONNECTION TO BUILDING. STUB 5' OFF OF BUILDING. REFER TO PLUMBING PLANS UNDER SEPARATE COVER FOR CONTINUATION.
  - 2 PROPOSED 1.5" TYPE K COPPER DOMESTIC WATER SERVICE LINE INSTALLED 5' AFTER METER INSIDE BLDG.
  - 3 PROPOSED 1" DOMESTIC WATER METER (INTERIOR).
  - 4 PROPOSED 1" TYPE K COPPER DOMESTIC WATER SERVICE LINE.
  - 4A 1" CURB STOP VALVE + TRAFFIC-RATED COVER.
  - 4B 1" X 1/2" TEE.
  - 4C 1/2" IRRIGATION CURB STOP VALVE.
  - 4D 3/4" IRRIGATION METER PIT.
  - 4E 1 1/4" IRRIGATION LINE. SEE IRRIGATION PLANS FRO CONTINUATION.
  - 5 PROPOSED 6" X 4" REDUCER.
  - 6 PROPOSED 4" DIP FIRE SERVICE LINE (PRIVATE) CONNECTION TO BUILDING. REFER TO PLUMBING PLANS UNDER SEPARATE COVER FOR CONTINUATION.
  - 7 PR. 4" DIP FIRE LINE (PRIVATE). (VERIFY W/ MEP)
  - 8 PROPOSED FDC WITH APPROVED KNOX PLUGS/CAPS.
  - 9 PROPOSED 1" TAP.
  - 10 8" PVC LOOPED WATER MAIN BY MASTER DEVELOPER.
  - 11 6" WATER STUB WITH TEMP. BLOWOFF BY MASTER DEVELOPER.
  - 12 8" STUB WITH TEMP. BLOWOFF (UIP) BY MASTER DEV.
  - 13 FIRE HYDRANT BY MASTER DEVELOPER.
  - 14 PROPOSED FIRE HYDRANT
  - 15 PROPOSED 6" DIP FIRE LINE.
  - 16 PROPOSED 6" X 8" TEE AND VALVE.
- SANITARY SEWER**
- 20 PROPOSED 4" SANITARY SEWER STUB 5 FEET OFF BUILDING. REFER TO PLUMBING PLANS UNDER SEPARATE COVER FOR CONTINUATION.
  - 21 PROPOSED 6" WYE SANITARY SEWER SERVICE CONNECTION WITH 4" X 6" REDUCER. CONTRACTOR FIELD VERIFY AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - 22 PROPOSED 4" PVC SDR 35 SANITARY SEWER SERVICE @ 2.1% SLOPE.
  - 23 PROPOSED HS-20 TRAFFIC RATED SANITARY SEWER CLEANOUT.
  - 24 PROPOSED 45" BEND W/ HS-20 TRAFFIC RATED SANITARY SEWER CLEANOUT.
  - 25 PR. 1,190 GAL. GREASE INTERCEPTOR. (VERIFY W/ MEP)
  - 26 6" PVC SANITARY SERVICE STUB BY MASTER DEVELOPER.
  - 27 SANITARY MANHOLE BY MASTER DEVELOPER. PROTECT IN PLACE.
  - 28 8" PVC MAIN BY MASTER DEVELOPER.
  - 29 PROPOSED 4" SAMPLING MANHOLE

- STORM SEWER**
- 30 PROPOSED PRIVATE CDOT TYPE R INLET. EXISTING MANHOLE TO BE REMOVED.
  - 31 PROPOSED CHASE DRAIN.
  - 32 PROPOSED DOWNSPOUT LOCATION. (SEE ARCH. PLANS)
  - 33 CONNECTION TO EXISTING PRIVATE STORM SEWER STUB (12" RCP @ 1.0%) PROVIDED BY BY MASTER DEVELOPER. CONTRACTOR TO VERIFY INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCY.
  - 34 PRIVATE 12" RCP STORM SEWER STUB AT 1.0% BY MASTER DEVELOPER. PROTECT IN PLACE.
  - 35 PRIVATE 24" RCP STORM SEWER BY MASTER DEVELOPER. PROTECT IN PLACE.
  - 36 PRIVATE 18" RCP STORM SEWER BY MASTER DEVELOPER. PROTECT IN PLACE.
  - 37 PRIVATE STORM SEWER, INLET OR MANHOLE BY MASTER DEVELOPER. PROTECT IN PLACE.
  - 38 EX. MANHOLE TOP A.T.G. PRIVATE 36" RCP STORM SEWER BY MASTER DEVELOPER. PROTECT IN PLACE.

- DRY UTILITIES**
- 40 PROPOSED 8" X 8" ELECTRICAL TRANSFORMER PAD. GENERAL CONTRACTOR TO PROVIDE CONCRETE PAD PER MANUFACTURER'S SPECIFICATIONS. REFER TO MEP PLANS FOR TRANSFORMER DESIGN UNDER SEPARATE COVER.
  - 41 PROPOSED ELECTRIC LINE. (APPROXIMATE LOCATION, CONTRACTOR TO COORDINATE WITH PROJECT MEP AND UTILITY COMPANY PRIOR TO ANY CONSTRUCTION)
  - 42 PROPOSED GAS LINE. (APPROXIMATE LOCATION, CONTRACTOR TO COORDINATE WITH PROJECT MEP AND UTILITY COMPANY PRIOR TO ANY CONSTRUCTION)
  - 43 PROPOSED ELECTRICAL METER. (LOCATION FOR REFERENCE ONLY).
  - 44 PROPOSED GAS METER. (LOCATION FOR REFERENCE ONLY).
  - 45 PROPOSED ELECTRIC LINE CONNECTION TO EXISTING LINE. (LOCATION FOR REFERENCE ONLY).
  - 46 PR. GAS LINE CONNECTION TO EX. LINE. CONTRACTOR SHALL ORDER SERVICE AND COORD. WITH XCEL.
  - 47 PROPOSED LIGHT POLE, BASE AND FIXTURE (SEE PHOTOMETRIC PLAN UNDER SEPARATE COVER).
  - 48 PROPOSED KNOX BOX (SEE ARCHITECTURAL PLANS UNDER SEPARATE COVER).
  - 49 EXISTING UNDERGROUND ELECTRIC.
  - 50 EXISTING UNDERGROUND GAS LINE.
  - 51 EXISTING UNDERGROUND COMMUNICATION LINE.
  - 52 EXISTING TELECOMMUNICATION LINE.
  - 53 EXISTING UTILITY MANHOLE/STRUCTURE/BOX

**UTILITY LEGEND**



**UTILITY NOTES:**

1. CONSTRUCT ALL WET UTILITIES IN ACCORDANCE WITH THE TOWN OF PARKER STANDARDS AND DETAILS.
2. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
3. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
4. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
5. THE SITE IS LOCATED WITHIN THE TOWN OF PARKER WATER PRESSURE ZONE.
6. THE CONTRACTOR SHALL NOTIFY ENGINEER AND FIELD VERIFY TYPE, SIZE, AND LOCATION OF EXISTING UTILITIES PRIOR TO UTILITY CONSTRUCTION.
7. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER OF ANY WORK THAT IS REQUIRED SHUTDOWN OR INTERRUPTION OF SERVICE OF EXISTING WATER MAINS TWO WEEKS PRIOR TO THE PROPOSED SHUTDOWN OR INTERRUPTION UNLESS OTHERWISE APPROVED BY THE UTILITIES DEPARTMENT.

All fire hydrants shall be installed according to water utility standards. The number and locations of the fire hydrants as shown on the Overall Utility Plan are correct as specified by the Town of Parker, Community Development Department.

Fire Code Official or Designated Representative \_\_\_\_\_ Date \_\_\_\_\_

(NOTE - Underground Fire Line (UFL) submittal documents must meet the requirements of NFPA 24 when submitting for review.)

**811** CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987 or 811**

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Know what's below. Call before you dig.

DATE	
BY	
REVISION	
No.	

501 S Cherry St. Suite 300  
 Glendale, CO 80246  
 303-572-7997 www.ees.us

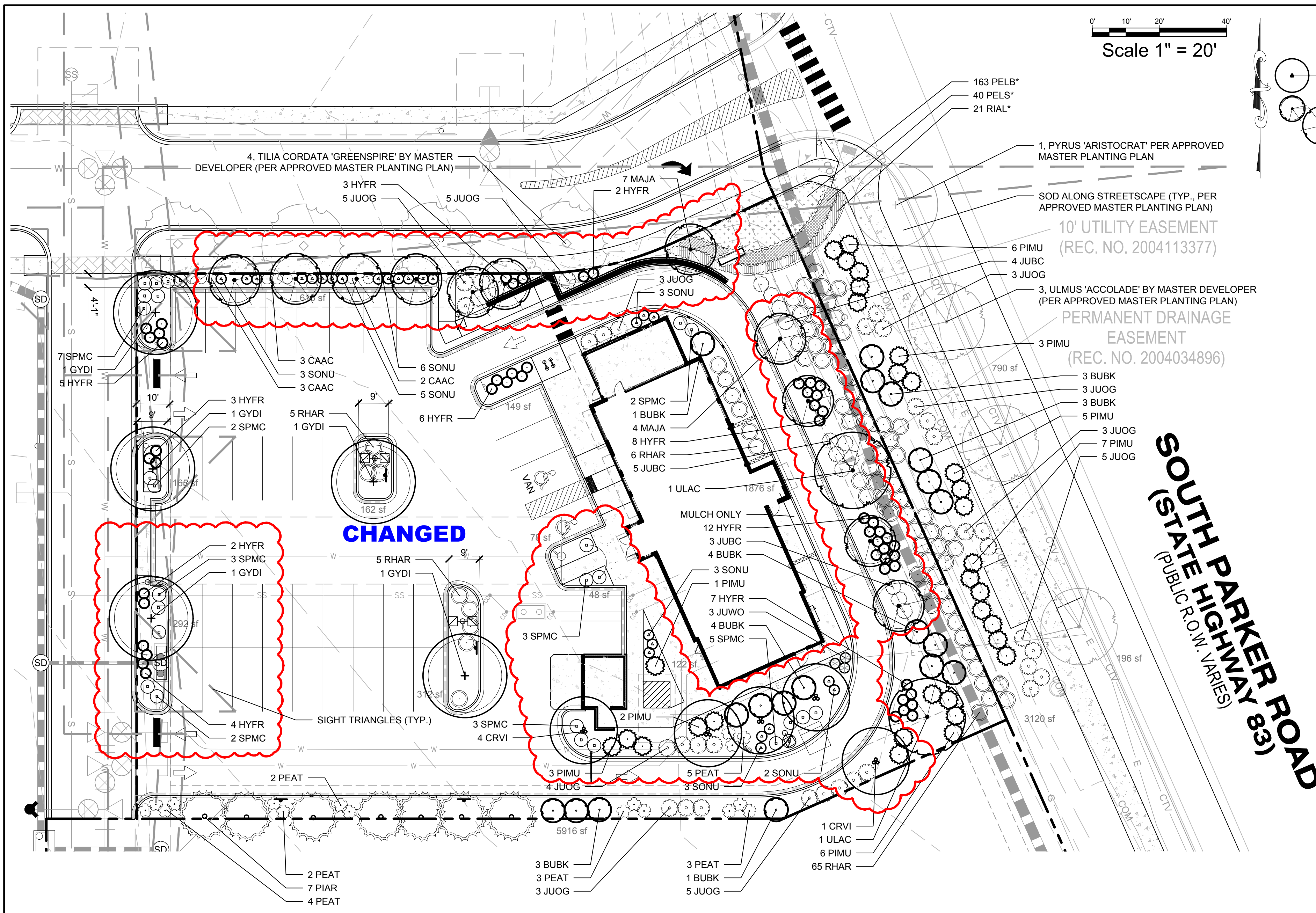
Life Changing Chicken  
**SLIM CHICKENS**  
 Chicken Tenders - Buffalo Wings - Sandwiches - Salads - Wraps

SVC OF S. PARKER ROAD AND E. PINE LANE, PARKER, CO 80134

**SITE PLAN**  
**SLIM CHICKENS**  
**UTILITY PLAN**

PROJECT NO: TSD003.01  
 DESIGNED BY: CAM  
 DRAWN BY: JLG  
 DATE: 04/28/2021

**C3.0**



### PLANTING LEGEND

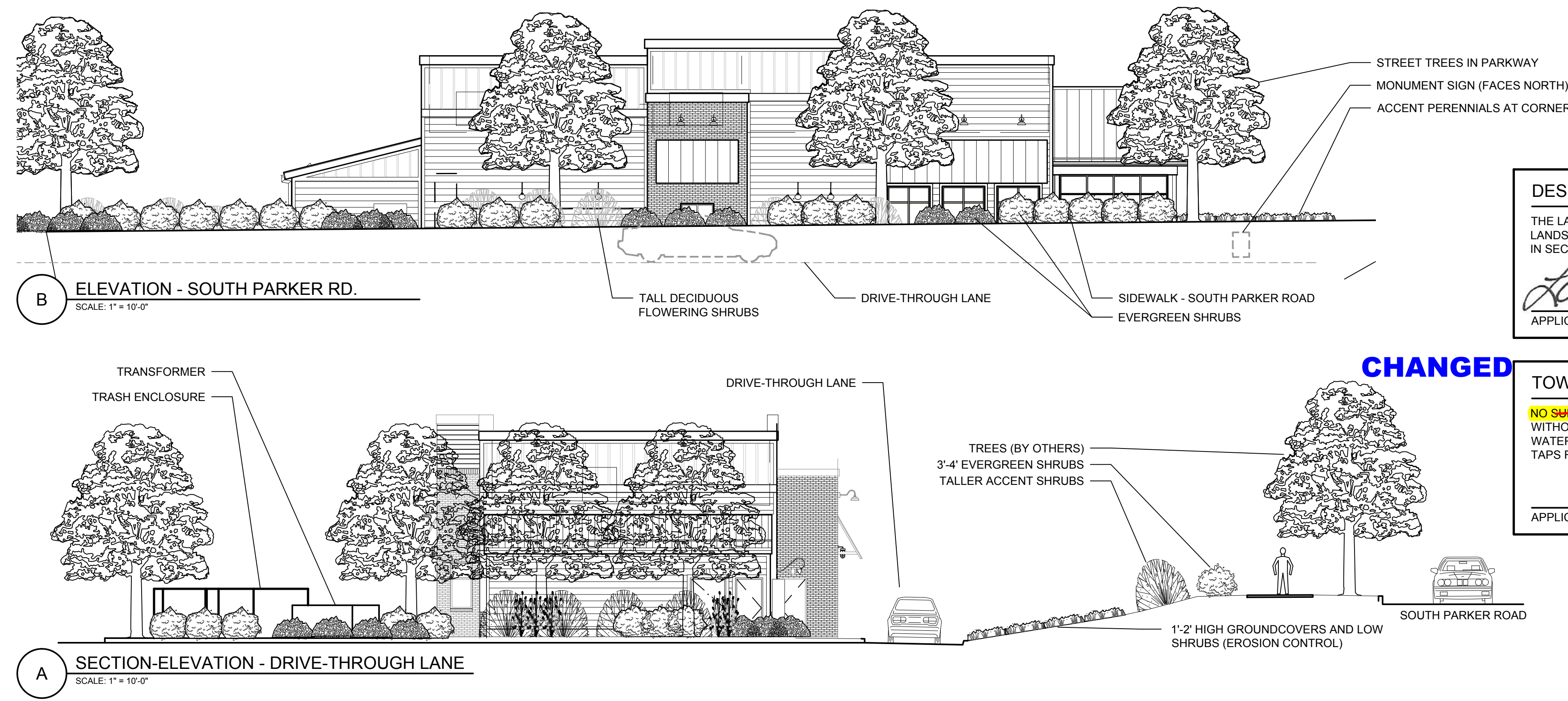
SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	YEARS TO MATURITY	SIZE AT MATURITY (HxW)
<b>DECIDUOUS TREES</b>							
CRVI	Crataegus viridis 'Winter King'	Winter King Hawthorne	B&B, 2" caliper	Per plan	5	10-15 years	30' X 20'
GYDI	Gymnocladus dioica 'Espresso'	Seedless Coffeetree	B&B, 2" caliper	Per plan	5	20-25 years	40'-50' X 30'-35'
MAJA	Malus 'Jamin'	Marilee Crabapple	B&B, 2" caliper	Per plan	11	10-15 years	24' X 10'
ULAC	Ulmus davidiana var. japonica 'Morton'	Accolade Elm	B&B, 2" caliper	Per plan	2	20-25 years	50'-60' X 30'-40'
<b>EVERGREEN TREES</b>							
PIAR	Pinus aristata	Bristlecone Pine	B&B, 6" high min.	12'-15' o.c.	7	20-25 years	20'-25' X 10'-15'
<b>DECIDUOUS SHRUBS</b>							
BUBK	Buddleia 'Black Knight'	Black Knight Butterfly Bush	5 gallon	7' o.c.	19	+/-5 years	7' X 7'
HYFR	Hypericum frondosum 'Sunburst'	Sunburst St. Johnswort	5 gallon	3' o.c.	52	+/-2 years	2' X 3'
RIAL*	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	5 gallon	3' o.c.	21	+/-2 years	3'-6" X 3'-6"
SPMC	Spiraea japonica 'Magic Carpet'	Magic Carpet Spiraea	5 gallon	3' o.c.	27	+/-5 years	2' X 3'
<b>EVERGREEN SHRUBS</b>							
JUOG	Juniperus media 'Old Gold'	Old Gold Juniper	5 gallon	4' o.c.	35	+/-5 years	3'-4" X 4'-5"
JUWO	Juniperus scopulorum 'Woodward'	Woodward Juniper	5 gallon	3' o.c.	3	5-10 years	15' X 2'-3'
PEAT	Perovskia atriplicifolia	Russian Sage	5 gallon	3' o.c.	17	+/-3 years	3' X 3'
PELS*	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	5 gallon	2' o.c.	40	+/-3 years	2' X 2'
PIMU	Pinus mugo 'White Bud'	White Bud Mugo Pine	5 gallon	5' o.c.	31	+/-10 years	8' X 6'
<b>PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVERS</b>							
CAAC	Calamagrostis acutifolia 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gallon	18" o.c.	8	2 years	36"-48" X 18"-24"
JUBC	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 gallon	5' o.c.	12	+/-5 years	1' X 4'-5"
PELB*	Pennisetum 'Little Bunny'	Little Bunny Fountain Grass	1 gallon	1' o.c.	163	2 years	1' X 1'
RHAR	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 gallon	5' o.c.	81	2 years	12"-24" X 60"-72"
SONU	Sorghastrum nutans 'Sioux Blue'	Sioux Blue Indian Rice Grass	1 gallon	3' o.c.	24	2 years	4'-6" X 2'-3'

\* INDICATES PLANTS PER APPROVED MASTER PLAN

### TOWN OF PARKER LANDSCAPE CALCULATIONS

GENERAL	SITE PERIMETER LANDSCAPE
SITE AREA: 37,998 SF	WESTERN FRONTAGE (163 LF)
LANDSCAPE AREA REQUIRED: 5,700 SF (15%)	TREES REQUIRED: 4 (1 PER 40 LF OF FRONTAGE)
LANDSCAPE AREA PROVIDED: 9,731 SF (25.8%)	TREES PROVIDED: 3*
	EVERGREEN: 0
	DECIDUOUS: 3*
COVERAGE BY LIVE MATERIAL REQUIRED: 7,298 SF (75%)	SHRUBS REQUIRED: 21 (5 PER 40 LF OF FRONTAGE)
COVERAGE BY LIVE MATERIAL PROVIDED: 7,346 (75.5%)	SHRUBS PROVIDED: 23
	* ONE TREE NOT SHOWN DUE TO PROXIMITY TO STORM INLET
<b>OVERALL SITE LANDSCAPE</b>	NORTHERN FRONTAGE (194 LF)
TOTAL AREA: 37,998 SF	TREES REQUIRED: 5 (1 PER 40 LF OF FRONTAGE)
TREES REQUIRED: 7 (1 PER 1500 SF OF LANDSCAPE AREA)	TREES PROVIDED: 5
TREES PROVIDED: 7	EVERGREEN: 0
DECIDUOUS: 7 (100%)	DECIDUOUS: 5
EVERGREEN: 0	SHRUBS REQUIRED: 25 (5 PER 40 LF OF FRONTAGE)
SHRUBS REQUIRED: 31 (5 PER 1500 SF OF LANDSCAPE AREA)	SHRUBS PROVIDED: 25
SHRUBS PROVIDED: 39	
NOTE: DUE TO PHYSICAL SPACE LIMITATIONS AND UTILITIES, ONE TREE (CRATAEGUS) HAS BEEN SHOWN SOUTH OF THE DRIVE-THROUGH.	
<b>STREETSCAPE LANDSCAPE</b>	EASTERN FRONTAGE (171 LF)
TOTAL AREA: 4,106 SF	TREES REQUIRED: 5 (1 PER 40 LF OF FRONTAGE)
LIVE COVERAGE REQUIRED: 3,080 SF (75%)	TREES PROVIDED: 5
LIVE COVERAGE PROVIDED: 3,100 SF (75.5%)	EVERGREEN: 0
	DECIDUOUS: 5
	SHRUBS REQUIRED: 22 (5 PER 40 LF OF FRONTAGE)
	SHRUBS PROVIDED: 31
	SOUTHERN PROPERTY LINE (266 LF)
	TREES REQUIRED: 7 (1 PER 40 LF OF FRONTAGE)
	TREES PROVIDED: 7
	EVERGREEN: 7
	DECIDUOUS: 0
	SHRUBS REQUIRED: 34 (5 PER 40 LF OF FRONTAGE)
	SHRUBS PROVIDED: 34
	<b>TOTAL EVERGREEN TREES: 7 (35%)</b>
	<b>TOTAL DECIDUOUS TREES: 13 (65%)</b>

- ### TOWN OF PARKER LANDSCAPE NOTES
- PLANT SPECIES AND LOCATION SHALL FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN THE APPLICANT MUST GET APPROVAL FROM THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT, PRIOR TO PLANTING.
  - ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR NOT LESS THAN ONE YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER.
  - TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
  - LANDSCAPE AREAS SHALL RECEIVE ORGANIC SOIL AMENDMENTS AT A RATE OF 5 CUBIC YARDS PER 1,000 SQUARE FEET, OR AS OTHERWISE RECOMMENDED BY A SOIL TEST. AMENDMENTS SHALL BE ROTOTILLED TO A MINIMUM DEPTH OF 8".
  - ANY CHANGES TO THE SITE PLAN REQUIRE PRIOR APPROVAL FROM COMMUNITY DEVELOPMENT AND MAY REQUIRE A SITE PLAN AMENDMENT.
  - NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.



### DESIGN CERTIFICATION

THE LANDSCAPE ARCHITECT ACKNOWLEDGES AND HEREBY CERTIFIES THAT THE LANDSCAPE DESIGN PLAN MEETS THE TOWN OF PARKER LANDSCAPE REGULATIONS IN SECTION 13.08.070 OF THE TOWN OF PARKER LAND DEVELOPMENT ORDINANCE.

*Lawrance M. Lesser*  
APPLICANT/DEVELOPER DATE: 2/22/2021

### TOWN OF PARKER NOTES

NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW AND APPROVAL OF THE TOWN OF PARKER AND THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.

APPLICANT/DEVELOPER DATE

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Know what's below. Call before you dig.

Lawrance M. Lesser  
188  
01/01/2008  
STATE OF COLORADO  
LICENSED LANDSCAPE ARCHITECT  
4/15/2021

DATE: \_\_\_\_\_ BY: \_\_\_\_\_ REVISION: \_\_\_\_\_ No. \_\_\_\_\_

**EVERGREEN DESIGN GROUP**  
1755 Telesar Dr., Ste 300  
Colorado Springs, CO 80902  
www.EvergreenDesignGroup.com

**EES ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.**  
501 S Cherry St., Suite 300  
Glendale, CO 80246  
303-572-7957 www.ees.us

**Life Changing Chickens SLIM CHICKENS**  
Chicken tenders - Buffalo Wings - Sandwiches - Salads - Wraps

SITE PLAN  
SLIM CHICKENS  
PLANTING PLAN

PROJECT NO: TSD003.01  
DESIGNED BY: LML  
DRAWN BY: LML  
DATE: 06/15/2020

L-1



**EXTERIOR FINISH LEGEND** (X-X)

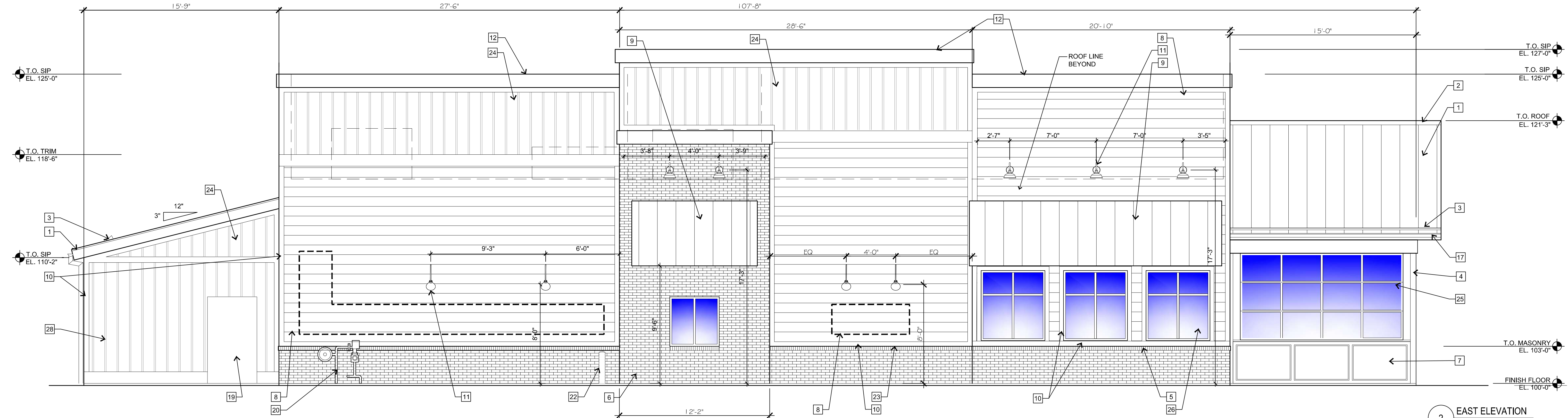
KEY	MATERIAL	MANUFACTURER	FINISH/STYLE	SPECIFICATIONS	LOCATION	MATERIAL NOTES
BR-1	BRICK	GENERAL SHALE	WATERTON	RUNNING BOND - ROWLOCK SILL	EXTERIOR WALLS	
CD-1	COMPOSITE DECKING BOARDS	ENVISION	2" X 6" NOMINAL BOARDS W/ SQUARE EDGES	WEATHERED WOOD	PATIO SIGNAGE / DUMPSTER ENCLOSURE	1" GAPS BETWEEN BOARDS - FASTENED PER MFR RECOMMENDATIONS
FRP-1	FIBERGLASS REINFORCED PANEL	MARLITE OR APPROVED EQUAL	P100 WHITE	CLEAR	BACK OF HOUSE	PROVIDE MANUFACTURERS STANDARD PVC CORNER GUARDS. INSTALL ABOVE BASE.
MT-1	GALVALUME R-PANELS	METAL SALES MANUFACTURING CORP.	CLEAR	26 GAUGE	AWNINGS AND PATIO ROOF	
MT-2	PRE-FINISHED METAL COPING	FIRESTONE	UNA-CLAD / CLEAR ANODIZED KYNAR 500 FINISH	.05" GAUGE	COPINGS	
MT-3	GALVALUME COPING	METAL SALES MANUFACTURING CORP.	CLEAR	---	COPINGS AT DUMPSTER ENCLOSURE	
MT-4	PRE-FINISHED METAL COPING	FIRESTONE	UNA-EDGE DE / CLEAR ANODIZED KYNAR 500 FINISH	.05" GAUGE	COPING AT DRIVE-THRU	
P-1	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	SW 7005 - PURE WHITE	EXTERIOR FIBER CEMENT BOARD TRIM	
P-4	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	---	EXTERIOR FIBER CEMENT BOARD TRIM	
P-4	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	SEE FINISH NOTE 2	EXTERIOR WOOD / FIBER CEMENT LAP SIDING / DUMPSTER ENCLOSURE STEEL POSTS AND CMU	
	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	BASE: TINT 50%	EXTERIOR WOOD / FIBER CEMENT LAP SIDING	
	PRIMER	SHERWIN WILLIAMS	LOXON BLOCK SURFACER	BASE: TINT 50%	DUMPSTER ENCLOSURE CMU	
	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE: TINT 50%	DUMPSTER ENCLOSURE STEEL POSTS	
P-5	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC / ULTRADEEP / SEMI-GLOSS	SW 6258 - TRICORN BLACK	HM DOORS & FRAMES	
	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE: TINT 50%	---	
P-6	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC / SAFETY YELLOW / GLOSS	SW 4084 - SAFETY YELLOW	BOLLARDS	
	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE: TINT 50%	---	
P-7	PAINT	SHERWIN WILLIAMS	SATIN	MATCH BENJAMIN MOORE HC-169	FIBER CEMENT SIDING PANELS	
P-8	PAINT	SHERWIN WILLIAMS	SATIN	MATCH BM 1183 SEMINOLE BROWN	GAS METER	

**KEY NOTES** (X)

- R-PANEL SEAM METAL ROOF W/ 12" O.C. RIBS (MT-1)
- RIDGE CAP
- CONTINUOUS ALUMINUM SNOW GUARD
- STEEL POST, RE: STRUCT
- ROWLOCK BRICK SILL (BR-1)
- BRICK - RUNNING BOND
- NON-ILLUMINATED FROSTED TRANSLUCENT PANEL
- 8" EXPOSED FIBER CEMENT BOARD LAP SIDING (P-4)
- METAL AWNING (MT-1)
- FIBER CEMENT BOARD TRIM, TYP (P-1)
- EXTERIOR LIGHTING FIXTURE, RE: ELEC.
- PRE-FINISHED METAL COPING (MT-2)
- KNOX BOX
- FIRE DEPARTMENT CONNECTION
- WALL MOUNTED TVS ABOVE WINDOWS RE: SPECS

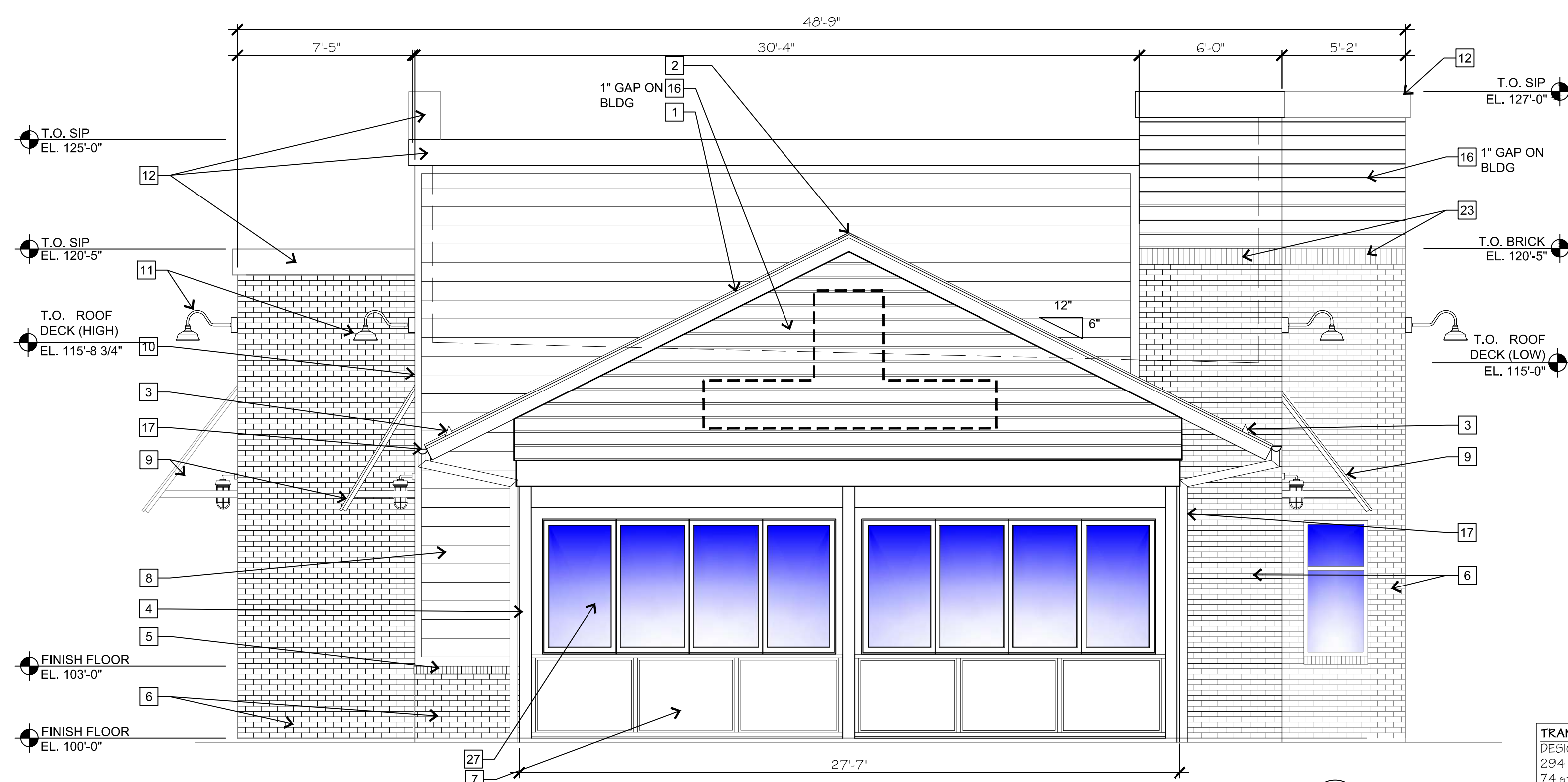
**GENERAL NOTES**

- SIGNAGE COMPANY TO PERMIT THE LARGEST POSSIBLE SIGNAGE. COORDINATE WITH A.H.J.
- FINISH NOTES**
- ALL MATERIAL SUBSTITUTIONS PROPOSED BY GENERAL CONTRACTORS MUST HAVE CORPORATE APPROVAL PRIOR TO SUBMISSION OF PROPOSAL. CONTRACTORS SUBMITTING PROPOSALS WITH MATERIALS OTHER THAN THOSE LISTED ABOVE DO SO AT THEIR OWN RISK.
  - FORMULA FOR ST-1:  
1 GALLON FORMULA (TO MATCH HC-168 CHELSEA GRAY)  
B1 - 18  
N1 - 11  
R2 - 1  
Y3 - 7  
W1 - 2Y
  - ALL CAULK/SEALANT USED IN PROJECT TO EXHIBIT COLOR THAT MATCHES ADJACENT FINISHES.



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**TRANSPARENCY ZONE (PARKER ROAD - SIDE)**  
DESIGN GUIDELINES CH. 10 A.2.c.1 30% TRANSPARENCY  
661 sf = TRANSPARENCY ZONE  
165 sf = 25% REQUIRED TRANSPARENCY  
165 sf = PROVIDED TRANSPARENCY



**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**TRANSPARENCY ZONE (PUBLIC STREET - SIDE)**  
DESIGN GUIDELINES CH. 10 A.2.c.1 30% TRANSPARENCY  
294 sf = TRANSPARENCY ZONE  
74 sf = 25% REQUIRED TRANSPARENCY  
122 sf = PROVIDED TRANSPARENCY

P:\SLIM CHICKENS\31802 - SC PARKER (PARKER & PINE)\HISTORY\01 SITE PLAN SUBMITTALS\2021-04-22 4TH SUBMITTAL\WORKING FILES\P4\_L\_EXTERIOR\_ELEVATIONS.DWG

**811** CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987 or 811  
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
**Know what's below. Call before you dig.**

DATE	BY	REVISION
6/19/2020		
02/25/2021		1st SDP SUBMITTAL
03/26/2021		2nd SDP SUBMITTAL
		3rd SDP SUBMITTAL

**EES** ENVIRONMENTAL AND ENGINEERING SOLUTIONS, INC.  
501 S Cherry St, Suite 300  
Denver, CO 80246  
303-572-7997 www.ees.us.com

**SLIM CHICKENS**  
Life Changing Chicken  
Chicken Tenders - Buffalo Wings - Sandwiches - Salads - Wraps

**SITE PLAN**  
**SLIM CHICKENS**  
SVC OF S. PARKER ROAD AND E. PINE LANE, PARKER, CO 80134  
**BUILDING ELEVATIONS**

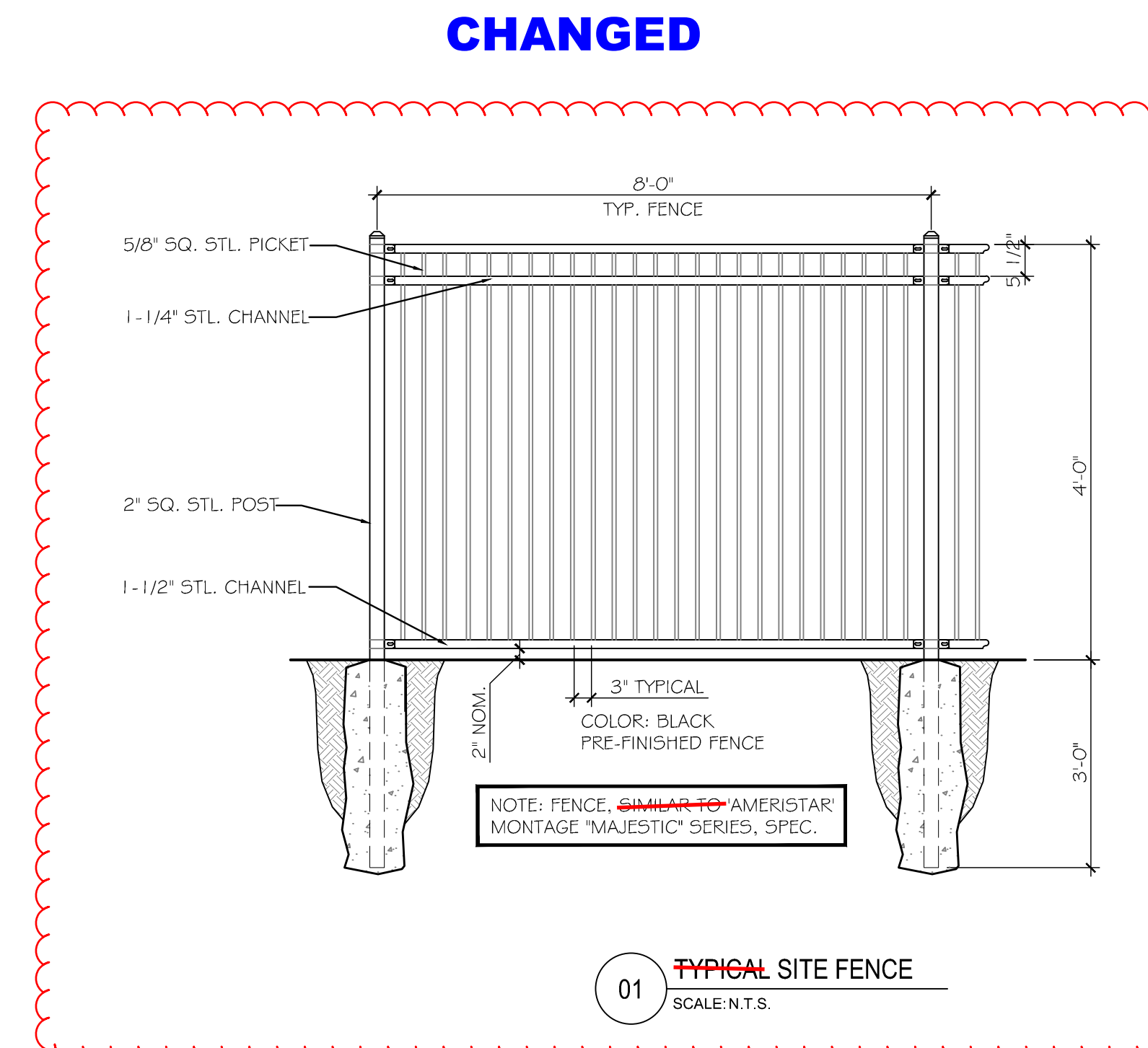
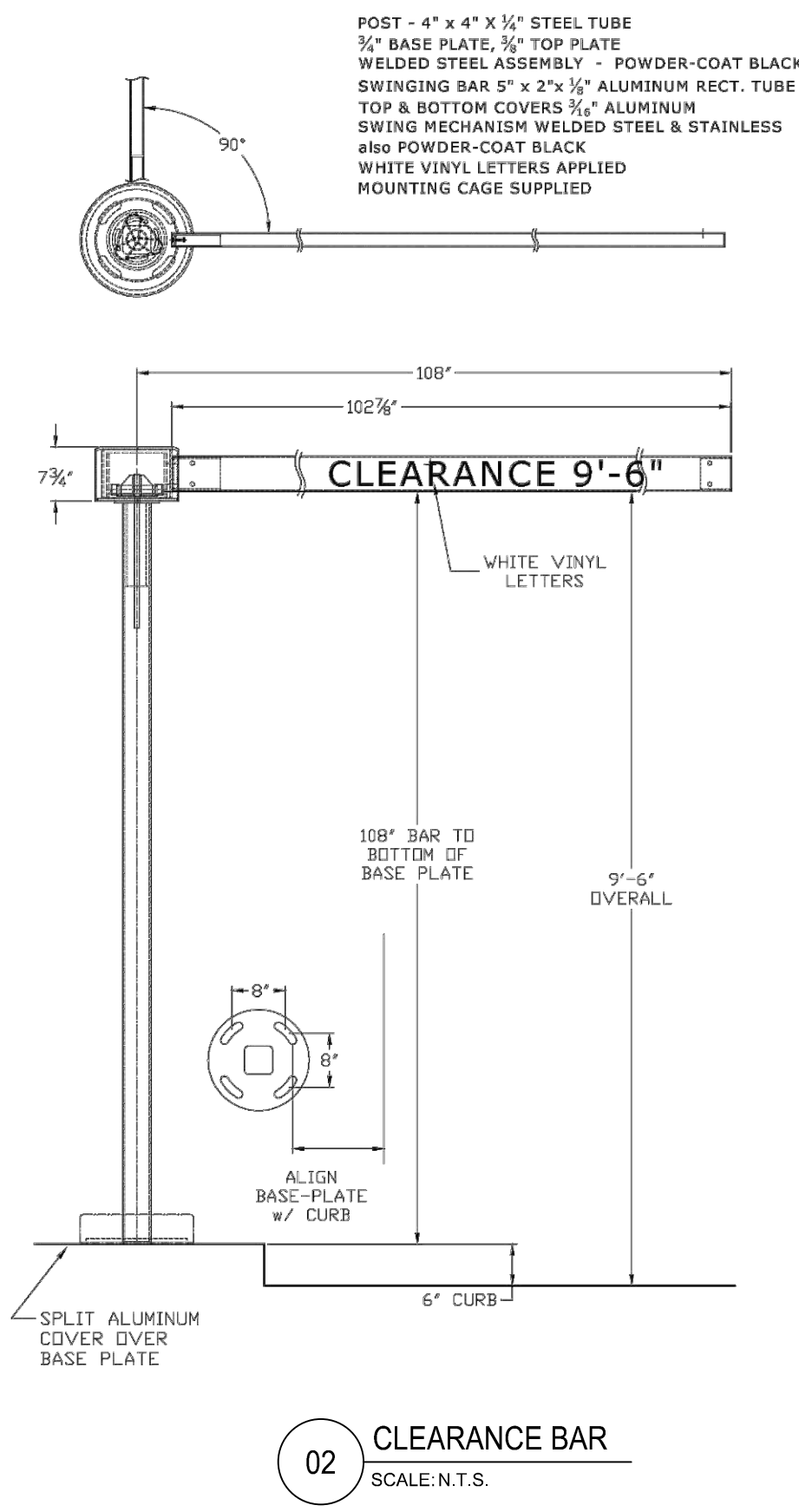
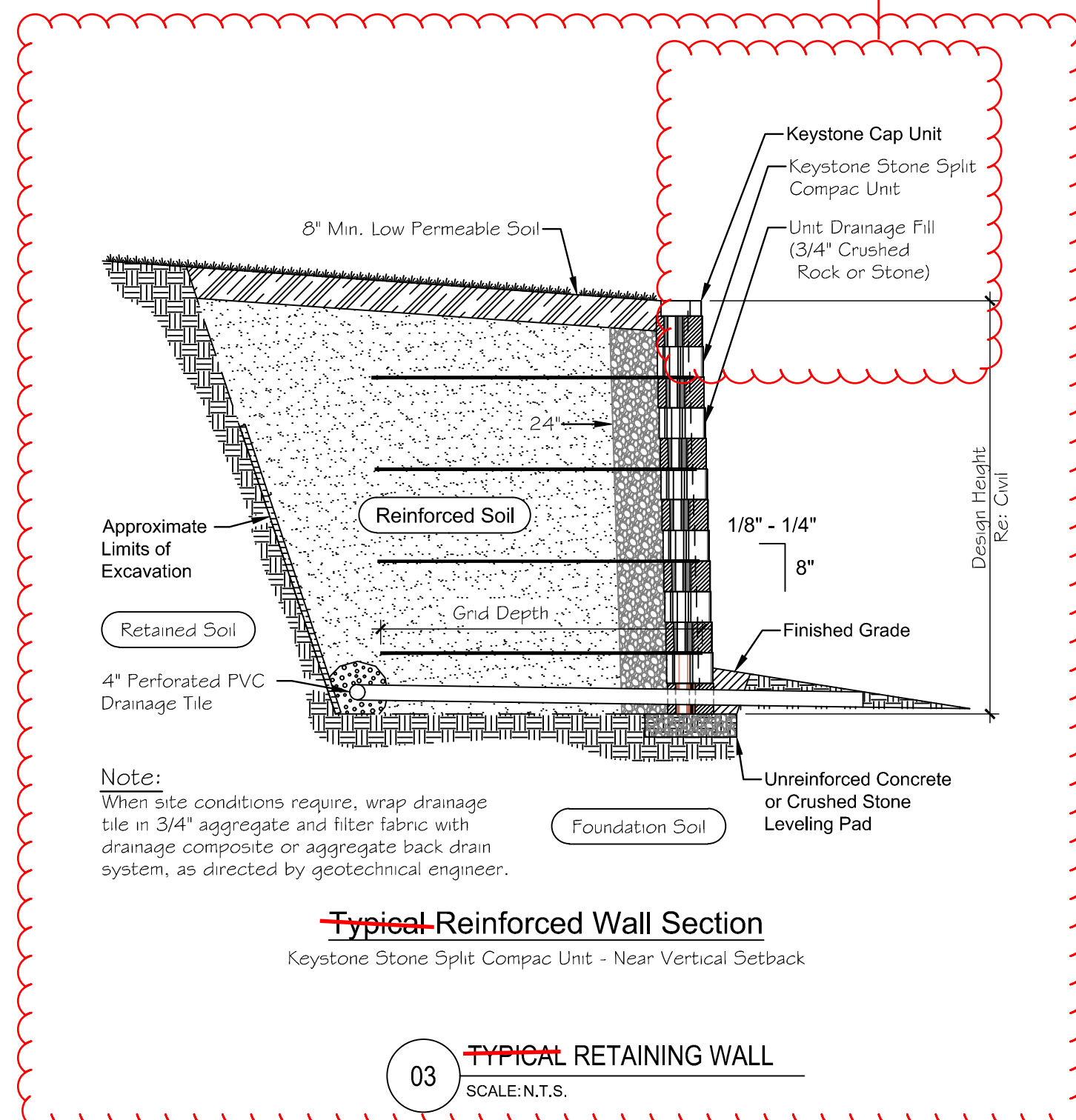
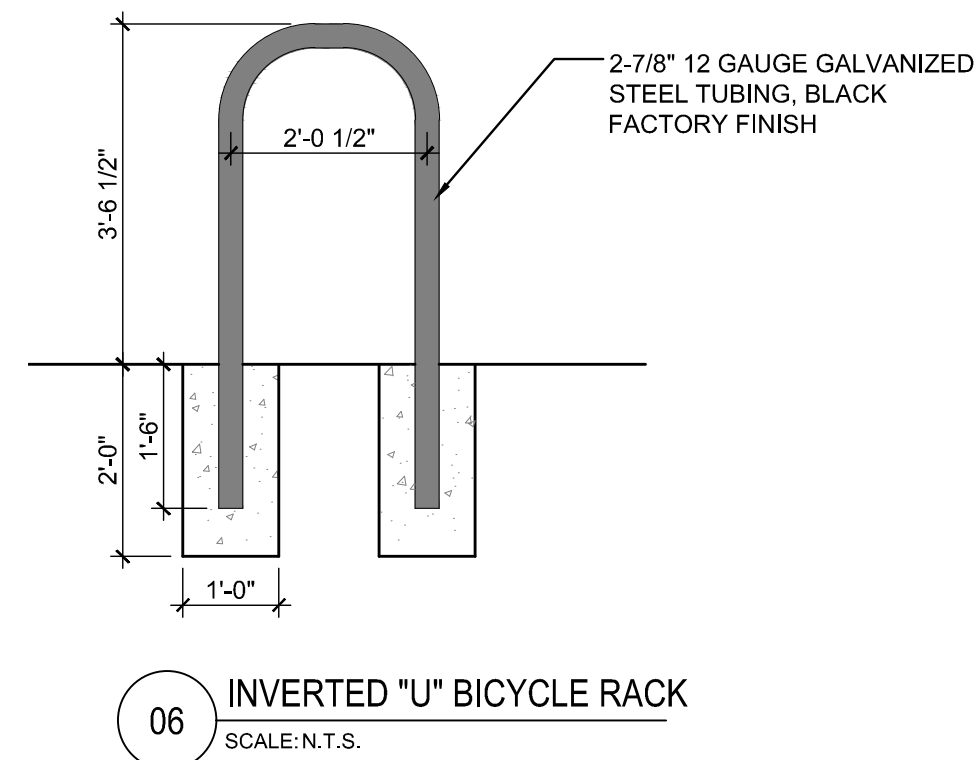
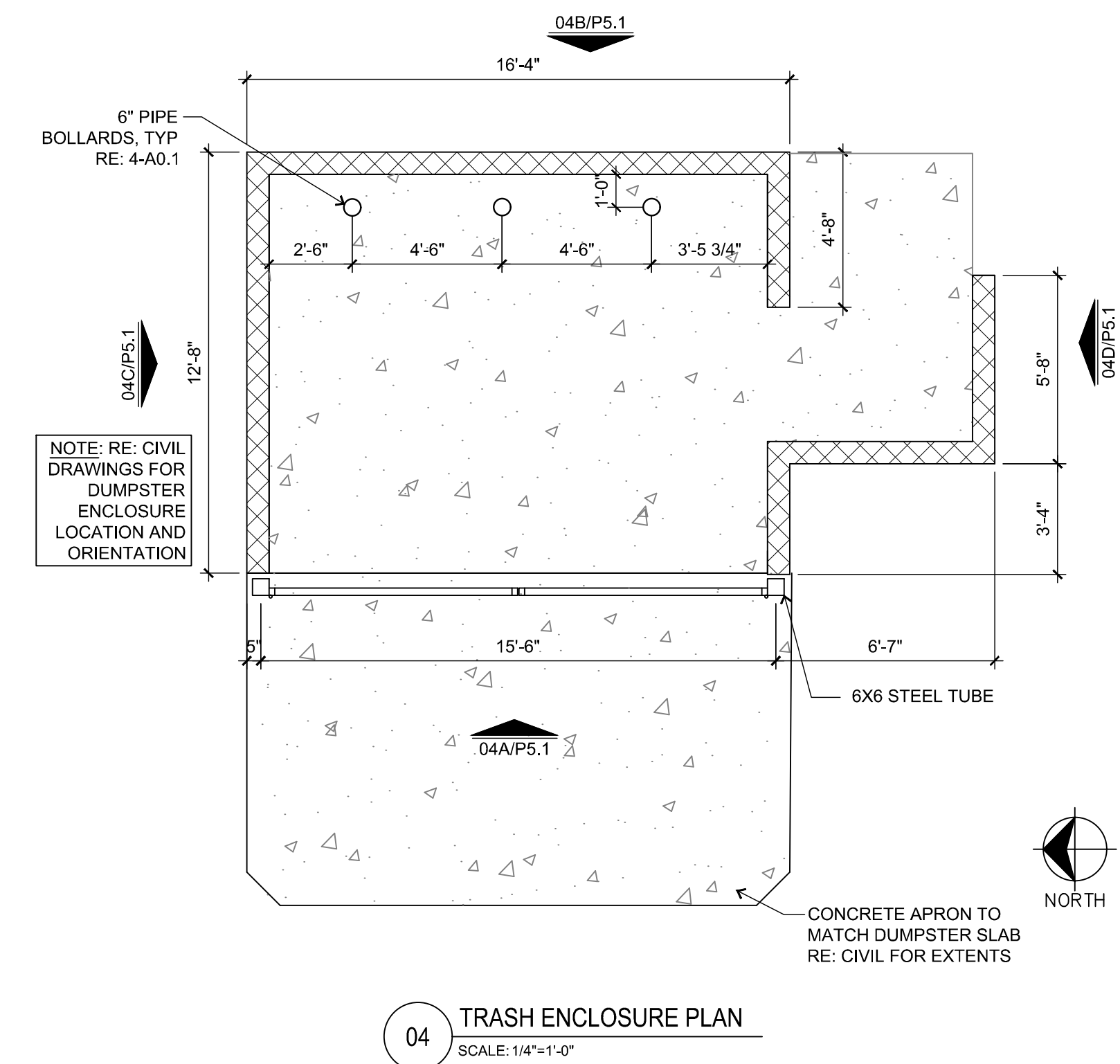
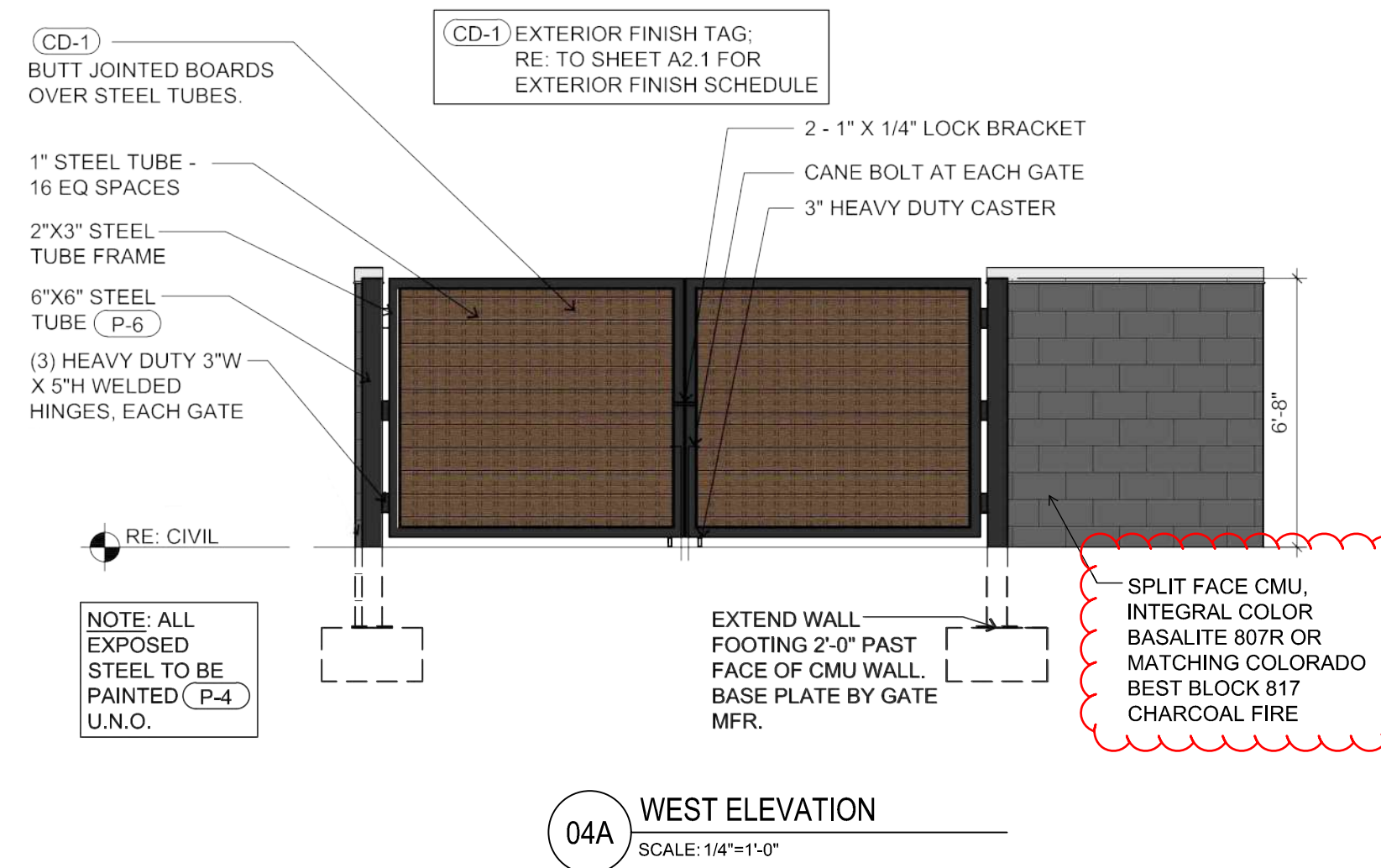
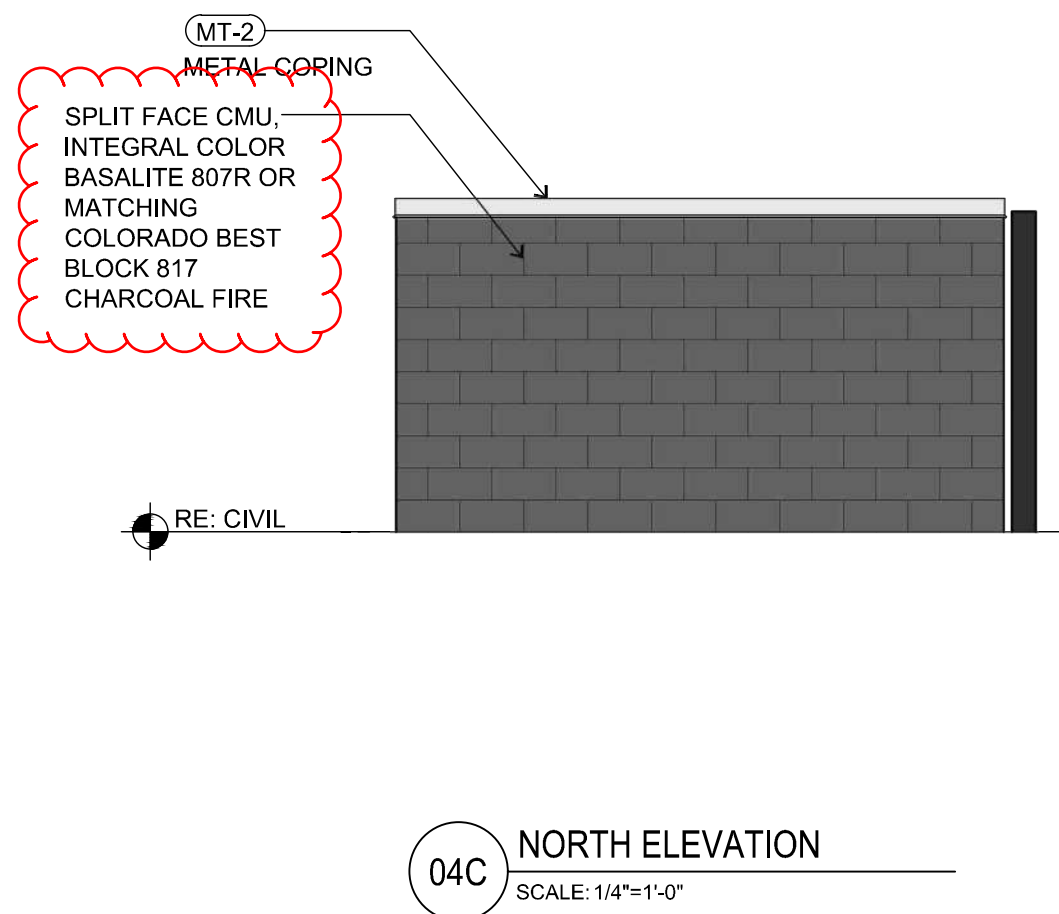
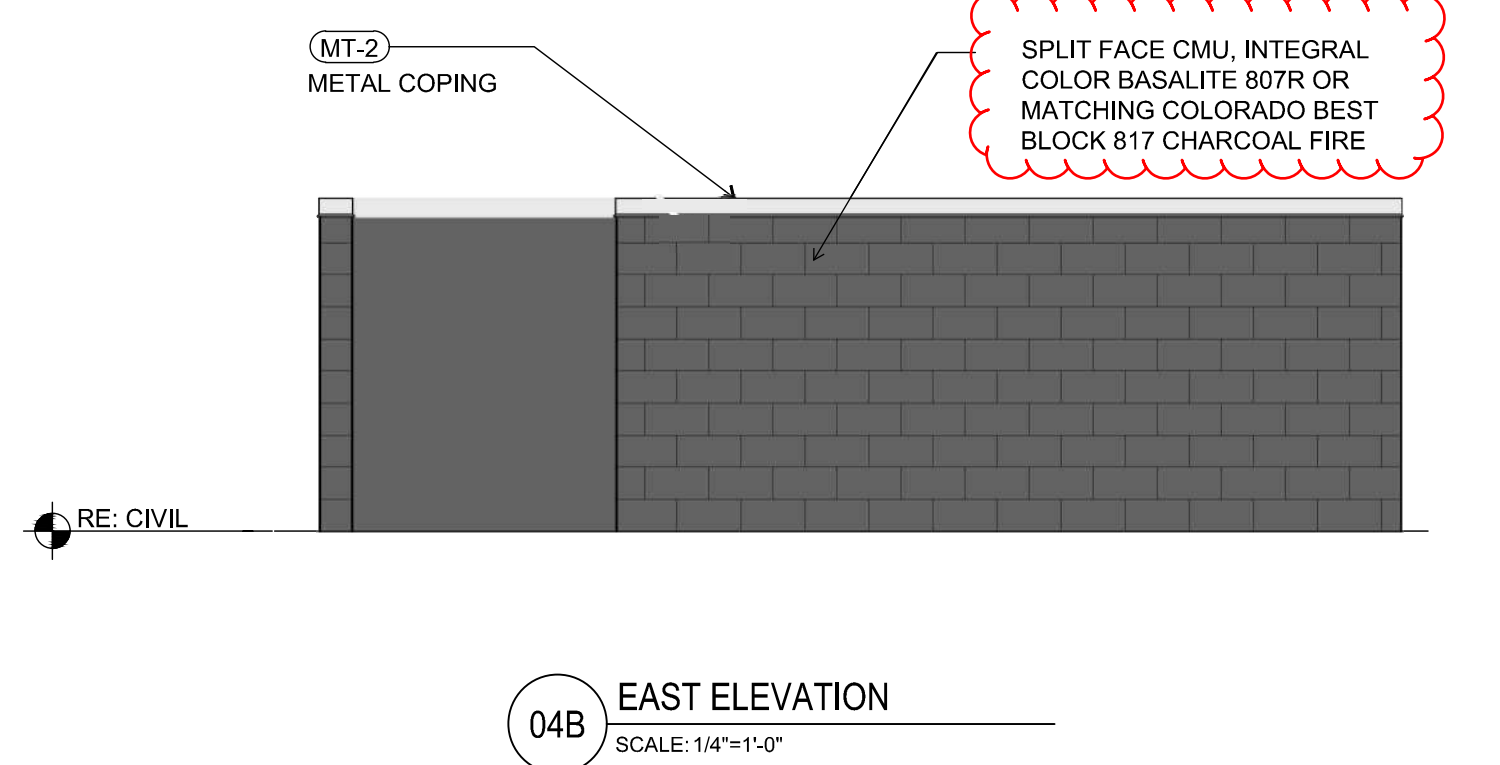
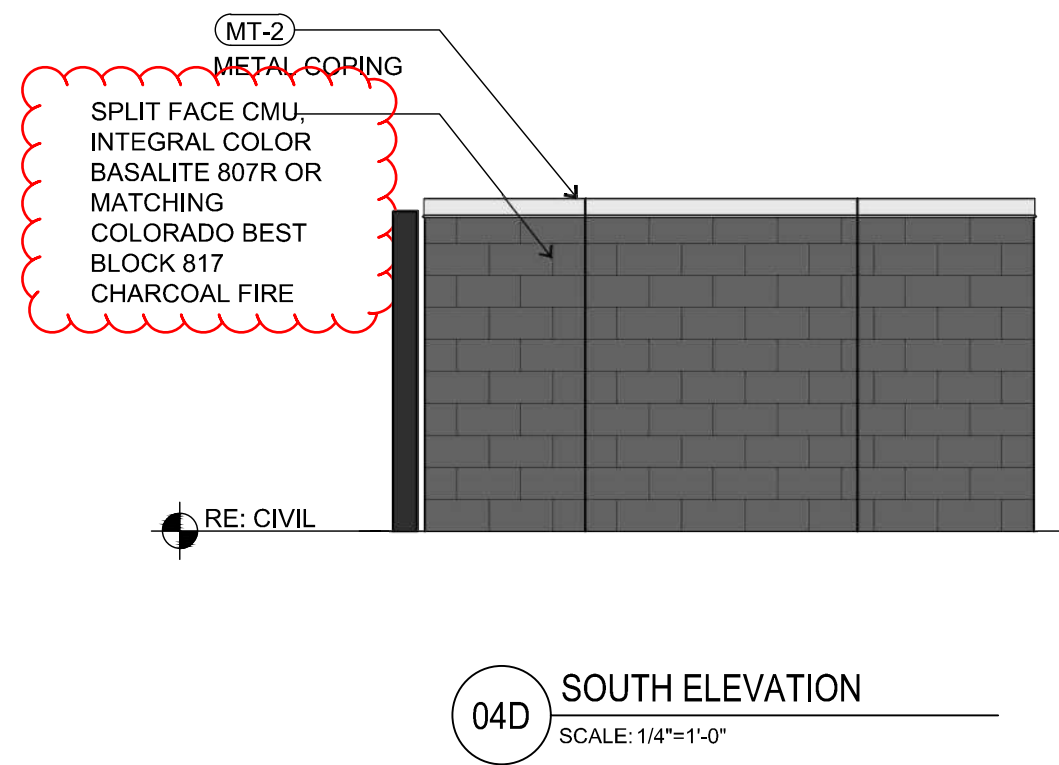
PROJECT NO:	TSD003.01
DESIGNED BY:	BH
DRAWN BY:	TS
DATE:	03/26/2021

**P4.0**





P:\SLIM CHICKENS\31802 - SC PARKER (PARKER & PINE)\HISTORY\01 SITE PLAN SUBMITTALS\2021-04-22-4TH SUBMITTAL\WORKING FILES\PS\_1 SITE DETAILS.DWG



**CHANGED**

Please add image of actual block with color & dimensions.

**CHANGED**

**811** CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987 or 811**  
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2.	2nd SDP SUBMITTAL	02/25/2021
3.	3rd SDP SUBMITTAL	03/26/2021
4.	4th SDP SUBMITTAL	04/23/2021

**EES** ENGINEERING AND SOLUTIONS, INC.  
 501 S Cherry St, Suite 300  
 Denver, CO 80202/6  
 303-572-7997 www.ees.us.com

**SLIM CHICKENS**  
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 Chicken Tenders - Buffalo Wings - Sandwiches - Salads - Wraps

**SITE PLAN**  
**SLIM CHICKENS**  
 SWC OF S. PARKER ROAD AND E. PINE LANE, PARKER, CO 80134  
**SITE DETAILS**

PROJECT NO: TSD003.01  
 DESIGNED BY: BH  
 DRAWN BY: TS  
 DATE: 03/26/2021

**P5.1**  
 SHEET 9 OF 9

**EXTERIOR FINISH LEGEND** (x-x)

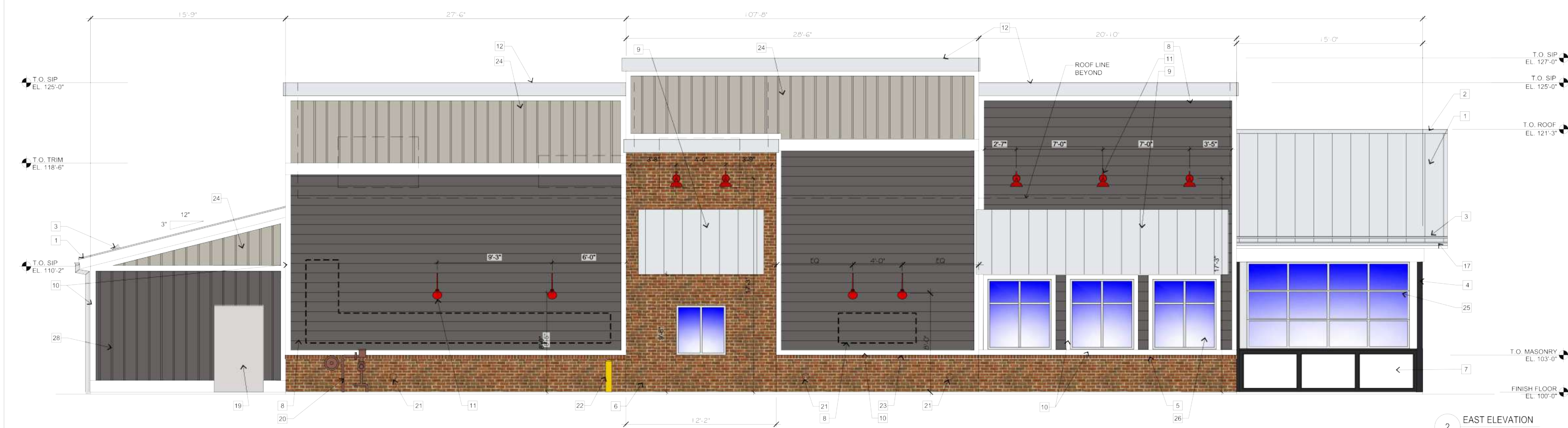
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FRP-1	FIBERGLASS REINFORCED PANEL	MARLITE OR APPROVED EQUAL	P100 WHITE	---	BACK OF HOUSE	PROVIDE MANUFACTURERS STANDARD PVC CORNER GUARDS. INSTALL ABOVE BASE
MT-1	GALVALUME R-PANELS	METAL SALES MANUFACTURING CORP	CLEAR	26 GAUGE	AWNINGS AND PATIO ROOF	---
MT-2	PRE-FINISHED METAL COPING	FIRESTONE	UNA-CLAD / CLEAR ANODIZED KYNAR 500 FINISH	.05" GAUGE	COPINGS	---
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MT-4	PRE-FINISHED METAL COPING	FIRESTONE	UNA-EDGE DE / CLEAR ANODIZED KYNAR 500 FINISH	.05" GAUGE	COPING AT DRIVE-THRU	---
P-1	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	SW 7005 - PURE WHITE	EXTERIOR FIBER CEMENT BOARD TRIM	---
P-2	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	---	EXTERIOR FIBER CEMENT BOARD TRIM	---
P-4	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	---	EXTERIOR WOOD / FIBER CEMENT LAP SIDING / DUMPSTER ENCLOSURE STEEL POSTS AND CMU	SEE FINISH NOTE 2
P-5	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	---	EXTERIOR WOOD / FIBER CEMENT LAP SIDING	---
P-5	PRIMER	SHERWIN WILLIAMS	LOXON BLOCK SURFACER	---	DUMPSTER ENCLOSURE CMU	---
P-5	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	---	DUMPSTER ENCLOSURE STEEL POSTS	---
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P-5	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	---	---	---
P-6	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC / SAFETY YELLOW / GLOSS	SW 4084 - SAFETY YELLOW	BOLLARDS	---
P-6	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	---	---	---
P-7	PAINT	SHERWIN WILLIAMS	SATIN	MATCH BENJAMIN MOORE HC-169	FIBER CEMENT SIDING PANELS	---
P-8	PAINT	SHERWIN WILLIAMS	SATIN	MATCH BM 1183 SEMINOLE BROWN	GAS METER	---

**KEY NOTES** (x)

- R-PANEL SEAM METAL ROOF W/ 12" O.C. RIBS (MT-1)
- RIDGE CAP
- CONTINUOUS ALUMINUM SNOW GUARD
- STEEL POST, RE. STRUCT
- ROWLOCK BRICK SILL (BR-1)
- BRICK - RUNNING BOND
- NON-ILLUMINATED FROSTED TRANSLUCENT PANEL
- 8" EXPOSED FIBER CEMENT BOARD LAP SIDING (P-4)
- METAL AWNING (MT-1)
- FIBER CEMENT BOARD TRIM, TYP (P-1)
- EXTERIOR LIGHTING FIXTURE, RE. ELEC.
- PRE-FINISHED METAL COPING (MT-2)
- KNOX BOX
- FIRE DEPARTMENT CONNECTION
- WALL MOUNTED TVS ABOVE WINDOWS RE. SPECS
- COMPOSITE DECKING BOARD WITH 1" GAP OVER PAINTED EXTERIOR SHEATHING (CD-1)
- 5" HALF ROUND GALVANIZED METAL GUTTER & 4" ROUND DOWNSPOUTS TYP.
- HOLLOW METAL DOOR AND FRAME PAINT (P-5)
- ELECTRIC PANELS (P-4)
- GAS METER (P-8)
- ROOF DRAIN OUTLET, RE. ROOF PLAN
- BOLLARDS, RE. CIVIL (P-6)
- SOLDIER BRICK (BR-1)
- 16" O.C. FIBER CEMENT BOARD & BATTEN SIDING (P-7)
- O.H. DOOR, RE. SCHEDULE
- ALUMINUM STOREFRONT
- BI-FOLD WINDOWS
- 16" O.C. FIBER CEMENT BOARD & BATTEN SIDING (P-4)

**GENERAL NOTES**

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- FINISH NOTES**
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N1 - 11  
R2 - 1  
Y3 - 7  
W1 - 2Y
  - ALL CAULK/SEALANT USED IN PROJECT TO EXHIBIT COLOR THAT MATCHES ADJACENT FINISHES.



P:\SLIM CHICKENS\31802 - SPC PARKER (PARKER & PINE)\HISTORY\01 SITE PLAN SUBMITTALS\2021-03-26 3RD SUBMITTAL\WORKING FILES\4.0 EXTERIOR ELEVATIONS.DWG

**811** CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987 or 811**  
 CALL 3 BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
 Know what's below. Call before you dig.

NO.	REVISION	DATE
1.	1st SDP SUBMITTAL	6/19/2020
2.	2nd SDP SUBMITTAL	02/25/2021
3.	3rd SDP SUBMITTAL	03/26/2021

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 303-572-7997 www.ees-us.com

**Life Changing Chickens**  
**SLIM CHICKENS**  
 Chicken Tenders - Buffalo Wings - Sandwiches - Wraps

**SITE PLAN**  
**SLIM CHICKENS**  
 SWC OF S. PARKER ROAD AND E. PINE LANE, PARKER, CO 80134  
**BUILDING ELEVATIONS**

PROJECT NO: TSD003.01  
 DESIGNED BY: BH  
 DRAWN BY: TS  
 DATE: 03/26/2021

**P4.0**

**EXTERIOR FINISH LEGEND** (X-X)

KEY	MATERIAL	MANUFACTURER	FINISH/STYLE	SPECIFICATIONS	LOCATION	MATERIAL NOTES
BR-1	BRICK	GENERAL SHALE	WATERTON	RUNNING BOND - ROWLOCK SILL	EXTERIOR WALLS	
CD-1	COMPOSITE DECKING BOARDS	ENVISION	2" X 6" NOMINAL BOARDS W/ SQUARE EDGES	WEATHERED WOOD	PATIO SIGNAGE / DUMPSTER ENCLOSURE	1" GAPS BETWEEN BOARDS - FASTENED PER MFR RECOMMENDATIONS
FRP-1	FIBERGLASS REINFORCED PANEL	MARLITE OR APPROVED EQUAL	P100 WHITE	CLEAR	BACK OF HOUSE	PROVIDE MANUFACTURERS STANDARD PVC CORNER GUARDS. INSTALL ABOVE BASE
MT-1	GALVALUME R-PANELS	METAL SALES MANUFACTURING CORP	CLEAR	26 GAUGE	AWNINGS AND PATIO ROOF	---
MT-2	PRE-FINISHED METAL COPING	FIRESTONE	UNA-CLAD / CLEAR ANODIZED KYNAR 500 FINISH	05" GAUGE	COPINGS	---
MT-3	GALVALUME COPING	METAL SALES MANUFACTURING CORP	CLEAR	---	COPINGS AT DUMPSTER ENCLOSURE	---
MT-4	PRE-FINISHED METAL COPING	FIRESTONE	UNA-EDGE DE / CLEAR ANODIZED KYNAR 500 FINISH	05" GAUGE	COPING AT DRIVE-THRU	---
P-1	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	SW 7005 - PURE WHITE	EXTERIOR FIBER CEMENT BOARD TRIM	---
P-2	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	---	EXTERIOR FIBER CEMENT BOARD TRIM	---
P-3	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	---	EXTERIOR WOOD / FIBER CEMENT LAP SIDING / DUMPSTER ENCLOSURE STEEL POSTS AND CMU	---
P-4	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	SEE FINISH NOTE 2	---	---
P-5	PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	BASE TINT 50%	EXTERIOR WOOD / FIBER CEMENT LAP SIDING	---
P-6	PRIMER	SHERWIN WILLIAMS	LOXON BLOCK SURFACER	BASE TINT 50%	DUMPSTER ENCLOSURE CMU	---
P-7	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE TINT 50%	DUMPSTER ENCLOSURE STEEL POSTS	---
P-8	PRIMER	SHERWIN WILLIAMS	DTM ACRYLIC / ULTRADEEP / SEMI-GLOSS	SW 6258 - TRICORN BLACK	HM DOORS & FRAMES	---
P-9	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE TINT 50%	---	---
P-10	PRIMER	SHERWIN WILLIAMS	DTM ACRYLIC / SAFETY YELLOW / GLOSS	SW 4084 - SAFETY YELLOW	BOLLARDS	---
P-11	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE TINT 50%	---	---
P-12	PRIMER	SHERWIN WILLIAMS	DTM ACRYLIC / SAFETY YELLOW / GLOSS	SW 4084 - SAFETY YELLOW	BOLLARDS	---
P-13	PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE TINT 50%	---	---
P-14	PRIMER	SHERWIN WILLIAMS	SATIN	MATCH BENJAMIN MOORE HC-169	FIBER CEMENT SIDING PANELS	---
P-15	PRIMER	SHERWIN WILLIAMS	SATIN	MATCH BM 1183 SEMINOLE BROWN	GAS METER	---

**KEY NOTES** (X)

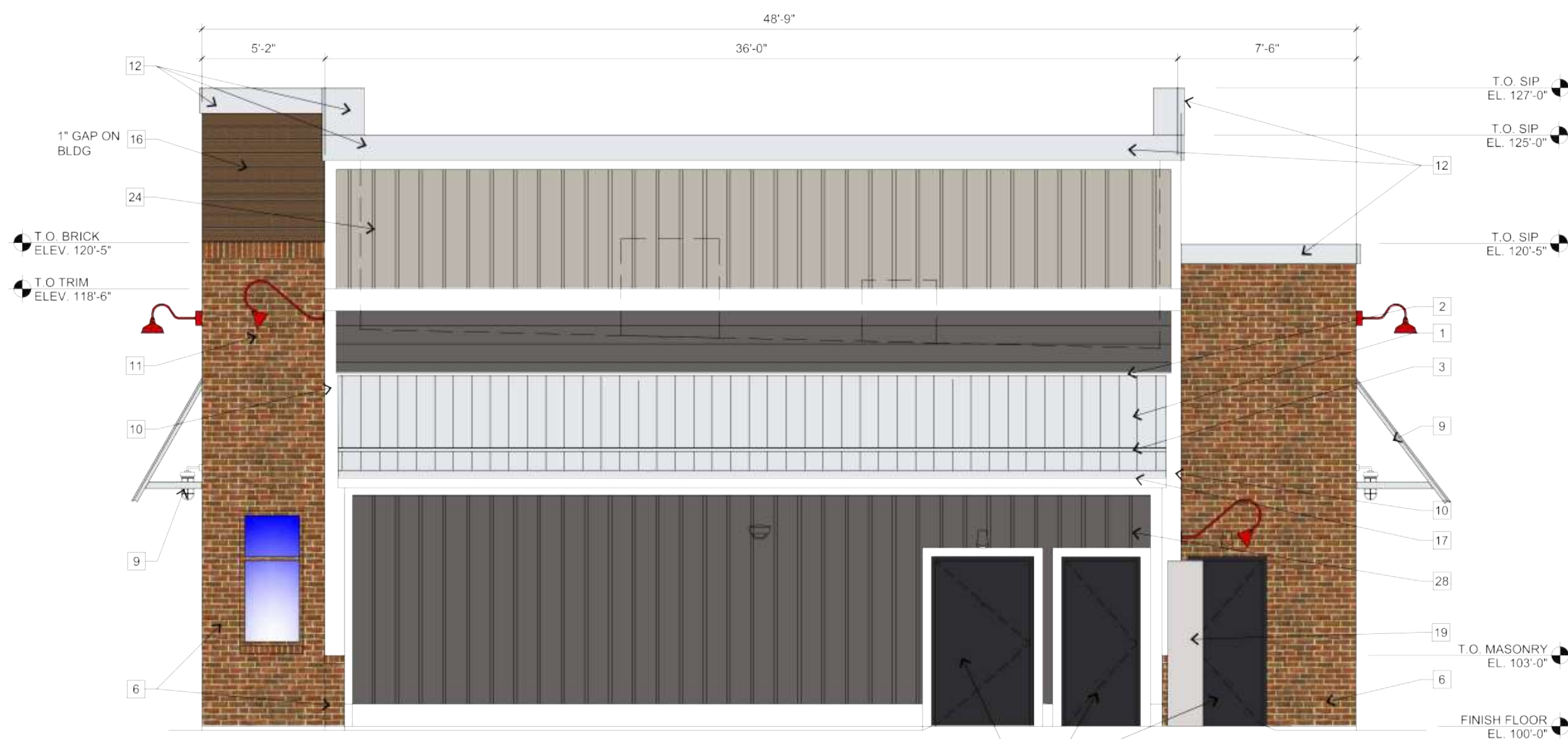
- R-PANEL SEAM METAL ROOF W/ 12" O.C. RIBS (MT-1)
- RIDGE CAP
- CONTINUOUS ALUMINUM SNOW GUARD
- STEEL POST, RE: STRUCT
- ROWLOCK BRICK SILL (BR-1)
- BRICK - RUNNING BOND
- NON-ILLUMINATED FROSTED TRANSLUCENT PANEL
- 8" EXPOSED FIBER CEMENT BOARD LAP SIDING (P-4)
- METAL AWNING (MT-1)
- FIBER CEMENT BOARD TRIM, TYP (P-1)
- EXTERIOR LIGHTING FIXTURE, RE: ELEC.
- PREFINISHED METAL COPING (MT-2)
- KNOX BOX
- FIRE DEPARTMENT CONNECTION
- WALL MOUNTED TV'S ABOVE WINDOWS RE: SPECS
- COMPOSITE DECKING BOARD WITH 1" GAP OVER PAINTED EXTERIOR SHEATHING (CD-1)
- 5" HALF ROUND GALVANIZED METAL GUTTER & 4" ROUND DOWNSPOUTS TYP.
- HOLLOW METAL DOOR AND FRAME. PAINT (P-5)
- ELECTRIC PANELS (P-4)
- GAS METER (P-8)
- ROOF DRAIN OUTLET, RE: ROOF PLAN
- BOLLARDS, RE: CIVIL (P-6)
- SOLDIER BRICK (BR-1)
- 16" O.C. FIBER CEMENT BOARD & BATTEN SIDING (P-7)
- O.H. DOOR, RE: SCHEDULE
- ALUMINUM STOREFRONT
- BI-FOLD WINDOWS
- 16" O.C. FIBER CEMENT BOARD & BATTEN SIDING (P-4)

**GENERAL NOTES**

- SIGNAGE COMPANY TO PERMIT THE LARGEST POSSIBLE SIGNAGE. COORDINATE WITH AHJ.
- FINISH NOTES**
- ALL MATERIAL SUBSTITUTIONS PROPOSED BY GENERAL CONTRACTORS MUST HAVE CORPORATE APPROVAL PRIOR TO SUBMISSION OF PROPOSAL. CONTRACTORS SUBMITTING PROPOSALS WITH MATERIALS OTHER THAN THOSE LISTED ABOVE DO SO AT THEIR OWN RISK.
  - FORMULA FOR ST-1:  
1 GALLON FORMULA (TO MATCH HC-168 CHELSEA GRAY)  
B1 - 18  
N1 - 11  
R2 - 1  
Y3 - 7  
W1 - 2Y
  - ALL CAULK/SEALANT USED IN PROJECT TO EXHIBIT COLOR THAT MATCHES ADJACENT FINISHES.



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

P:\SLIM-CHICKENS\31902 - SC PARKER (PARKER & PINE)\HISTORY\01 SITE PLAN SUBMITTALS\2021-09-26\_3RD SUBMITTAL WORKING FILES\P4\_1 EXTERIOR ELEVATIONS.DWG

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501 S PARKER ROAD AND E. PINE LANE, PARKER, CO 80134  
**BUILDING ELEVATIONS**

PROJECT NO: TSD003.01  
DESIGNED BY: BH  
DRAWN BY: TS  
DATE: 03/26/2021

## Chris Mueller

---

**From:** Munekata, Mary <mmunekata@parkeronline.org>  
**Sent:** Thursday, June 3, 2021 3:01 PM  
**To:** Chris Mueller  
**Subject:** RE: SP20-058 Slim Chickens

Chris,

The few changes are on C0.0, C1.0 & L-1 (with a yellow highlight).

**CHANGED**

Mary

---

**From:** Munekata, Mary  
**Sent:** Thursday, June 03, 2021 2:46 PM  
**To:** Chris Mueller <Chris.Mueller@ees.us.com>  
**Subject:** RE: SP20-058 Slim Chickens

Thanks so much Chris & yes it is even when expected....

I have attached my last few very minor comments. If you could revise & upload a clean Revised Plan Set for me to stamp approved for Planning. I will wait for that revised set & sign off on this current Planning Review 04 so that I don't need to create another review.

Once I hear from Engineering that they have approved their review 04, I can issue the approval letter.

Thanks!

Mary

---

**From:** Chris Mueller [<mailto:Chris.Mueller@ees.us.com>]  
**Sent:** Thursday, June 03, 2021 1:33 PM  
**To:** Munekata, Mary <[mmunekata@parkeronline.org](mailto:mmunekata@parkeronline.org)>  
**Subject:** Re: SP20-058 Slim Chickens

Mary,

So sorry to hear about your Father's passing. It must be tough.

Thanks

Chris

CHRIS MUELLER

Project Manager

EES

314-737-2757

---

**From:** Munekata, Mary <[mmunekata@parkeronline.org](mailto:mmunekata@parkeronline.org)>

**Sent:** Thursday, June 3, 2021 2:22:56 PM

**To:** Chris Mueller <[Chris.Mueller@ees.us.com](mailto:Chris.Mueller@ees.us.com)>; Timothy Leonard <[tim@deepwaterpoint.net](mailto:tim@deepwaterpoint.net)>

**Subject:** RE: SP20-058 Slim Chickens

Hi Chris & Tim,

Thanks for your emails checking on the status. Once I provide final approval, I will email you an approval letter. In the meantime, please check eTRAKit for any outstanding comments as I believe Engineering still has a couple of reviews/comments due. Staff continues to be slammed on our end, but should be close to an approval.

I will finish my last review today or tomorrow as my father passed last week and this is my first day back in the office. As a friendly reminder, construction docs MUST MATCH the approved site plan. If they do not match it may delay your project, so please ensure they do.

Best,

Mary



Mary Munekata, AICP

Senior Planner – Comprehensive Planning

20120 E. Mainstreet Parker, CO 80138-7335

303.805.3337 [www.parkeronline.org](http://www.parkeronline.org)



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**From:** Chris Mueller [<mailto:Chris.Mueller@ees.us.com>]  
**Sent:** Tuesday, June 01, 2021 9:59 AM  
**To:** Munekata, Mary <[mmunekata@parkeronline.org](mailto:mmunekata@parkeronline.org)>  
**Subject:** SP20-058 Slim Chickens

Mary,  
Good morning. Hope you are well.  
We resubmitted back on 4-30-2021, and followed up with Engineering on 5-20-2021.  
How we looking for approvals?  
Thanks!

CHRIS MUELLER, PE, NCEES

**Project Manager**

**Entitlement and Engineering Solutions, Inc.**

501 S. Cherry Street, Suite 300 Glendale, CO 80246

D 314-737-2758



## Chris Mueller

---

**From:** Sandt, Tyler <tsandt@parkeronline.org>  
**Sent:** Tuesday, June 22, 2021 3:17 PM  
**To:** Chris Mueller  
**Cc:** Jonathan Greenhut; Munekata, Mary  
**Subject:** RE: SP20-058 Slim Chickens - ENGINEERING, SIGHT TRIANGLE & TREES

Chris,

I've signed off on my reviews. Please upload final signed and sealed civil and utility plans for signature whenever you are ready (note that the sight distance cert on the cover sheet also needs to be signed). Please also note that I am not automatically notified when those documents are uploaded so let me know when you do.

Thanks,



**Tyler Sandt**, Development Review Engineer  
20120 E. Mainstreet Parker, CO 80138-7335  
303.805.3182 [www.parkeronline.org](http://www.parkeronline.org)



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**From:** Chris Mueller [mailto:Chris.Mueller@ees.us.com]  
**Sent:** Tuesday, June 15, 2021 10:42 AM  
**To:** Sandt, Tyler <tsandt@parkeronline.org>  
**Cc:** Jonathan Greenhut <Jonathan.Greenhut@ees.us.com>  
**Subject:** RE: SP20-058 Slim Chickens - ENGINEERING, SIGHT TRIANGLE & TREES

Tyler,

Good morning.

Etrakit is out of order right now. I cannot upload attachments. My responses and accompanying exhibits are contained in this link. If you could please advise. Thank you,

[https://eesportal-my.sharepoint.com/:f:/g/personal/chris\\_mueller\\_ees\\_us\\_com/Ei8CTS42HDJLiBujUGVax68BKrw3HhVwzRgvhXnKVpuCIA?e=pQ8scJ](https://eesportal-my.sharepoint.com/:f:/g/personal/chris_mueller_ees_us_com/Ei8CTS42HDJLiBujUGVax68BKrw3HhVwzRgvhXnKVpuCIA?e=pQ8scJ)

CHRIS MUELLER  
Project Manager  
EES  
314-737-2758

---

**From:** Sandt, Tyler <[tsandt@parkeronline.org](mailto:tsandt@parkeronline.org)>  
**Sent:** Friday, June 11, 2021 3:50 PM  
**To:** Chris Mueller <[Chris.Mueller@ees.us.com](mailto:Chris.Mueller@ees.us.com)>  
**Cc:** Jonathan Greenhut <[Jonathan.Greenhut@ees.us.com](mailto:Jonathan.Greenhut@ees.us.com)>  
**Subject:** RE: SP20-058 Slim Chickens - ENGINEERING, SIGHT TRIANGLE & TREES

Chris,

Please see below:

Tyler Sandt

TRAFFIC IMPACT STUDY  
- CIVIL 10

1. Typically queueing analysis is based off of peak hour volume and operational knowledge (i.e. observations from other sites). At the very least the Town will require that the traffic study notes that no stacking will be allowed off site.

Tyler Sandt

CONSTRUCTION PLANS  
- CIVIL 10

These comments are considered minor and can be coordinated directly with the Engineering Department:

1. It does not appear the legal description and exhibit for the required drainage easement was provided.
2. Per previous review, remove or relocate any trees or landscape above 2 feet proposed within the sight triangles. The comment response noted that through coordination with Planning this was not a requirement. Engineering regulates sight triangles and this comment will need to be addressed prior to approval.

Thank you,

**Tyler Sandt**, Development Review Engineer  
20120 E. Mainstreet Parker, CO 80138-7335  
303.805.3182 [www.parkeronline.org](http://www.parkeronline.org)



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