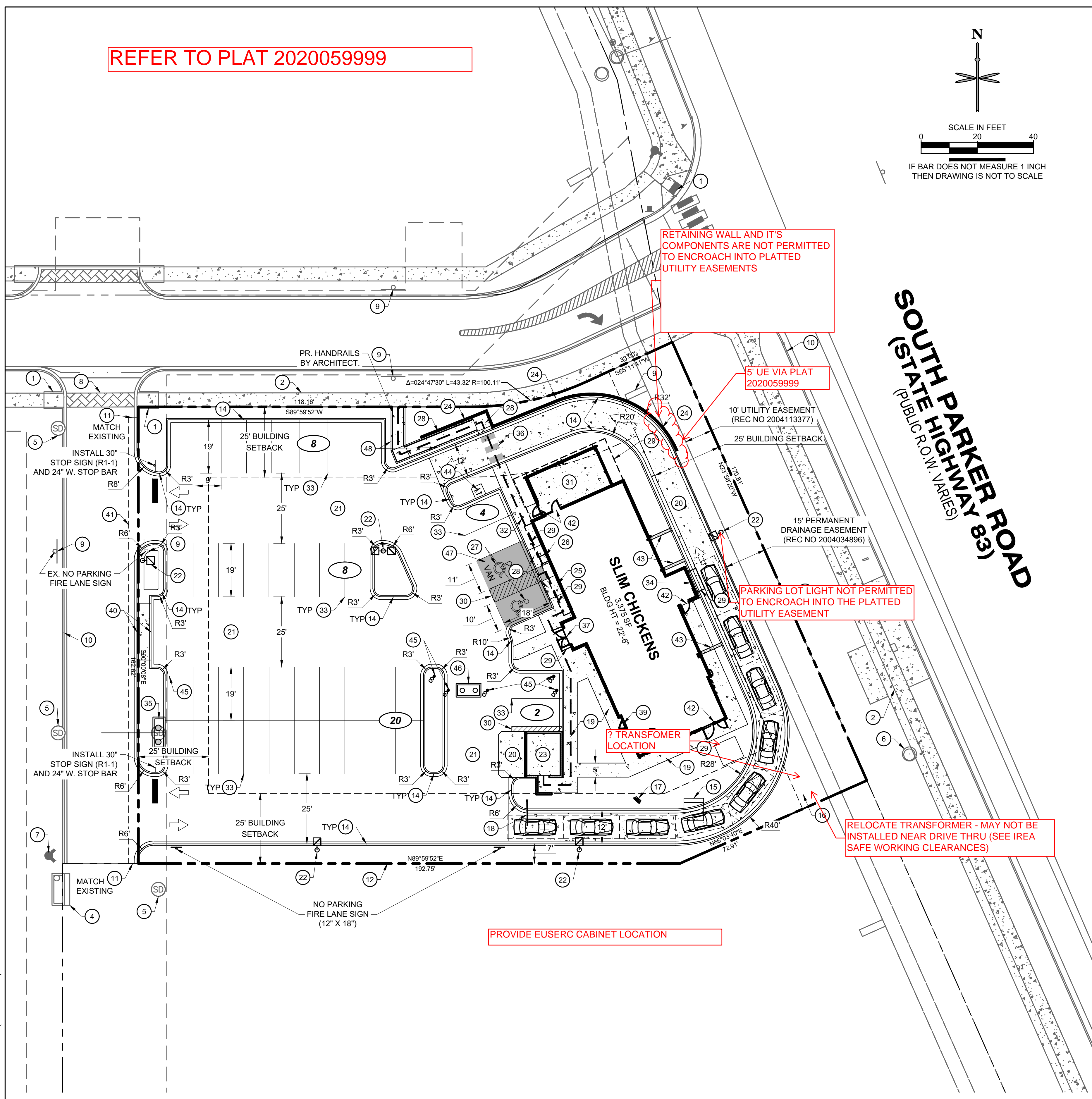
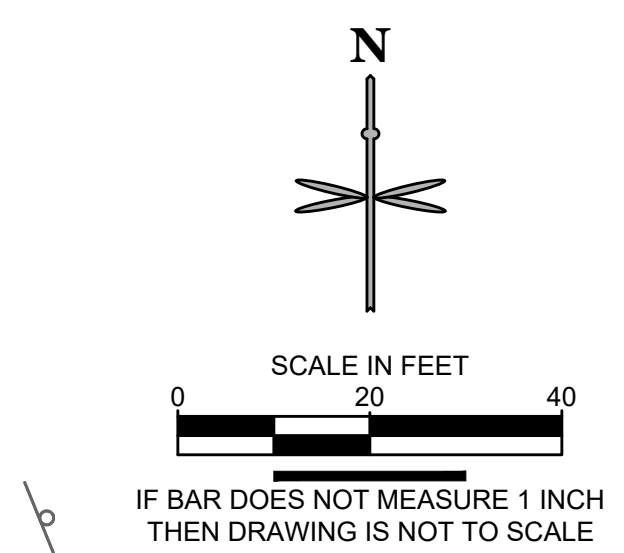


REFER TO PLAT 2020059999



RETAINING WALL AND IT'S COMPONENTS ARE NOT PERMITTED TO ENCRACH INTO PLATTED UTILITY EASEMENTS

5' UE VIA PLAT 2020059999

PARKING LOT LIGHT NOT PERMITTED TO ENCRACH INTO THE PLATTED UTILITY EASEMENT

TRANSFORMER LOCATION

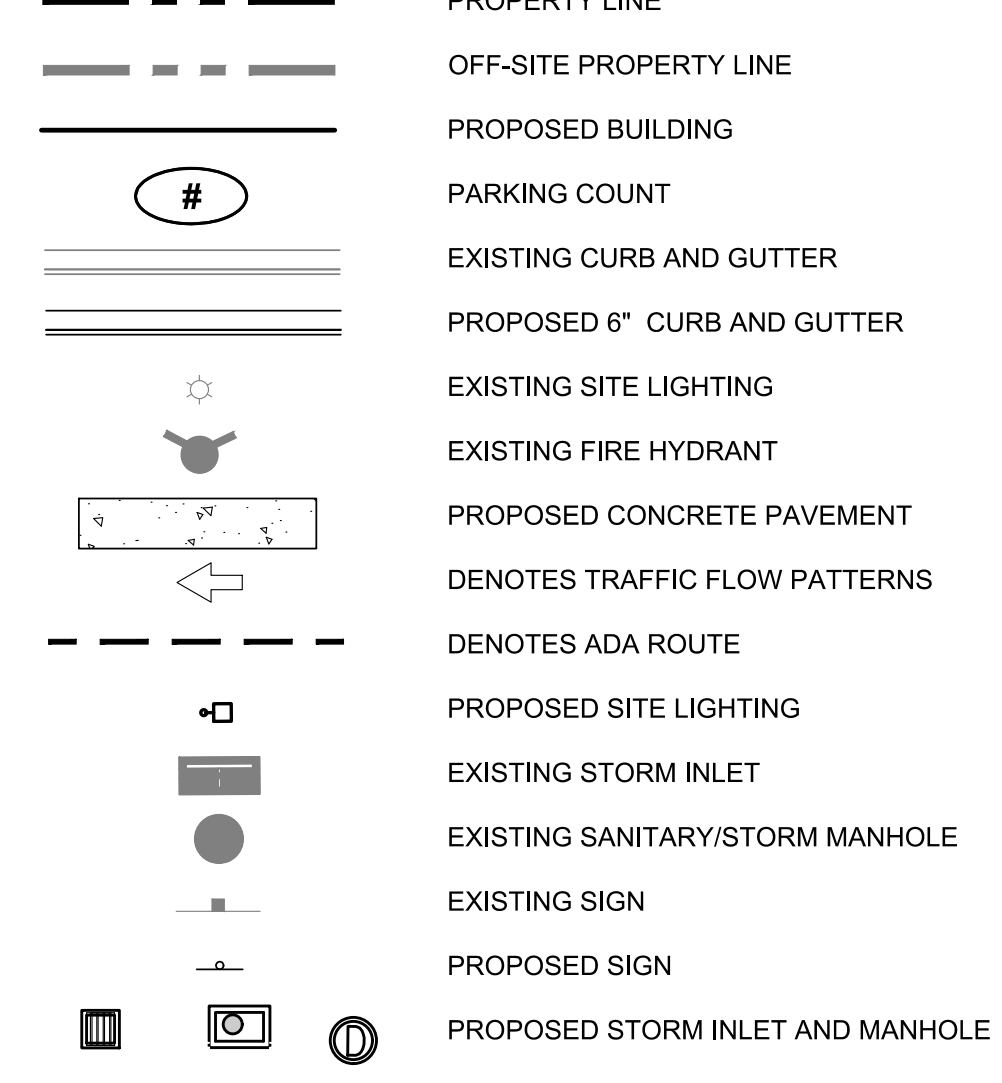
RELOCATE TRANSFORMER - MAY NOT BE INSTALLED NEAR DRIVE THRU (SEE IREA SAFE WORKING CLEARANCES)

PROVIDE EUSERC CABINET LOCATION

SITE SCHEDULE

- 1 EXISTING ADA RAMP TO REMAIN
- 2 EXISTING SIDEWALK TO REMAIN
- 3 EXISTING PROJECT MONUMENT SIGN TO REMAIN.
- 4 EXISTING STORM INLET TO REMAIN
- 5 EXISTING STORM MANHOLE TO REMAIN
- 6 EXISTING SANITARY MANHOLE TO REMAIN
- 7 EXISTING FIRE HYDRANT TO REMAIN
- 8 EXISTING CROSSWALK STRIPING
- 9 EXISTING SIGN TO REMAIN
- 10 EXISTING CURB AND GUTTER TO REMAIN
- 11 BEGIN CURB CUT. MATCH EXISTING CURB AND PROVIDE AN EXPANSION JOINT AT THE INTERFACE WITH EXISTING.
- 12 PROPERTY LINE
- 13 PROPOSED PAINT 4" SOLID WHITE DRIVE-THRU STRIPING.
- 14 PROPOSED CURB AND GUTTER (TYP.)
- 15 PROPOSED DRIVE-THRU ORDER SCREEN. REFER TO ARCHITECTURAL PLANS UNDER A SEPARATE COVER.
- 16 PROPOSED 8'X8' ELECTRICAL TRANSFORMER PAD. GENERAL CONTRACTOR TO PROVIDE CONCRETE PAD PER MANUFACTURER'S SPECIFICATIONS. REFER TO MEP PLANS FOR TRANSFORMER DESIGN AND DETAILS.
- 17 PROPOSED DRIVE-THRU MENU BOARD. REFER TO ARCHITECTURAL PLANS UNDER A SEPARATE COVER.
- 18 PROPOSED DRIVE-THRU CLEARANCE BAR & ENTRY SIGNAGE. REFER TO ARCHITECTURAL PLANS UNDER A SEPARATE COVER.
- 19 PROPOSED CONCRETE SIDEWALK
- 20 PROPOSED CONCRETE PAVEMENT
- 21 PROPOSED ASPHALT PAVEMENT
- 22 APPROX. LOCATION OF PROPOSED LIGHT POLES, BASE, AND FIXTURE. REFER TO PHOTOMETRIC PLAN UNDER SEPARATE COVER. (TYP.)
- 23 PROPOSED TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS UNDER SEPARATE COVER.
- 24 PROPOSED SEGMENTAL BLOCK RET. WALL - DESIGN BY OTHERS.
- 25 PROPOSED ADA PARKING SIGNAGE R7-8 MOUNTED ON BUILDING
- 26 PROPOSED ADA HANDICAP VAN ACCESSIBLE SIGN R7-8 AND R7-8A MOUNTED ON BUILDING
- 27 PROPOSED PAINT HC PARKING SYMBOL
- 28 PROPOSED ADA RAMP
- 29 PROPOSED BUILDING OVERHANG. REFER TO ARCHITECTURAL PLANS UNDER SEPARATE COVER.
- 30 PROPOSED PAINT 4" SOLID WHITE PARKING STRIPS AT 16" O.C. AN 45° TO THE DIRECTION OF TRAFFIC. BORDER TO BE 4" SOLID WHITE LINE.
- 31 PROPOSED COVERED PATIO AREA (397 SF). REFER TO ARCHITECTURAL PLANS UNDER A SEPARATE COVER.
- 32 PROPOSED ADA ROUTE
- 33 PROPOSED PAINT 4" 90° SOLID WHITE PARKING STRIP (TYP.)
- 34 PROPOSED DRIVE-THRU WINDOW
- 35 PROPOSED STORM INLET
- 36 PROPOSED CROSSWALK STRIPING
- 37 FACILITY MAIN PUBLIC ENTRY
- 38 PROPOSED FDC
- 39 FIRE RISER ROOM
- 40 MOUNTABLE CURB AND PAVEMENT FOR FIRE VEHICLE ACCESS
- 41 PROPOSED 2' SAWCUT ADJACENT TO PROPOSED SITE ACCESS.
- 42 SECONDARY ENTRANCE
- 43 PROPOSED SIDEWALK CHASE
- 44 PROPOSED BIKE RACK
- 45 PROPOSED HS-20 TRAFFIC RATED SANITARY SEWER CLEANOUT
- 46 PROPOSED 1,500 GALLON GREASE INTERCEPTOR
- 47 SCREENED AREA DEFINES ADA COMPLIANT ZONE OF ACCESSIBILITY FROM BUILDING FRONT ENTRANCE TO HANDICAP PARKING STALLS. CROSS SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- 48 CURB TURN DOWN

LEGEND



GENERAL NOTES:

1. ALL ITEMS IN SCHEDULE ARE PROPOSED UNLESS NOTED OTHERWISE.
2. ALL EXISTING UTILITIES AND SITE FEATURES TO REMAIN UNLESS NOTED OTHERWISE. **IREA HAS NO ELECTRIC FACILITIES NEAR**
3. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF ALL GOVERNING JURISDICTIONS AS APPLICABLE.
4. EMERGENCY AND SERVICE TRUCKS WILL MANEUVER THROUGH DRIVE AISLES IN A ONE-WAY TRAFFIC MOVEMENT.
5. CARS/TRUCKS WILL MANEUVER AROUND BUILDING DRIVE AISLES IN A TWO-WAY TRAFFIC MOVEMENT UNLESS OTHERWISE NOTED FOR SPECIFIC DRIVES.
6. HANDICAP PARKING AREAS PROVIDED PER TOWN STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BUILDING CODE.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, SERVICE AREA, DIMENSIONS, AND ELEVATIONS.
8. THE DISPOSAL OF DEMOLISHED ITEMS SHALL COMPLY TO ALL STATE AND LOCAL REQUIREMENTS.
9. MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE TOWN ZONING ORDINANCE.
10. ALL SIGNAGE CONTINGENT UPON APPROVAL BY THE TOWN. ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE ZONING ORDINANCE.
11. ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 12:1.
12. SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE.
13. THE SLIM CHICKENS HOURS OF OPERATION WILL BE 12 HOURS A DAY.
14. THERE ARE NO USES WITHIN THE SLIM CHICKENS PROJECT THAT UTILIZE OR GENERATE ANY SIGNIFICANT QUANTITIES OF TOXIC MATERIAL.
15. ALL DIMENSIONS ARE FLOWLINE TO FLOWLINE UNLESS OTHERWISE NOTED.
16. ALL PARKING LOT STRIPING SHALL BE WHITE.
17. UNLESS OTHERWISE NOTED, ALL RADII ON PARKING ISLAND SHALL BE 3'.
18. THE CONTRACTOR SHALL OBTAIN THE LATEST CAD FILE OF SITE IMPROVEMENTS FROM THE ENGINEER OF RECORD FOR HORIZONTAL AND VERTICAL SURVEY CONTROL PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY WITH ENGINEER OF RECORD ANY DISCREPANCIES BETWEEN THE CAD FILES AND CONSTRUCTION PLANS PRIOR TO INSTALLATION OF PLAN IMPROVEMENTS.
19. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

No.	REVISION	DATE

EES
ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.
501 S. Cherry St., Suite 300
Glendale, CO 80246
303.572.7987 www.ees.us.com

Life Changing Chicken
SLIM CHICKENS
Chicken Tenders - Buffalo Wings - Sandwiches - Salads - Wraps

SITE PLAN
SLIM CHICKENS
SVC OF S. PARKER ROAD AND E. PINE LANE, PARKER, CO 80134
SITE PLAN

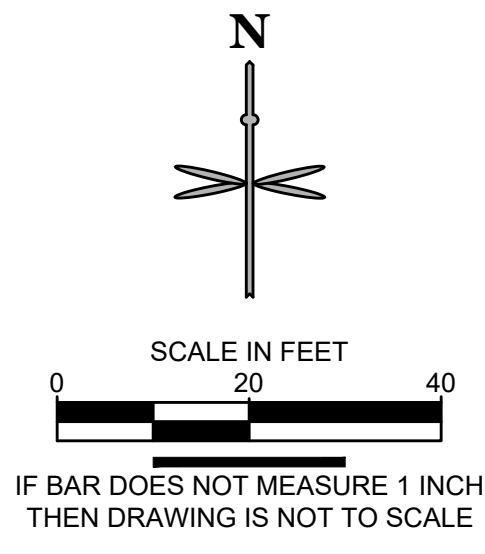
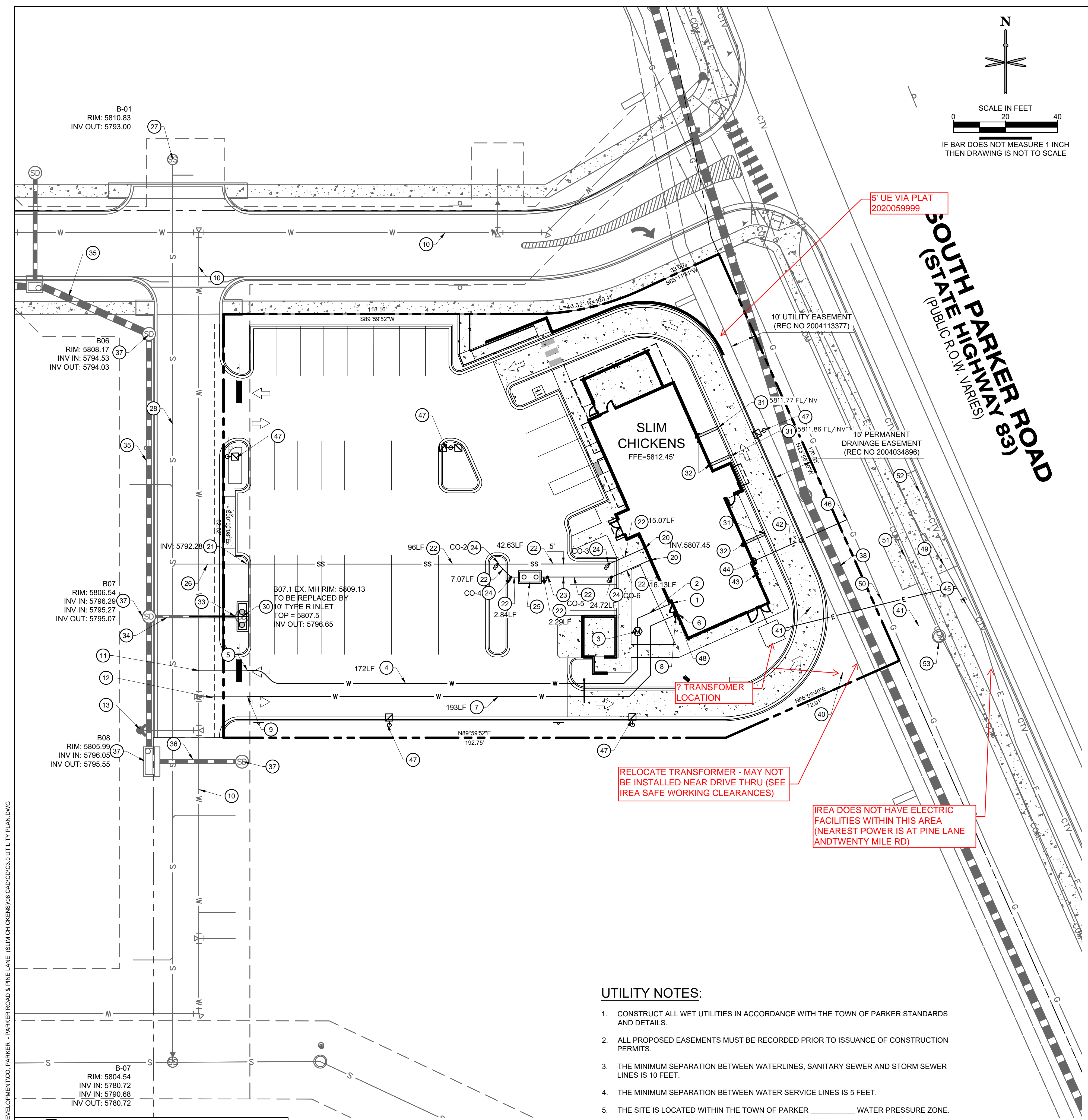
PROJECT NO: TSD003.01
DESIGNED BY: CAM
DRAWN BY: CAM
DATE: 06/15/2020

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811
CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987 or 811
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Know what's below.
Call before you dig.

P:\TRAIL STAR DEVELOPMENT\COO. PARKER - PARKER ROAD & PINE LANE (SLIM CHICKENS)\08 CAD\CDDC10 SITE PLAN.DWG



WATER

- 1 PROPOSED 1" TYPE K COPPER DOMESTIC WATER CONNECTION TO BUILDING. STUB 5' OFF OF BUILDING. REFER TO PLUMBING PLANS UNDER SEPARATE COVER FOR CONTINUATION.
- 2 PROPOSED 1.5" TYPE K COPPER DOMESTIC WATER SERVICE LINE INSTALLED 5' AFTER METER TO BLDG.
- 3 PROPOSED 1" DOMESTIC WATER METER (2' FROM ANY CONCRETE).
- 4 PROPOSED 1" TYPE K COPPER DOMESTIC WATER SERVICE LINE.
- 5 PROPOSED CONNECTION TO EXISTING 1" WATER STUB.
- 6 PROPOSED 4" DIP FIRE SERVICE LINE (PRIVATE) CONNECTION TO BUILDING. REFER TO PLUMBING PLANS UNDER SEPARATE COVER FOR CONTINUATION.
- 7 PROPOSED 4" DIP FIRE SERVICE LINE (PRIVATE).
- 8 PROPOSED FDC WITH APPROVED KNOX PLUGS/CAPS.
- 9 PROPOSED CONNECTION TO EXISTING 4" WATER STUB.
- 10 EXISTING 8" PVC LOOPED WATER MAIN BY OTHERS.
- 11 EXISTING 1" DOMESTIC WATER STUB BY OTHERS.
- 12 EXISTING 4" FIRE LINE STUB BY OTHERS.
- 13 EXISTING FIRE HYDRANT BY OTHERS.

SANITARY SEWER

- 20 PROPOSED 4" SANITARY SEWER STUB 5 FEET OFF BUILDING. REFER TO PLUMBING PLANS UNDER SEPARATE COVER FOR CONTINUATION.
- 21 PROPOSED 6" WYE SANITARY SEWER SERVICE CONNECTION WITH 4"x6" REDUCER. CONTRACTOR FIELD VERIFY AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 22 PROPOSED 4" PVC SDR 35 SANITARY SEWER SERVICE @ MIN. 2.1% SLOPE.
- 23 PROPOSED HS-20 TRAFFIC RATED SANITARY SEWER CLEANOUT. REFER TO CLEANOUT TABLE THIS SHEET.
- 24 PROPOSED 45° BEND W/ HS-20 TRAFFIC RATED SANITARY SEWER CLEANOUT. REFER TO CLEANOUT TABLE THIS SHEET.
- 25 PROPOSED 1,000 GALLON GREASE INTERCEPTOR (DESIGNED BY OTHERS).
- 26 EXISTING 6" PVC SANITARY SERVICE STUB BY OTHERS.
- 27 EXISTING SANITARY MANHOLE BY OTHERS. PROTECT IN PLACE.
- 28 EXISTING 8" PVC MAIN BY OTHERS.

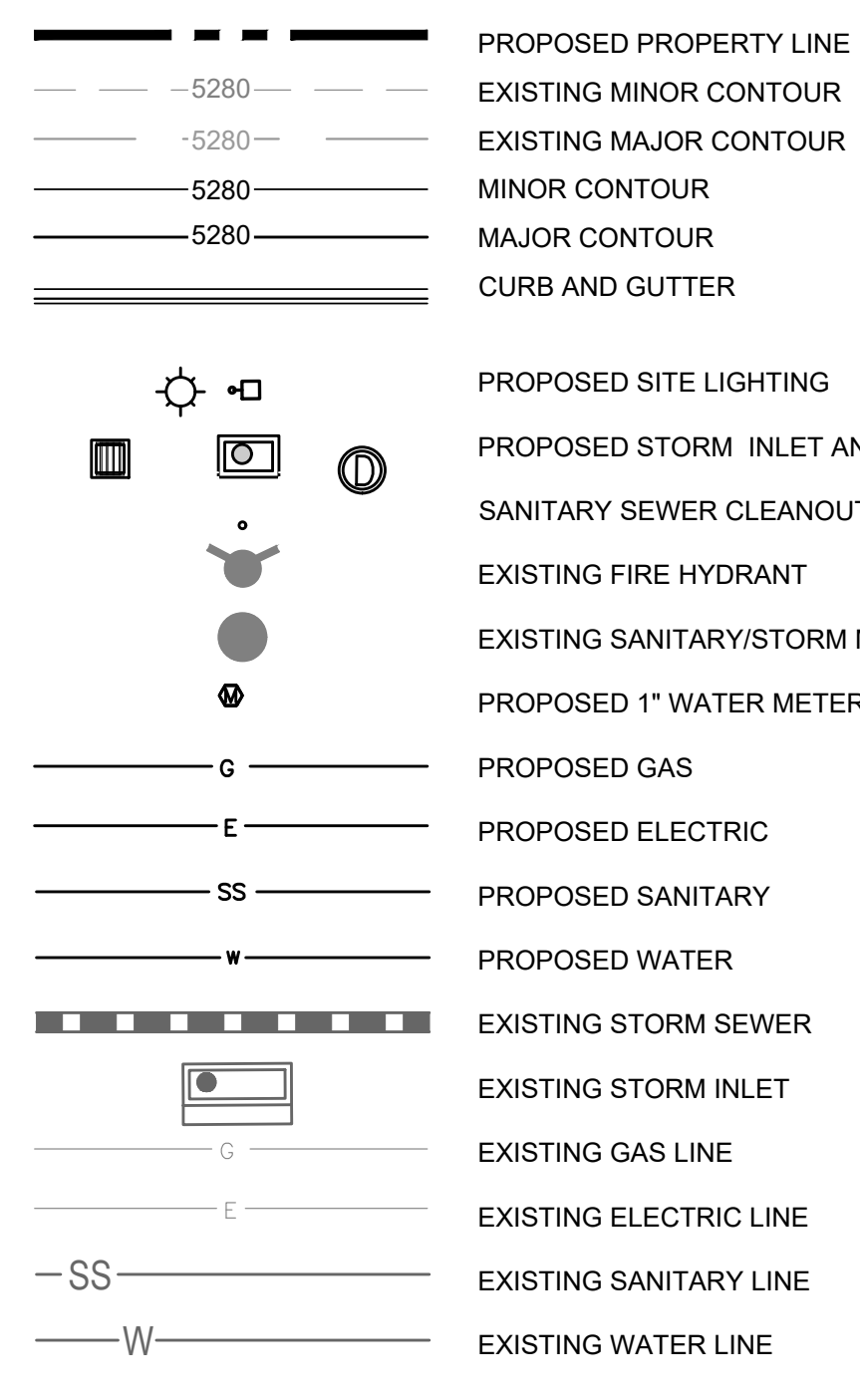
STORM SEWER

- 30 PROPOSED PRIVATE CDOT TYPE R INLET. EXISTING MANHOLE TO BE REMOVED.
- 31 PROPOSED CHASE DRAIN.

DRY UTILITIES

- 32 PROPOSED DOWNSPOUT LOCATION.
- 33 CONNECTION TO EXISTING PRIVATE STORM SEWER STUB (12" RCP @ 1.0%) PROVIDED BY OTHERS. CONTRACTOR TO VERIFY INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCY.
- 34 EXISTING PRIVATE 12" RCP STORM SEWER STUB AT 1.0% BY OTHERS. PROTECT IN PLACE.
- 35 EXISTING PRIVATE 24" RCP STORM SEWER BY OTHERS. PROTECT IN PLACE.
- 36 EXISTING PRIVATE 18" RCP STORM SEWER BY OTHERS. PROTECT IN PLACE.
- 37 EXISTING PRIVATE STORM SEWER, INLET OR MANHOLE BY OTHERS. PROTECT IN PLACE.
- 38 EXISTING PRIVATE 36" RCP STORM SEWER BY OTHERS. PROTECT IN PLACE.
- 40 PROPOSED 8' X 8' ELECTRICAL TRANSFORMER PAD. GENERAL CONTRACTOR TO PROVIDE CONCRETE PAD PER MANUFACTURER'S SPECIFICATIONS. REFER TO MEP PLANS FOR TRANSFORMER DESIGN UNDER SEPARATE COVER.
- 41 PROPOSED ELECTRIC LINE. (APPROXIMATE LOCATION. CONTRACTOR TO COORDINATE WITH PROJECT MEP AND UTILITY COMPANY PRIOR TO ANY CONSTRUCTION)
- 42 PROPOSED GAS LINE. (APPROXIMATE LOCATION. CONTRACTOR TO COORDINATE WITH PROJECT MEP AND UTILITY COMPANY PRIOR TO ANY CONSTRUCTION)
- 43 PROPOSED ELECTRICAL METER. (LOCATION FOR REFERENCE ONLY).
- 44 PROPOSED GAS METER. (LOCATION FOR REFERENCE ONLY).
- 45 PROPOSED ELECTRIC LINE CONNECTION TO EXISTING LINE. (LOCATION FOR REFERENCE ONLY).
- 46 PROPOSED GAS LINE CONNECTION TO EXISTING LINE. (LOCATION FOR REFERENCE ONLY).
- 47 PROPOSED LIGHT POLE, BASE AND FIXTURE (SEE PHOTOMETRIC PLAN UNDER SEPARATE COVER).
- 48 PROPOSED KNOX BOX (SEE ARCHITECTURAL PLANS UNDER SEPARATE COVER).
- 49 EXISTING UNDERGROUND ELECTRIC.
- 50 EXISTING UNDERGROUND GAS LINE.
- 51 EXISTING UNDERGROUND COMMUNICATION LINE.
- 52 EXISTING TELECOMMUNICATION LINE.
- 53 EXISTING UTILITY MANHOLE/STRUCTURE/BOX

UTILITY LEGEND



UTILITY NOTES:

1. CONSTRUCT ALL WET UTILITIES IN ACCORDANCE WITH THE TOWN OF PARKER STANDARDS AND DETAILS.
2. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
3. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
4. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
5. THE SITE IS LOCATED WITHIN THE TOWN OF PARKER WATER PRESSURE ZONE.
6. THE CONTRACTOR SHALL NOTIFY ENGINEER AND FIELD VERIFY TYPE, SIZE, AND LOCATION OF EXISTING UTILITIES PRIOR TO UTILITY CONSTRUCTION.
7. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER OF ANY WORK THAT IS REQUIRED SHUTDOWN OR INTERRUPTION OF SERVICE OF EXISTING WATER MAINS TWO WEEKS PRIOR TO THE PROPOSED SHUTDOWN OR INTERRUPTION UNLESS OTHERWISE APPROVED BY THE UTILITIES DEPARTMENT.

RELOCATE TRANSFORMER - MAY NOT BE INSTALLED NEAR DRIVE THRU (SEE IREA SAFE WORKING CLEARANCES)

AREA DOES NOT HAVE ELECTRIC FACILITIES WITHIN THIS AREA (NEAREST POWER IS AT PINE LANE AND TWENTY MILE RD)

5' UE VIA PLAT 2020059999

SOUTH PARKER ROAD (PUBLIC R.O.W. VARIES) HIGHWAY 83

811 CALL UTILITY NOTIFICATION CENTER OF COLORADO
 1-800-922-1987 or 811
 CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

DATE	
BY	
REVISION	
No.	

EES ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.
 501 S Cherry St, Suite 300
 Glendale, CO 80246
 303.672.7987 www.ees.us.com

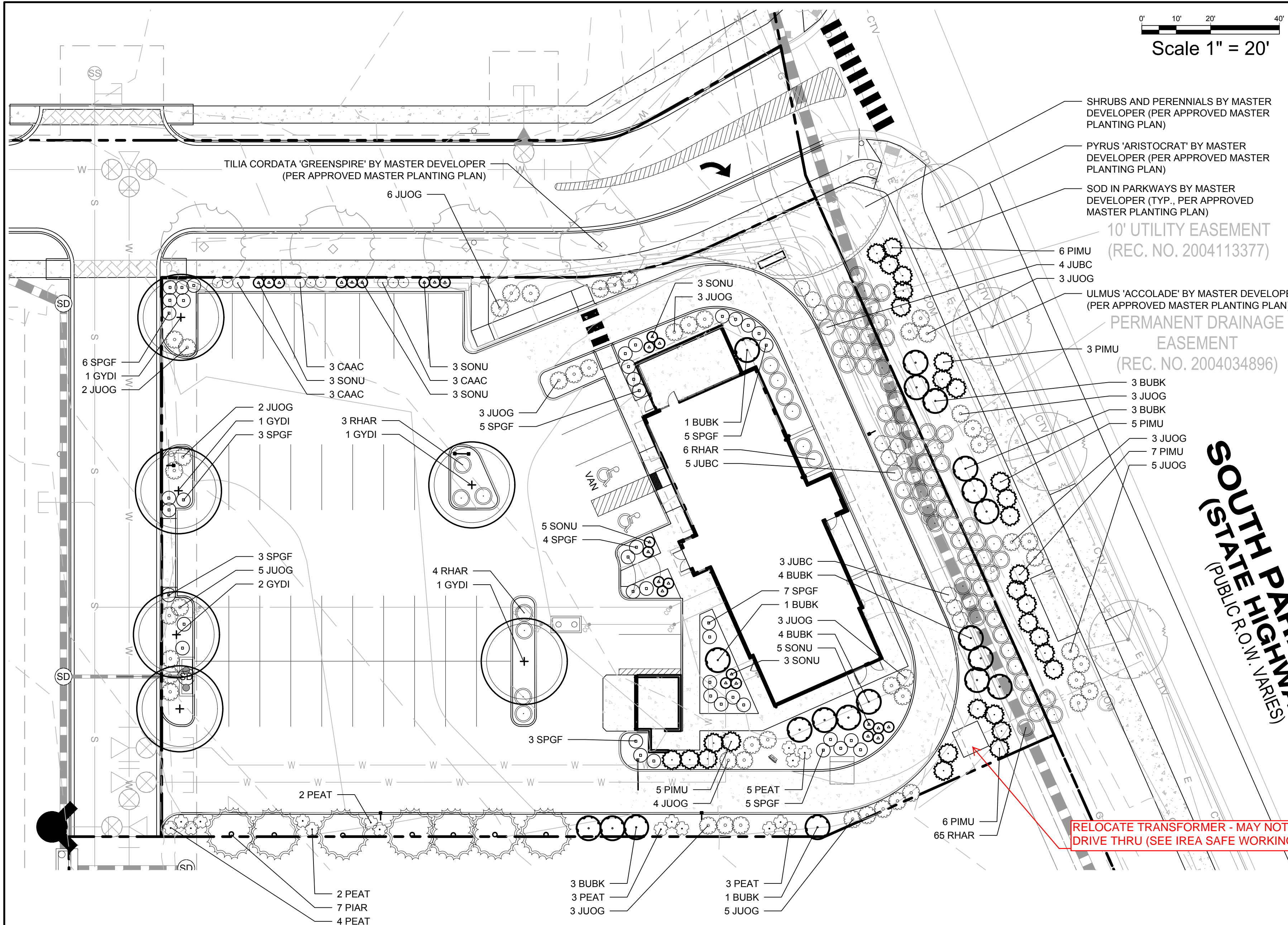
SLIM CHICKENS
 Life Changing Chicken
 Chicken Tenders - Buffalo Wings - Sandwiches - Salads - Wraps

SITE PLAN
SLIM CHICKENS
 SWC OF S. PARKER ROAD AND E. PINE LANE, PARKER, CO 80134

UTILITY PLAN

PROJECT NO: TSD003.01
 DESIGNED BY: CAM
 DRAWN BY: CAM
 DATE: 06/15/2020

C3.0



Scale 1" = 20'

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	YEARS TO MATURITY	SIZE AT MATURITY (HXW)
DECIDUOUS TREES							
GYDI	Gymnocladus dioica 'Espresso'	Seedless Coffeetree	B&B, 2" caliper	30' o.c.	6	20-25 years	40'-50' X 30'-35'
EVERGREEN TREES							
PIAR	Pinus aristata	Bristlecone Pine	B&B, 6" high min.	Per plan	7	20-25 years	20'-25' X 10'-15'
DECIDUOUS SHRUBS							
BUBK	Buddleia 'Black Knight'	Black Knight Butterfly Bush	5 gallon	7' o.c.	20	+/-5 years	7' X 7'
SPGF	Spiraea japonica 'Goldflame'	Goldflame Spiraea	5 gallon	4' o.c.	41	+/-5 years	2'-3' X 3'-4'
EVERGREEN SHRUBS							
JUOG	Juniperus media 'Old Gold'	Old Gold Juniper	5 gallon	4' o.c.	50	+/-5 years	3'-4' x 4'-5'
PEAT	Perovskia atriplicifolia	Russian Sage	5 gallon	3' o.c.	17	+/-3 years	3' X 3'
PIMU	Pinus mugo 'White Bud'	White Bud Mugo Pine	5 gallon	5' o.c.	30	+/-10 years	8' X 6'
PERENNIALS, ORNAMENTAL GRASSES, AND GROUNDCOVERS							
CAAC	Calamagrostis acutifolia 'Kari Foerster'	Kari Foerster Feather Reed Grass	1 gallon	18" o.c.	9	2 years	36"-48" X 18"-24"
JUBC	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 gallon	5' o.c.	12	+/-5 years	1' X 4'-5'
RHAR	Rhus aromatica 'Gro-Low'	Gro-Low-Sumac	1 gallon	5' o.c.	85	2 years	12"-24" X 60"-72"
SONU	Sorghastrum nutans 'Sioux Blue'	Sioux Blue Indian Rice Grass	1 gallon	3' o.c.	25	2 years	4'-6' X 2'-3'

TOWN OF PARKER LANDSCAPE CALCULATIONS

<p>GENERAL SITE AREA: 37,998 SF LANDSCAPE AREA REQUIRED: 5,700 SF (15%) LANDSCAPE AREA PROVIDED: 9,049 SF (23.8%) COVERAGE BY LIVE MATERIAL REQUIRED: 6,787 SF (75%) COVERAGE BY LIVE MATERIAL PROVIDED: 7,409 (81.9%)</p> <p>OVERALL SITE LANDSCAPE TOTAL AREA: 37,998 SF TREES REQUIRED: 6 (1 PER 1500 SF OF LANDSCAPE AREA) TREES PROVIDED: 23 DECIDUOUS: 14 (66.7%) EVERGREEN: 7 (33.3%) SHRUBS REQUIRED: 31 (5 PER 1500 SF OF LANDSCAPE AREA) SHRUBS PROVIDED: 219 (158 PROPOSED, 61 PER MASTER PLAN)</p> <p>NOTES: 1) ORNAMENTAL GRASSES ARE NOT USED IN THE LANDSCAPE CALCULATIONS.</p>	<p>SITE PERIMETER LANDSCAPE WESTERN FRONTAGE (163 LF) TREES REQUIRED: 4 (1 PER 40 LF OF FRONTAGE) TREES PROVIDED: 4 EVERGREEN: 0 DECIDUOUS: 4 SHRUBS REQUIRED: 21 (5 PER 40 LF OF FRONTAGE) SHRUBS PROVIDED: 21</p> <p>NORTHERN FRONTAGE (194 LF) TREES REQUIRED: 5 (1 PER 40 LF OF FRONTAGE) TREES PROVIDED: 4 (PER APPROVED MASTER PLAN) EVERGREEN: 0 DECIDUOUS: 5 SHRUBS REQUIRED: 25 (5 PER 40 LF OF FRONTAGE) SHRUBS PROVIDED: 67 (6 PROPOSED, 61 PER MASTER PLAN)</p> <p>EASTERN FRONTAGE (171 LF) TREES REQUIRED: 4 (1 PER 40 LF OF FRONTAGE) TREES PROVIDED: 4 (PER APPROVED MASTER PLAN) EVERGREEN: 0 DECIDUOUS: 5 SHRUBS REQUIRED: 22 (5 PER 40 LF OF FRONTAGE) SHRUBS PROVIDED: 37</p> <p>SOUTHERN PROPERTY LINE (266 LF) TREES REQUIRED: 7 (1 PER 40 LF OF FRONTAGE) TREES PROVIDED: 7 EVERGREEN: 7 DECIDUOUS: 0 SHRUBS REQUIRED: 34 (5 PER 40 LF OF FRONTAGE) SHRUBS PROVIDED: 34</p> <p>TOTAL EVERGREEN TREES: 7 (37%) TOTAL DECIDUOUS TREES: 12 (63%)</p>
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TOWN OF PARKER LANDSCAPE NOTES

- PLANT SPECIES AND LOCATION SHALL FOLLOW THE APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN THE APPLICANT MUST GET APPROVAL FROM THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT, PRIOR TO PLANTING.
- ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR NOT LESS THAN ONE YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- LANDSCAPE AREAS SHALL RECEIVE ORGANIC SOIL AMENDMENTS AT A RATE OF 5 CUBIC YARDS PER 1,000 SQUARE FEET, OR AS OTHERWISE RECOMMENDED BY A SOIL TEST. AMENDMENTS SHALL BE ROTOTILLED TO A MINIMUM DEPTH OF 8".
- ANY CHANGES TO THE SITE PLAN REQUIRE PRIOR APPROVAL FROM COMMUNITY DEVELOPMENT AND MAY REQUIRE A SITE PLAN AMENDMENT.
- NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.

ROOT BARRIERS

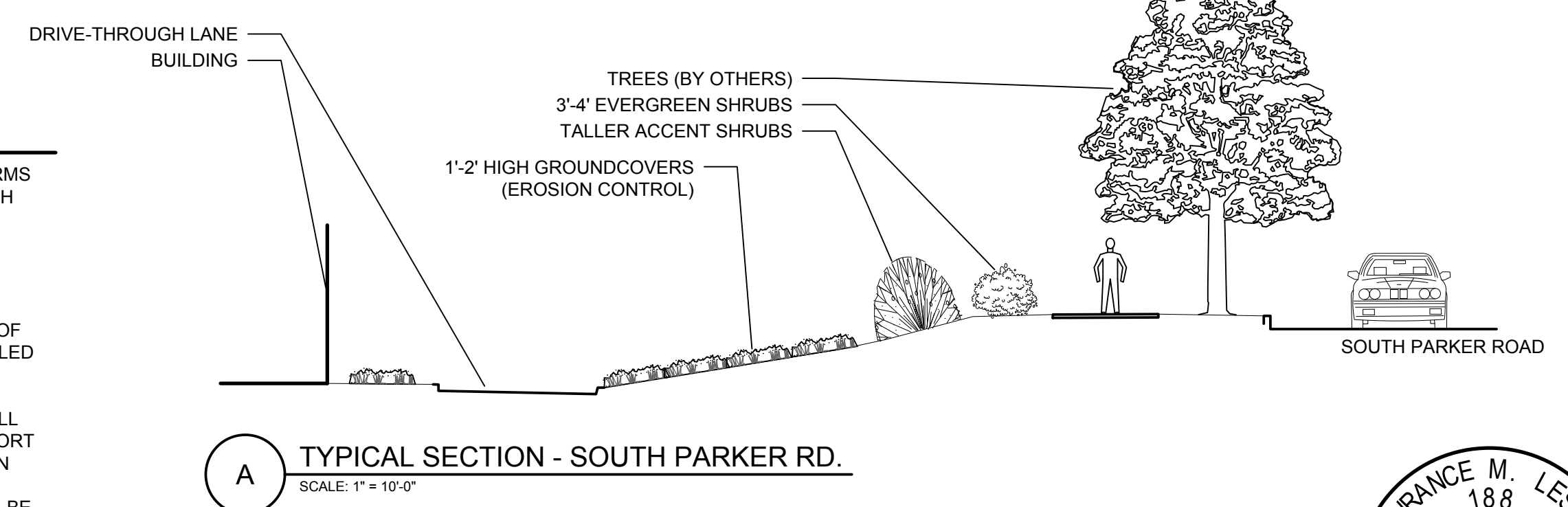
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF 4"-6" DIA. ROCK MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
 - THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
 - SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



A TYPICAL SECTION - SOUTH PARKER RD.
SCALE: 1" = 10'-0"

CITY NOTES

NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.

APPLICANT/DEVELOPER _____ DATE _____

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT. THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS _____ DATE _____

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987 or 811
 CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
 Know what's below. Call before you dig.

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 PLANTING PLAN

PROJECT NO.: TSD003.01
 DESIGNED BY: CAM
 DRAWN BY: CAM
 DATE: 06/15/2020

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