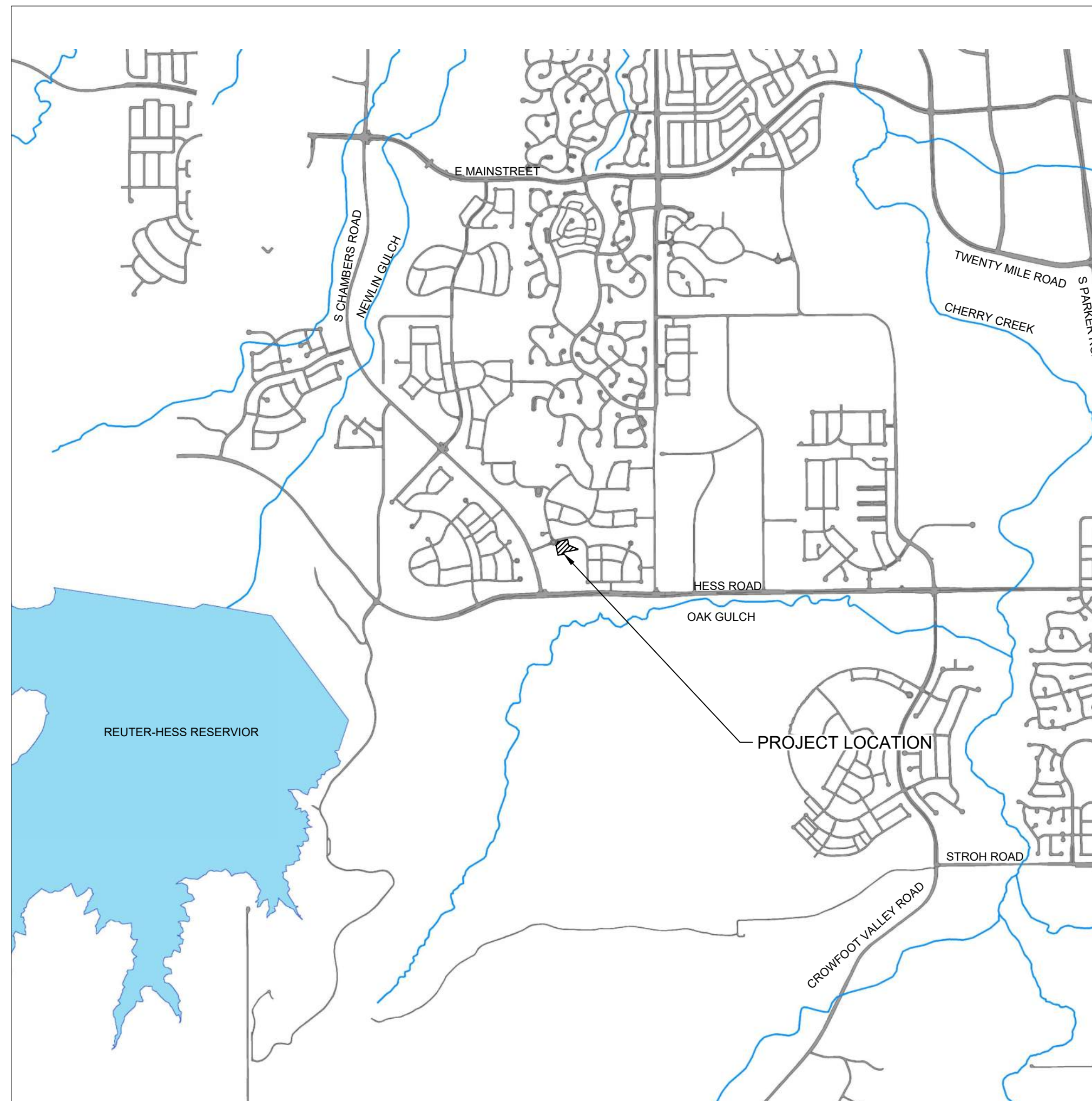


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- EXISTING**
- RIGHT OF WAY
 - PERMANENT EASEMENT
 - PROPERTY LINE
 - △ XX HORIZONTAL CONTROL POINT
 - ⊙ BENCHMARK
 - SURVEY MARKER
 - ⊙ SOIL BORING
 - SAN --- LIFT --- SANITARY SEWER AND MANHOLE
 - FM --- FORCE MAIN AND LIFT STATION
 - W --- SANITARY SEWER SERVICE & CLEANOUT
 - W --- WATER MAIN, HYDRANT, VALVE AND MANHOLE
 - W --- WATER SERVICE AND CURB STOP BOX
 - STM --- STORM SEWER, MANHOLE AND CATCH BASIN
 - G --- CULVERT AND APRON ENDWALL
 - G --- GAS MAIN, VALVE, VENT AND METER
 - HH --- HANDHOLE
 - FO --- BURIED FIBER OPTIC CABLE AND MANHOLE
 - T-BUR --- BURIED PHONE CABLE, PEDESTAL AND MANHOLE
 - TV-BUR --- BURIED TV CABLE, PEDESTAL AND MANHOLE
 - E --- BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
 - OVERHEAD WIRE, POLE AND GUY WIRE
 - LIGHT POLE
 - TRAFFIC SIGNAL
 - STREET NAME SIGN
 - SIGN (NON STREET NAME)
 - ==== RAILROAD TRACKS
 - ⊙ 6" ⊙ 6" DECIDUOUS AND CONIFEROUS TREE
 - ⊙ BUSH / SHRUB AND STUMP
 - WET --- EDGE OF WOODED AREA
 - WET --- WETLAND
 - BUILDING
 - X --- FENCE (UNIDENTIFIED)
 - X --- BARBED WIRE FENCE
 - XC --- CHAIN LINK FENCE
 - XE --- ELECTRIC WIRE FENCE
 - XWD --- WOOD FENCE
 - XWW --- WOVEN WIRE FENCE
 - PLATE BEAM GUARDRAIL
 - CABLE GUARDRAIL
 - O P --- POST / BOLLARD
 - RETAINING WALL
- PROPOSED**
- 6+00 --- STREET CENTERLINE
 - RIGHT-OF-WAY
 - PERMANENT EASEMENT
 - TEMPORARY EASEMENT
 - CONSTRUCTION LIMITS
 - FM --- SANITARY SEWER, BULKHEAD AND MANHOLE
 - FM --- FORCE MAIN
 - FM --- SANITARY SERVICE AND CLEANOUT
 - W --- WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
 - W --- WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
 - W --- WATER SERVICE AND CURB STOP BOX
 - STM --- STORM SEWER, MANHOLE AND CATCH BASIN
 - CULVERT AND APRON ENDWALL
 - DRAIN TILE
 - DITCH / SWALE
 - RIPRAP
 - STREET NAME SIGN
 - SIGN (NON STREET NAME)
 - RETAINING WALL

DOUGLAS 234, FILING NO. 6
 A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29,
 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
 1.651 ACRES

**SITE PLANS FOR
 NEW HORIZON ACADEMY**



PLAN SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C1.1	OVERALL SITE
C1.2	BUILDING SITE LAYOUT
C1.3	PARKING LOT SITE LAYOUT
C1.4	RETAINING WALL PLAN
C1.5	RETAINING WALL PROFILES
C2.0	GRADING PLAN
C5.0	SIGNAGE PLAN
A2.1 - A2.2	PRELIMINARY EXTERIOR ELEVATIONS
A2.3	PRELIMINARY ELEVATIONS
A2.4 - A2.5	PERSPECTIVES
ES.01	PHOTOMETRIC SITE PLAN
ES.02	LIGHT FIXTURE CUTSHEETS
ES.03	LIGHT FIXTURE CUTSHEETS
L1.01	LANDSCAPE PLAN
L1.02	IRRIGATION DIAGRAM
L1.03	LANDSCAPE DETAILS
	PLAYGROUND PLANS

BASIS OF BEARINGS:
 THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH P.M. BEARING SOUTH 89°15'13" WEST AS SHOWN ON FINAL PLAT DOUGLAS 234 FILING NO. 1.

BENCHMARK
 BENCHMARK IS BY GPS OBSERVATION NAVD 88. SET SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200'+/- NORTH OF HESS RD.

LEGAL DESCRIPTION:
 THIS IS AN AS-SURVEYED PERIMETER DESCRIPTION AROUND THE SUBJECT PROPERTY AND IS NOT INTENDED TO REPLACE THE RECORD LEGAL DESCRIPTION.

LOT 11, DOUGLAS 234, FILING 6, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.

CONTACT LIST

PARKER PUBLIC WORKS
 20120 E MAINSTREET
 PARKER, CO 80138
 STREETS - MIKE WAUGH
 STORM WATER - JACOB JAMES
 303-840-9546

TOWN OF PARKER POLICE DEPARTMENT
 196000 E PARKER SQUARE DR.
 PARKER, CO 80134
 303-841-9800

PARKER WATER AND SANITATION DISTRICT
 18100 E. WOODMAN DR.
 PARKER, CO 80134
 303-841-4627

FIRE & LIFE SAFETY
 RANDALL CAPRA
 20120 E. MAINSTREET
 CENTENNIAL, CO 80138
 303-205-3169

UTILITY NOTIFICATION COMPANY OF COLORADO
 2801 S. YOUNGFIELD ST. SUITE 301
 GOLDEN, CO 80401
 LOCAL CALLS
 800-922-1987 (811)

XCEL ENERGY
 MICHELLE O'NAN
 5909 E. 38TH AVE.
 DENVER, CO 80207
 303-329-1618

COMCAST
 KEVIN YOUNG
 6859 S. TUCSON WAY
 ENGLEWOOD, CO 80112
 720-490-3867

CENTURY LINK
 WILLIAM BENSON
 9750 E. COSTILLA AVE.
 ENGLEWOOD, CO 80220
 303-792-6069

COLORADO DEPARTMENT OF HEALTH
 4210 E. 11TH AVE.
 DENVER, CO
 303-320-8333

INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
 JASON JENKS
 5496 NORTH US HWY 85
 P.O. BOX DRAWER A
 SEDALIA, CO 80135
 303-688-3100

MILE HIGH FLOOD DISTRICT (MHFD)
 MIKE SARMENTO
 2480 W 26TH AVE. SUITE 156-B
 DENVER, CO 80211
 303-455-6277



Owner
 New Horizon Academy
 3405 Annapolis Lane
 N, Suite 100
 Plymouth, MN 55447
 763.557.1111

Architect
 Short Elliott Hendrickson, Inc.
 2000 South Colorado Boulevard
 Tower One, Suite 6000
 Denver, Colorado 80222
 720.540.6800

Landscape Architect
 Short Elliott Hendrickson, Inc.
 10901 Reed Circle Drive
 Suite 300
 Minnetonka, MN 55343
 952.912.2600

Civil Engineer
 Short Elliott Hendrickson, Inc.
 2000 South Colorado Boulevard
 Tower One, Suite 6000
 Denver, Colorado 80222
 720.540.6800

Structural Engineer
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 St. Paul, MN 55110
 651.490.2000

Mechanical Engineer
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 St. Paul, MN 55110
 651.490.2000

Electrical Engineer
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 St. Paul, MN 55110
 651.490.2000

New Horizon Academy
**NEW HORIZON ACADEMY -
 DOUGLAS 234 FILING, NO. 6**
 PARKER, CO

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SEH Project NHOAC 156217
Checked By DRH
Drawn By AMP

Project Status CONSTRUCTION SET
Issue Date 6/25/2021


Revision Issue

Rev. #	Description	Date

COVER SHEET

C0.0

LEGEND	
---	EXISTING MAJOR CONTOUR
- - -	EXISTING MINOR CONTOUR
---	PROPERTY LINE
---	LOT LINES
---	UTILITY EASEMENT
---	PROPOSED UTILITY EASEMENT
---	PERMANENT EASEMENT
---	SETBACK LINE
W	WATER MAIN
G	GAS MAIN
SAN	SANITARY SEWER
STM	STORM SEWER


PARKER
 Final Document
 APPROVED DATE: 04/26/2022
 Planning Approval By: C. Bryant
 Subject to conditions in final approval letter


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 for All of Us®



Owner
 New Horizon Academy
 3405 Annapolis Lane
 N., Suite 100
 Plymouth, MN 55447
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Architect
 Short Elliott Hendrickson, Inc.
 2000 South Colorado Boulevard
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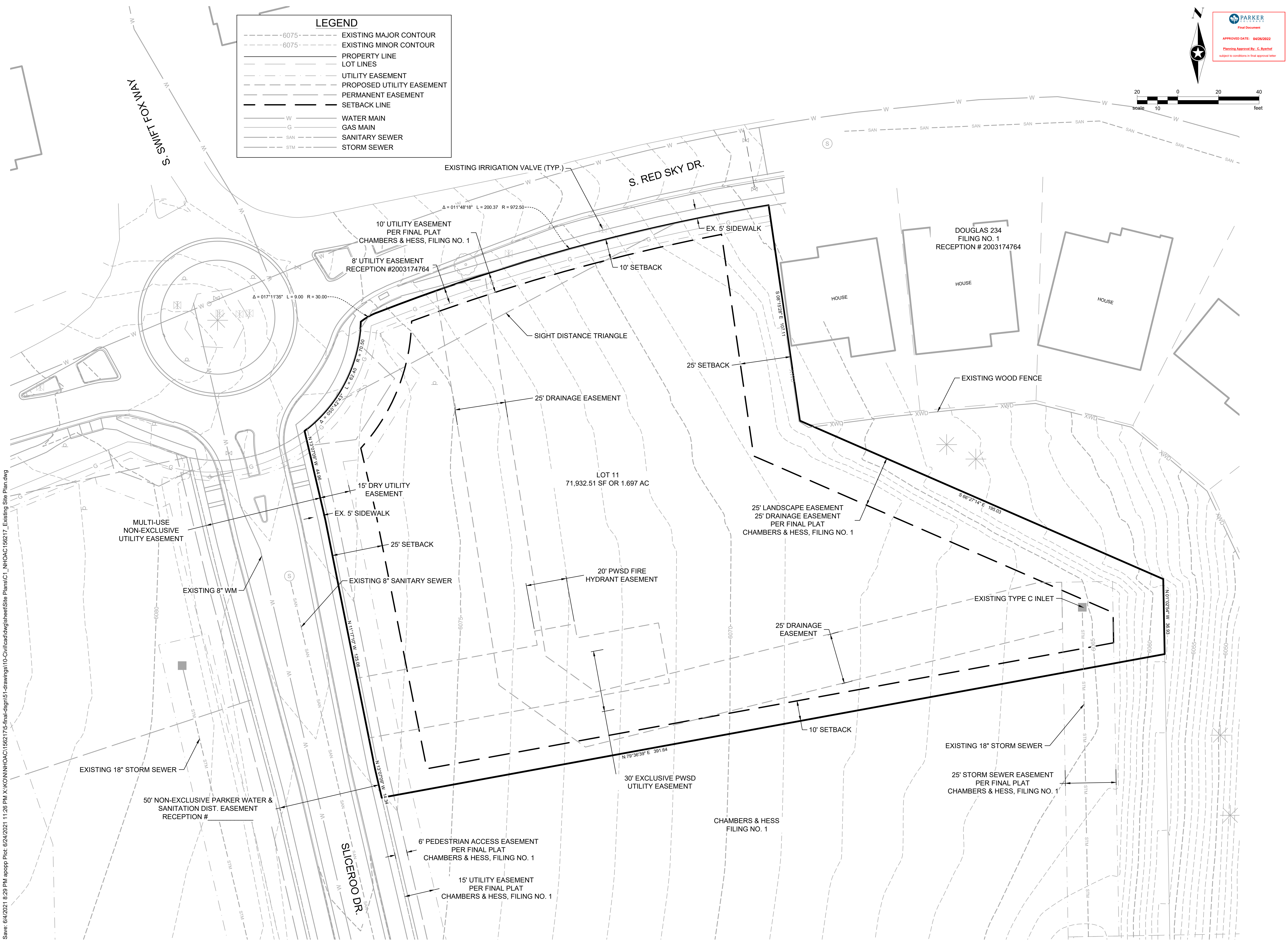
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 Short Elliott Hendrickson, Inc.
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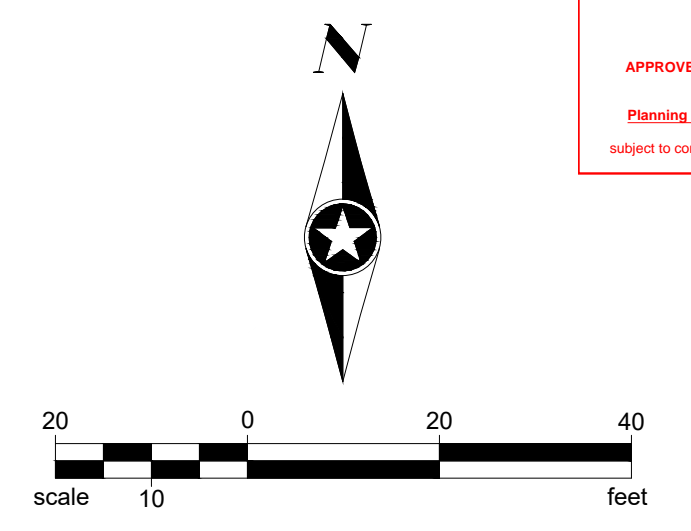
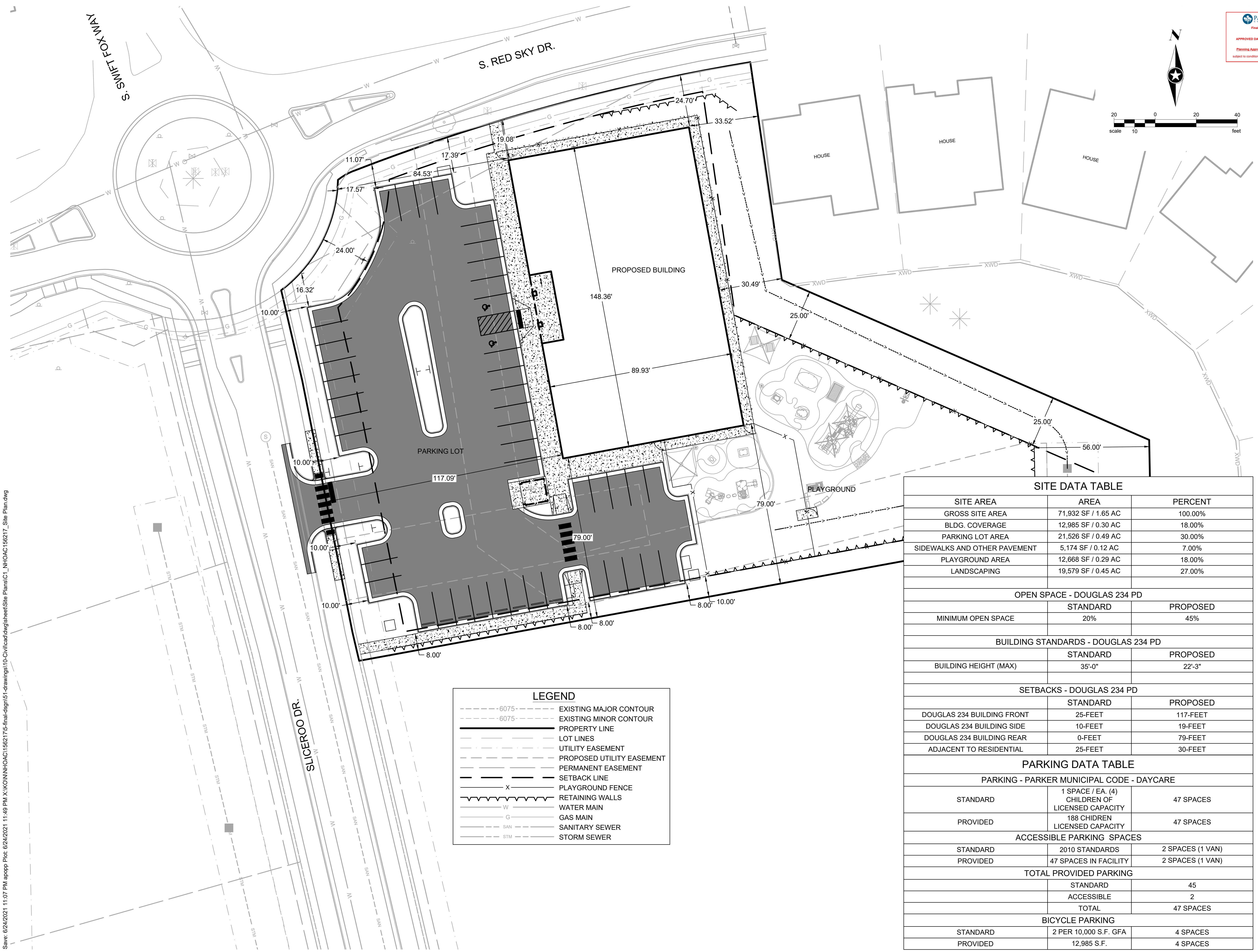
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 DOUGLAS 234 FILING, NO. 6
 PARKER, CO

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SEH Project		NHOC 156217	
Checked By		DRH	
Drawn By		AMP	
Project Status		Issue Date	
CONSTRUCTION SET		6/25/2021	
Revision Issue			
Rev. #	Description	Date	

EXISTING CONDITIONS

C1.0



LEGEND

--- -6075---	EXISTING MAJOR CONTOUR
--- -6075---	EXISTING MINOR CONTOUR
---	PROPERTY LINE
---	LOT LINES
---	UTILITY EASEMENT
---	PROPOSED UTILITY EASEMENT
---	PERMANENT EASEMENT
---	SETBACK LINE
x	PLAYGROUND FENCE
~ ~ ~	RETAINING WALLS
W	WATER MAIN
G	GAS MAIN
SAN	SANITARY SEWER
STM	STORM SEWER

SITE DATA TABLE		
SITE AREA	AREA	PERCENT
GROSS SITE AREA	71,932 SF / 1.65 AC	100.00%
BLDG. COVERAGE	12,985 SF / 0.30 AC	18.00%
PARKING LOT AREA	21,526 SF / 0.49 AC	30.00%
SIDEWALKS AND OTHER PAVEMENT	5,174 SF / 0.12 AC	7.00%
PLAYGROUND AREA	12,668 SF / 0.29 AC	18.00%
LANDSCAPING	19,579 SF / 0.45 AC	27.00%
OPEN SPACE - DOUGLAS 234 PD		
	STANDARD	PROPOSED
MINIMUM OPEN SPACE	20%	45%
BUILDING STANDARDS - DOUGLAS 234 PD		
	STANDARD	PROPOSED
BUILDING HEIGHT (MAX)	35'-0"	22'-3"
SETBACKS - DOUGLAS 234 PD		
	STANDARD	PROPOSED
DOUGLAS 234 BUILDING FRONT	25-FEET	117-FEET
DOUGLAS 234 BUILDING SIDE	10-FEET	19-FEET
DOUGLAS 234 BUILDING REAR	0-FEET	79-FEET
ADJACENT TO RESIDENTIAL	25-FEET	30-FEET
PARKING DATA TABLE		
PARKING - PARKER MUNICIPAL CODE - DAYCARE		
STANDARD	1 SPACE / EA. (4) CHILDREN OF LICENSED CAPACITY	47 SPACES
PROVIDED	188 CHILDREN LICENSED CAPACITY	47 SPACES
ACCESSIBLE PARKING SPACES		
STANDARD	2010 STANDARDS	2 SPACES (1 VAN)
PROVIDED	47 SPACES IN FACILITY	2 SPACES (1 VAN)
TOTAL PROVIDED PARKING		
	STANDARD	45
	ACCESSIBLE	2
	TOTAL	47 SPACES
BICYCLE PARKING		
STANDARD	2 PER 10,000 S.F. GFA	4 SPACES
PROVIDED	12,985 S.F.	4 SPACES

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SEH Project: NHOAC 156217
Checked By: DRH
Drawn By: AMP

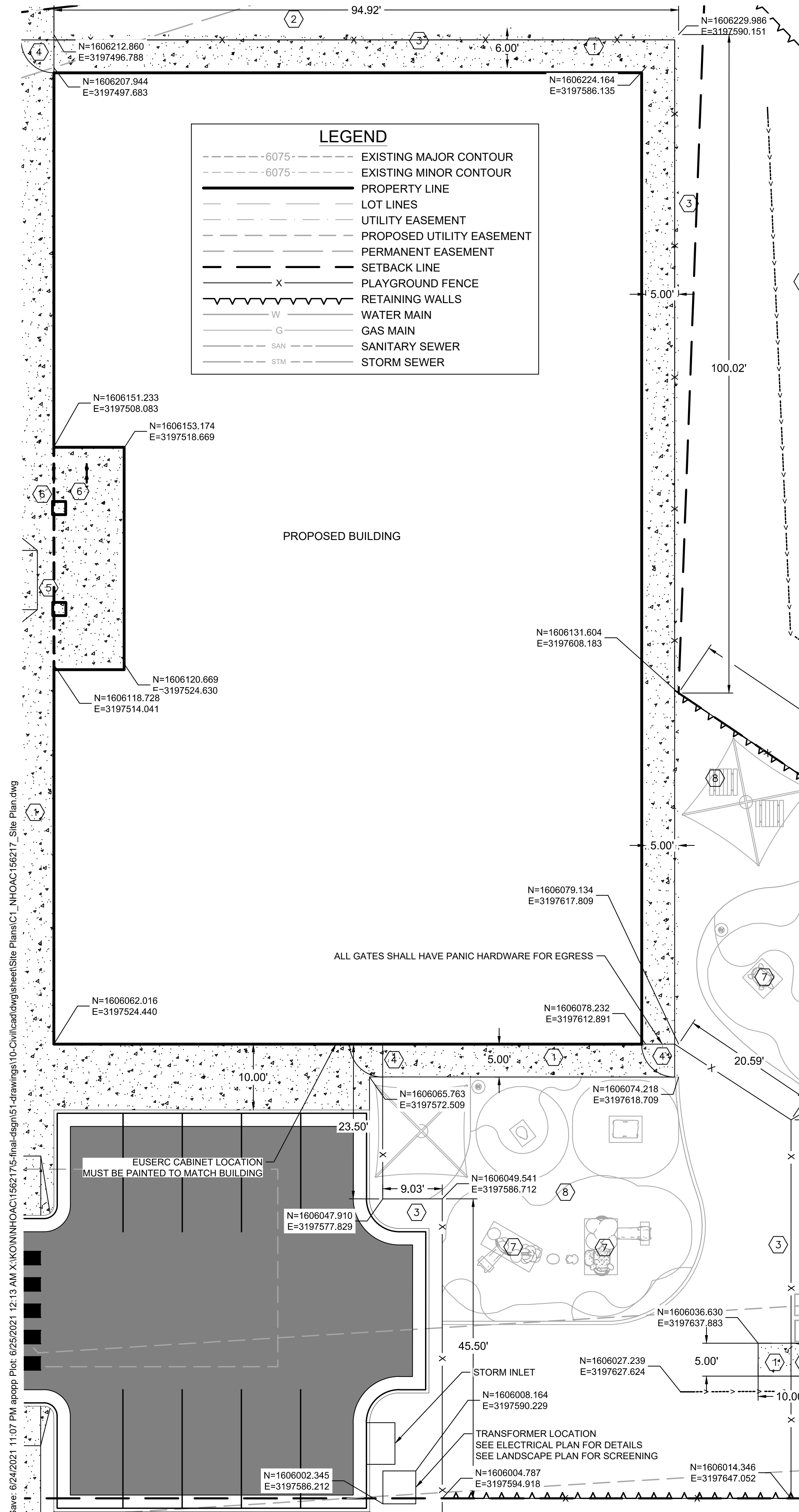
Project Status: CONSTRUCTION SET
Issue Date: 6/25/2021

Revision Issue

Rev. #	Description	Date
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OVERALL SITE

C1.1

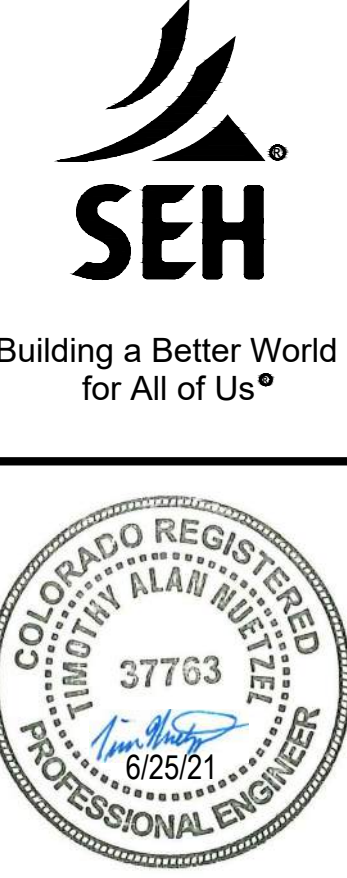


LEGEND

- - - 6075 - - - EXISTING MAJOR CONTOUR
- - - 6075 - - - EXISTING MINOR CONTOUR
- — — — — PROPERTY LINE
- — — — — LOT LINES
- - - - - UTILITY EASEMENT
- - - - - PROPOSED UTILITY EASEMENT
- - - - - PERMANENT EASEMENT
- - - - - SETBACK LINE
- X — — — — — PLAYGROUND FENCE
- ~ ~ ~ ~ ~ RETAINING WALLS
- W — — — — WATER MAIN
- G — — — — GAS MAIN
- SAN — — — — SANITARY SEWER
- STM — — — — STORM SEWER

- KEY NOTES**
- 1 CONCRETE SIDEWALK (SEE PLAN FOR WIDTH)
 - 2 LANDSCAPE AREA, SEE SHEET L1.01
 - 3 PLAYGROUND FENCE, SEE SHEET C1.4
 - 4 PLAYGROUND FENCE GATE
 - 5 CURB RAMP MID BLOCK CURB RAMP
 - 6 BIKE RACK, SEE DETAIL SHEET L1.03
 - 7 CONCRETE PLAYGROUND SECTION
 - 8 AGGREGATE PLAYGROUND SECTION

PARKER
Final Document
APPROVED DATE: 04/26/2022
Preparing Approval By: G. Bryant
Subject to conditions in final approval letter



Owner
New Horizon Academy
3405 Annapolis Lane
N., Suite 100
Plymouth, MN 55447
763.557.1111

Architect
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Landscape Architect
Short Elliott Hendrickson, Inc.
19501 Red Circle Drive
Suite 300
Minnetonka, MN 55343
952.912.2600

Civil Engineer
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Structural Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

Mechanical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

Electrical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

**NEW HORIZON ACADEMY -
DOUGLAS 234 FILING, NO. 6**
PARKER, CO

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SEH Project Checked By Drawn By

Project Status Issue Date

Revision Issue

Rev. # Description Date

BUILDING SITE LAYOUT

C1.2

KEY NOTES

- 1 CONCRETE SIDEWALK (SEE PLAN FOR WIDTH)
- 2 LANDSCAPE AREA, SEE LANDSCAPE SHEET L1.01
- 3 PLAYGROUND FENCE
- 4 PLAYGROUND FENCE GATE
- 5 CURB RAMP MID BLOCK CURB RAMP
- 6 BIKE RACK, SEE LANDSCAPE SHEET L1.03
- 7 ASPHALT PARKING LOT
- 8 CONCRETE DUMPSTER PAD,
- 9 DUMPSTER ENCLOSURE FENCE, SEE SHEET A2.1
- 10 DUMPSTER ENCLOSURE FENCE GATE
- 11 VERTICAL CURB AND GUTTER SECTION (CATCH)
- 12 VERTICAL CURB AND GUTTER SECTION (SPILL)
- 13 DIRECTIONAL CURB RAMP WITHIN RADIUS
- 14 PEDESTRIAN CURB RAMP FOR SIDEWALK OR TRAIL

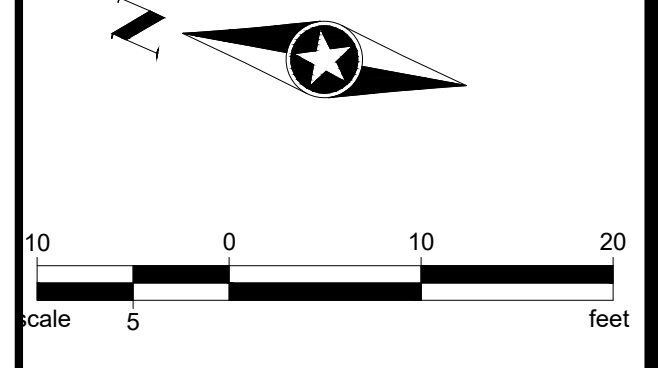
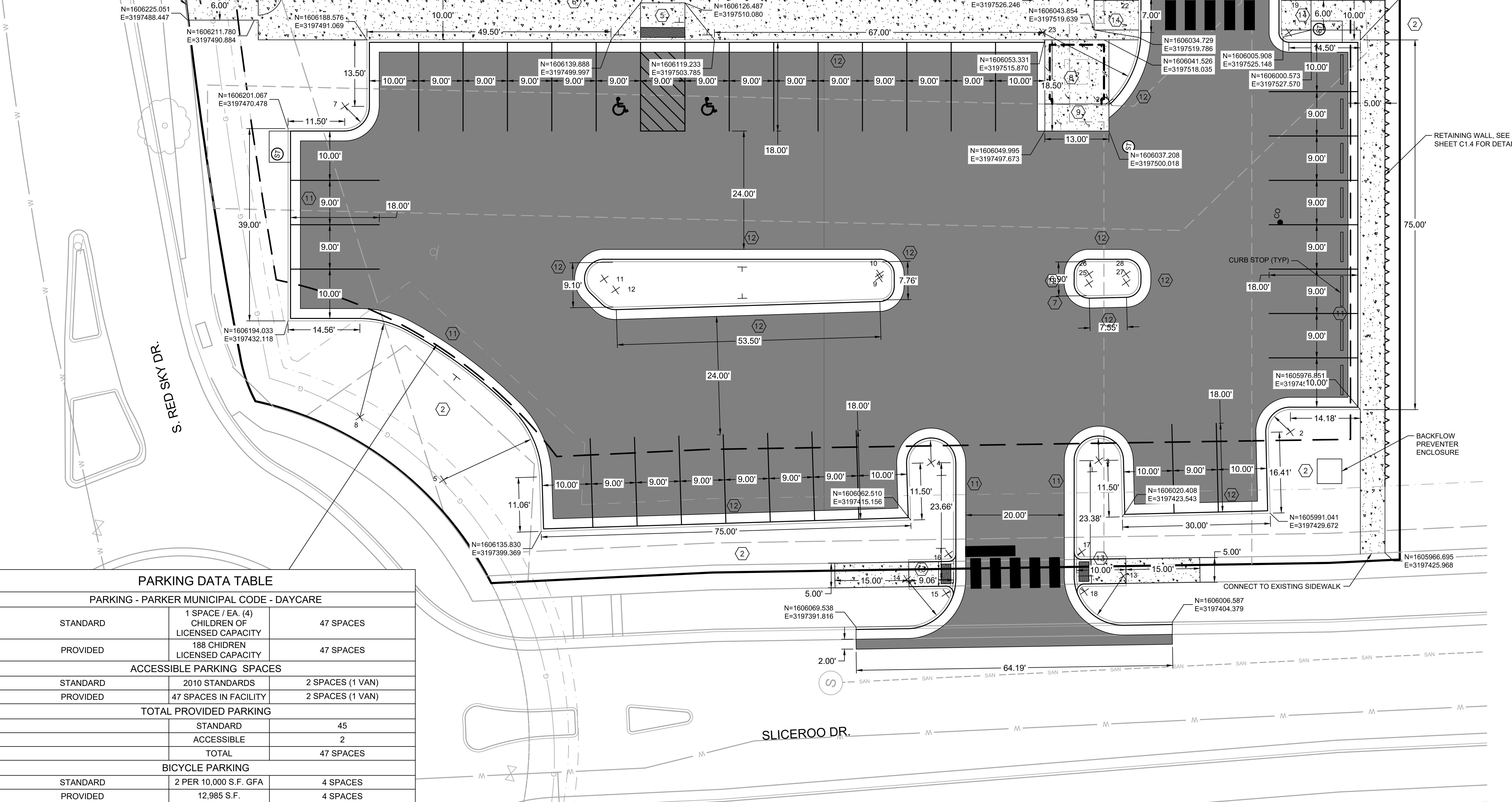
NOTE: CURB AND GUTTER AND FIRST LIFT OF ASPHALT MUST BE INSTALLED PRIOR TO ANY VERTICAL CONSTRUCTION OCCURRING BY ORDER OF THE FIRE MARSHALL.

LEGEND

- - - - -6075- EXISTING MAJOR CONTOUR
- - - - -6075- EXISTING MINOR CONTOUR
- PROPERTY LINE
- LOT LINES
- UTILITY EASEMENT
- - - - - PROPOSED UTILITY EASEMENT
- PERMANENT EASEMENT
- SETBACK LINE
- X X X X X PLAYGROUND FENCE
- RETAINING WALLS
- W W W W W WATER MAIN
- G G G G G GAS MAIN
- - - - - SAN SANITARY SEWER
- - - - - STM STORM SEWER

PROPOSED BUILDING

CONNECT TO EXISTING SIDEWALK



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COLORADO REGISTERED PROFESSIONAL ENGINEER
TIMOTHY ALAN WITTELL
37763
6/25/21

Owner
New Horizon Academy
3405 Annapolis Lane
N., Suite 100
Plymouth, MN 55447
763.557.1111

Architect
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Landscape Architect
Short Elliott Hendrickson, Inc.
10501 Red Circle Drive
Suite 300
Minnetonka, MN 55343
952.912.2600

Civil Engineer
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Structural Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

Mechanical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

Electrical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

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PARKER, CO

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NHOAC 156217 DRH AMP

Project Status: CONSTRUCTION SET
Issue Date: 6/25/2021

PARKING DATA TABLE

PARKING - PARKER MUNICIPAL CODE - DAYCARE		
STANDARD	1 SPACE / EA. (4) CHILDREN OF LICENSED CAPACITY	47 SPACES
PROVIDED	188 CHIDREN LICENSED CAPACITY	47 SPACES
ACCESSIBLE PARKING SPACES		
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	TOTAL	47 SPACES
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STANDARD	2 PER 10,000 S.F. GFA	4 SPACES
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PARKING LOT SITE LAYOUT

C1.3

Owner
New Horizon Academy
3405 Annapolis Lane
N., Suite 100
Plymouth, MN 55447
763.557.1111

Architect
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Landscape Architect
Short Elliott Hendrickson, Inc.
10301 Red Circle Drive
Suite 300
Minnetonka, MN 55343
952.912.2800

Civil Engineer
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Structural Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

Mechanical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
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Electrical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
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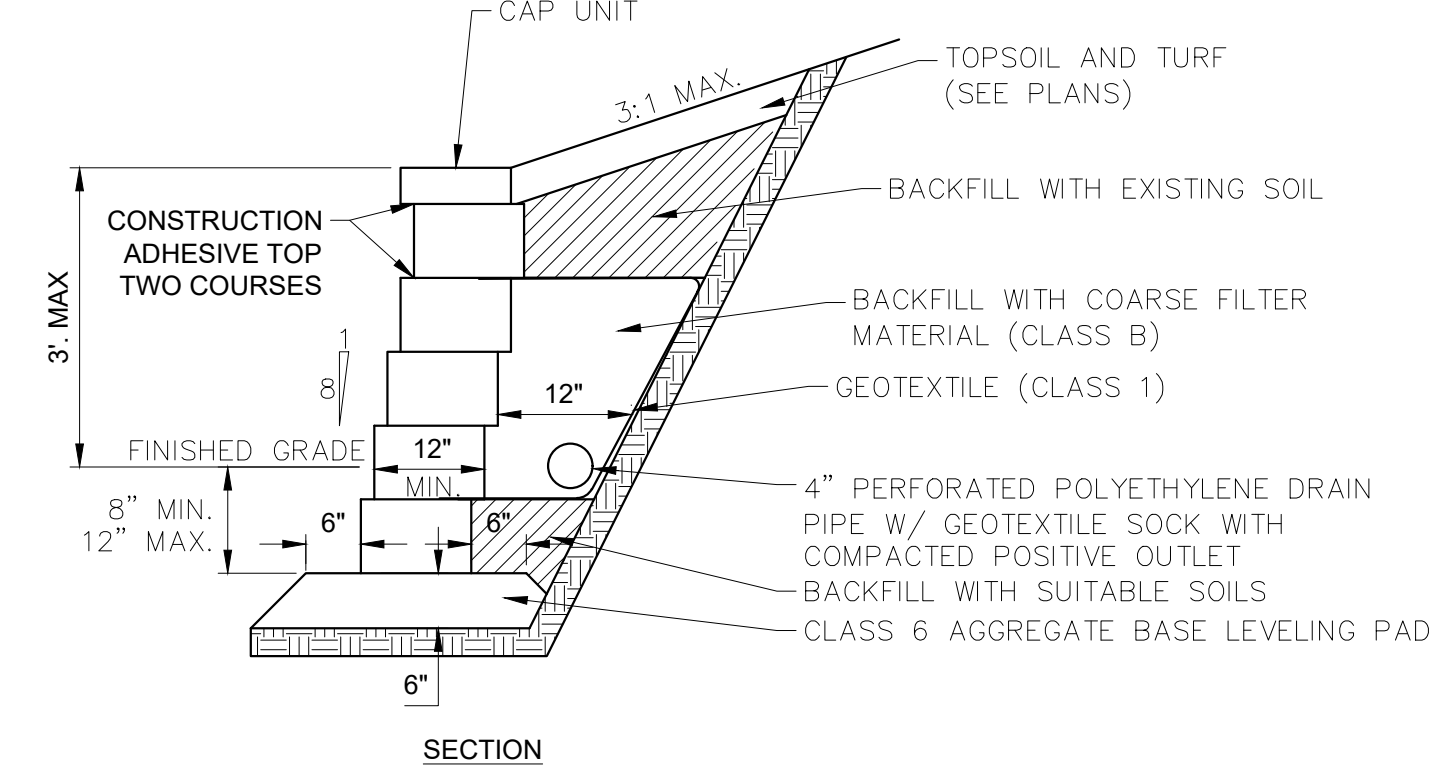
SEH Project NHOAC 156217
Checked By DRH
Drawn By AMP

Project Status CONSTRUCTION SET
Issue Date 6/25/2021

Revision Issue		
Rev. #	Description	Date

RETAINING WALL PLAN

- NOTES:**
- MAXIMUM EXPOSED HEIGHT NOT TO EXCEED 3 FEET. A SPECIFIC ENGINEERED DESIGN IS REQUIRED FOR WALLS WITH AN EXPOSED HEIGHT OVER 3 FEET.
 - FILL ALL VOID AREAS IN MODULAR BLOCK UNITS WITH COARSE FILTER MATERIAL (CLASS B) OR PEA GRAVEL AS APPROVED BY ENGINEER.
 - MODULAR BLOCK UNITS MUST HAVE INTERLOCKING LIP OR PIN CONNECTIONS.
 - RETAINING WALL LOCATION SHOWN ON PLANS.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR PROPOSED MODULAR BLOCK UNITS.
 - OUTLET DRAIN PIPE TO A STORM SEWER CATCH BASIN OR MANHOLE OR THROUGH FACE OF WALL.
 - RETAINING WALL BLOCK TO BE SPLIT FACE AND MATCH BUILDING COLOR PALETTE.
 - BASIS OF DESIGN IS ALLEN BLOCK CLASSIC IN TAN BLEND.

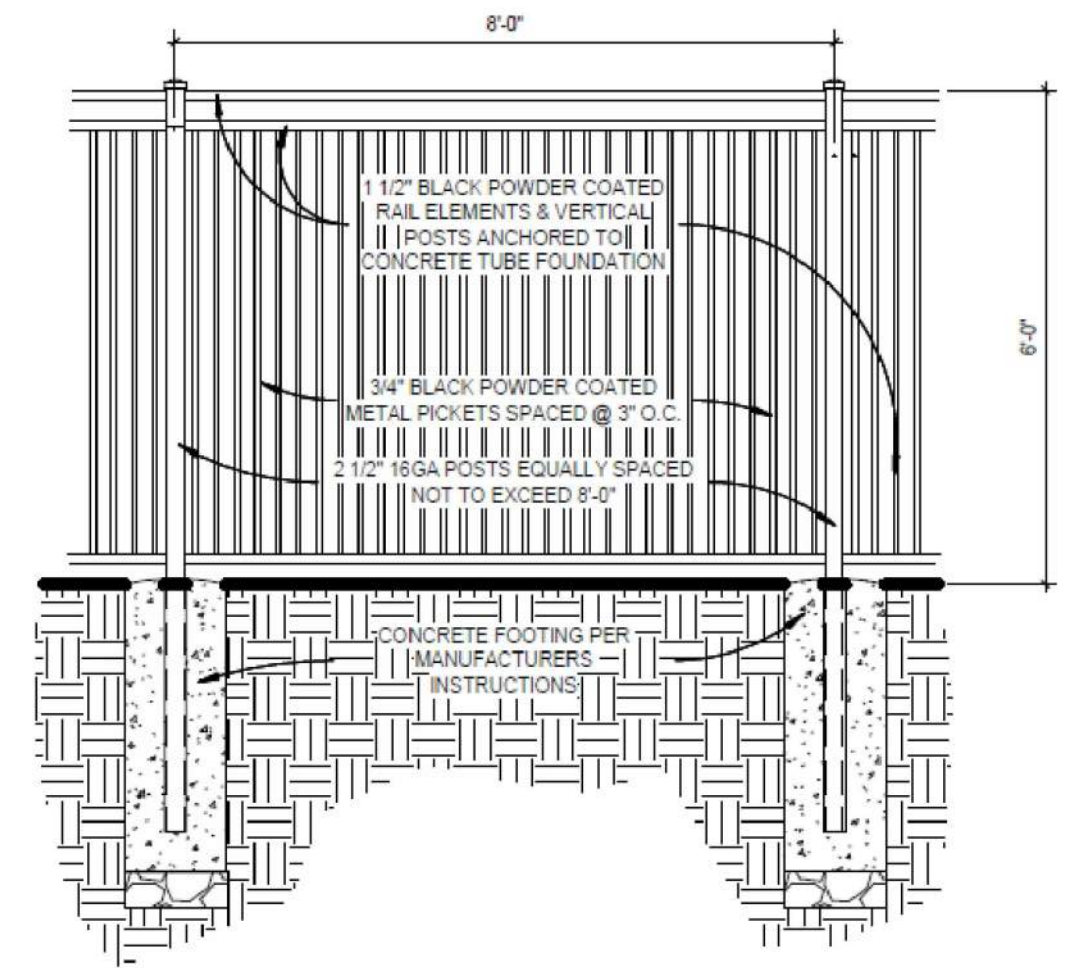


RETAINING WALL DETAIL GRAVITY WALL

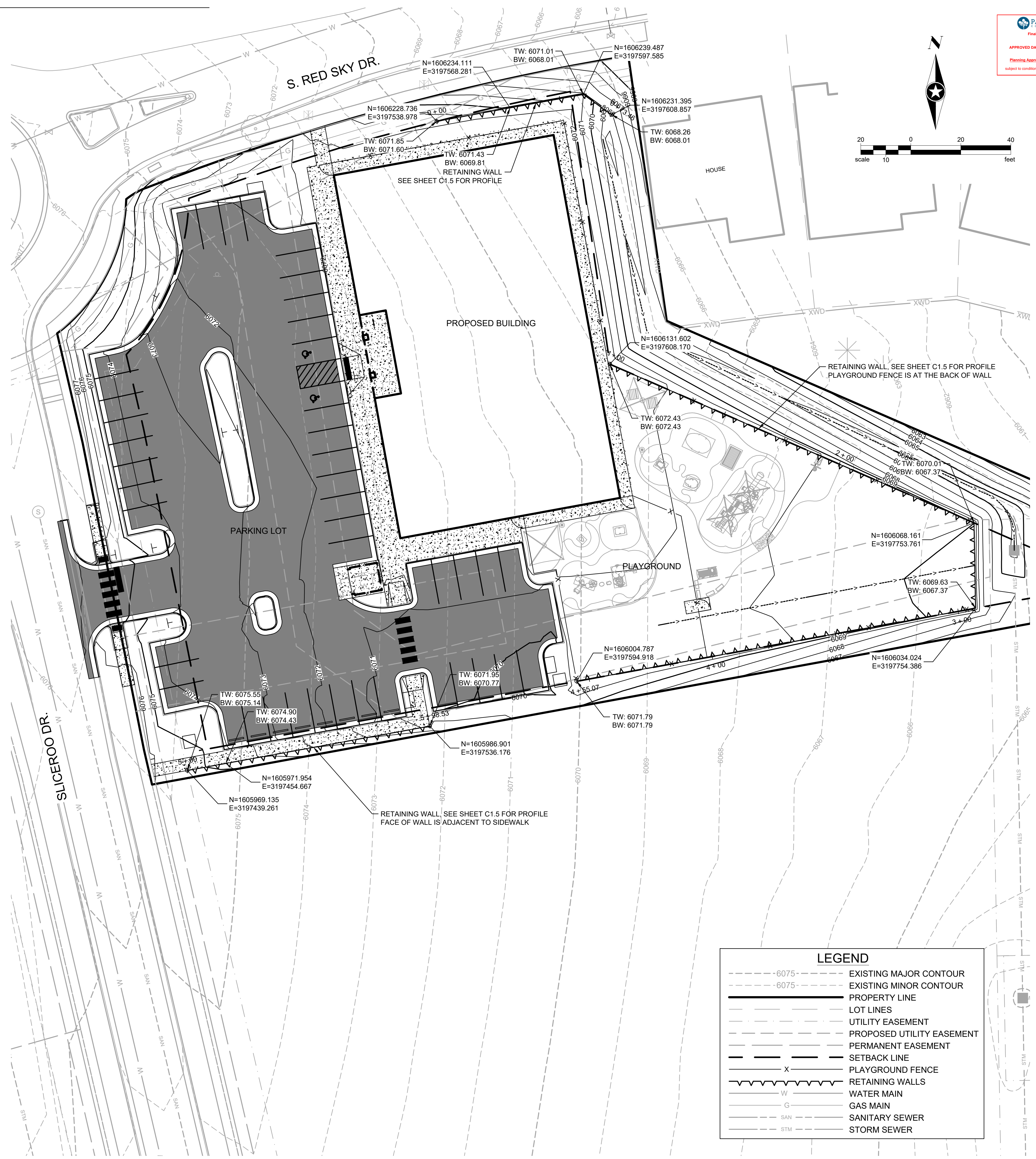
NTS
Revised: Oct. 2011
SEH Plate No. MISC-02



APPROXIMATE FINAL APPEARANCE OF WALL BLOCK.

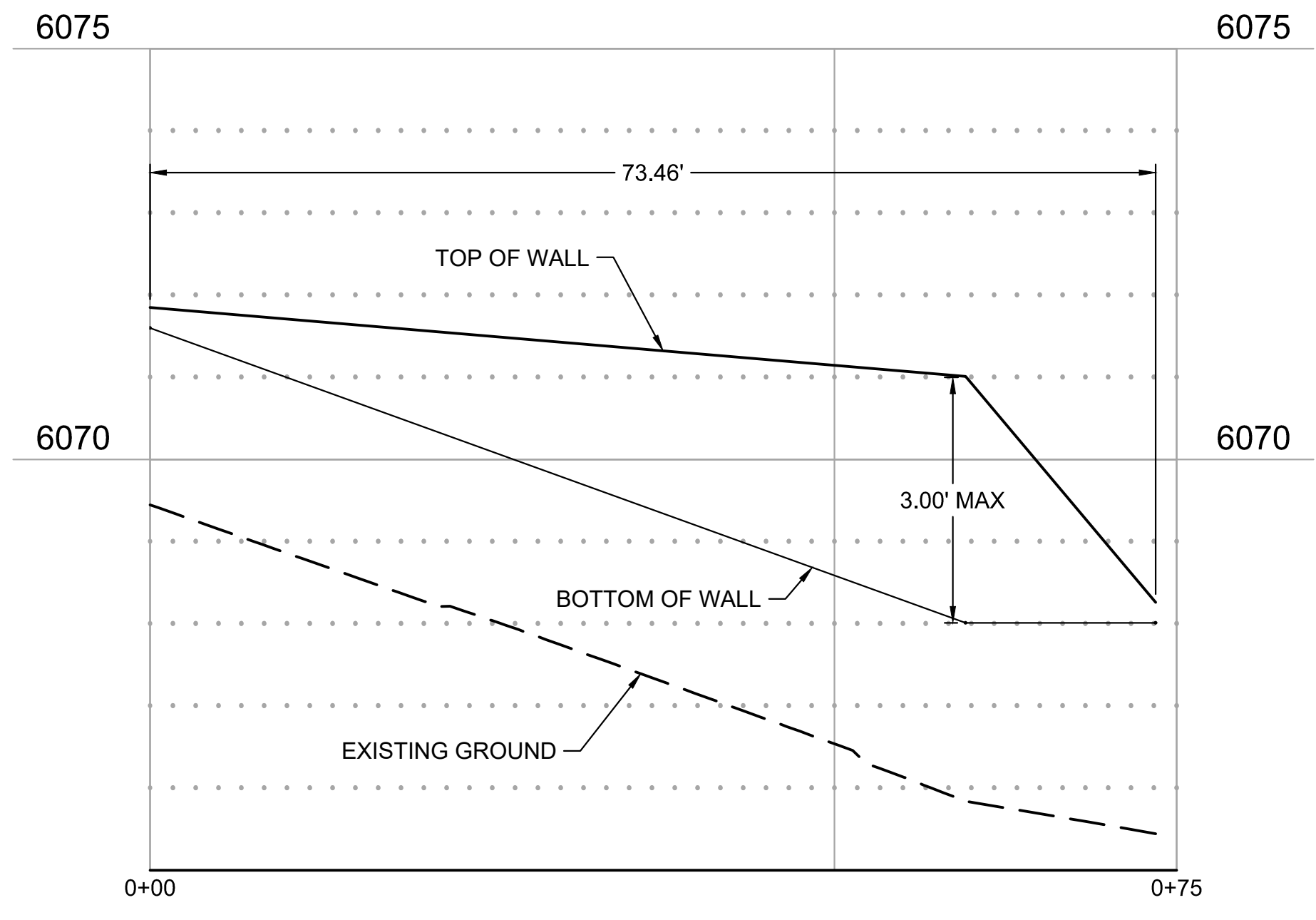


PLAYGROUND FENCE DETAIL
1/2" = 1'-0"

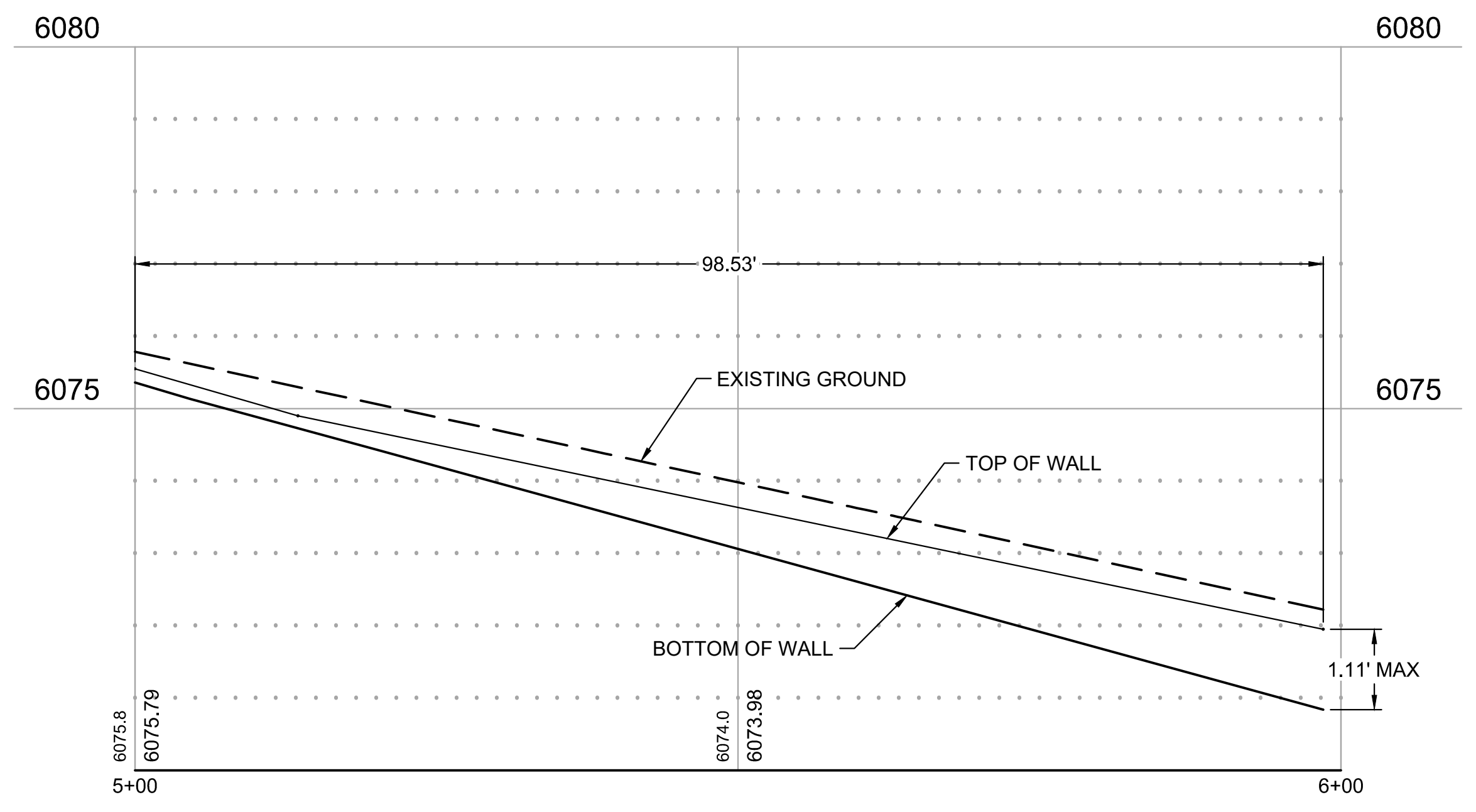
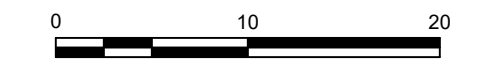


LEGEND

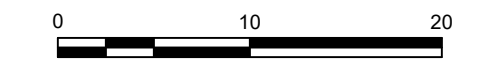
- - - - -6075-	EXISTING MAJOR CONTOUR
- - - - -6075-	EXISTING MINOR CONTOUR
—————	PROPERTY LINE
—————	LOT LINES
—————	UTILITY EASEMENT
—————	PROPOSED UTILITY EASEMENT
—————	PERMANENT EASEMENT
—————	SETBACK LINE
X	PLAYGROUND FENCE
———x———	RETAINING WALLS
W	WATER MAIN
G	GAS MAIN
SAN	SANITARY SEWER
STM	STORM SEWER



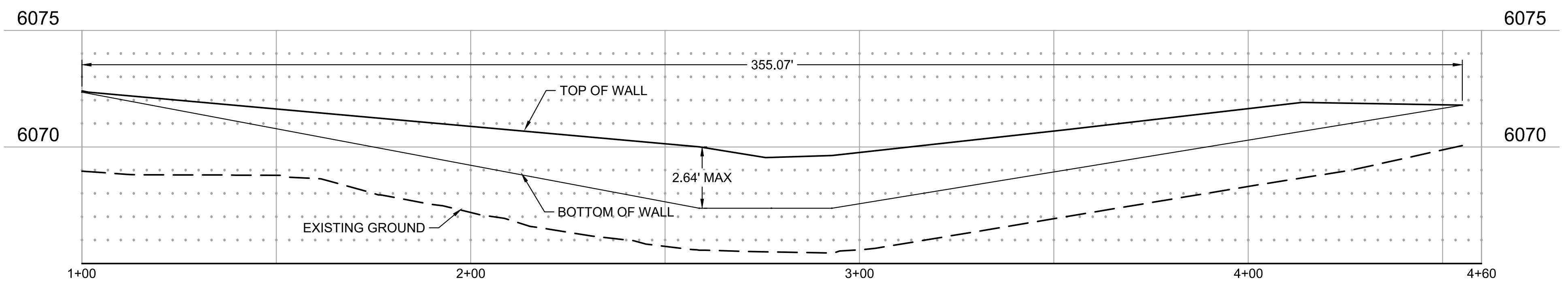
RETAINING WALL PROFILE
WALL ALONG NORTH SIDE OF BUILDING



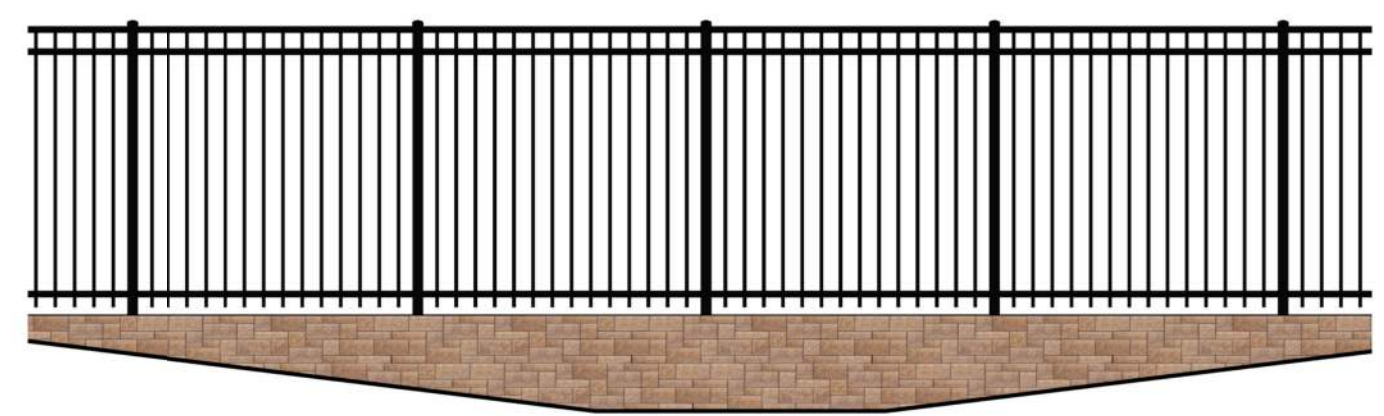
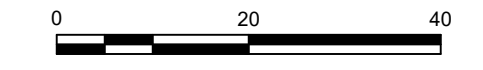
RETAINING WALL PROFILE
WALL ALONG SOUTH SIDE OF PARKING LOT



NOTE:
RETAINING WALL PROFILES ARE SHOWN FOR
REFERENCE ONLY. ELEVATIONS SHOULD BE
DETERMINED FROM PLAN SHEETS.



RETAINING WALL PROFILE
WALL ALONG PLAYGROUND FENCE

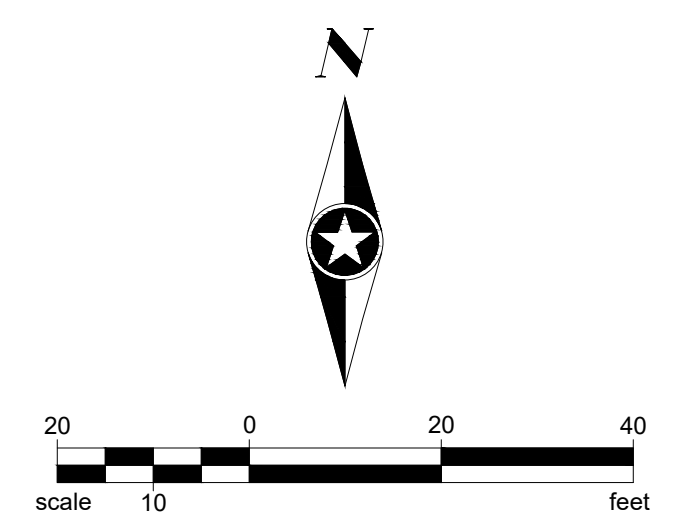


**TYPICAL ELEVATION OF RETAINING
WALL WITH PLAYGROUND FENCE**

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LEGEND	
---	6075- EXISTING MAJOR CONTOUR
---	6075- EXISTING MINOR CONTOUR
---	6075- PROPOSED MAJOR CONTOUR
---	6075- PROPOSED MINOR CONTOUR
---	PROPERTY LINE
---	LOT LINES
---	UTILITY EASEMENT
---	PROPOSED UTILITY EASEMENT
---	PERMANENT EASEMENT
---	SETBACK LINE
---	WATER MAIN
---	GAS MAIN
---	SANITARY SEWER
---	STORM SEWER



GENERAL GRADING NOTES

- EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
- GRADING TO STOP AT PROPERTY LINE, NOT THE SIDEWALK UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF PARKER FOR WORK WITHIN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CALL 811 PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PROPOSED BY RICK ENGINEERING COMPANY AS OF AUGUST 2020. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- GRADES SHOWN ARE FINISHED GRADES UNLESS OTHERWISE NOTED.
- CURB ELEVATIONS ARE AT BACK OF CURB UNLESS OTHERWISE NOTED.
- AT A MINIMUM, ALL EARTHWORK AND SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR PROJECT 167366 PREPARED BY ROCKY MOUNTAIN GROUP AND DATED DECEMBER 6, 2018.
- CONTRACTOR SHALL CONDUCT SAMPLING AND TESTING QUALITY CONTROL PER THE PLANS AND THE REFERENCED GEOTECHNICAL ENGINEERING REPORT RECOMMENDATIONS.
- PRIOR TO BEGINNING ANY EXCAVATION OR FILL, STRIP EXISTING TOPSOIL AND STOCKPILE OUTSIDE OF THE CONSTRUCTION AREA. REASONABLE CARE SHALL BE TAKEN TO PREVENT CONTAMINATION OF THE TOPSOIL.
- DESIGNATION/LOCATIONS OF CATCH AND SPILL CURB AND GUTTER ARE SHOWN ON SHEETS C1.3.
- MATCH ALL DOORWAYS WITH A 5X5' SIDEWALK WITH SLOPES LESS THAN 2% IN ANY DIRECTION. PROVIDE WARPING AS REQUIRED TO BLEND GRADES.
- SEE SHEETS C4.0 AND C4.1 FOR PROPOSED STORM ELEVATIONS FOR NEW AND EXISTING STRUCTURES.

PARKER
Final Document
APPROVED DATE: 04/26/2022
Planning Approval By: E. Buerhol
Subject to conditions of final approval letter

SEH
Building a Better World for All of Us®
COLORADO REGISTERED PROFESSIONAL ENGINEER
TIMOTHY ALAN WITTEL
37763
6/25/21

Owner
New Horizon Academy
3405 Annapolis Lane
N, Suite 100
Plymouth, MN 55447
763.557.1111

Architect
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

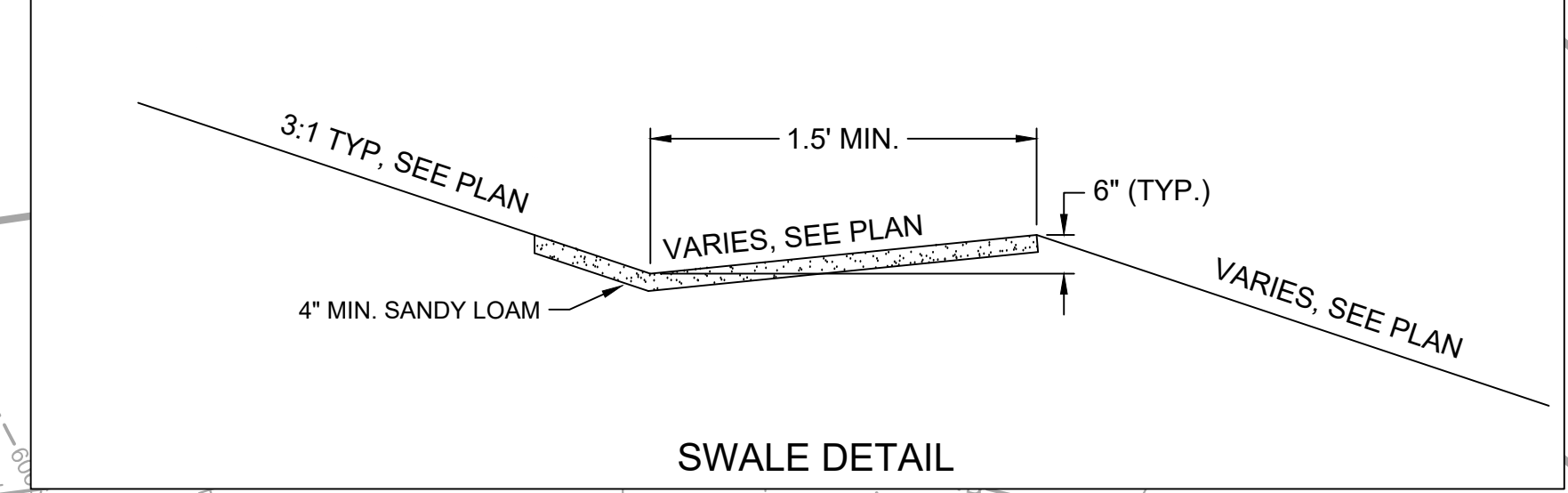
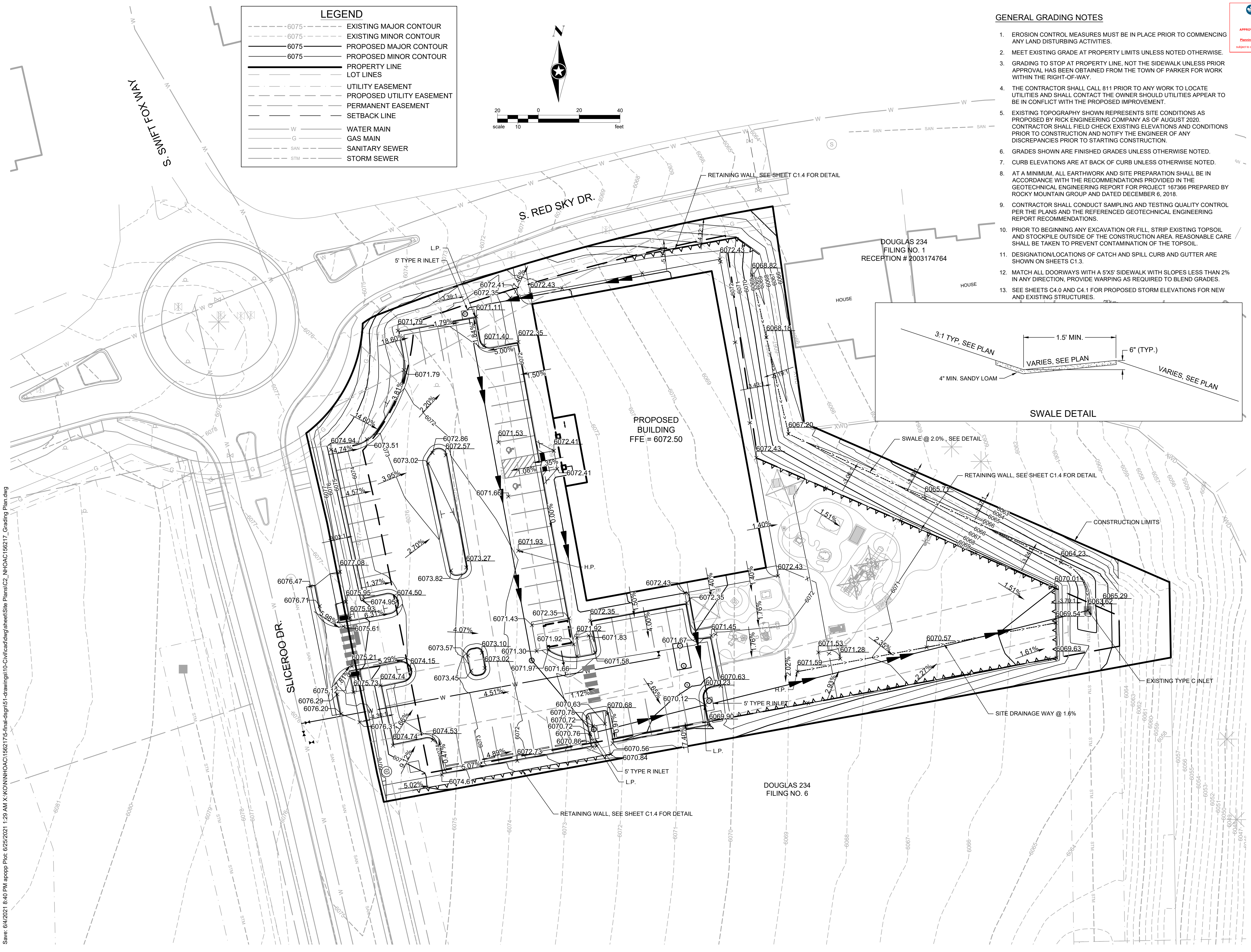
Landscape Architect
Short Elliott Hendrickson, Inc.
10901 Red Circle Drive
Suite 300
Minnetonka, MN 55343
952.912.2600

Civil Engineer
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Structural Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

Mechanical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

Electrical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000



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SEH Project
Checked By
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DRH
AMP

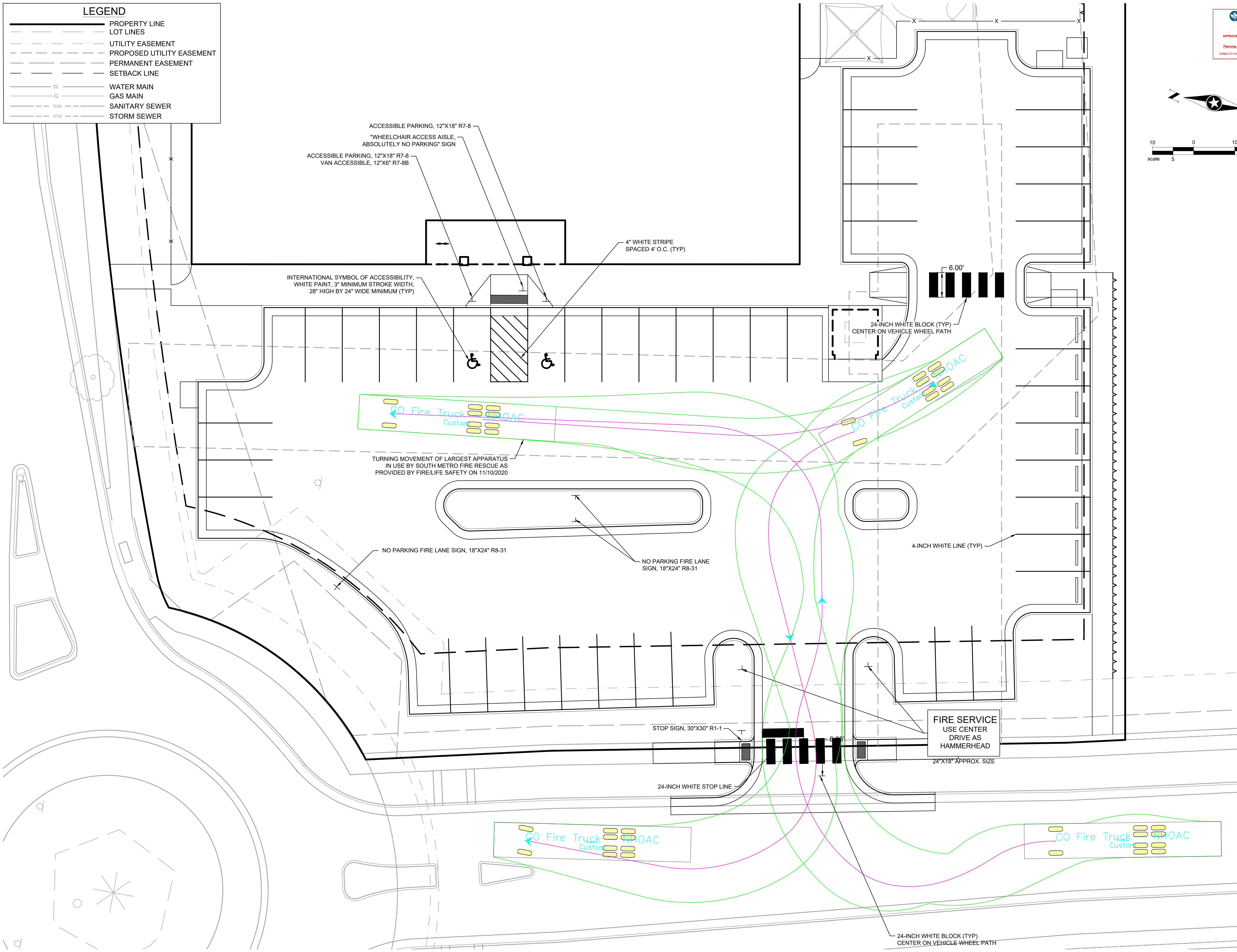
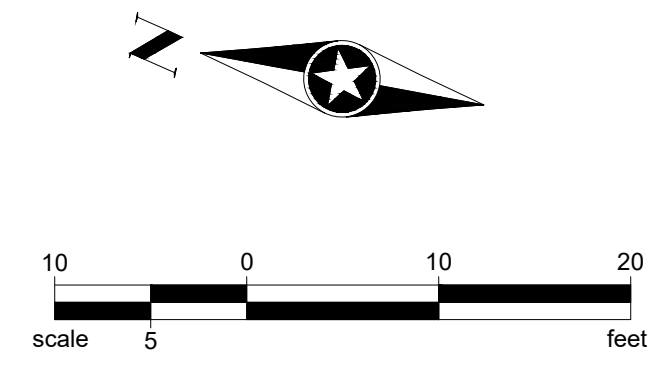
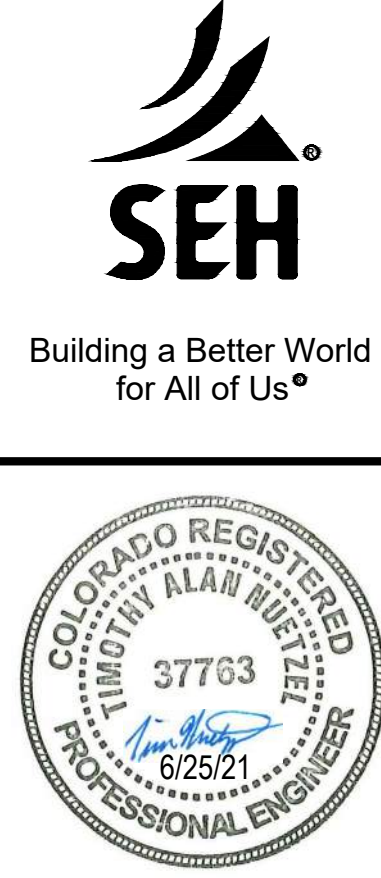
Project Status		Issue Date
CONSTRUCTION SET		6/25/2021

Revision Issue		
Rev. #	Description	Date

GRADING PLAN

C2.0

LEGEND	
—	PROPERTY LINE
- - -	LOT LINES
- · - · -	UTILITY EASEMENT
- · - · -	PROPOSED UTILITY EASEMENT
- · - · -	PERMANENT EASEMENT
- · - · -	SETBACK LINE
W	WATER MAIN
G	GAS MAIN
SAN	SANITARY SEWER
STM	STORM SEWER



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Owner
New Horizon Academy
3405 Annapolis Lane
N., Suite 100
Plymouth, MN 55447
763.557.1111

Architect
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Landscape Architect
Short Elliott Hendrickson, Inc.
10501 Red Circle Drive
Suite 300
Minnetonka, MN 55343
952.912.2600

Civil Engineer
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Structural Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

Mechanical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

Electrical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, MN 55110
651.490.2000

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SEH Project NHOAC 156217
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Project Status Issue Date
CONSTRUCTION SET 6/25/2021

Revision Issue		
Rev. #	Description	Date

SIGNAGE PLAN

C5.0



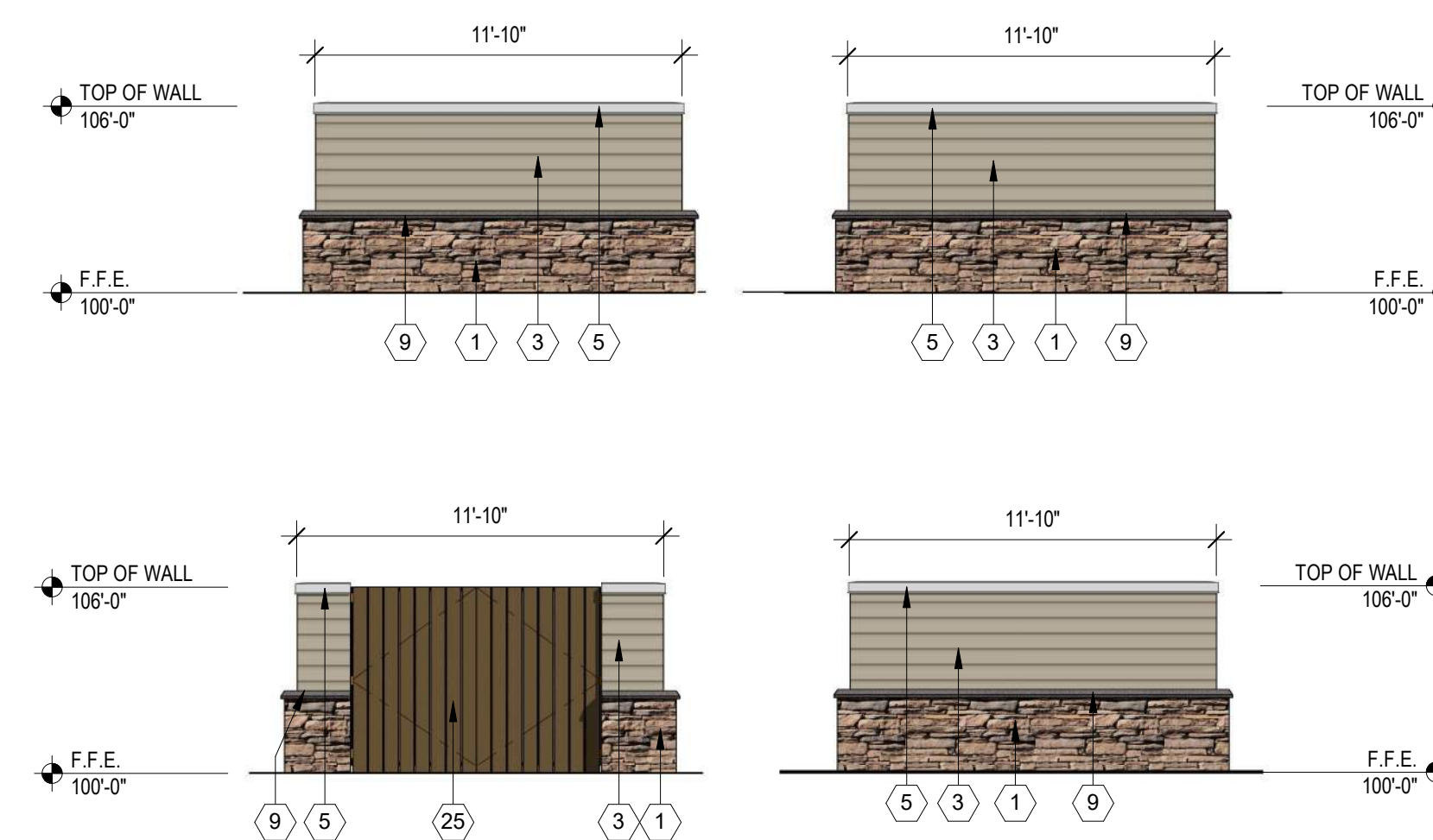
1 WEST ELEVATION
SCALE: 3/16" = 1'-0"
0' 2' 6' 12' 21'-4"



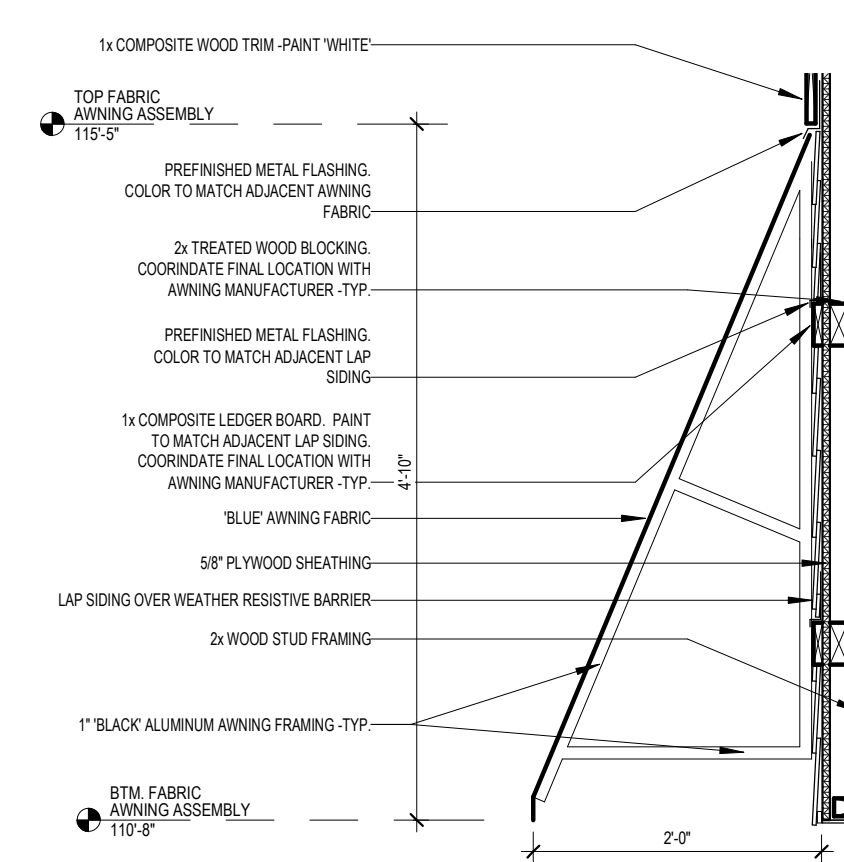
2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"
0' 2' 6' 12' 21'-4"



3 NORTH ENTRY ELEVATION 3/16" = 1'-0"
4 SOUTH ENTRY ELEVATION 3/16" = 1'-0"



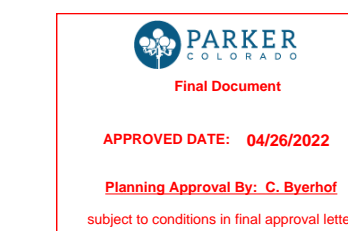
5 TRASH ENCLOSURE 3/16" = 1'-0"



6 FABRIC AWNING DETAIL 3/4" = 1'-0"

ELEVATION KEY NOTES (#)

1. STONE - SOUTHERN LEDGESTONE 'CHARDONNAY' BY CULTURED STONE
2. FIBER CEMENT SHAKE SIDING - HARDIESHINGLE - STRAIGHT EDGE PANEL 'COBBLESTONE' BY JAMES HARDIE
3. FIBER CEMENT HORIZONTAL SIDING - HARDIEPLANK - SMOOTH - 'COBBLESTONE' BY JAMES HARDIE
4. FIBER CEMENT BOARD AND BATTEN SIDING - HARDIEPANEL VERTICAL SIDING - SMOOTH - 'COBBLESTONE' WITH HARDIETRIM BOARD - SMOOTH BATTEN BOARD - 'COBBLESTONE' BY JAMES HARDIE
5. PREFINISHED METAL COPING - 'WHITE'
6. ALUMINUM STOREFRONT FRAMING / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
7. ALUMINUM DOOR / TRANSOM / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
8. HOLLOW METAL DOOR AND FRAME - PAINT TO MATCH 'DARK BRONZE'
9. ARCHITECTURAL PRECAST CONCRETE SILL
10. 14'-3" x 3'-7" EXTERIOR LED 'NEW HORIZON ACADEMY' AND 'SUN' SIGNAGE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
11. EIFS CORNICE - PAINT 'WHITE'
12. PREFINISHED METAL SCUPPER AND 4"x6" DOWNSPOUT - 'DARK BRONZE'. CONNECT DOWNSPOUT TO UNDERGROUND STORM SEWER. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION.
13. LED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
14. 1x FIBER CEMENT TRIM - PAINT 'WHITE'
15. 'BLUE' FABRIC AWNING.
16. DASHED LINE DENOTES TOP OF ROOF BEYOND
17. EIFS DENTIL MOLDING - PAINT 'WHITE'
18. ARCHITECTURAL PRECAST CONCRETE COLUMN CAP
19. 8x8 WOOD COLUMN, STAINED. SEE STRUCTURAL FOR FURTHER INFORMATION
20. 4x12 WOOD BEAM, STAINED.
21. 12" FIBER CEMENT TRIM - PAINT "BLUE"
22. WALL MOUNTED CT CABINET - PAINT TO MATCH ADJACENT FINISH
23. ELECTRICAL METER - PAINT TO MATCH ADJACENT FINISH
24. 1'-0" HIGH x 2'-0" WIDE SCUPPER OPENING
25. WOODEN TRASH ENCLOSURE GATE AND POST ASSEMBLY
26. ROOFTOP SCREENING BEYOND - SEE ROOF PLAN AND 8/A 305
27. FIRE DEPARTMENT LOCK BOX. MODEL R3-RECESSED BY THE DAMA COMPANY. VERIFY LOCATION WITH LOCAL FIRE OFFICIAL



Owner
New Horizon Academy
3405 Annapolis Lane N.
Suite 100
Plymouth, Minnesota 55447
763.557.1111

Architect
Short Elliott Hendrickson, Inc.
2000 S. Colorado Blvd., Suite 6000
Denver, Colorado 80222
720.540.6800

Landscape Architect
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
Suite 300
Minnetonka, Minnesota 55343
952.912.2600

Civil Engineer
Short Elliott Hendrickson, Inc.
2000 S. Colorado Blvd., Suite 6000
Denver, Colorado 80222
720.540.6800

Structural Engineer
Short Elliott Hendrickson, Inc.
2000 S. Colorado Blvd.
Suite 6000
Denver, CO 80222
303.586.5830

Mechanical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, Minnesota 55110
651.318.0362

Electrical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, Minnesota 55110
651.490.2166

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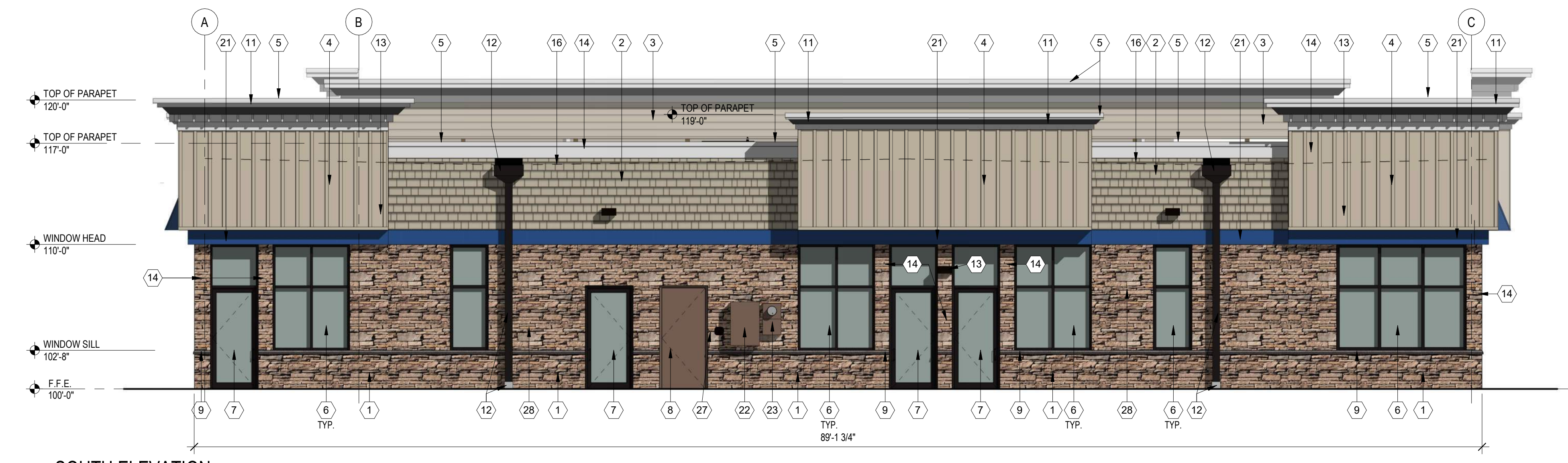
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SEH Project	NHAC 156217
Checked By	SB
Drawn By	DRS
Project Status	Issue Date
CONSTRUCTION SET	6/25/2021
Revision Issue	
Rev. #	Description Date

PRELIMINARY EXTERIOR ELEVATIONS



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"
0' 2' 4' 12' 21'-4"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"
0' 2' 4' 12' 21'-4"

ELEVATION KEY NOTES (#)

1. STONE - SOUTHERN LEDGESTONE 'CHARDONNAY' BY CULTURED STONE
2. FIBER CEMENT SHAKE SIDING - HARDIESHINGLE - STRAIGHT EDGE PANEL 'COBBLESTONE' BY JAMES HARDIE
3. FIBER CEMENT HORIZONTAL SIDING - HARDIEPLANK - SMOOTH - 'COBBLESTONE' BY JAMES HARDIE
4. FIBER CEMENT BOARD AND BATTEN SIDING - HARDIEPANEL 'VERTICAL SIDING - SMOOTH - 'COBBLESTONE' WITH HARDIETRIM BOARD - SMOOTH BATTEN BOARD - 'COBBLESTONE' BY JAMES HARDIE
5. PREFINISHED METAL COPING - 'WHITE'
6. ALUMINUM STOREFRONT FRAMING / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
7. ALUMINUM DOOR / TRANSOM / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
8. HOLLOW METAL DOOR AND FRAME - PAINT TO MATCH 'DARK BRONZE'
9. ARCHITECTURAL PRECAST CONCRETE SILL
10. 14'-3" x 3'-7" EXTERIOR LED 'NEW HORIZON ACADEMY' AND 'SUN' SIGNAGE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
11. EIFS CORNICE - PAINT 'WHITE'
12. PREFINISHED METAL SCUPPER AND 4"x6" DOWNSPOUT - 'DARK BRONZE'. CONNECT DOWNSPOUT TO UNDERGROUND STORM SEWER. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION.
13. LED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
14. 1x FIBER CEMENT TRIM - PAINT 'WHITE'
15. 'BLUE' FABRIC AWNING.
16. DASHED LINE DENOTES TOP OF ROOF BEYOND
17. EIFS DENTIL MOLDING - PAINT 'WHITE'
18. ARCHITECTURAL PRECAST CONCRETE COLUMN CAP
19. 8x8 WOOD COLUMN, STAINED. SEE STRUCTURAL FOR FURTHER INFORMATION
20. 4x12 WOOD BEAM, STAINED.
21. 12" FIBER CEMENT TRIM - PAINT 'BLUE'
22. WALL MOUNTED CT CABINET - PAINT TO MATCH ADJACENT FINISH
23. ELECTRICAL METER - PAINT TO MATCH ADJACENT FINISH
24. 1'-0" HIGH x 2'-0" WIDE SCUPPER OPENING
25. WOODEN TRASH ENCLOSURE GATE AND POST ASSEMBLY
26. ROOFTOP SCREENING BEYOND - SEE ROOF PLAN AND 8/A 305
27. FIRE DEPARTMENT LOCK BOX - MODEL R3-RECESSED BY THE DAMA COMPANY. VERIFY LOCATION WITH LOCAL FIRE OFFICIAL

EXTERIOR FINISH SCHEDULE

MATERIAL	PRODUCT
STONE VENEER	SOUTHERN LEDGESTONE, 'CHARDONNAY', BY CULTURED STONE
FIBER CEMENT SHAKE SIDING	HARDIESHINGLE, STRAIGHT EDGE PANEL, 'COBBLESTONE', BY JAMES HARDIE
FIBER CEMENT HORIZONTAL SIDING	HARDIEPLANK, SMOOTH, 'COBBLESTONE', BY JAMES HARDIE
FIBER CEMENT BOARD AND BATTEN SIDING	HARDIEPANEL VERTICAL SIDING, SMOOTH, 'COBBLESTONE', WITH HARDIETRIM BOARD, SMOOTH BATTEN BOARD, 'COBBLESTONE' BY JAMES HARDIE
COMPOSITE WOOD TRIM	PAINT 'BLUE'
COMPOSITE WOOD TRIM	PAINT TO MATCH 'ARTIC WHITE' BY JAMES HARDIE
ARCHITECTURAL PRECAST CONCRETE	INDIANA LNESTONE
ALUMINUM STOREFRONT FRAMING	'DARK BRONZE' ANODIZED
FABRIC AWNING	'BLUE' BY SUNBRELLA

FACADE TRANSPARENCY SCHEDULE

FACADE	TOTAL S.F. OF FACADE	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED
NORTH ELEVATION (BUILDING FRONT LESS THAN 100' IN LENGTH)	704 S.F.	40% (282 S.F.)	60% (423 S.F.)
SOUTH ELEVATION (BUILDING REAR LESS THAN 100' IN LENGTH)	712 S.F.	25% (178 S.F.)	44% (311 S.F.)
EAST ELEVATION (BUILDING SIDE MORE THAN 100' IN LENGTH)	1,178 S.F.	25% (295 S.F.)	50% (587 S.F.)
WEST ELEVATION (BUILDING FRONT MORE THAN 100' IN LENGTH)	1,179 S.F.	30% (354 S.F.)	58% (689 S.F.)

Owner
New Horizon Academy
3405 Annapolis Lane N.
Suite 100
Plymouth, Minnesota 55447
763.557.1111

Architect
Short Elliott Hendrickson, Inc.
2000 S. Colorado Blvd., Suite 6000
Denver, Colorado 80222
720.540.6800

Landscape Architect
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
Suite 300
Minnetonka, Minnesota 55343
952.912.2600

Civil Engineer
Short Elliott Hendrickson, Inc.
2000 S. Colorado Blvd., Suite 6000
Denver, Colorado 80222
720.540.6800

Structural Engineer
Short Elliott Hendrickson, Inc.
2000 S. Colorado Blvd.
Suite 6000
Denver, CO 80222
303.586.5830

Mechanical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, Minnesota 55110
651.318.0362

Electrical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, Minnesota 55110
651.490.2166

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SEH Project: NHAC 156217
Checked By: SB
Drawn By: DRS

Project Status: CONSTRUCTION SET
Issue Date: 6/25/2021

Revision Issue

Rev. #	Description	Date

PRELIMINARY EXTERIOR ELEVATIONS



1 WEST ELEVATION
 3/16" = 1'-0"



2 NORTH ELEVATION
 3/16" = 1'-0"



3 EAST ELEVATION
 3/16" = 1'-0"



4 SOUTH ELEVATION
 3/16" = 1'-0"

Owner
 New Horizon Academy
 3405 Annapolis Lane N.
 Suite 100
 Plymouth, Minnesota 55447
 763.567.1111

Architect
 Short Elliott Hendrickson, Inc.
 2000 S. Colorado Blvd., Suite 6000
 Denver, Colorado 80222
 720.540.6800

Landscape Architect
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 Suite 300
 Minnetonka, Minnesota 55343
 952.912.2600

Civil Engineer
 Short Elliott Hendrickson, Inc.
 2000 S. Colorado Blvd., Suite 6000
 Denver, Colorado 80222
 720.540.6800

Structural Engineer
 Short Elliott Hendrickson, Inc.
 2000 S. Colorado Blvd.
 Suite 6000
 Denver, CO 80222
 303.586.5830

Mechanical Engineer
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 St. Paul, Minnesota 55110
 651.318.0362

Electrical Engineer
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 St. Paul, Minnesota 55110
 651.490.2166

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Drawn By DRS

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PRELIMINARY ELEVATIONS



1 NORTHWEST PERSPECTIVE



2 NORTHEAST PERSPECTIVE

Owner
 New Horizon Academy
 3405 Annapolis Lane N.
 Suite 100
 Plymouth, Minnesota 55447
 763.567.1111
Architect
 Short Elliott Hendrickson, Inc.
 2000 S. Colorado Blvd., Suite 6000
 Denver, Colorado 80222
 720.540.6800

Landscape Architect
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 Suite 300
 Minnetonka, Minnesota 55343
 952.912.2600

Civil Engineer
 Short Elliott Hendrickson, Inc.
 2000 S. Colorado Blvd., Suite 6000
 Denver, Colorado 80222
 720.540.6800

Structural Engineer
 Short Elliott Hendrickson, Inc.
 2000 S. Colorado Blvd.
 Suite 6000
 Denver, CO 80222
 303.586.5830

Mechanical Engineer
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 St. Paul, Minnesota 55110
 651.318.0362

Electrical Engineer
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 St. Paul, Minnesota 55110
 651.490.2166

New Horizon Academy
**NEW HORIZON ACADEMY -
 DOUGLAS 234 FILING, NO. 6**
 PARKER, CO

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SEH Project NHOAC 156217
Checked By SB
Drawn By DRS

Project Status CONSTRUCTION SET
Issue Date 6/25/2021

Revision Issue		
Rev. #	Description	Date

PERSPECTIVES

A2.4



1 SOUTHWEST PERSPECTIVE



2 SOUTHEAST PERSPECTIVE

Owner
 New Horizon Academy
 3405 Annapolis Lane N.
 Suite 100
 Plymouth, Minnesota 55447
 763.567.1111

Architect
 Short Elliott Hendrickson, Inc.
 2000 S. Colorado Blvd., Suite 6000
 Denver, Colorado 80222
 720.540.6800

Landscape Architect
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 Suite 300
 Minnetonka, Minnesota 55343
 952.912.2600

Civil Engineer
 Short Elliott Hendrickson, Inc.
 2000 S. Colorado Blvd., Suite 6000
 Denver, Colorado 80222
 720.540.6800

Structural Engineer
 Short Elliott Hendrickson, Inc.
 2000 S. Colorado Blvd.
 Suite 6000
 Denver, CO 80222
 303.586.5830

Mechanical Engineer
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 St. Paul, Minnesota 55110
 651.318.0362

Electrical Engineer
 Short Elliott Hendrickson, Inc.
 3535 Vadnais Center Drive
 St. Paul, Minnesota 55110
 651.490.2166

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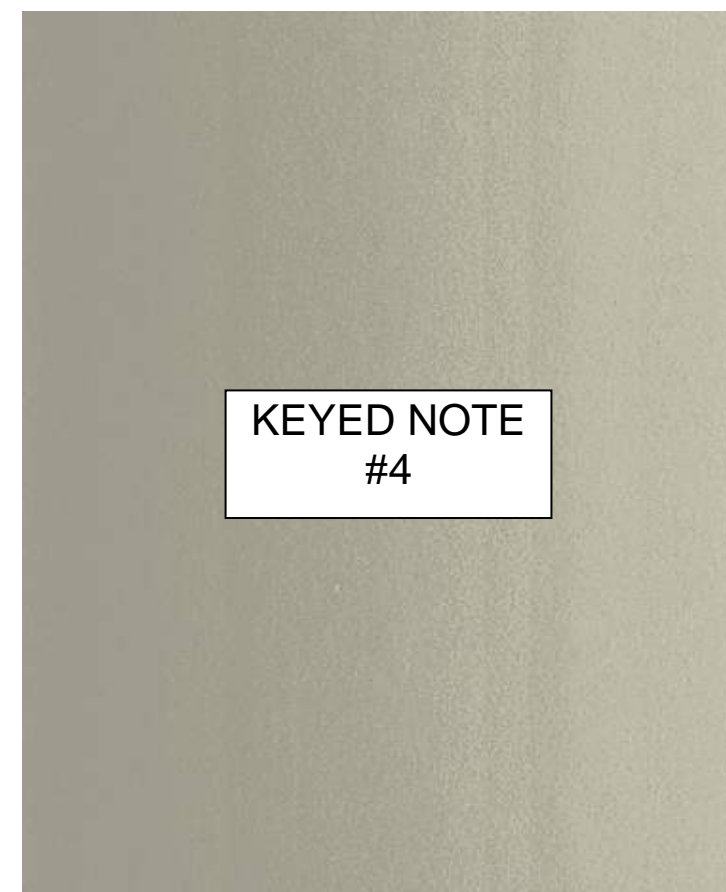
SEH Project NHOAC 156217
Checked By SB
Drawn By DRS

Project Status CONSTRUCTION SET
Issue Date 6/25/2021

Revision Issue		
Rev. #	Description	Date

PERSPECTIVES

A2.5



KEYED NOTE
#4

FIBER CEMENT BOARD AND BATTEN SIDING -
HARDIEPANEL VERTICAL SIDING - SMOOTH -
'COBBLESTONE' WITH HARDIETRIM BOARD -
SMOOTH BATTEN BOARD - 'COBBLESTONE' BY
JAMES HARDIE



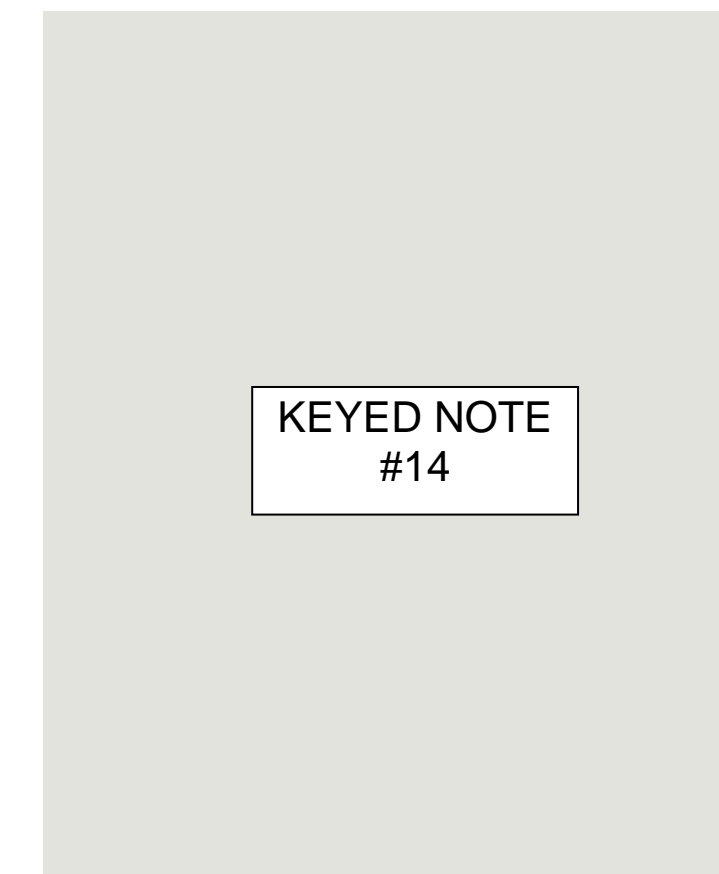
KEYED NOTE
#2

FIBER CEMENT SHAKE SIDING -
HARDIESHINGLE - STRAIGHT EDGE PANEL
'COBBLESTONE' BY JAMES HARDIE



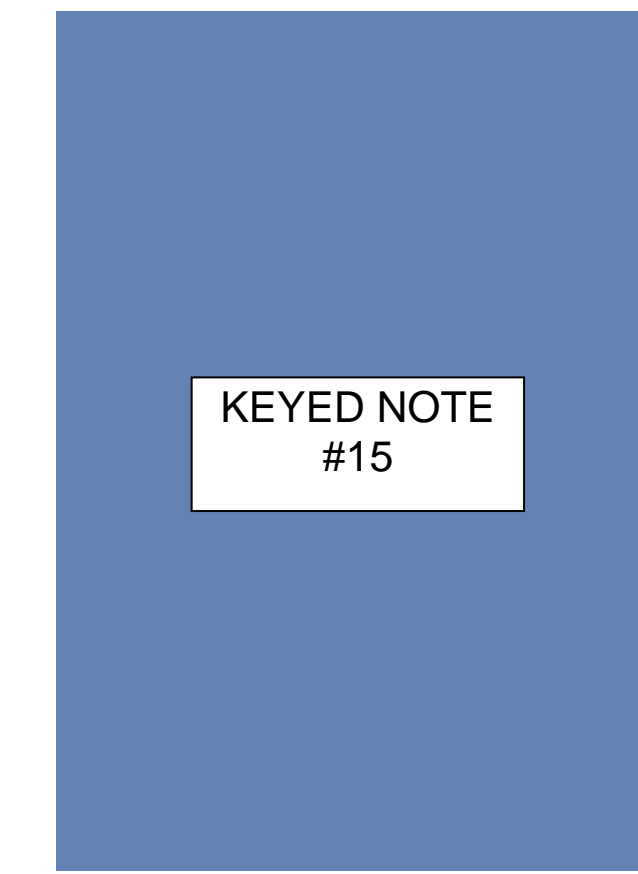
KEYED NOTE
#3

FIBER CEMENT HORIZONTAL SIDING -
HARDIEPLANK - SMOOTH - 'COBBLESTONE'
BY JAMES HARDIE



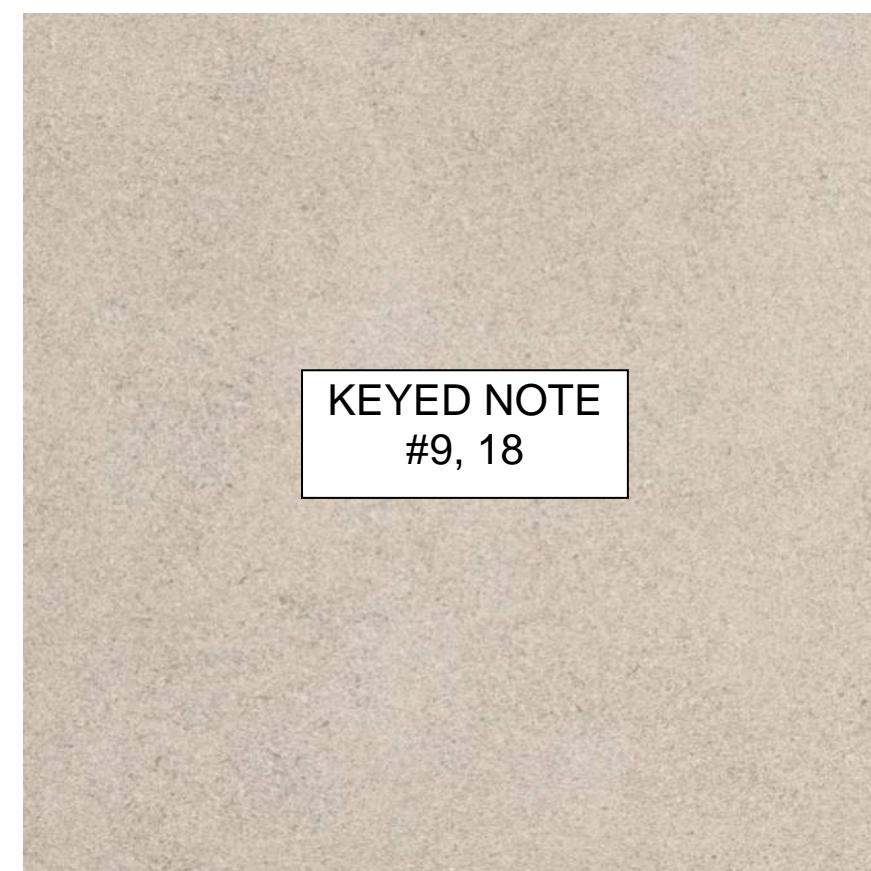
KEYED NOTE
#14

COMPOSITE WOOD TRIM - PAINTED TO
MATCH 'ARCTIC WHITE' BY JAMES HARDIE



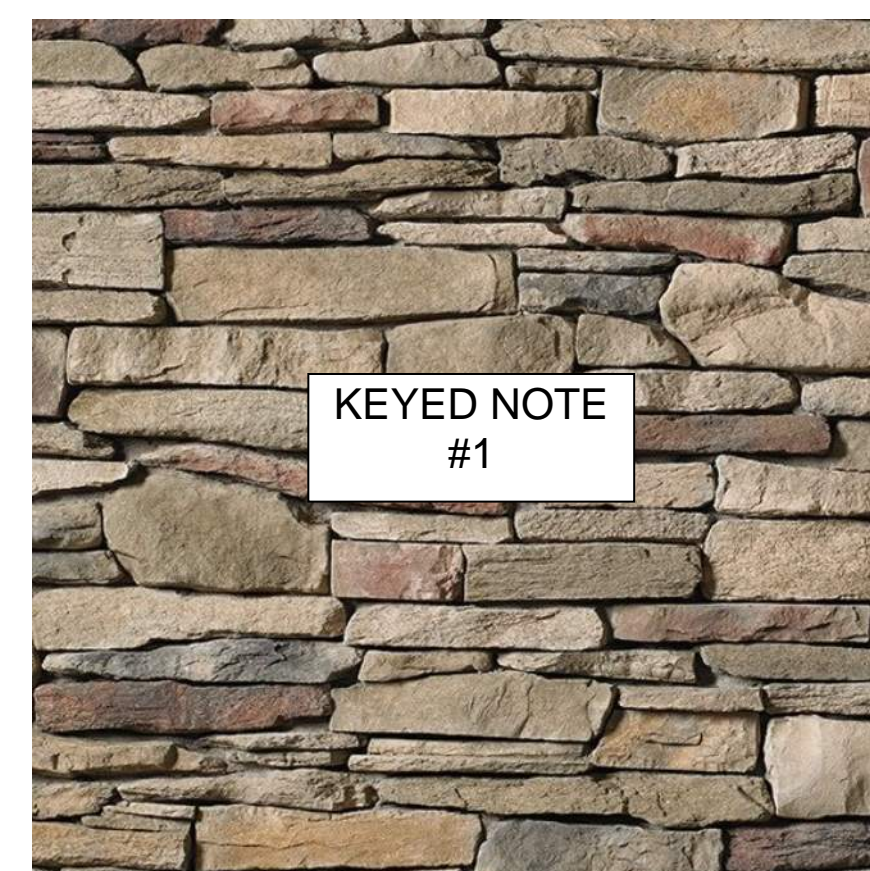
KEYED NOTE
#15

'BLUE' FABRIC AWNING



KEYED NOTE
#9, 18

ARCHITECTURAL PRECAST CONCRETE -
INDIANA LIMESTONE



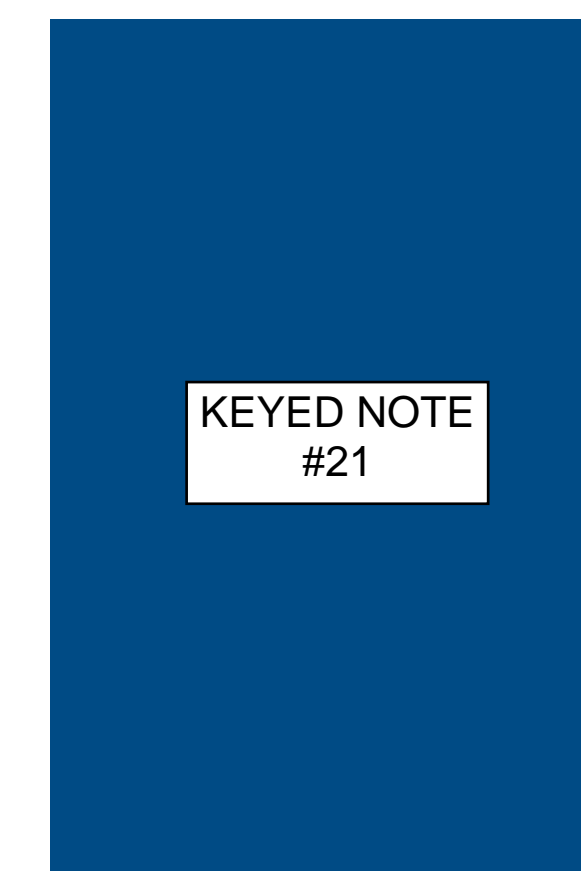
KEYED NOTE
#1

STONE VENEER - SOUTHER LEDGESTONE
'CHARDONNAY' BY CULTURED STONE



KEYED NOTES
#6, 7, 8, 12

ALUMINUM STOREFRONT FRAMING -
'DARK BRONZE' ANODIZED



KEYED NOTE
#21

COMPOSITE WOOD TRIM (LIMITED
LOCATIONS) - PAINT 'BLUE'

Owner
New Horizon Academy
3405 Annapolis Lane N.
Suite 100
Plymouth, Minnesota 55447
763.557.1111

Architect
Short Elliott Hendrickson, Inc.
2000 S. Colorado Blvd., Suite 6000
Denver, Colorado 80222
720.540.6800

Landscape Architect
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
Suite 300
Minnetonka, Minnesota 55343
952.912.2600

Civil Engineer
Short Elliott Hendrickson, Inc.
2000 S. Colorado Blvd., Suite 6000
Denver, Colorado 80222
720.540.6800

Structural Engineer
Short Elliott Hendrickson, Inc.
2000 S. Colorado Blvd.
Suite 6000
Denver, CO 80222
303.586.5830

Mechanical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, Minnesota 55110
651.318.0362

Electrical Engineer
Short Elliott Hendrickson, Inc.
3535 Vadnais Center Drive
St. Paul, Minnesota 55110
651.490.2166

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DOUGLAS 234 FILING, NO. 6
PARKER, CO

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SEH Project: NHAC 156217
Checked By: SB
Drawn By: DRS

Project Status: CONSTRUCTION SET
Issue Date: 6/25/2021

Revision Issue		
Rev. #	Description	Date

EXTERIOR MATERIALS BOARD



Building a Better World for All of Us

TYPE	DESCRIPTION	CATALOG #	MOUNTING
P1	POLE MOUNTED AREA LED LIGHT FIXTURE, 4000K, TYPE TFTM FORWARD THROW DISTRIBUTION W/HOUSE SIDE SHIELDS POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	LITHONIA LIGHTING: DSX1-LED-P1-40K-TFTM-MVOLT-RPA-HS POLE: LITHONIA LIGHTING RSS, DDBXD	POLE: 22 FEET
P2	TWIN POLE MOUNTED AREA LED LIGHT FIXTURES, 4000K, TYPE 3 MEDIUM DISTRIBUTION POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	LITHONIA LIGHTING: DSX1-LED-P2-40K-T3M-MVOLT-RPA POLE: LITHONIA LIGHTING RSS, DDBXD	POLE: 22 FEET
P3	POLE MOUNTED AREA LED LIGHT FIXTURE, 4000K, TYPE 4 MEDIUM DISTRIBUTION W/HOUSE SIDE SHIELDS POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	LITHONIA LIGHTING: DSX1-LED-P1-40K-T4M-MVOLT-RPA-HS POLE: LITHONIA LIGHTING RSS, DDBXD	POLE: 22 FEET
S2M	WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 MEDIUM DISTRIBUTION.	LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2M	WALL: 12 FEET
S2S	WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 SHORT DISTRIBUTION.	LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2S	WALL: 12 FEET



PHOTOMETRIC SITE PLAN GENERAL NOTES:
 A. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF.



Owner
 New Horizon Academy
 3405 Annapolis Lane
 N., Suite 100
 Plymouth, MN 55447
 763.557.1111

Architect
 Short Elliott Hendrickson, Inc.
 2000 South Colorado Boulevard
 Tower One, Suite 6000
 Denver, Colorado 80222
 720.540.6800

Landscape Architect
 Short Elliott Hendrickson, Inc.
 10901 Red Circle Drive
 Suite 300
 Minnetonka, MN 55343
 952.912.2600

Civil Engineer
 Short Elliott Hendrickson, Inc.
 418 West Superior Street
 Suite 200
 Duluth, MN 55802
 218.279.3000

Structural Engineer

Mechanical Engineer

Electrical Engineer

**NEW HORIZON ACADEMY -
 DOUGLAS 234 FILING, NO. 6
 PARKER, CO**

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SEH Project: NHOAC 158217
 Checked By: RW
 Drawn By: VT

Project Status: CONSTRUCTION SET
 Issue Date: 5/25/2021

Rev. #	Description	Date

1 PHOTOMETRIC SITE PLAN
 Scale: 1/16" = 1'-0"

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient Temperature	Multiplier
0°C	1.00
5°C	1.04
10°C	1.07
15°C	1.09
20°C	1.11
25°C	1.12
30°C	1.13
35°C	1.14
40°C	1.15

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the luminaires noted in a 25°C ambient, based on 100,000 hours of LED testing based per IESNA LM-80-08 and projected per IESNA TM-21-115.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.96
50,000	0.92
100,000	0.85

Option	Dimmed State	High Level (stepped)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5'c	5 min	3 sec	5 min
*PIR/PICH or *PIR/PICH	3V (37%) Output	10V (100%) Output	Enabled @ 1'c	5 min	3 sec	5 min

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire, used to fine-tune dimming levels.	Allows the luminaire to be manually dimmed, effectively increasing the light output.	FAO device	Cannot be used with other control options that need the FAO knob.
DS	Drivers wired independently for 50/50 lumen operation.	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider night A/B as a more cost-effective alternative.
PIES or PIEB	Twist-lock photocell receptacle.	Compatible with standard twist-lock photocells. Includes a photocell sensor and a photocell control wires that provide 0-10V dimming signals.	Twist-lock photocell such as DLI Elite or advanced control nodes such as ROAM.	Use 4-5 dimming levels on driver. PIES is an capped inside luminaire.
PIR or PIRH	Motion sensor with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting.	Luminaire dims when an occupancy is detected.	Acuity Controls SGR8	Also available with PIR/PICH when the sensor photocell is used for dusk-to-dawn operation.
NEMR2 PIRH	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor override when wireless connected to the nLight Edge.	nLight AIR n200	nLight AIR sensors can be programmed and commissioned from the ground using the nLight App.

Electrical Load

Performance Package	LED Count	Wattage	Voltage	Current (A)					
				120V	208V	240V	277V	347V	480V
P10	30	530	54	0.45	0.26	0.23	0.19	0.13	0.13
P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
P4	30	1250	122	1.06	0.60	0.52	0.46	0.37	0.27
P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
P10	60	530	106	0.90	0.52	0.47	0.41	0.33	0.27
P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

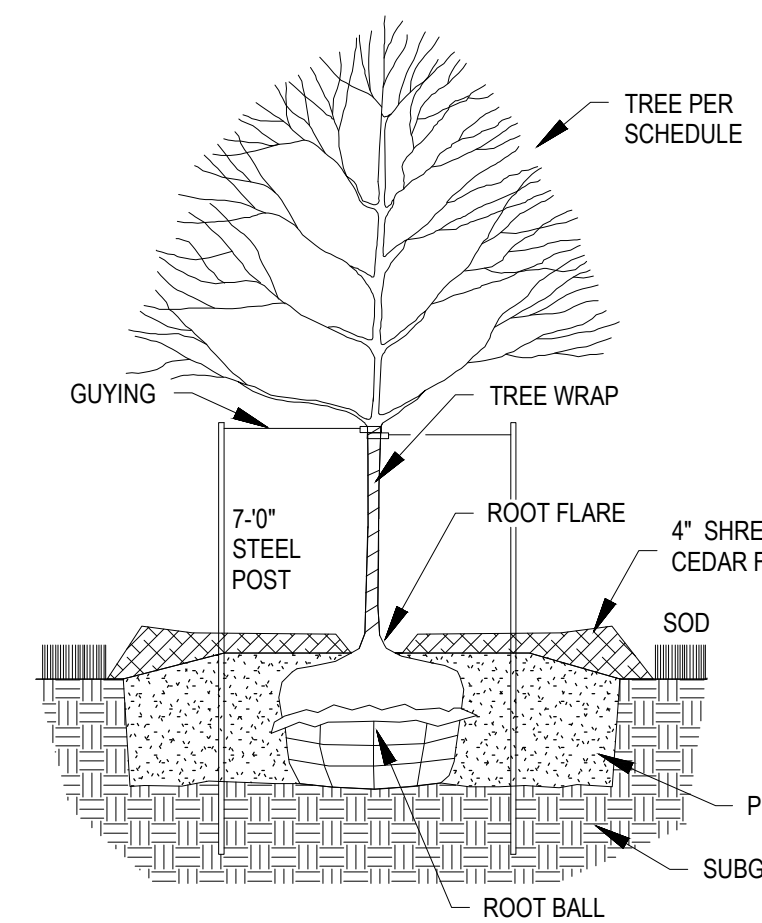
Rotated Optics (Request L10 or R10)

Performance Data

Lumen Output

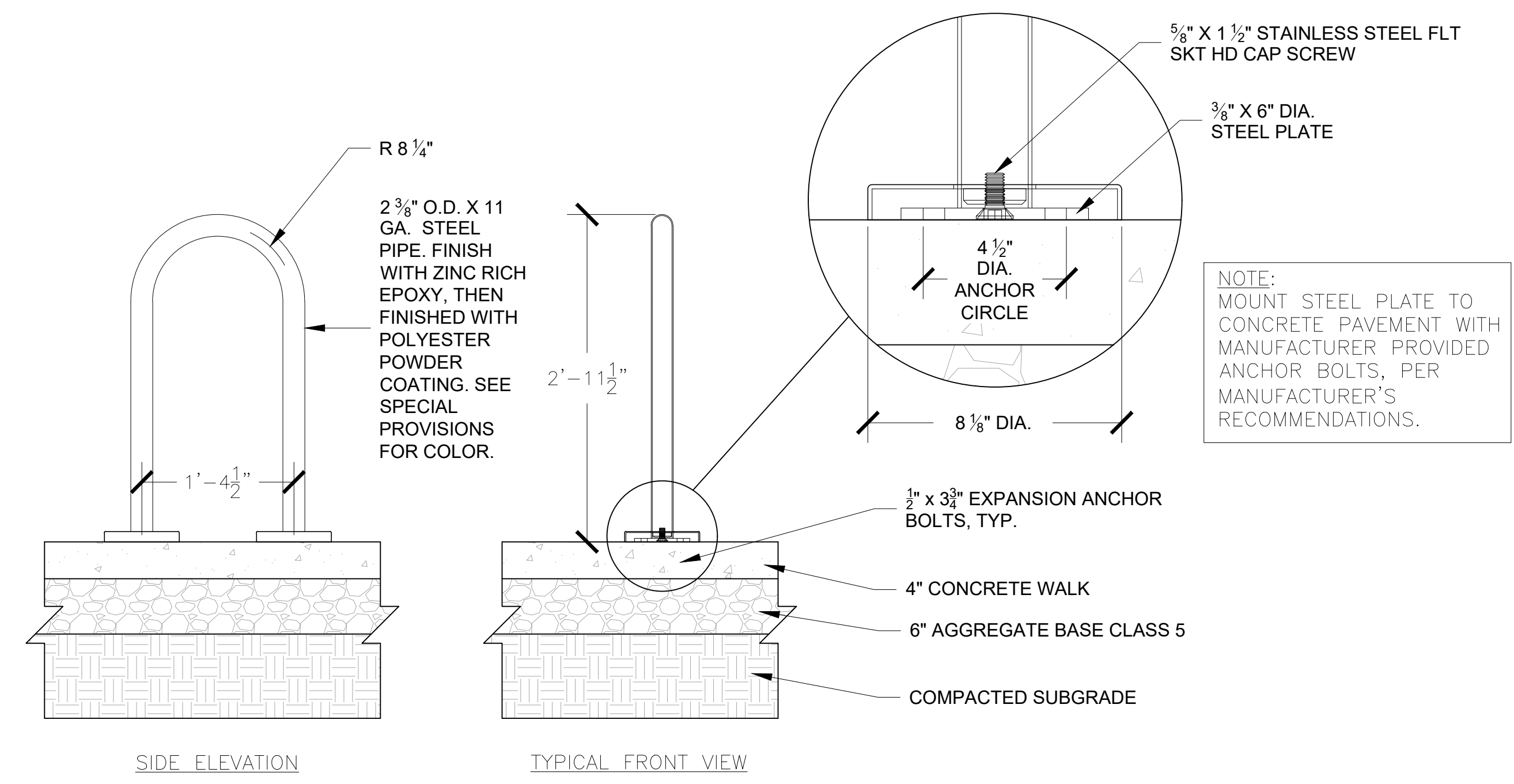
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LED Count	Drive Current	Power Package	System Watts	Beam Type	100% (10000:1 CRI)						90% (9000:1 CRI)						80% (8000:1 CRI)																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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30	530	P1	54W	T15	6,457	2	0	2	120	6,956	2	0	2	129	7,044	2	0	2	130	7,140	2	0	2	131	7,236	2	0	2	132	7,332	2	0	2	133	7,428	2	0	2	134	7,524	2	0	2	135	7,620	2	0	2	136	7,716	2	0	2	137	7,812	2	0	2	138	7,908	2	0	2	139	8,004	2	0	2	140	8,100	2	0	2	141	8,196	2	0	2	142	8,292	2	0	2	143	8,388	2	0	2	144	8,484	2	0	2	145	8,580	2	0	2	146	8,676	2	0	2	147	8,772	2	0	2	148	8,868	2	0	2	149	8,964	2	0	2	150	9,060	2	0	2	151	9,156	2	0	2	152	9,252	2	0	2	153	9,348	2	0	2	154	9,444	2	0	2	155	9,540	2	0	2	156	9,636	2	0	2	157	9,732	2	0	2	158	9,828	2	0	2	159	9,924	2	0	2	160	10,020	2	0	2	161	10,116	2	0	2	162	10,212	2	0	2	163	10,308	2	0	2	164	10,404	2	0	2	165	10,500	2	0	2	166	10,596	2	0	2	167	10,692	2	0	2	168	10,788	2	0	2	169	10,884	2	0	2	170	10,980	2	0	2	171	11,076	2	0	2	172	11,172	2	0	2	173	11,268	2	0	2	174	11,364	2	0	2	175	11,460	2	0	2	176	11,556	2	0	2	177	11,652	2	0	2	178	11,748	2	0	2	179	11,844	2	0	2	180	11,940	2	0	2	181	12,036	2	0	2	182	12,132	2	0	2	183	12,228	2	0	2	184	12,324	2	0	2	185	12,420	2	0	2	186	12,516	2	0	2	187	12,612	2	0	2	188	12,708	2	0	2	189	12,804	2	0	2	190	12,900	2	0	2	191	13,000	2	0	2	192	13,100	2	0	2	193	13,200	2	0	2	194	13,300	2	0	2	195	13,400	2	0	2	196	13,500	2	0	2	197	13,600	2	0	2	198	13,700	2	0	2	199	13,800	2	0	2	200	13,900	2	0	2	201	14,000	2	0	2	202	14,100	2	0	2	203	14,200	2	0	2	204	14,300	2	0	2	205	14,400	2	0	2	206	14,500	2	0	2	207	14,600	2	0	2	208	14,700	2	0	2	209	14,800	2	0	2	210	14,900	2	0	2	211	15,000	2	0	2	212	15,100	2	0	2	213	15,200	2	0	2	214	15,300	2	0	2	215	15,400	2	0	2	216	15,500	2	0	2	217	15,600	2	0	2	218	15,700	2	0	2	219	15,800	2	0	2	220	15,900	2	0	2	221	16,000	2	0	2	222	16,100	2	0	2	223	16,200	2	0	2	224	16,300	2	0	2	225	16,400	2	0	2	226	16,500	2	0	2	227	16,600	2	0	2	228	16,700	2	0	2	229	16,800	2	0	2	230	16,900	2	0	2	231	17,000	2	0	2	232	17,100	2	0	2	233	17,200	2	0	2	234	17,300	2	0	2	235	17,400	2	0	2	236	17,500	2	0	2	237	17,600	2	0	2	238	17,700	2	0	2	239	17,800	2	0	2	240	17,900	2	0	2	241	18,000	2	0	2	242	18,100	2	0	2	243	18,200	2	0	2	244	18,300	2	0	2	245	18,400	2	0	2	246	18,500	2	0	2	247	18,600	2	0	2	248	18,700	2	0	2	249	18,800	2	0	2	250	18,900	2	0	2	251	19,000	2	0	2	252	19,100	2	0	2	253	19,200	2	0	2	254	19,300	2	0	2	255	19,400	2	0	2	256	19,500	2	0	2	257	19,600	2	0	2	258	19,700	2	0	2	259	19,800	2	0	2	260	19,900	2	0	2	261	20,000	2	0	2	262	20,100	2	0	2	263	20,200	2	0	2	264	20,300	2	0	2	265	20,400	2	0	2	266	20,500	2	0	2	267	20,600	2	0	2	268	20,700	2	0	2	269	20,800	2	0	2	270	20,900	2	0	2	271	21,000	2	0	2	272	21,100	2	0	2	273	21,200	2	0	2	274	21,300	2	0	2	275	21,400	2	0	2	276	21,500	2	0	2	277	21,600	2	0	2	278	21,700	2	0	2	279	21,800	2	0	2	280	21,900	2	0	2	281	22,000	2	0	2	282	22,100	2	0	2	283	22,200	2	0	2	284	22,300	2	0	2	285	22,400	2	0	2	286	22,500	2	0	2	287	22,600	2	0	2	288	22,700	2	0	2	289	22,800	2	0	2	290	22,900	2	0	2	291	23,000	2	0	2	292	23,100	2	0	2	293	23,200	2	0	2	294	23,300	2	0	2	295	23,400	2	0	2	296	23,500	2	0	2	297	23,600	2	0	2	298	23,700	2	0	2	299	23,800	2	0	2	300	23,900	2	0	2	301	24,000	2	0	2	302	24,100	2	0	2	303	24,200	2	0	2	304	24,300	2	0	2	305	24,400	2	0	2	306	24,500	2	0	2	307	24,600	2	0	2	308	24,700	2	0	2	309	24,800	2	0	2	310	24,900	2	0	2	311	25,000	2	0	2	312	25,100	2	0	2	313	25,200	2	0	2	314	25,300	2	0	2	315	25,400	2	0	2	316	25,500	2	0	2	317	25,600	2	0	2	318	25,700	2	0	2	319	25,800	2	0	2	320	25,900	2	0	2	321	26,000	2	0	2	322	26,100	2	0	2	323	26,200	2	0	2	324	26,300	2	0	2	325	26,400	2	0	2	326	2



- NOTES:**
1. REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE. DO NOT CUT THE LEADER.
 2. WIDTH OF PLANTING HOLES: 18" MIN. LARGER THAN ROOT BALL, ON ALL SIDES.
 3. DEPTH OF HOLE: ROOT FLARE TO SIT AT OR UP TO 2" ABOVE THE TOP OF THE FINISHED SOIL ELEVATION. LEAVE SOIL UNDISTURBED BENEATH THE ROOT BALL.
 4. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
 5. SET PLANT ON UNDISTURBED SOIL OR THOROUGHLY COMPACTED PLANTING SOIL.
 6. REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. COMPLETELY REMOVE ALL BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
 7. SLIT REMAINING BURLAP AT 6" INTERVALS.
 8. PLUMB & BACKFILL WITH PLANTING SOIL. THOROUGHLY WATER IN TREE WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 9. BACKFILL VOIDS AND WATER A SECOND TIME.
 10. PLACE 4" MULCH WITHIN 48 HOURS OF THE SECOND WATERING. NO MULCH TO BE IN CONTACT W/ TRUNK.
 11. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. STAKE TREES IF SITE CONDITIONS, SUCH AS SOIL AND WIND, PREVENT THE TREES FROM STAYING PLUMB. USE 16" LONG, 1.5" WIDE STRAPS, SEE SPECS. ATTACH TO POST WITH WIRE SEE SPECS. INSTALL POST 3" INTO GROUND. REMOVE WITHIN ONE YEAR.
 12. WRAP TRUNK IN FALL REMOVE IN SPRING.
 13. REFER TO SPECS. FOR PRODUCTS AND OTHER INFORMATION.

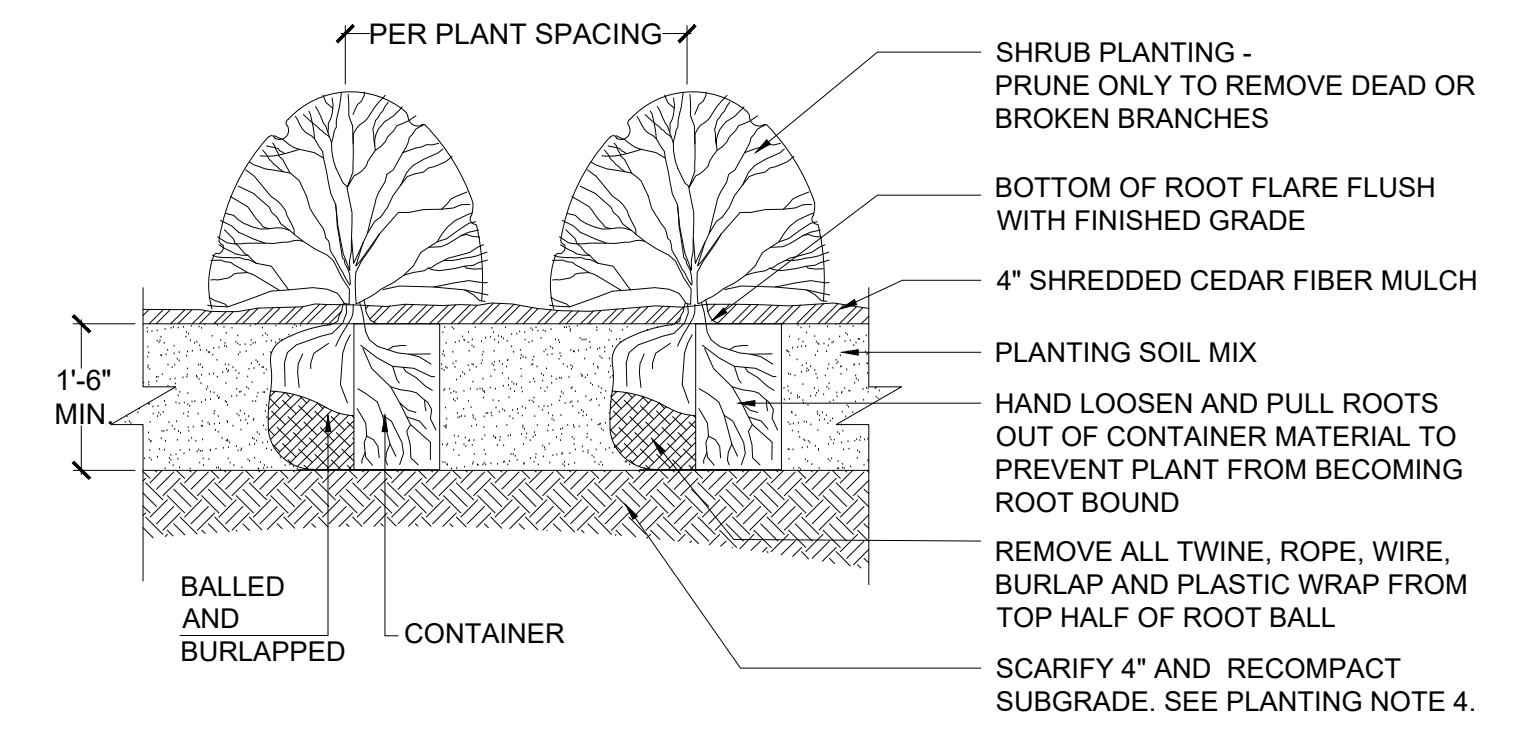
1 TREE PLANTING DETAIL
NOT TO SCALE



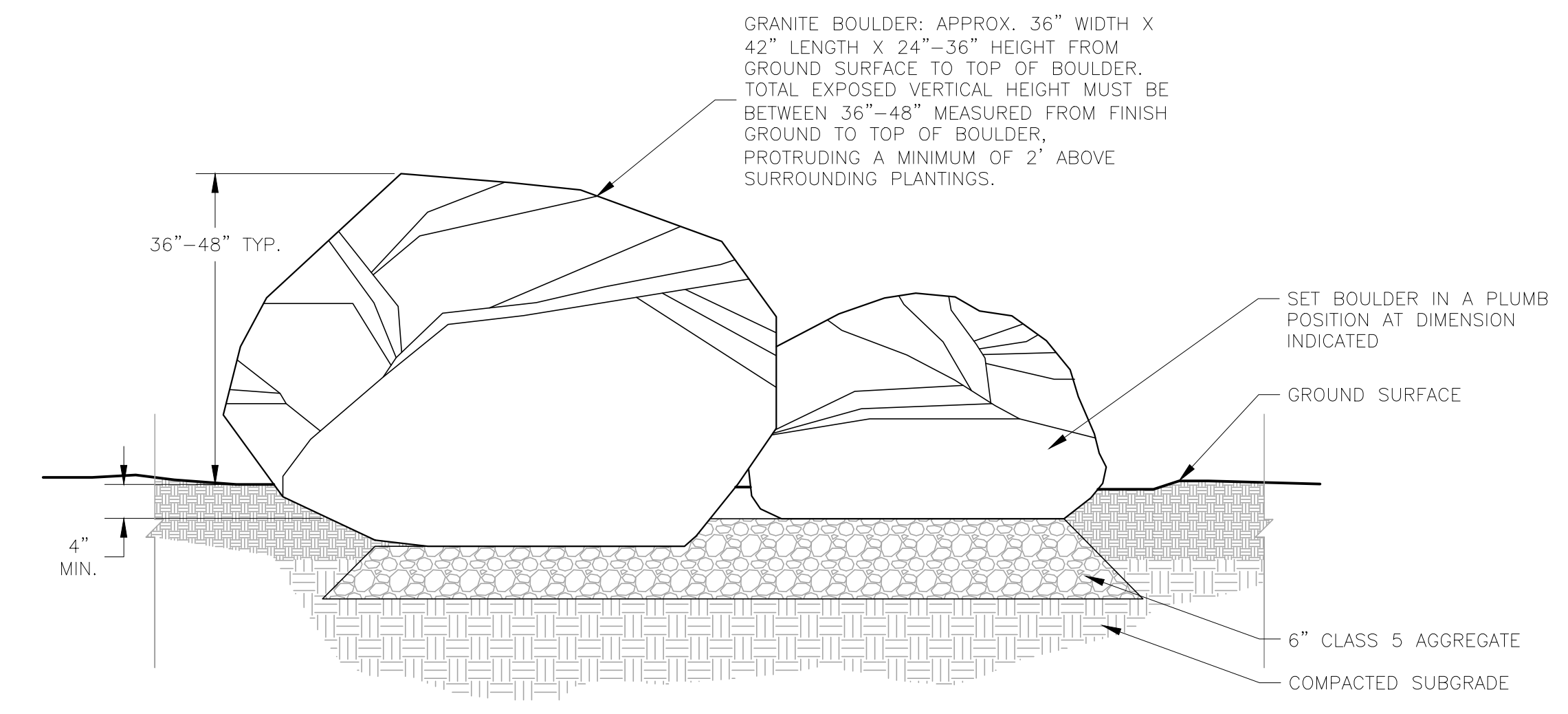
4 BIKE RACK DETAIL
NOT TO SCALE

LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE CONTRACTOR. THIS SHALL INCLUDE PROPER PRUNING, MOVING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MAXIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE CONTRACTOR, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE.

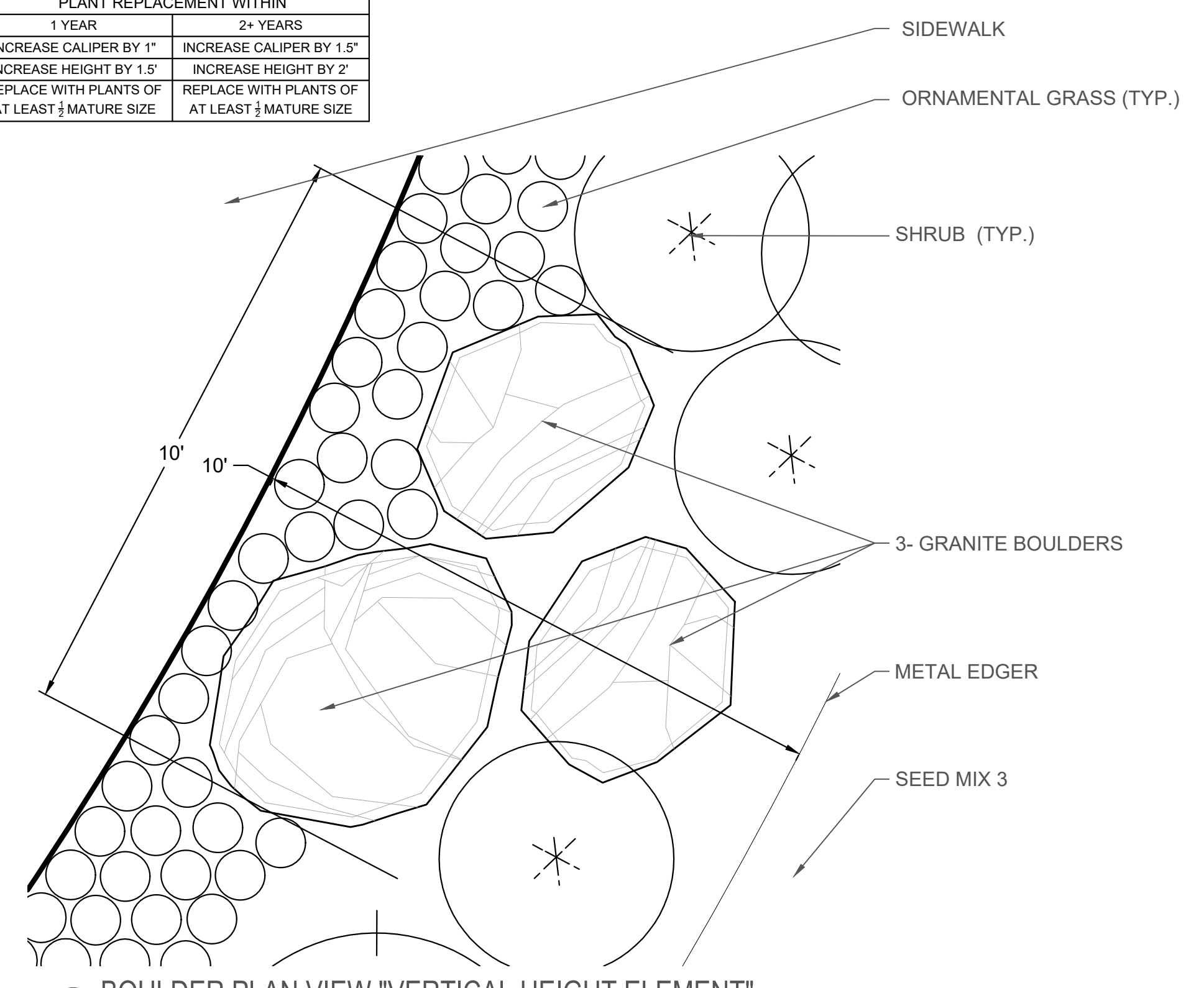
TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
TREE- DECIDUOUS	INCREASE CALIPER BY 1"	INCREASE CALIPER BY 1.5"
TREE- CONIFEROUS	INCREASE HEIGHT BY 1.5'	INCREASE HEIGHT BY 2'
SHRUB	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE



2 SHRUB PLANTING DETAIL
NOT TO SCALE



3 BOULDER SECTION "VERTICAL HEIGHT ELEMENT"
NOT TO SCALE



5 BOULDER PLAN VIEW "VERTICAL HEIGHT ELEMENT"
NOT TO SCALE

LANDSCAPE SPECIFICATIONS

- TREES, SHRUBS, AND PERENNIALS**
1. REFERENCES
 - A. CDOT - COLORADO DEPARTMENT OF TRANSPORTATION, 2017 EDITION.
 - B. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014.
 2. QUALITY ASSURANCE
 - A. WORK SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR WITH EXTENSIVE HORTICULTURE KNOWLEDGE, AND A MIN. OF 3 YEARS EXPERIENCE.
 3. PRODUCTS
 - A. PLANTS: PROVIDE AS SPECIFIED ON PLANT SCHEDULE.
 - B. EDGING: RYERSON STEEL EDGING 3/8" X 5" W/ 18" STAKES, OR EQUAL.
 - C. MULCH: SHREDDED CEDAR FIBER MULCH, APPLIED A MINIMUM OF FOUR INCHES IN DEPTH, INSTALLED OVER A BASE OF GEOTEXTILE FABRIC.
 - D. WATER: CONTRACTOR TO PROVIDE.
 - E. PLANTING SOIL MIX: RICH SANDY LOAM, FREE OF DEBRIS AND SEEDS, AND CONFORMING TO CDOT 207 (TOPSOIL).
 - F. SOIL AMENDMENTS: CONFORMING TO CDOT 212 (SEEDING, FERTILIZER, SOIL CONDITIONS AND SODDING).
 - G. TREE WRAP: TWO-PLY WEATHER RESISTANT PAPER PRODUCT.
 4. PLANTING DATES: SPRING PLANTING: APR. 1- JUNE 15. THESE DATES MAY BE EXTENDED IF DAYTIME TEMPS. REMAIN BELOW 80 DEGREES. FALL: SEPT. 30 - OCT. 30TH. DAYTIME TEMPS. NEED TO DROP BELOW 80 DEGREES BEFORE PLANTING BEGINS, AND MAY CONTINUE UNTIL FREEZE UP. CONIFEROUS TREES AUG. 15- OCT. 1ST. PLANT UNDER FAVORABLE WEATHER CONDITIONS, DO NO PLANT DURING DAYS OF EXTREME HEAT.
 5. EXECUTION
 - A. PLANT INTO PREPARED PLANTING BEDS.
 - B. PRIOR TO DIGGING, CONTRACTOR TO HAVE UTILITIES LOCATED AND MARKED.
 - C. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT 3 DAYS IN ADVANCE OF WHEN PLANTING WORK WILL OCCUR.
 - D. INSTALL TREES, SHRUBS, AND PERENNIALS PER PLANTING DETAILS. ADJUST LOCATION IF IN CONFLICT WITH UTILITIES. VERIFY NEW LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 - E. SEPARATE ALL SHRUB BEDS FROM SOD AREAS WITH METAL EDGER.
 - F. CLEAN-UP ENTIRE SITE FOLLOWING PLANTING OPERATIONS.
 6. ACCEPTANCE OF PLANTING WORK
 - A. CONTRACTOR TO NOTIFY OWNER WHEN PLANTING WORK IS COMPLETE FOR REVIEW AND PUNCH LIST.
 - B. CONTRACTOR TO WATER AND MAINTAIN THE TREES, SHRUBS, AND PERENNIALS UNTIL OWNER ACCEPTANCE.
 - C. OWNER WILL GIVE ACCEPTANCE OF WORK, FOLLOWING SATISFACTORY CORRECTION OF PUNCH LIST ITEMS.
 - D. WATERING AND REGULAR LANDSCAPE MAINTENANCE OF TREES, SHRUBS, AND PERENNIALS WILL BE OWNERS RESPONSIBILITY FOLLOWING OWNER ACCEPTANCE OF WORK.
 7. GUARANTEE PERIOD
 - A. CONTRACTOR TO WARRANTY TREES, SHRUBS, AND PERENNIALS FOR TWO YEARS FOLLOWING ACCEPTANCE OF WORK BY OWNER.
 - B. CONTRACTOR TO MAINTAIN THE TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. CONTRACTOR TO REMOVE ALL STAKING/ WIRING/ STRAPS FROM FREES AT THE END OF THE GUARANTEE PERIOD.
 - C. REPLACEMENTS: AT THE END OF THE GUARANTEE PERIOD, ALL PLANTS WHICH ARE UNHEALTHY, DEAD, NOT HAVING A NORMAL DENSITY, SIZE, SHAPE OR COLOR SHALL BE REPLACED. REPLACEMENTS SHALL MATCH CALIPER AND/OR HEIGHT OF THE OTHER PLANTS AT TIME OF REPLACEMENT. SELECTION OF REPLACEMENT MATERIAL AND INSTALLATION PRACTICES SHALL FOLLOW THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
 8. IRRIGATION
 - A. CONFORM TO THE REQUIREMENTS OF CDOT 107.14 (INTERRUPTION OF IRRIGATION WATER FLOW), CDOT 623 (IRRIGATION SYSTEM) AND ALL OTHER APPLICABLE CDOT IRRIGATION MATERIALS AND CONSTRUCTION REQUIREMENTS.

Owner
New Horizon Academy
3405 Annapolis Lane
N., Suite 100
Plymouth, MN 55447
763.557.1111

Architect
Short Elliott Hendrickson, Inc.
2000 South Colorado Boulevard
Tower One, Suite 6000
Denver, Colorado 80222
720.540.6800

Landscape Architect
Short Elliott Hendrickson, Inc.
10901 Red Circle Drive
Suite 300
Minnetonka, MN 55343
952.912.2600

Civil Engineer
Short Elliott Hendrickson, Inc.
418 West Superior Street
Suite 200
Duluth, MN 55802
218.279.3000

Structural Engineer

Mechanical Engineer

Electrical Engineer

NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6
PARKER, CO

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SEH Project: NHOAC 152217
Checked By: KW
Drawn By: VT

Project Status: CONSTRUCTION SET
Issue Date: 6/25/2021

Revision Issue

Rev. #	Description	Date