



Building a Better World for All of Us®

NOT FOR CONSTRUCTION

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NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6 PARKER, CO

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SEH Project License No. 37763
Checked By: AMP
Drawn By:

Project Status: TOWN REVIEW
Issue Date: 8/26/2020
TOWN REVIEW: 1/22/2021

Revision Issue: TOWN COMMENTS
Date: 1/22/21

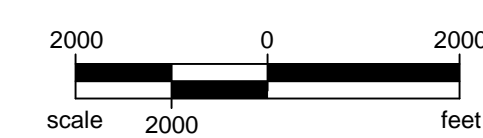
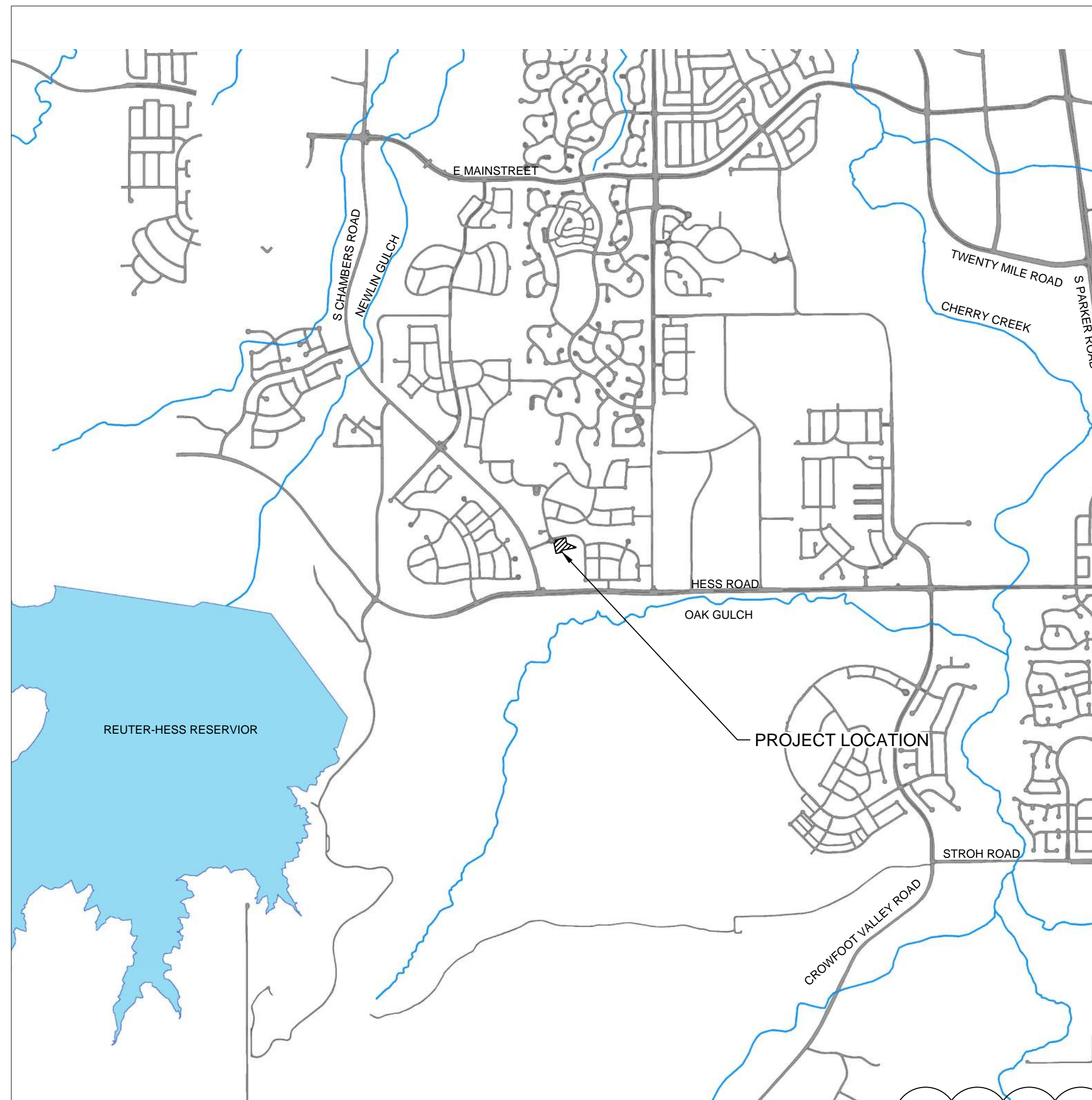
COVER SHEET

C0.0

DOUGLAS 234, FILING NO. 6

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO 1.651 ACRES

SITE PLANS FOR NEW HORIZON ACADEMY



PLAN SHEET INDEX table with columns SHEET NUMBER and SHEET TITLE. Includes sheets C0.0 to C1.4, C1.5-C1.6 (Civil Details), C2.0 (Grading Plan), C3.0 (Initial GBMP Plan), C3.1 (Interim Final GBMP Plan), C3.2-C3.9 (GBMP Details), C4.0 (Storm Sewer Plan - Parking Lot), C4.1 (Storm Sewer Plan - Playground), C4.2-C4.3 (Storm Sewer Details), C5.0 (Signage Plan), A2.1-A2.2 (Preliminary Exterior Elevations), A2.3 (Preliminary Elevations), A2.4-A2.5 (Perspectives), ES.01 (Photometric Site Plan), ES.02-ES.03 (Light Fixture Cutsheets), L1.01 (Landscape Plan), L1.02 (Irrigation Diagram), L1.03 (Landscape Details), L1.04 (Sign Details), and Playground Plans.

SITE DISTANCE CERTIFICATION
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

TIM NUETZEL LICENSE NO. 37763

Add sheet with autoturn analysis for firetrucks
Fire truck turning information was added to the signage plan

Signage is reviewed and approved on a separate signs permit and is not part of this review.

Sheet was removed from index

EXISTING

- RIGHT OF WAY
PERMANENT EASEMENT
PROPERTY LINE
HORIZONTAL CONTROL POINT
BENCHMARK
SURVEY MARKER
SOIL BORING
SANITARY SEWER AND MANHOLE
FORCE MAIN AND LIFT STATION
SANITARY SEWER SERVICE & CLEANOUT
WATER MAIN, HYDRANT, VALVE AND MANHOLE
WATER SERVICE AND CURB STOP BOX
STORM SEWER, MANHOLE AND CATCH BASIN
CULVERT AND APRON ENDWALL
GAS MAIN, VALVE, VENT AND METER
HANDHOLE
BURIED FIBER OPTIC CABLE AND MANHOLE
BURIED PHONE CABLE, PEDESTAL AND MANHOLE
BURIED TV CABLE, PEDESTAL AND MANHOLE
BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
OVERHEAD WIRE, POLE AND GUY WIRE
LIGHT POLE
TRAFFIC SIGNAL
STREET NAME SIGN
SIGN (NON STREET NAME)
RAILROAD TRACKS
DECIDUOUS AND CONIFEROUS TREE
BUSH / SHRUB AND STUMP
EDGE OF WOODED AREA
WETLAND
BUILDING
FENCE (UNIDENTIFIED)
BARBED WIRE FENCE
CHAIN LINK FENCE
ELECTRIC WIRE FENCE
WOOD FENCE
WOVEN WIRE FENCE
PLATE BEAM GUARDRAIL
CABLE GUARDRAIL
POST / BOLLARD
RETAINING WALL

PROPOSED

- STREET CENTERLINE
RIGHT-OF-WAY
PERMANENT EASEMENT
TEMPORARY EASEMENT
CONSTRUCTION LIMITS
SANITARY SEWER, BULKHEAD AND MANHOLE
FORCE MAIN
SANITARY SERVICE AND CLEANOUT
WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
WATER SERVICE AND CURB STOP BOX
STORM SEWER, MANHOLE AND CATCH BASIN
CULVERT AND APRON ENDWALL
DRAIN TILE
DITCH / SWALE
RIPRAP
STREET NAME SIGN
SIGN (NON STREET NAME)
RETAINING WALL

SOIL PREPARATION AND PAVEMENT DESIGN NOTE
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS.

GEOTECHNICAL ENGINEER: ROCKY MOUNTAIN GROUP. PROJECT NO. 167366

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT AND BRING ANY CONFLICTS BETWEEN IT AND THE CONSTRUCTION PLANS AND SPECIFICATIONS TO THE ENGINEER'S ATTENTION PRIOR TO BEGINNING WORK.

BASIS OF BEARINGS:

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH P.M. BEARING SOUTH 89°15'13" WEST AS SHOWN ON FINAL PLAT DOUGLAS 234 FILING NO. 1.

BENCHMARK

BENCHMARK IS BY GPS OBSERVATION NAVD 88. SET SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200'+/- NORTH OF HESS RD.

This was my mistake. This sheet note can be removed. Text was removed

SCREENING
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY. FINAL LOCATION AND SCREENING MEASURES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN UNDER CHAPTER 13.06 OF THIS TITLE.

LEGAL DESCRIPTION:
THIS IS AN AS-SURVEYED PERIMETER DESCRIPTION AROUND THE SUBJECT PROPERTY AND IS NOT INTENDED TO REPLACE THE RECORD LEGAL DESCRIPTION.

LOT 11, DOUGLAS 234, FILING 6, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.

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 PARKER, CO

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SEH Project NHOAC 156217
Checked By DJH
Drawn By AMP

Project Status Issue Date
 TOWN REVIEW 8/26/2020
 TOWN REVIEW 1/22/2021

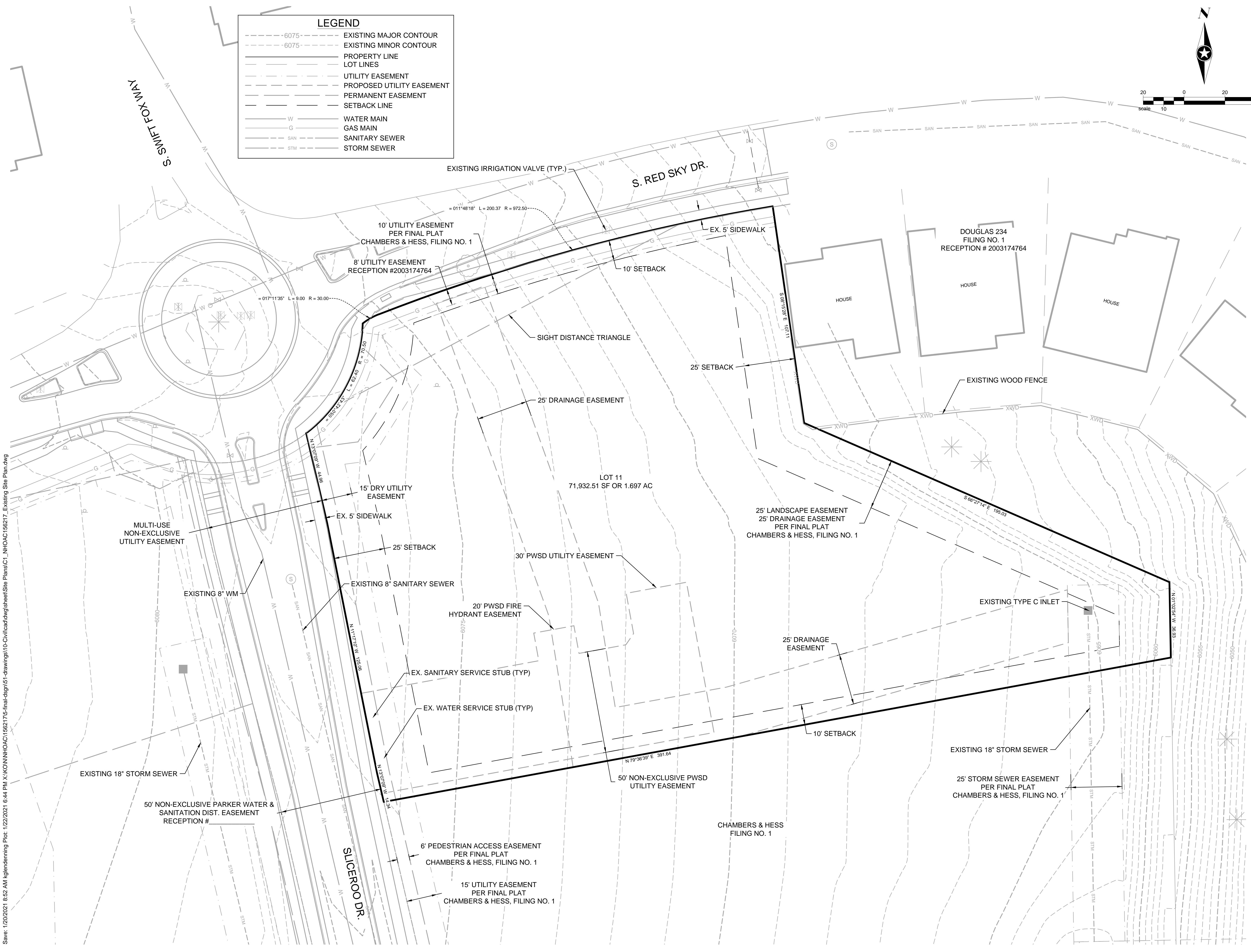
| Rev. # | Description | Date |
|--------|---------------|---------|
| 1 | TOWN COMMENTS | 1/22/21 |

EXISTING CONDITIONS

C1.0

LEGEND

- - - - -6075- - - - - EXISTING MAJOR CONTOUR
- - - - -6075- - - - - EXISTING MINOR CONTOUR
- PROPERTY LINE
- LOT LINES
- - - - - UTILITY EASEMENT
- - - - - PROPOSED UTILITY EASEMENT
- - - - - PERMANENT EASEMENT
- SETBACK LINE
- W ——— WATER MAIN
- G ——— GAS MAIN
- SAN ——— SANITARY SEWER
- STM ——— STORM SEWER



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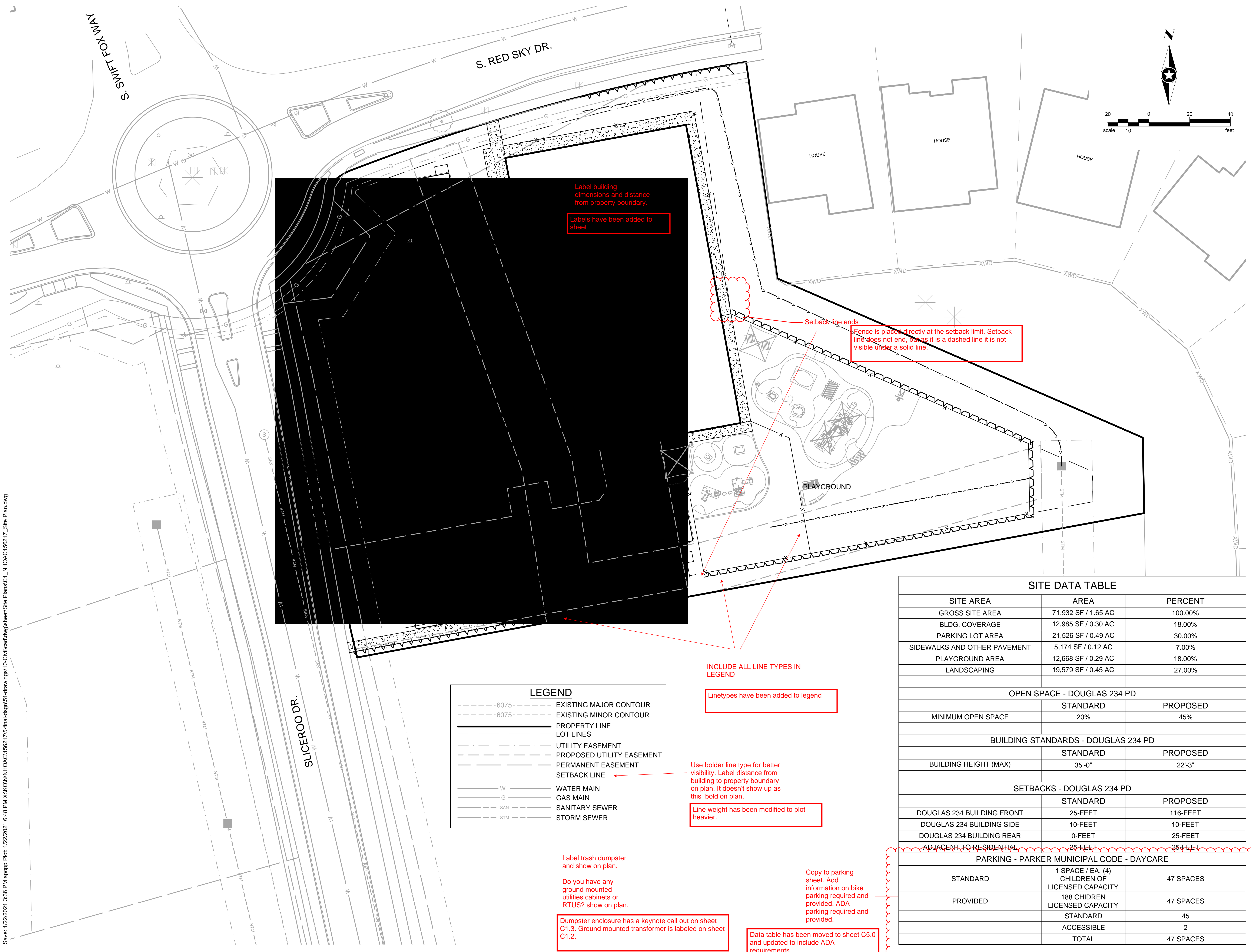
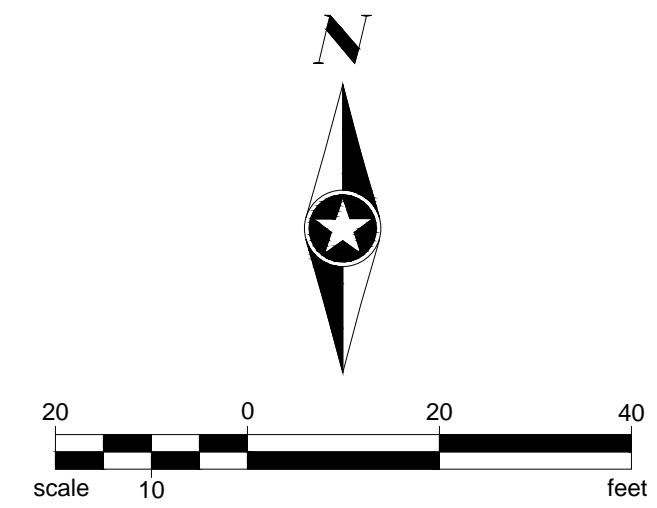
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Label building dimensions and distance from property boundary.
Labels have been added to sheet

Setback line ends
Fence is placed directly at the setback limit. Setback line does not end, but as it is a dashed line it is not visible under a solid line.

INCLUDE ALL LINE TYPES IN LEGEND
Linetypes have been added to legend

| LEGEND | |
|--------------|---------------------------|
| --- -6075--- | EXISTING MAJOR CONTOUR |
| --- -6075--- | EXISTING MINOR CONTOUR |
| --- | PROPERTY LINE |
| --- | LOT LINES |
| --- | UTILITY EASEMENT |
| --- | PROPOSED UTILITY EASEMENT |
| --- | PERMANENT EASEMENT |
| --- | SETBACK LINE |
| W | WATER MAIN |
| G | GAS MAIN |
| SAN | SANITARY SEWER |
| STM | STORM SEWER |

Use bolder line type for better visibility. Label distance from building to property boundary on plan. It doesn't show up as this bold on plan.
Line weight has been modified to plot heavier.

Label trash dumpster and show on plan.
Do you have any ground mounted utilities cabinets or RTUS? show on plan.
Dumpster enclosure has a keynote call out on sheet C1.3. Ground mounted transformer is labeled on sheet C1.2.

Copy to parking sheet. Add information on bike parking required and provided. ADA parking required and provided.
Data table has been moved to sheet C5.0 and updated to include ADA requirements.

| SITE DATA TABLE | | |
|------------------------------|---------------------|---------|
| SITE AREA | AREA | PERCENT |
| GROSS SITE AREA | 71,932 SF / 1.65 AC | 100.00% |
| BLDG. COVERAGE | 12,985 SF / 0.30 AC | 18.00% |
| PARKING LOT AREA | 21,526 SF / 0.49 AC | 30.00% |
| SIDEWALKS AND OTHER PAVEMENT | 5,174 SF / 0.12 AC | 7.00% |
| PLAYGROUND AREA | 12,668 SF / 0.29 AC | 18.00% |
| LANDSCAPING | 19,579 SF / 0.45 AC | 27.00% |

| OPEN SPACE - DOUGLAS 234 PD | | |
|-----------------------------|----------|----------|
| | STANDARD | PROPOSED |
| MINIMUM OPEN SPACE | 20% | 45% |

| BUILDING STANDARDS - DOUGLAS 234 PD | | |
|-------------------------------------|----------|----------|
| | STANDARD | PROPOSED |
| BUILDING HEIGHT (MAX) | 35'-0" | 22'-3" |

| SETBACKS - DOUGLAS 234 PD | | |
|----------------------------|----------|----------|
| | STANDARD | PROPOSED |
| DOUGLAS 234 BUILDING FRONT | 25-FEET | 116-FEET |
| DOUGLAS 234 BUILDING SIDE | 10-FEET | 10-FEET |
| DOUGLAS 234 BUILDING REAR | 0-FEET | 25-FEET |
| ADJACENT TO RESIDENTIAL | 25- FEET | 25- FEET |

| PARKING - PARKER MUNICIPAL CODE - DAYCARE | | |
|-------------------------------------------|-------------------------------------------------|-----------|
| | | |
| STANDARD | 1 SPACE / EA. (4) CHILDREN OF LICENSED CAPACITY | 47 SPACES |
| PROVIDED | 188 CHIDREN LICENSED CAPACITY | 47 SPACES |
| | STANDARD | 45 |
| | ACCESSIBLE | 2 |
| | TOTAL | 47 SPACES |

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PARKER, CO

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SEH Project: NHOC 156217
Checked By: DJH
Drawn By: AMP

| Rev. # | Description | Date |
|--------|---------------|---------|
| 1 | TOWN COMMENTS | 1/22/21 |

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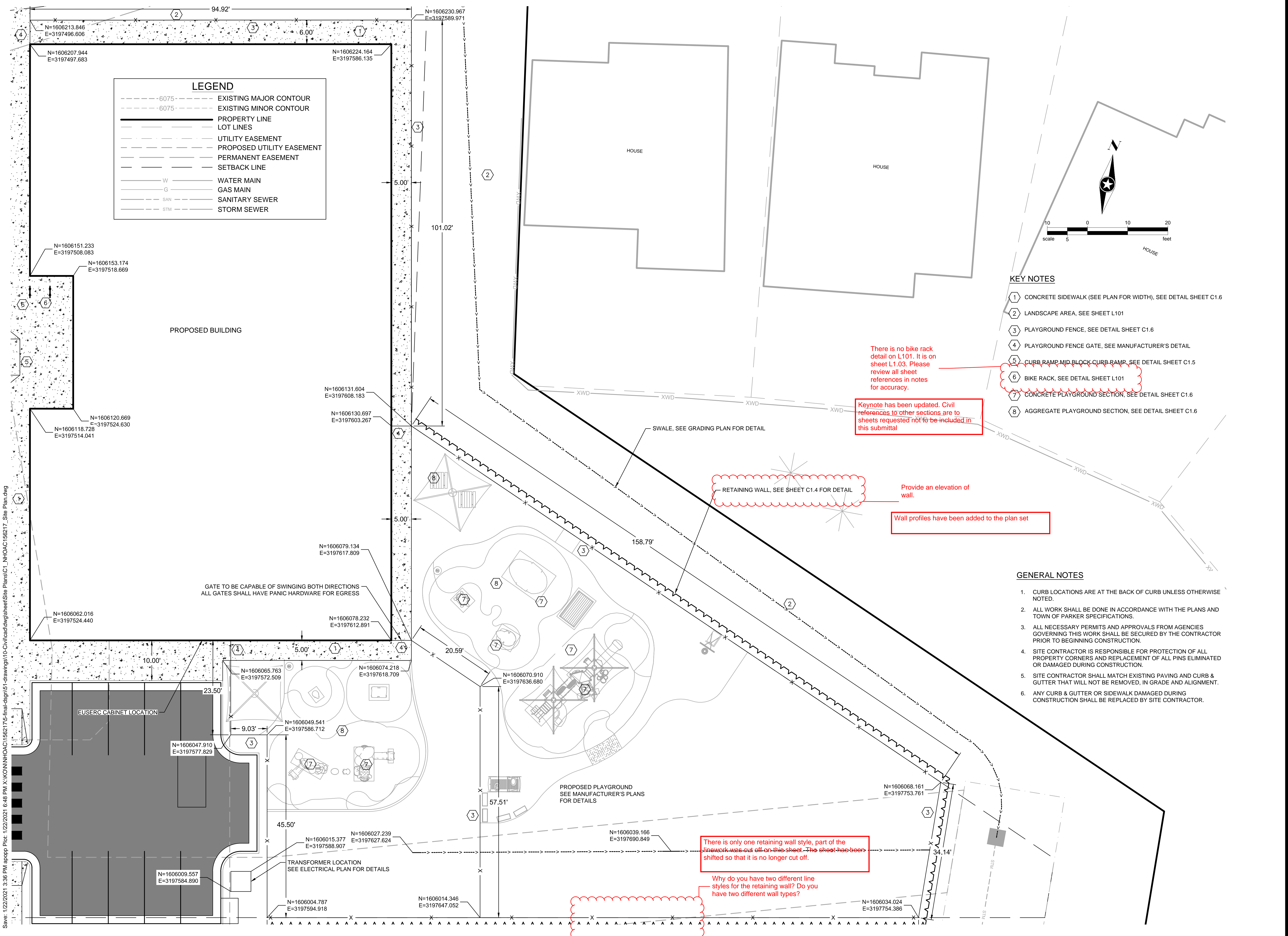
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Issue Date: 8/26/2020
TOWN REVIEW: 1/22/2021

Revision Issue
Rev. # 1
Description: TOWN COMMENTS
Date: 1/22/21

BUILDING SITE LAYOUT



C1.2



LEGEND

| | |
|------------|---------------------------|
| ---6075--- | EXISTING MAJOR CONTOUR |
| ---6075--- | EXISTING MINOR CONTOUR |
| --- | PROPERTY LINE |
| --- | LOT LINES |
| --- | UTILITY EASEMENT |
| --- | PROPOSED UTILITY EASEMENT |
| --- | PERMANENT EASEMENT |
| --- | SETBACK LINE |
| W | WATER MAIN |
| G | GAS MAIN |
| SAN | SANITARY SEWER |
| STM | STORM SEWER |

- KEY NOTES**
- 1 CONCRETE SIDEWALK (SEE PLAN FOR WIDTH), SEE DETAIL SHEET C1.6
 - 2 LANDSCAPE AREA, SEE SHEET L101
 - 3 PLAYGROUND FENCE, SEE DETAIL SHEET C1.6
 - 4 PLAYGROUND FENCE GATE, SEE MANUFACTURER'S DETAIL
 - 5 CURB RAMP MID BLOCK CURB RAMP, SEE DETAIL SHEET C1.5
 - 6 BIKE RACK, SEE DETAIL SHEET L101
 - 7 CONCRETE PLAYGROUND SECTION, SEE DETAIL SHEET C1.6
 - 8 AGGREGATE PLAYGROUND SECTION, SEE DETAIL SHEET C1.6

- GENERAL NOTES**
1. CURB LOCATIONS ARE AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND TOWN OF PARKER SPECIFICATIONS.
 3. ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
 4. SITE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND REPLACEMENT OF ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
 5. SITE CONTRACTOR SHALL MATCH EXISTING PAVING AND CURB & GUTTER THAT WILL NOT BE REMOVED, IN GRADE AND ALIGNMENT.
 6. ANY CURB & GUTTER OR SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY SITE CONTRACTOR.

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KEY NOTES

- 1 CONCRETE SIDEWALK (SEE PLAN FOR WIDTH), SEE DETAIL SHEET C1.6
- 2 LANDSCAPE AREA, SEE LANDSCAPE PLANS
- 3 PLAYGROUND FENCE, SEE DETAIL SHEET C1.6
- 4 PLAYGROUND FENCE GATE, SEE MANUFACTURER'S DETAIL
- 5 CURB RAMP MID BLOCK CURB RAMP, SEE DETAIL SHEET C1.5
- 6 BIKE RACK, SEE LANDSCAPE PLANS
- 7 ASPHALT PARKING LOT, SEE DETAIL SHEET C1.6
- 8 CONCRETE DUMPSTER PAD, SEE DETAIL SHEET C1.6
- 9 DUMPSTER ENCLOSURE FENCE, SEE ARCHITECTURAL PLANS
- 10 DUMPSTER ENCLOSURE FENCE GATE, SEE ARCHITECTURAL PLANS
- 11 VERTICAL CURB AND GUTTER SECTION (CATCH), SEE DETAIL SHEET C1.5
- 12 VERTICAL CURB AND GUTTER SECTION (SPILL), SEE DETAIL SHEET C1.5
- 13 DIRECTIONAL CURB RAMP WITHIN RADIUS, SEE DETAIL SHEET C1.5
- 14 PEDESTRIAN CURB RAMP FOR SIDEWALK OR TRAIL, SEE DETAIL SHEET C1.5

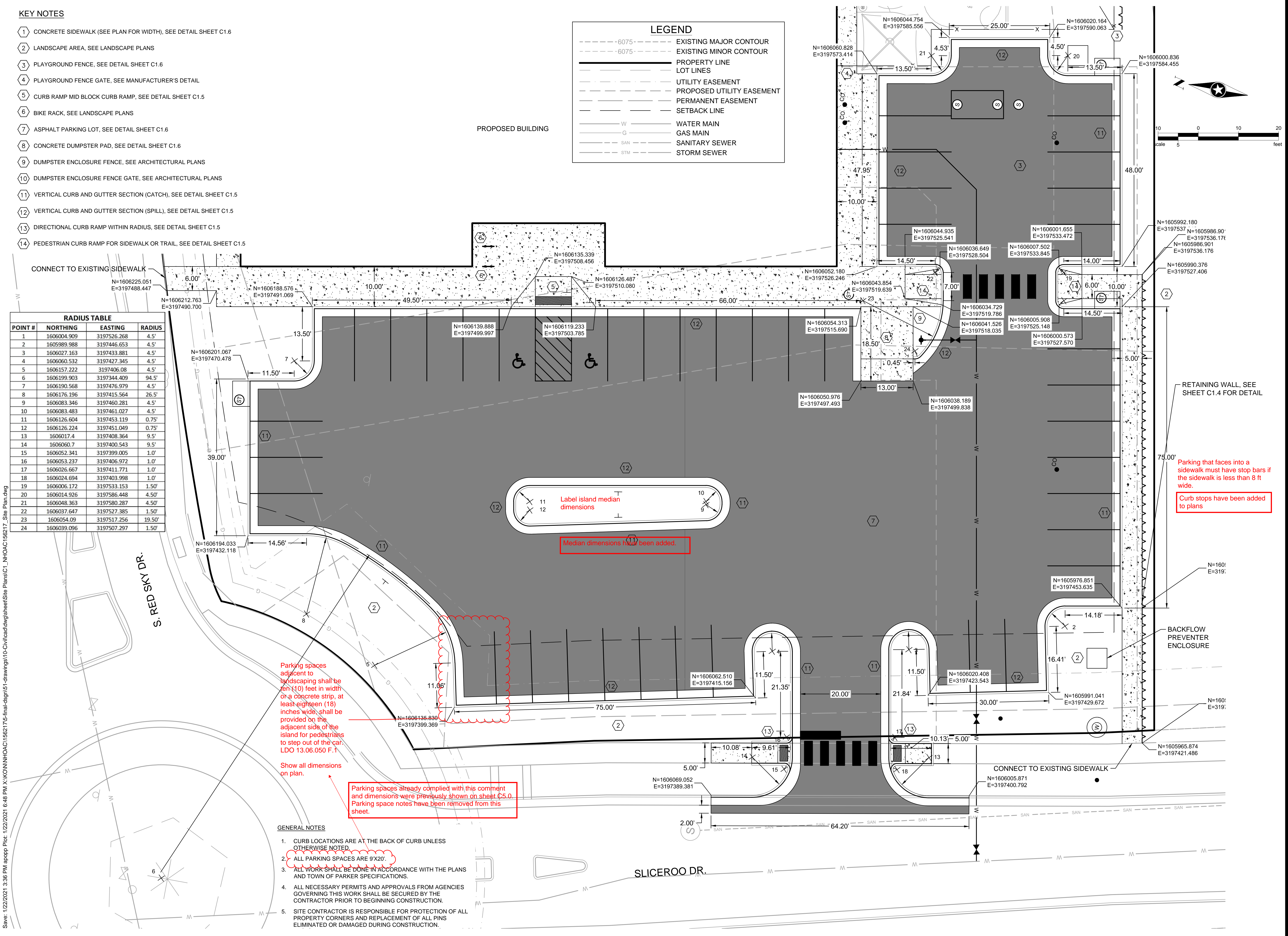
LEGEND

- - - 6075 - - - EXISTING MAJOR CONTOUR
- - - 6075 - - - EXISTING MINOR CONTOUR
- — — — — PROPERTY LINE
- — — — — LOT LINES
- - - - - UTILITY EASEMENT
- - - - - PROPOSED UTILITY EASEMENT
- - - - - PERMANENT EASEMENT
- - - - - SETBACK LINE
- — — — — W — — — — — WATER MAIN
- — — — — G — — — — — GAS MAIN
- — — — — SAN — — — — — SANITARY SEWER
- — — — — STM — — — — — STORM SEWER

RADIUS TABLE

| POINT # | NORTHING | EASTING | RADIUS |
|---------|-------------|-------------|--------|
| 1 | 1606004.909 | 3197526.268 | 4.5' |
| 2 | 1605989.988 | 3197446.653 | 4.5' |
| 3 | 1606027.163 | 3197433.881 | 4.5' |
| 4 | 1606060.532 | 3197427.345 | 4.5' |
| 5 | 1606157.222 | 3197406.08 | 4.5' |
| 6 | 1606199.903 | 3197344.409 | 94.5' |
| 7 | 1606190.568 | 3197476.979 | 4.5' |
| 8 | 1606176.196 | 3197415.564 | 26.5' |
| 9 | 1606083.346 | 3197460.281 | 4.5' |
| 10 | 1606083.483 | 3197461.027 | 4.5' |
| 11 | 1606126.604 | 3197453.119 | 0.75' |
| 12 | 1606126.224 | 3197451.049 | 0.75' |
| 13 | 1606017.4 | 3197408.364 | 9.5' |
| 14 | 1606060.7 | 3197400.543 | 9.5' |
| 15 | 1606052.341 | 3197399.005 | 1.0' |
| 16 | 1606053.237 | 3197406.972 | 1.0' |
| 17 | 1606026.667 | 3197411.771 | 1.0' |
| 18 | 1606024.694 | 3197403.998 | 1.0' |
| 19 | 1606006.172 | 3197533.153 | 1.50' |
| 20 | 1606014.926 | 3197586.448 | 4.50' |
| 21 | 1606048.363 | 3197580.287 | 4.50' |
| 22 | 1606037.647 | 3197527.385 | 1.50' |
| 23 | 1606054.09 | 3197517.256 | 19.50' |
| 24 | 1606039.096 | 3197507.297 | 1.50' |

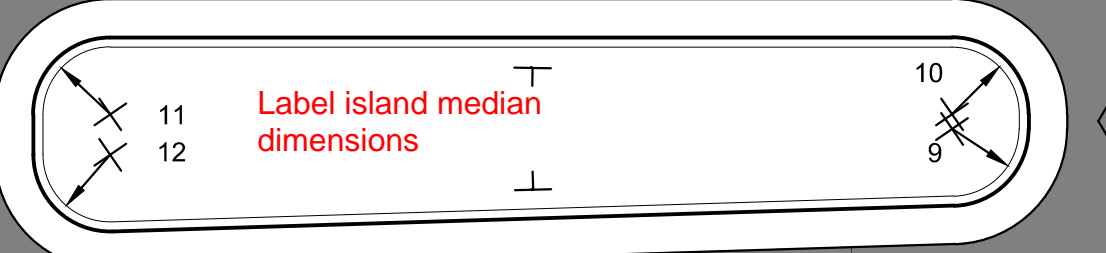
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Parking spaces adjacent to landscaping shall be ten (10) feet in width or a concrete strip, at least eighteen (18) inches wide, shall be provided on the adjacent side of the island for pedestrians to step out of the car. LDO 13.06.050 F.1

Show all dimensions on plan.

Parking spaces already complied with this comment and dimensions were previously shown on sheet C5.0. Parking space notes have been removed from this sheet.



Median dimensions have been added.

Parking that faces into a sidewalk must have stop bars if the sidewalk is less than 8 ft wide.

Curb stops have been added to plans

- GENERAL NOTES**
- CURB LOCATIONS ARE AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL PARKING SPACES ARE 9'X20'.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND TOWN OF PARKER SPECIFICATIONS.
 - ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
 - SITE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND REPLACEMENT OF ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.

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NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6

PARKER, CO

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SEH Project Checked By Drawn By

NHOAC 156217 DEH AMP

Project Status: TOWN REVIEW, TOWN REVIEW

Issue Date: 8/26/2020, 1/22/2021

Revision Issue

Rev. # 1 Description TOWN COMMENTS Date 1/22/21

PARKING LOT SITE LAYOUT

C1.3

**NOT FOR
CONSTRUCTION**

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New Horizon Academy
**NEW HORIZON ACADEMY -
DOUGLAS 234 FILING, NO. 6**
PARKER, CO

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SEH Project NHOC 156217
Checked By DJH
Drawn By AMP

Project Status Issue Date
TOWN REVIEW 8/26/2020
TOWN REVIEW 1/22/2021

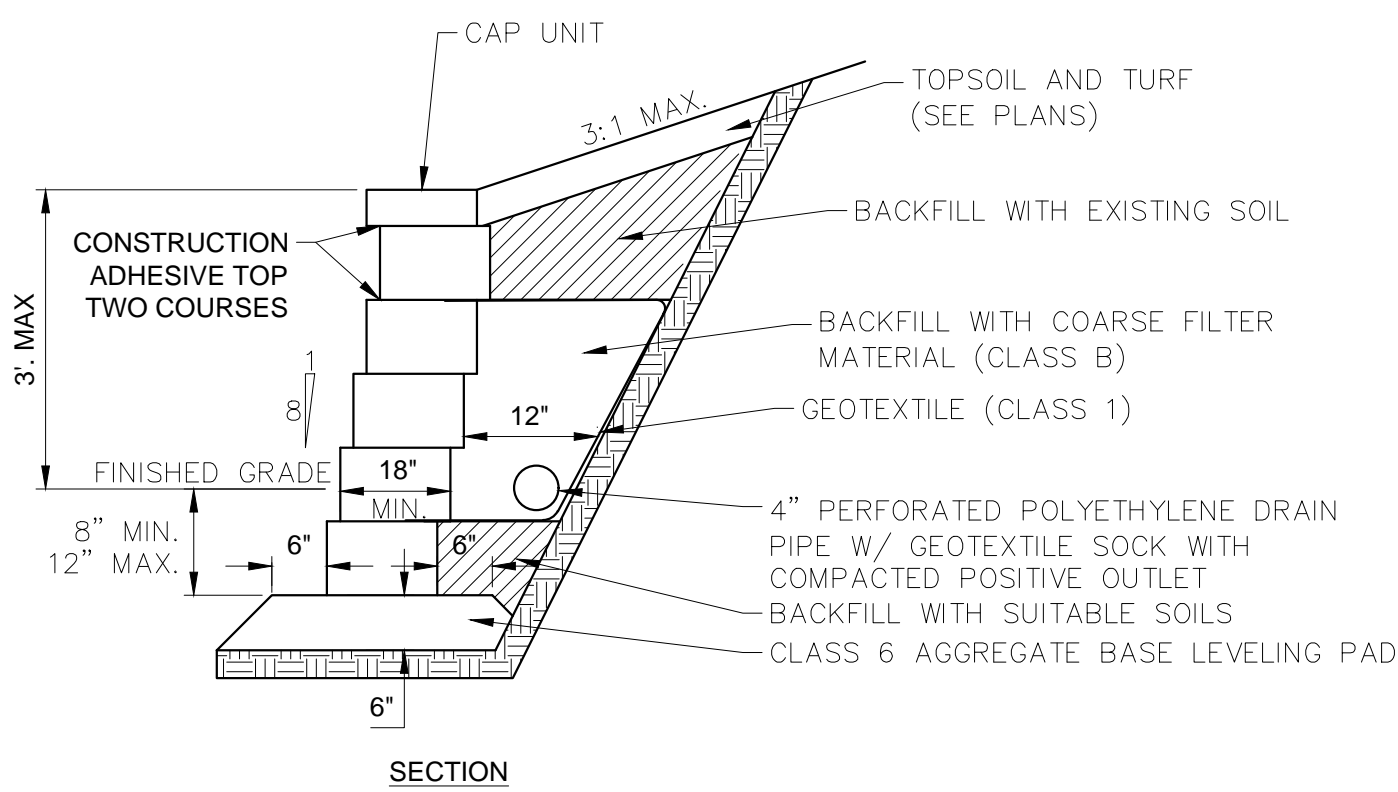
| Rev. # | Description | Date |
|--------|---------------|---------|
| 1 | TOWN COMMENTS | 1/22/21 |

RETAINING WALL PLAN

1

C1.4

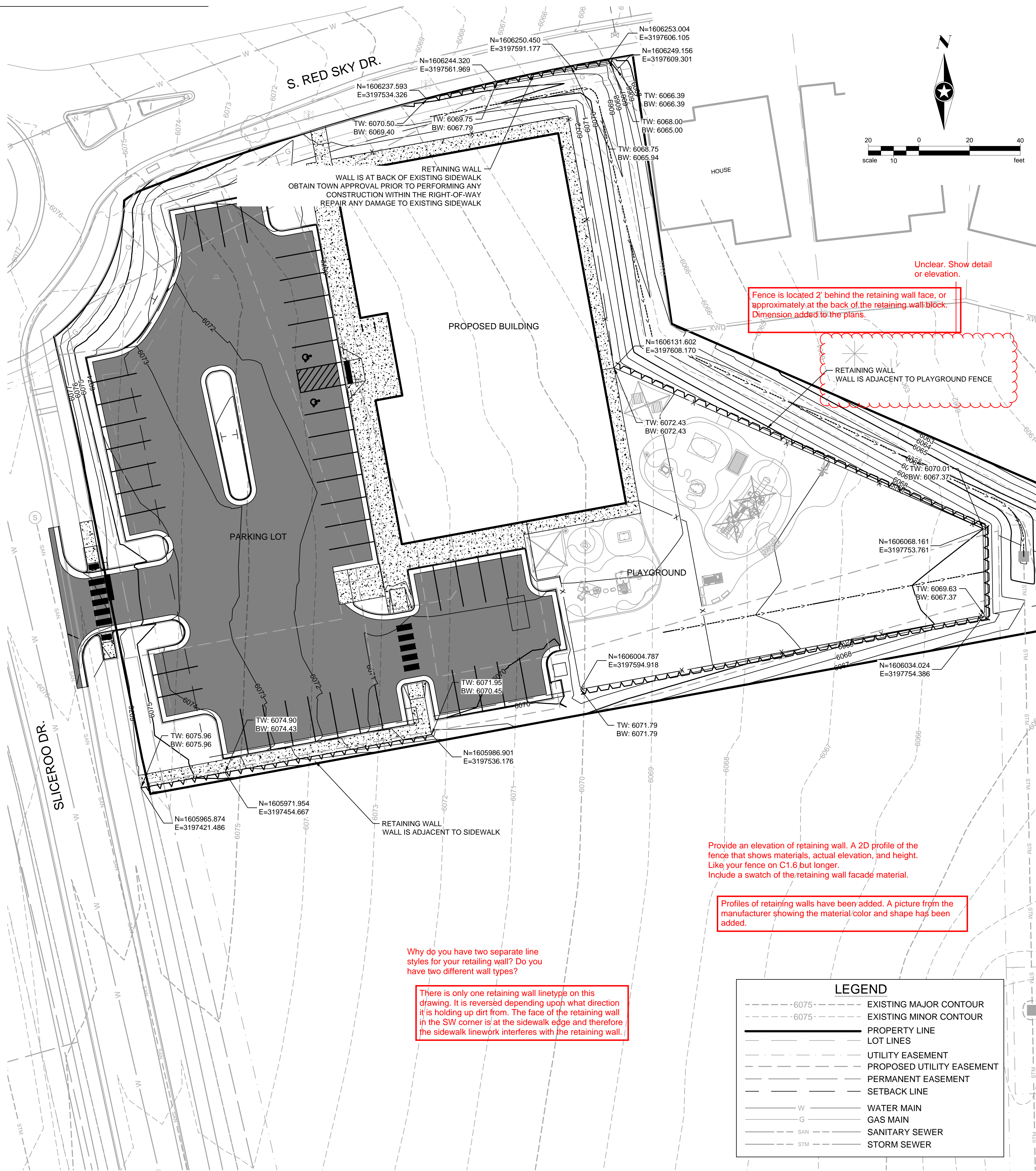
- NOTES:**
1. MAXIMUM EXPOSED HEIGHT NOT TO EXCEED 3 FEET. A SPECIFIC ENGINEERED DESIGN IS REQUIRED FOR WALLS WITH AN EXPOSED HEIGHT OVER 3 FEET.
 2. FILL ALL VOID AREAS IN MODULAR BLOCK UNITS WITH COARSE FILTER MATERIAL (CLASS B) OR PEA GRAVEL AS APPROVED BY ENGINEER.
 3. MODULAR BLOCK UNITS MUST HAVE INTERLOCKING LIP OR PIN CONNECTIONS.
 4. RETAINING WALL LOCATION SHOWN ON PLANS.
 5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR PROPOSED MODULAR BLOCK UNITS.
 6. OUTLET DRAIN PIPE TO A STORM SEWER CATCH BASIN OR MANHOLE OR THROUGH FACE OF WALL.
 7. RETAINING WALL BLOCK TO BE SPLIT FACE AND MATCH BUILDING COLOR PALETTE.



NTS

Revised:
Oct. 2011
SEH Plate No.
MISC-02

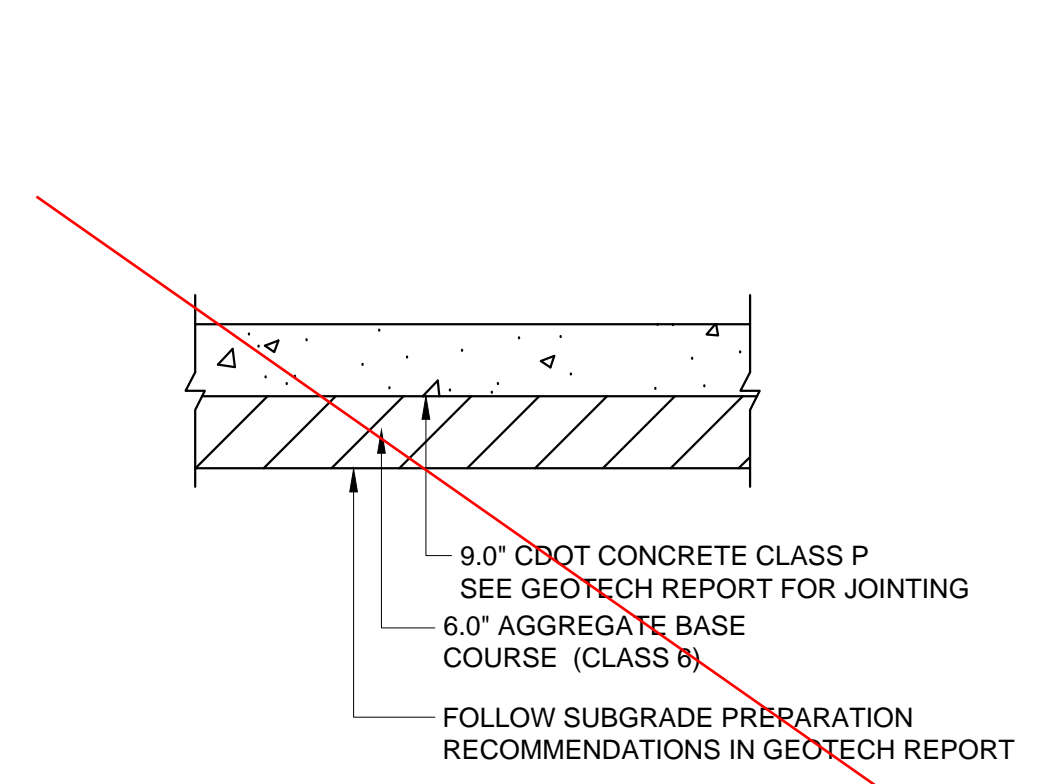
**RETAINING WALL DETAIL
GRAVITY WALL**



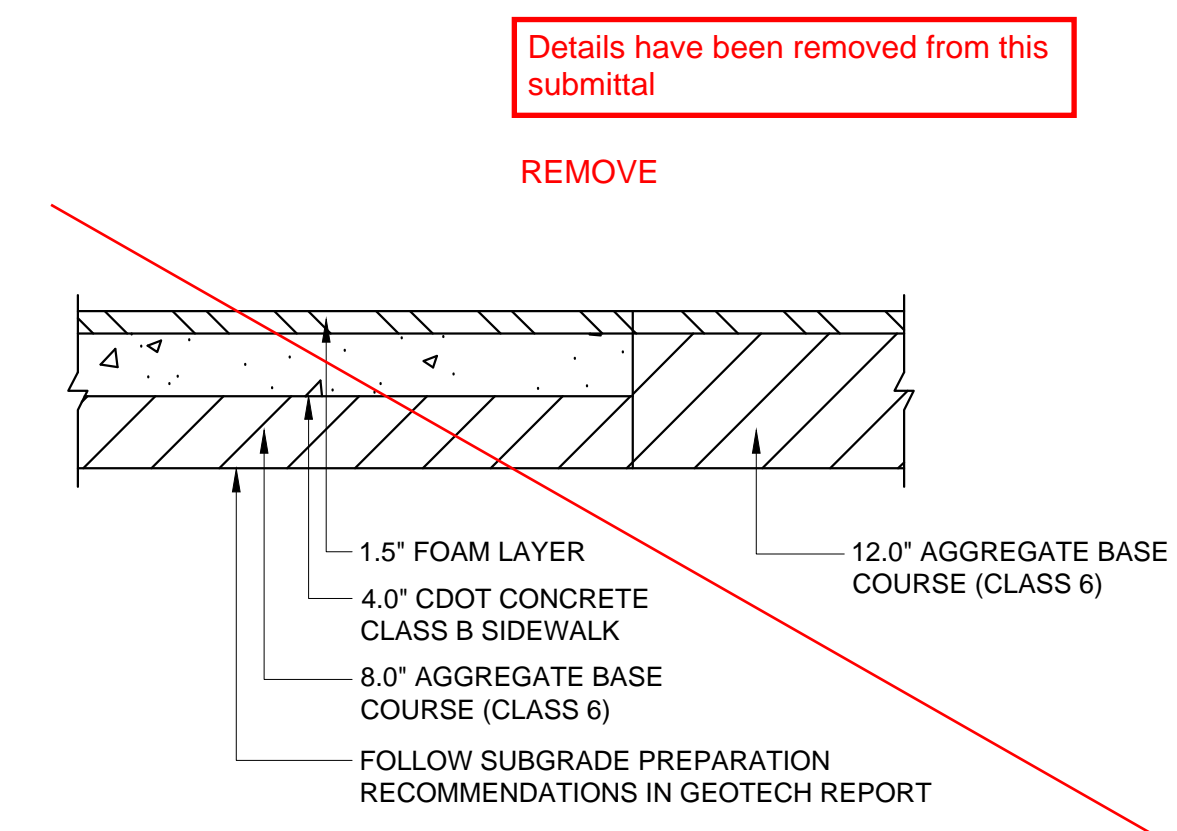
LEGEND

| | |
|-------------|---------------------------|
| ---6075--- | EXISTING MAJOR CONTOUR |
| - - -6075- | EXISTING MINOR CONTOUR |
| — — — — — | PROPERTY LINE |
| — — — — — | LOT LINES |
| — — — — — | UTILITY EASEMENT |
| — — — — — | PROPOSED UTILITY EASEMENT |
| — — — — — | PERMANENT EASEMENT |
| — — — — — | SETBACK LINE |
| — W — — — | WATER MAIN |
| — G — — — | GAS MAIN |
| — SAN — — — | SANITARY SEWER |
| — STM — — — | STORM SEWER |

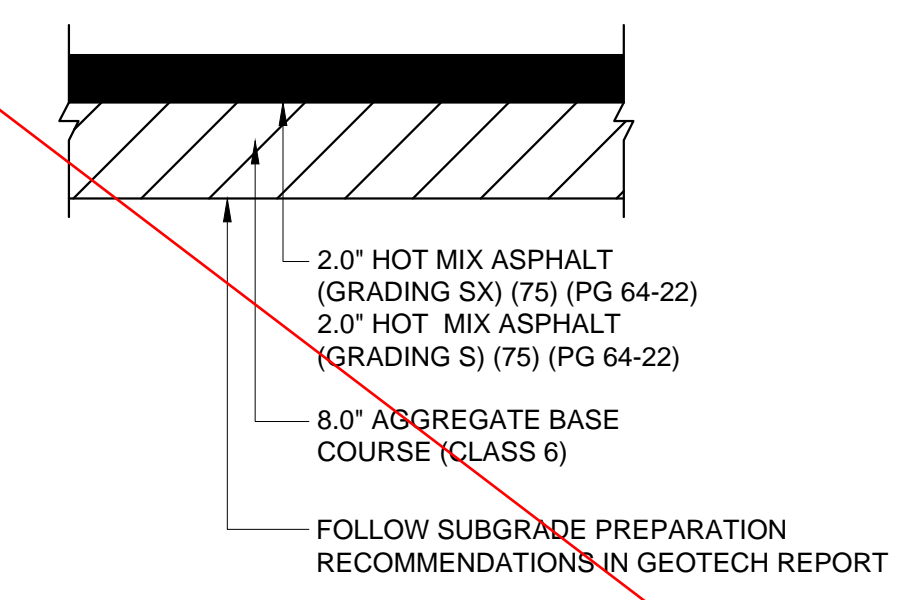
**NOT FOR
CONSTRUCTION**



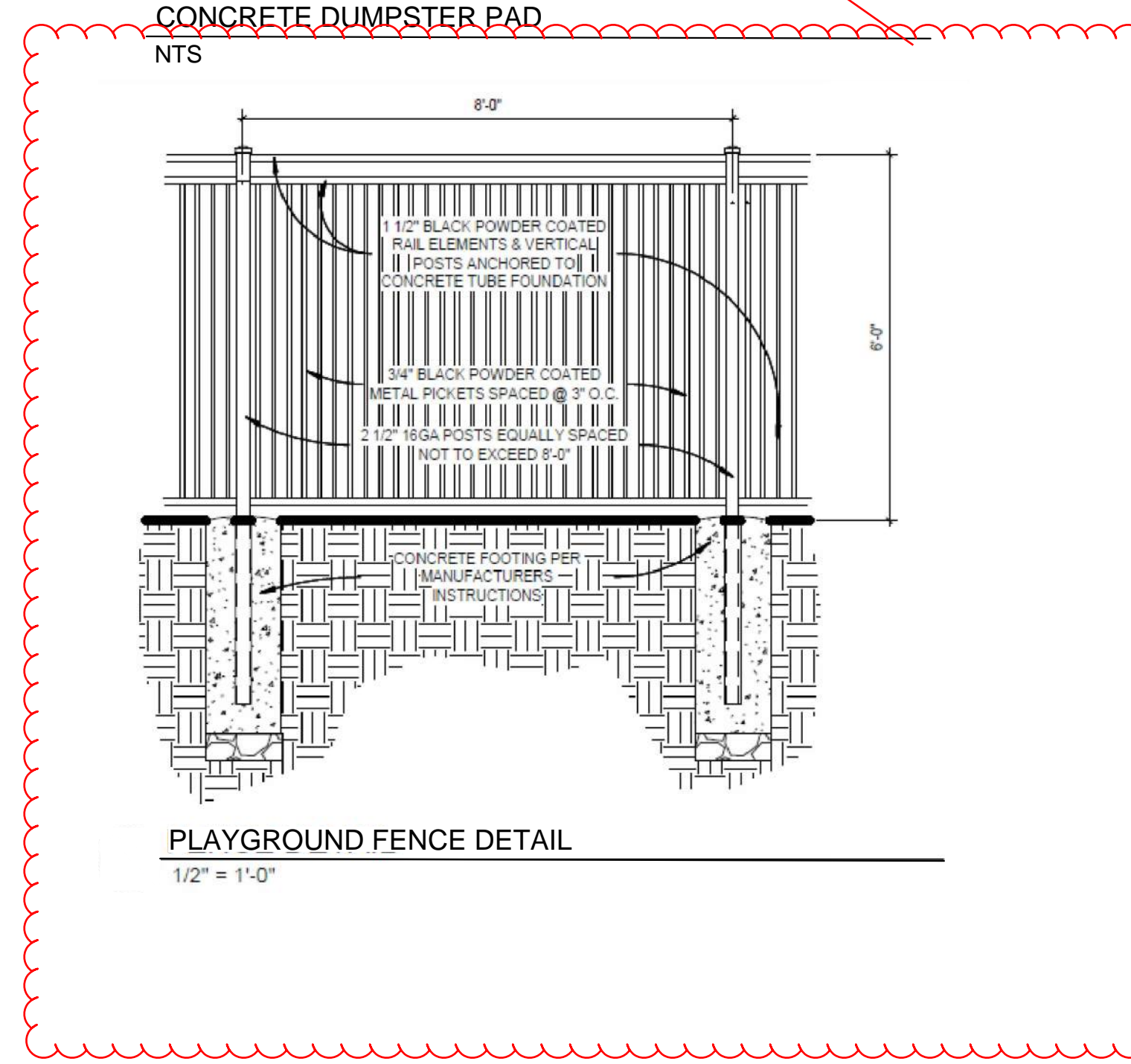
CONCRETE DUMPSTER PAD
NTS



PLAYGROUND SECTION
NTS



ASPHALT PARKING LOT
NTS



PLAYGROUND FENCE DETAIL
1/2" = 1'-0"

Details have been removed from this submittal

REMOVE

Add trash fence and retaining wall elevations and materials to this page as requested.

Trash fence is shown on architectural sheets. Retaining wall profiles have been added to this sheet. Materials are shown on sheet C1.4

Move to sheet with trash fence, or another sheet with the retaining wall elevations on it as well.

Please provide a better quality representation along the lines of your trash fence elevations.

Fence appears on architectural perspectives in color with more detail

Save: 1/22/2021 3:36 PM appop Plot: 1/22/2021 6:49 PM X:\KONNHOAC\1562175-final-dsgn\51-drawings\10-Civil\cd\dwg\sheet\Site Plans\C1_NHOAC\156217_Site Plan.dwg

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NEW HORIZON ACADEMY -
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PARKER, CO

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SEH Project: NHOAC 156217
Checked By: DEH
Drawn By: AMP

Project Status: TOWN REVIEW Issue Date: 8/26/2020
TOWN REVIEW 1/22/2021

| Rev. # | Description | Date |
|--------|---------------|---------|
| 1 | TOWN COMMENTS | 1/22/21 |

CIVIL DETAILS
1
C1.6



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NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6 PARKER, CO

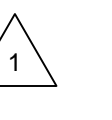
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SEH Project Checked By Drawn By NHOAC 156217 DEH AMP

Project Status: TOWN REVIEW, TOWN REVIEW Issue Date: 8/26/2020, 1/22/2021

Revision Issue: 1 TOWN COMMENTS Date: 1/22/21

GRADING PLAN

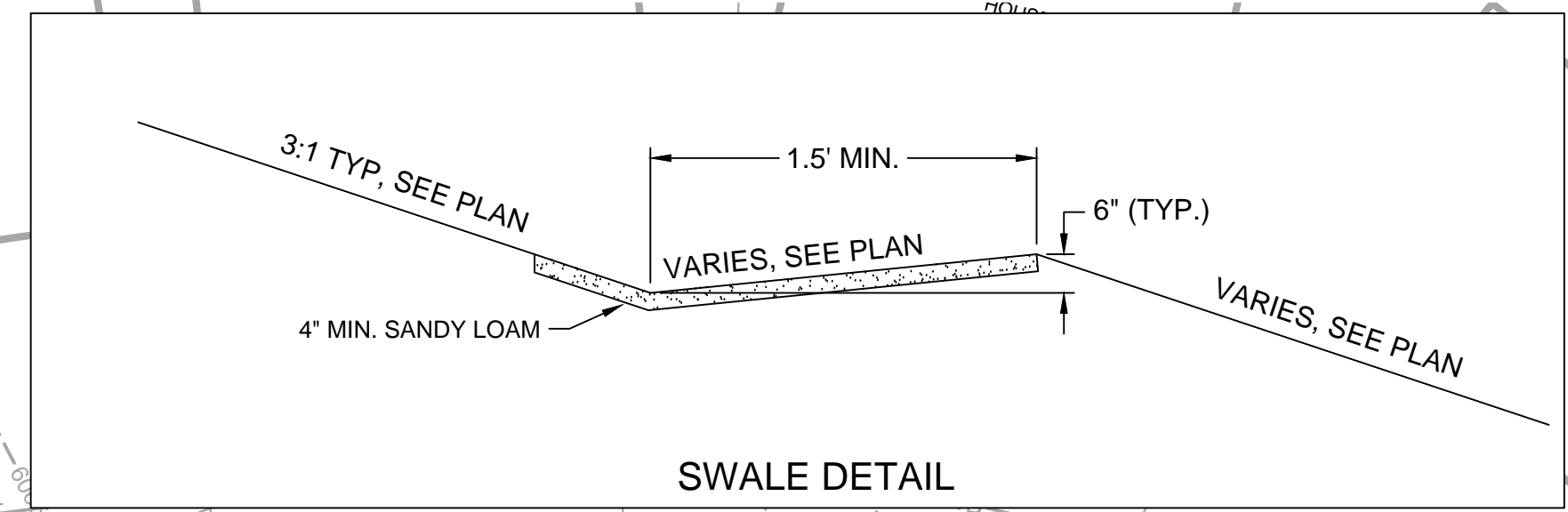
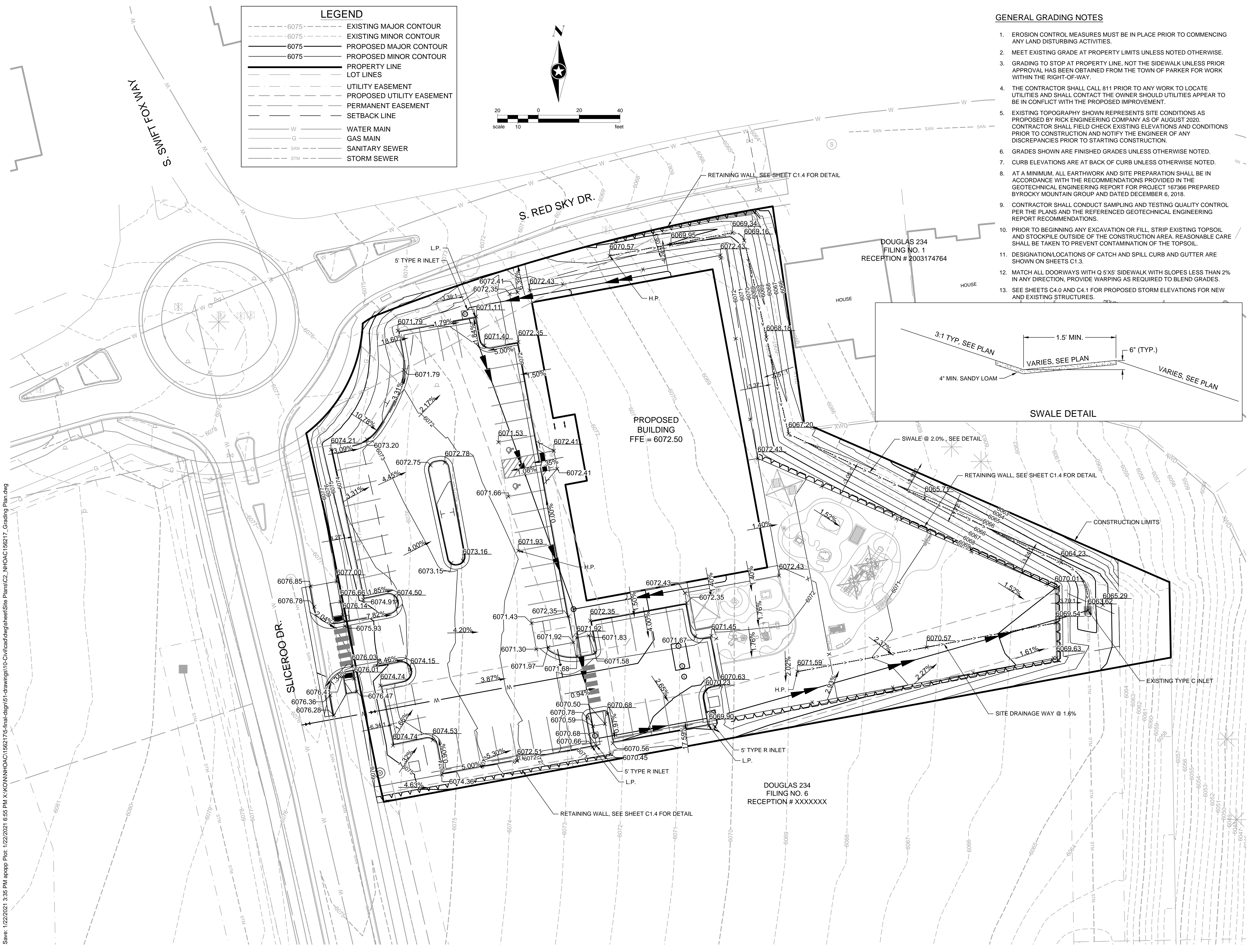
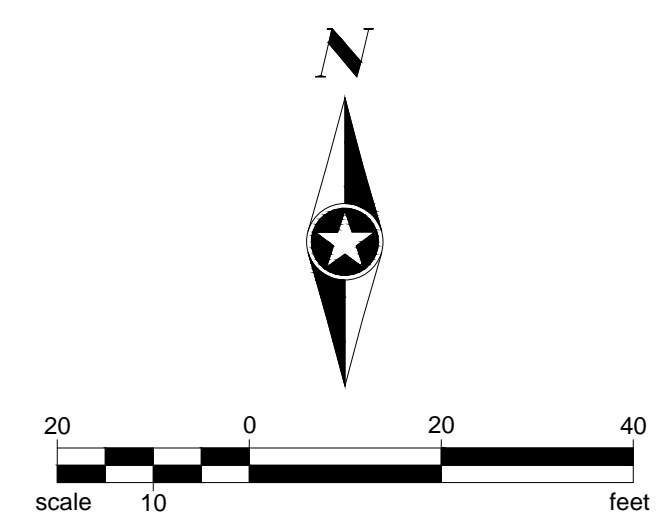


C2.0

GENERAL GRADING NOTES

- 1. EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
2. MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
3. GRADING TO STOP AT PROPERTY LINE, NOT THE SIDEWALK UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF PARKER FOR WORK WITHIN THE RIGHT-OF-WAY.
4. THE CONTRACTOR SHALL CALL 811 PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
5. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PROPOSED BY RICK ENGINEERING COMPANY AS OF AUGUST 2020. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
6. GRADES SHOWN ARE FINISHED GRADES UNLESS OTHERWISE NOTED.
7. CURB ELEVATIONS ARE AT BACK OF CURB UNLESS OTHERWISE NOTED.
8. AT A MINIMUM, ALL EARTHWORK AND SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR PROJECT 167366 PREPARED BY ROCKY MOUNTAIN GROUP AND DATED DECEMBER 6, 2018.
9. CONTRACTOR SHALL CONDUCT SAMPLING AND TESTING QUALITY CONTROL PER THE PLANS AND THE REFERENCED GEOTECHNICAL ENGINEERING REPORT RECOMMENDATIONS.
10. PRIOR TO BEGINNING ANY EXCAVATION OR FILL, STRIP EXISTING TOPSOIL AND STOCKPILE OUTSIDE OF THE CONSTRUCTION AREA. REASONABLE CARE SHALL BE TAKEN TO PREVENT CONTAMINATION OF THE TOPSOIL.
11. DESIGNATION/LOCATIONS OF CATCH AND SPILL CURB AND GUTTER ARE SHOWN ON SHEETS C1.3.
12. MATCH ALL DOORWAYS WITH Q 5'X5' SIDEWALK WITH SLOPES LESS THAN 2% IN ANY DIRECTION, PROVIDE WARPING AS REQUIRED TO BLEND GRADES.
13. SEE SHEETS C4.0 AND C4.1 FOR PROPOSED STORM ELEVATIONS FOR NEW AND EXISTING STRUCTURES.

LEGEND
- - - 6075 - - - EXISTING MAJOR CONTOUR
- - - 6075 - - - EXISTING MINOR CONTOUR
- - - 6075 - - - PROPOSED MAJOR CONTOUR
- - - 6075 - - - PROPOSED MINOR CONTOUR
- - - - - PROPERTY LINE
- - - - - LOT LINES
- - - - - UTILITY EASEMENT
- - - - - PROPOSED UTILITY EASEMENT
- - - - - PERMANENT EASEMENT
- - - - - SETBACK LINE
- - - - - WATER MAIN
- - - - - GAS MAIN
- - - - - SANITARY SEWER
- - - - - STORM SEWER



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**NEW HORIZON ACADEMY -
DOUGLAS 234 FILING, NO. 6**
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SEH Project
Checked By
Drawn By

NHOAC 156217
DRH
AMP

Project Status
TOWN REVIEW
TOWN REVIEW

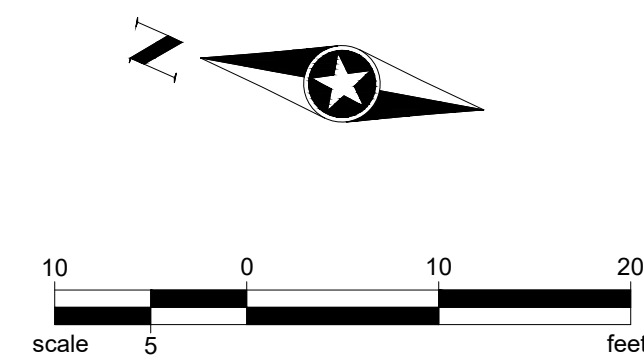
Issue Date
8/26/2020
1/22/2021

Revision Issue
Rev. # 1
Description TOWN COMMENTS
Date 1/22/21

SIGNAGE PLAN

1

C5.0



| LEGEND | |
|--------|---------------------------|
| | PROPERTY LINE |
| | LOT LINES |
| | UTILITY EASEMENT |
| | PROPOSED UTILITY EASEMENT |
| | PERMANENT EASEMENT |
| | SETBACK LINE |
| | WATER MAIN |
| | GAS MAIN |
| | SANITARY SEWER |
| | STORM SEWER |

ACCESSIBLE PARKING, 12'X18' R7-8
"WHEELCHAIR ACCESS AISLE,
ABSOLUTELY NO PARKING" SIGN
ACCESSIBLE PARKING, 12'X18' R7-8
VAN ACCESSIBLE, 12'X6' R7-8B

6.00'
24-INCH WHITE BLOCK (TYP)
CENTER ON VEHICLE WHEEL PATH

INTERNATIONAL SYMBOL OF ACCESSIBILITY,
WHITE PAINT, 3" MINIMUM STROKE WIDTH,
28" HIGH BY 24" WIDE MINIMUM (TYP)
4" WHITE STRIPE
SPACED 4' O.C. (TYP)

NO PARKING FIRE LANE SIGN, 18"X24" R8-31

FIRE SERVICE
USE CENTER
DRIVE AS
HAMMERHEAD
24"X18" APPROX. SIZE

STOP SIGN, 30"X30" R1-1

24-INCH WHITE BLOCK (TYP)
CENTER ON VEHICLE WHEEL PATH

24-INCH WHITE STOP LINE

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NOTE:
ALL PARKING STALLS ARE 9' X 18'

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PARKER, CO

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SEH Project: NHAC 156217
Checked By: SB
Drawn By: DRS

Project Status: Issue Date
REVIEW SET: 02.04.2020
BUILDING PERMIT SET: 08.17.2020

| Rev. # | Description | Date |
|--------|---------------|------------|
| 1 | City Comments | 01/15/2021 |

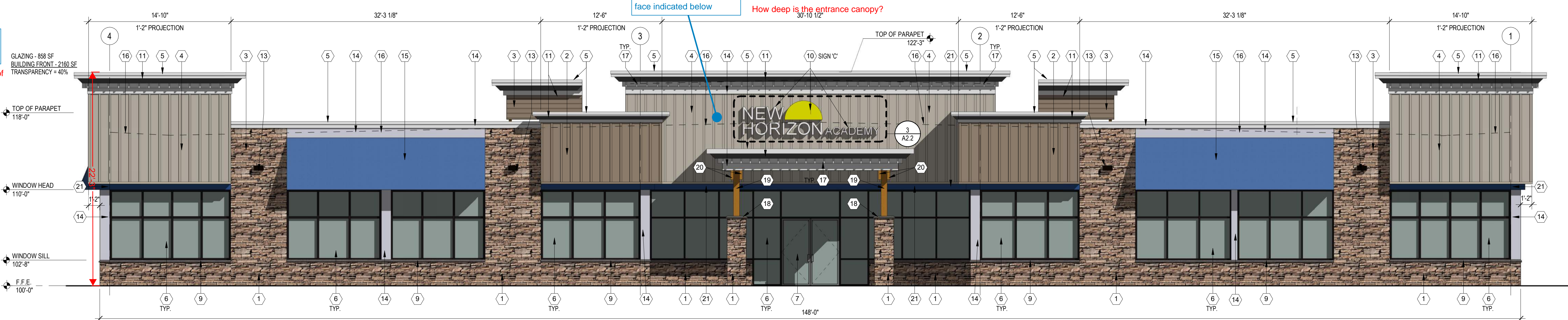
PRELIMINARY EXTERIOR ELEVATIONS

A2.1

height of building has been added to newly submitted sheet A-2.1
add label of height of building

entrance canopy assembly extends 11'-6" out from face indicated below

How deep is the entrance canopy? 30'-10 1/2"



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"
0' 2' 6' 12' 21'-4"

an exterior materials board has been provided with the corresponding keyed note indicated on the materials board.

Please label the new PDF sheet of your physical materials board (and include in site plan set) with the number reference here so I can tell what corresponds to what. I am not seeing the limestone that exists on the physical materials board in this list. Was that removed between submittals?

windows will be transparent. keyed note has been revised in the revised plans

windows must be transparent. see DDS pg 49 #2.

- ELEVATION KEY NOTES (#)**
- STONE - SOUTHERN LEDGESTONE 'CHARDONNAY' BY CULTURED STONE
 - FIBER CEMENT BOARD AND BATTEN SIDING - HARDIEPANEL VERTICAL SIDING - SMOOTH - 'KHAKI BROWN' WITH HARDIETRIM BOARD - SMOOTH BATTEN BOARD - 'KHAKI BROWN' BY JAMES HARDIE
 - FIBER CEMENT HORIZONTAL SIDING - HARDIEPLANK - SMOOTH - 'KHAKI BROWN' BY JAMES HARDIE
 - FIBER CEMENT BOARD AND BATTEN SIDING - HARDIEPANEL VERTICAL SIDING - SMOOTH - 'COBBLESTONE' WITH HARDIETRIM BOARD - SMOOTH BATTEN BOARD - 'COBBLESTONE' BY JAMES HARDIE
 - PREFINISHED METAL COPING - 'WHITE'
 - ALUMINUM STOREFRONT FRAMING / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
 - ALUMINUM DOOR / TRANSOM / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
 - HOLLOW METAL DOOR AND FRAME - PAINT TO MATCH 'DARK BRONZE'
 - ARCHITECTURAL PRECAST CONCRETE SILL
 - 14'-3" x 3'-7" EXTERIOR LED 'NEW HORIZON ACADEMY' AND 'SUN' SIGNAGE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
 - FIBER CEMENT CORNICE - PAINT 'WHITE'
 - PREFINISHED METAL SCUPPER AND 4"x6" DOWNSPOUT - 'DARK BRONZE'. CONNECT DOWNSPOUT TO UNDERGROUND STORM SEWER. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION.
 - LED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
 - 1x FIBER CEMENT TRIM - PAINT 'WHITE'
 - 'BLUE' FABRIC AWNING.
 - DASHED LINE DENOTES TOP OF ROOF BEYOND
 - FIBER CEMENT DENTIL MOLDING - PAINT 'WHITE'
 - ARCHITECTURAL PRECAST CONCRETE COLUMN CAP
 - 8x8 WOOD COLUMN. SEE STRUCTURAL FOR FURTHER INFORMATION
 - 4x12 WOOD BEAM
 - 1x FIBER CEMENT TRIM - PAINT 'NEW HORIZON BLUE'
 - WALL MOUNTED CT CABINET - PAINT TO MATCH ADJACENT FINISH
 - ELECTRICAL METER - PAINT TO MATCH ADJACENT FINISH
 - 1'-0" HIGH x 2'-0" WIDE SCUPPER OPENING
 - WOODEN TRASH ENCLOSURE GATE AND POST ASSEMBLY

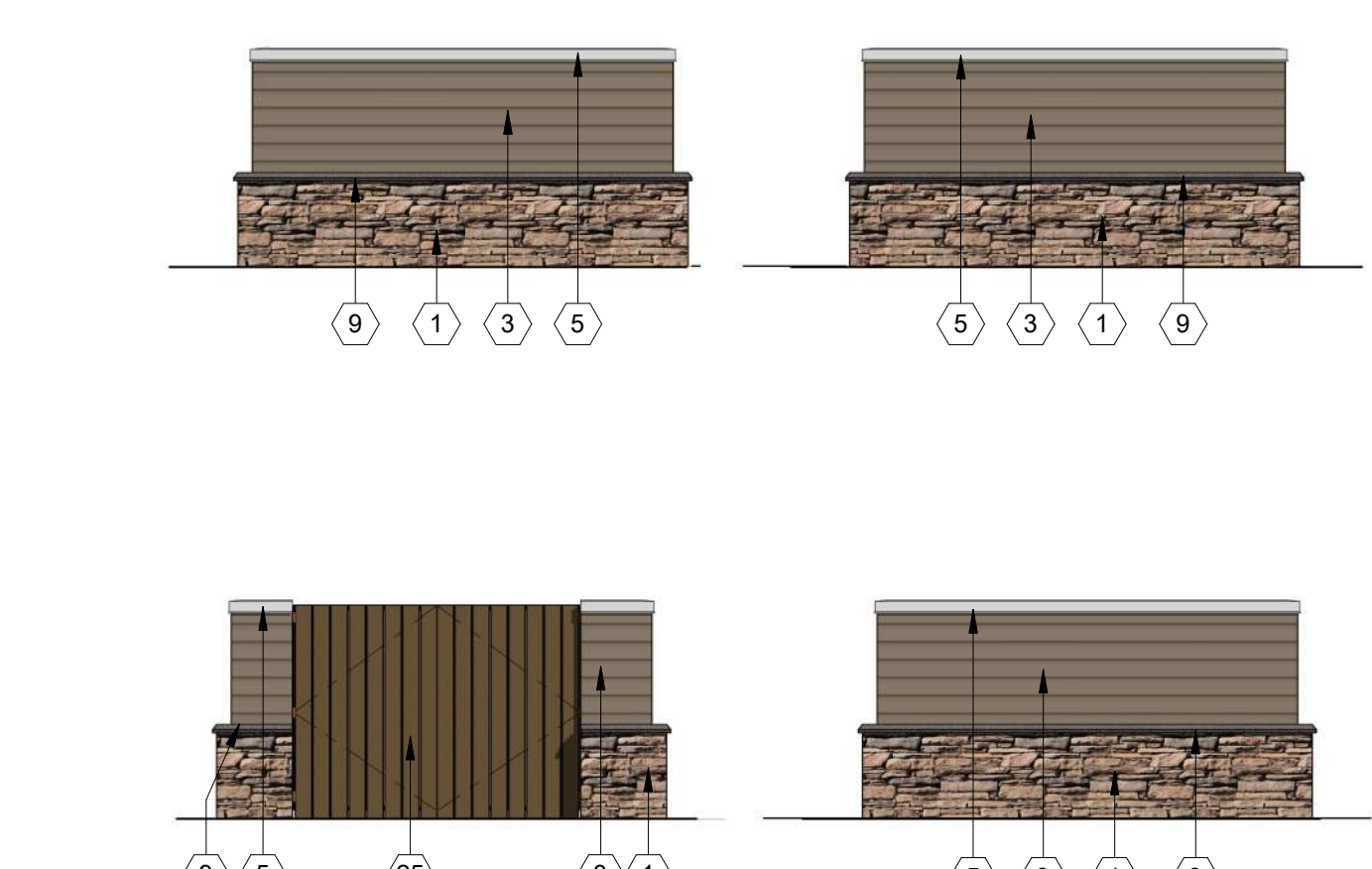


2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"
0' 2' 6' 12' 21'-4"

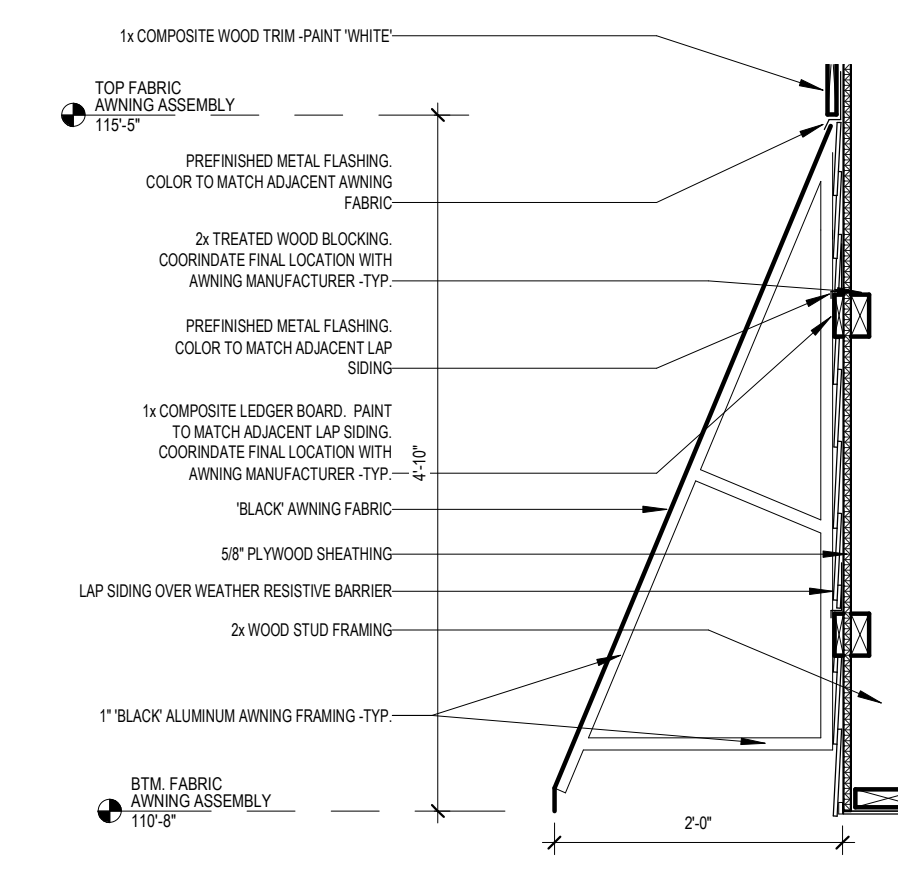


3 NORTH ENTRY ELEVATION
SCALE: 3/16" = 1'-0"

4 SOUTH ENTRY ELEVATION
SCALE: 3/16" = 1'-0"



5 TRASH ENCLOSURE
SCALE: 3/16" = 1'-0"



6 FABRIC AWNING DETAIL
SCALE: 3/4" = 1'-0"

Your building does not meet Standard #3 on page 51 of the DDS - breaking down the building horizontally or vertically. Are you trying to do top/middle/bottom breaks? Or vertical breaks along the facade of the building? Vertical breaks requires that the entire facade face either project or recede. Your roof elements that project 1 foot out do not count. Please read the standards carefully. Call me with any questions.

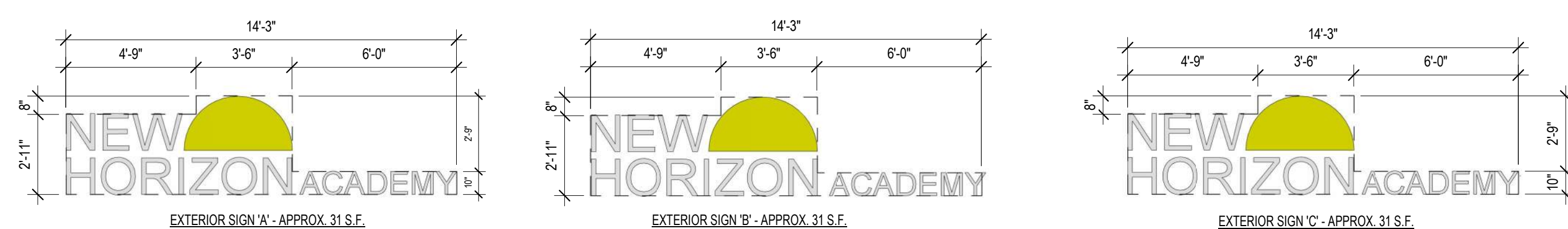
per our previous conversations / communications, plans have been revised to break down the building horizontally; top, middle, bottom



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"
0 2 6 12 21'-4"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"
0 2 6 12 21'-4"



3 EXTERIOR SIGN SCHEDULE
1/4" = 1'-0"

ELEVATION KEY NOTES #

1. STONE - SOUTHERN LEDGESTONE 'CHARDONNAY' BY CULTURED STONE
2. FIBER CEMENT BOARD AND BATTEN SIDING - HARDIEPANEL VERTICAL SIDING - SMOOTH - 'KHAKI BROWN' WITH HARDIETRIM BOARD - SMOOTH BATTEN BOARD - 'KHAKI BROWN' BY JAMES HARDIE
3. FIBER CEMENT HORIZONTAL SIDING - HARDIEPLANK - SMOOTH - 'KHAKI BROWN' BY JAMES HARDIE
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6. ALUMINUM STOREFRONT FRAMING / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
7. ALUMINUM DOOR / TRANSOM / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
8. HOLLOW METAL DOOR AND FRAME - PAINT TO MATCH 'DARK BRONZE'
9. ARCHITECTURAL PRECAST CONCRETE SILL
10. 14'-3" x 3'-7" EXTERIOR LED 'NEW HORIZON ACADEMY' AND 'SUN' SIGNAGE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
11. FIBER CEMENT CORNICE - PAINT 'WHITE'
12. PREFINISHED METAL SCUPPER AND 4"x6" DOWNSPOUT - 'DARK BRONZE'. CONNECT DOWNSPOUT TO UNDERGROUND STORM SEWER. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION.
13. LED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
14. 1x FIBER CEMENT TRIM - PAINT 'WHITE'
15. 'BLUE' FABRIC AWNING.
16. DASHED LINE DENOTES TOP OF ROOF BEYOND
17. FIBER CEMENT DENTIL MOLDING - PAINT 'WHITE'
18. ARCHITECTURAL PRECAST CONCRETE COLUMN CAP
19. 8x8 WOOD COLUMN. SEE STRUCTURAL FOR FURTHER INFORMATION
20. 4x12 WOOD BEAM
21. 1x FIBER CEMENT TRIM - PAINT 'NEW HORIZON BLUE'
22. WALL MOUNTED CT CABINET - PAINT TO MATCH ADJACENT FINISH
23. ELECTRICAL METER - PAINT TO MATCH ADJACENT FINISH
24. 1'-0" HIGH x 2'-0" WIDE SCUPPER OPENING
25. WOODEN TRASH ENCLOSURE GATE AND POST ASSEMBLY

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NEW HORIZON ACADEMY
 PARKER, CO

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SEH Project: NHOAC 156217
Checked By: SB
Drawn By: DRS

Project Status: Issue Date: 02.04.2020
REVIEW SET
BUILDING PERMIT SET: 08.17.2020

Revision Issue

| Rev. # | Description | Date |
|--------|---------------|------------|
| 1 | City Comments | 01/15/2021 |

PRELIMINARY EXTERIOR ELEVATIONS

A2.2



1 WEST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"



3 EAST ELEVATION
3/16" = 1'-0"



4 SOUTH ELEVATION
3/16" = 1'-0"

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PRELIMINARY ELEVATIONS

NW corner of the building has been enhanced through use of a higher quality material but also through height, all while still maintaining continuity with the rest of the building and horizontal break down of the facade.

This does not meet standard E on page 55 of the DDS for corner treatments. Please use another method/architectural feature other than extending the height of the corner to emphasize this area. Please call me with any questions about this comment to discuss.

Please lower the height of your parapet walls where they are not screening RTUs. The building is already 8 feet above the neighbors to the East according to your grading plan. Exaggerate high parapets would only emphasize the height difference between buildings and uses.

parapets not screening RTU's have been lowered as requested



1 NORTHWEST PERSPECTIVE



2 NORTHEAST PERSPECTIVE

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Project Status Issue Date
 REVIEW SET 02.04.2020
 BUILDING PERMIT SET 08.17.2020

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PERSPECTIVE



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NHOC 15R217 RW VT

Project Status Issue Date

Revision Issue

Rev. # Description Date

PHOTOMETRIC SITE PLAN

ES.01

| TYPE | DESCRIPTION | CATALOG # | MOUNTING |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|---------------|
| P1 | POLE MOUNTED AREA LED LIGHT FIXTURE, 4000K, TYPE TFTM FORWARD THROW DISTRIBUTION W/HOUSE SIDE SHIELDS POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH | LITHONIA LIGHTING: DSX1-LED-P2-40K-TFTM-MVOLT-RPA-HS POLE: LITHONIA LIGHTING RSS, DDBXD | POLE: 25 FEET |
| P2 | TWIN POLE MOUNTED AREA LED LIGHT FIXTURES, 4000K, TYPE 3 MEDIUM DISTRIBUTION POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH | LITHONIA LIGHTING: DSX1-LED-P2-40K-T3M-MVOLT-RPA POLE: LITHONIA LIGHTING RSS, DDBXD | POLE: 25 FEET |
| P3 | TWIN POLE MOUNTED AREA LED LIGHT FIXTURES, 4000K, TYPE 4 MEDIUM DISTRIBUTION W/HOUSE SIDE SHIELDS POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH | LITHONIA LIGHTING: DSX1-LED-P2-40K-T4M-MVOLT-RPA-HS POLE: LITHONIA LIGHTING RSS, DDBXD | POLE: 25 FEET |
| S2M | WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 MEDIUM DISTRIBUTION. | LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2M | WALL: 12 FEET |
| S2S | WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 SHORT DISTRIBUTION. | LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2S | WALL: 12 FEET |

| ILLUMINANCE | PARKING LOT |
|-------------|-----------------|
| AVERAGE | 1.3 FOOTCANDLES |
| MAXIMUM | 3.6 FOOTCANDLES |
| MINIMUM | 0.6 FOOTCANDLES |
| MAX/MIN | 6.0:1 |
| AVERAGE/MIN | 2.2:1 |

PHOTOMETRIC SITE PLAN GENERAL NOTES:
A. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF.

The fixture mounting and pole heights have been lowered to 22 feet to be in line with building height.

Lights may not be mounted higher than the height of the building.

SHOW ENTIRE PROPERTY LINE ON PLAN. Use a distinct and bold line type.

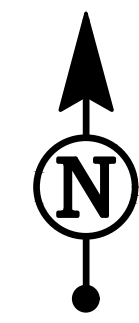
Property line has been added to this sheet.

LDO 13.10.140 (e)
d. The setbacks from the property line shall be at least equal to the total height of the luminaire.

Pole have been setback at least 22 feet from property line.

1 PHOTOMETRIC SITE PLAN

Scale: 1/16" = 1'-0"





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Project Status Issue Date

Revision Issue Description Date

LIGHT FIXTURE CUTSHEETS ES.02

D-Series Size 1 LED Wall Luminaire. Performance Data table with columns for Lumen Output, Lumen Maintenance, and Photometric Diagrams. Includes technical specifications and ordering information.

D-Series Size 1 LED Wall Luminaire. Performance Data table with columns for Lumen Output, Lumen Maintenance, and Photometric Diagrams. Includes technical specifications and ordering information.

D-Series Size 1 LED Wall Luminaire. Performance Data table with columns for Lumen Output, Lumen Maintenance, and Photometric Diagrams. Includes technical specifications and ordering information.

D-Series Size 1 LED Area Luminaire. Performance Data table with columns for Lumen Output, Lumen Maintenance, and Photometric Diagrams. Includes technical specifications and ordering information.

D-Series Size 1 LED Area Luminaire. Performance Data table with columns for Lumen Output, Lumen Maintenance, and Photometric Diagrams. Includes technical specifications and ordering information.

D-Series Size 1 LED Area Luminaire. Performance Data table with columns for Lumen Output, Lumen Maintenance, and Photometric Diagrams. Includes technical specifications and ordering information.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Table with columns: Ambient, Relative, Lumen Multiplier. Rows for 0°C, 5°C, 10°C, 15°C, 20°C, 25°C, 30°C, 35°C, 40°C.

Electrical Load

Table with columns: Forward Optics (Non-Rated), Rated Optics (Request L0 or R0). Rows for P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11, P12, P13.

Fixture code has been added to this page.

Fixture designation has been identified on this page.

This page has been moved to sheet ES.02

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the luminaire noted in a 20°C ambient, based on 100,000 hours of LED testing tested per IESNA LM-80-08 and projected per IESNA TM-21-11.

Table with columns: Operating Hours, Lumen Maintenance Factor. Rows for 0, 25,000, 50,000, 100,000.

Table with columns: Option, Dimmed State, High Level (stepped), Photocell Operation, Dwell Time, Ramp-up Time, Ramp-down Time. Rows for P1R or P1RH, P1R or P1RH, P1R or P1RH.

Table with columns: Nomenclature, Description, Functionality, Primary control device, Notes. Rows for FAO, DS, P1R or P1RH, NEMR2 P1RH.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Table with columns: LED Count, Drive Current, Power Package, System Watts, Dist. Type, Lumens, E, U, O, U, LPSV, Lumens, E, U, O, U, LPSV. Rows for 30 530 P1 5W, 30 700 P2 70W, 30 1050 P3 102W, 30 1250 P4 125W, 30 1400 P5 138W.

Fixture code has been added to this page.

Fixture designation has been identified on this page.

This page has been moved to sheet ES.02

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Table with columns: LED Count, Drive Current, Power Package, System Watts, Dist. Type, Lumens, E, U, O, U, LPSV, Lumens, E, U, O, U, LPSV. Rows for 40 1250 P6 103W, 40 1400 P7 103W, 60 1050 P8 207W, 60 1250 P9 210W.

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Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Table with columns: LED Count, Drive Current, Power Package, System Watts, Dist. Type, Lumens, E, U, O, U, LPSV, Lumens, E, U, O, U, LPSV. Rows for 60 530 P10 100W, 60 700 P11 137W, 60 1050 P12 207W, 60 1250 P13 210W.

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Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability. All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency. This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocell interoperability. This luminaire is part of an A+ Certified solution for rROAM™ or XPPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

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To learn more about A+, visit www.acuitybrands.com/aplus. 1. See ordering tree for details. 2. A+ Certified Solutions for ROAM are the order of one ROAM node per luminaire. Sold Separately. Link to Roam; Link to DTL DLL.

FEATURES & SPECIFICATIONS. INTENDED USE: The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes. CONSTRUCTION: Single-piece die-cast aluminum housing with integral heat sink fins to optimize thermal management through conduction and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 Ft) for optimized pole wind loading. FINISH: Exterior parts are protected by a zinc-injected Super Duratec TGIC thermoplastic powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes. OPTICS: Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (D-CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight. ELECTRICAL: Light engine configurations consist of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to 100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable. T&V surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

REMOVE



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Electrical Engineer

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SEH Project Checked By: Drawn By: NHOAC 158217 RW VT

Project Status: Issue Date

Revision Issue: Rev. # Description Date

LIGHT FIXTURE CUTSHEETS ES.03

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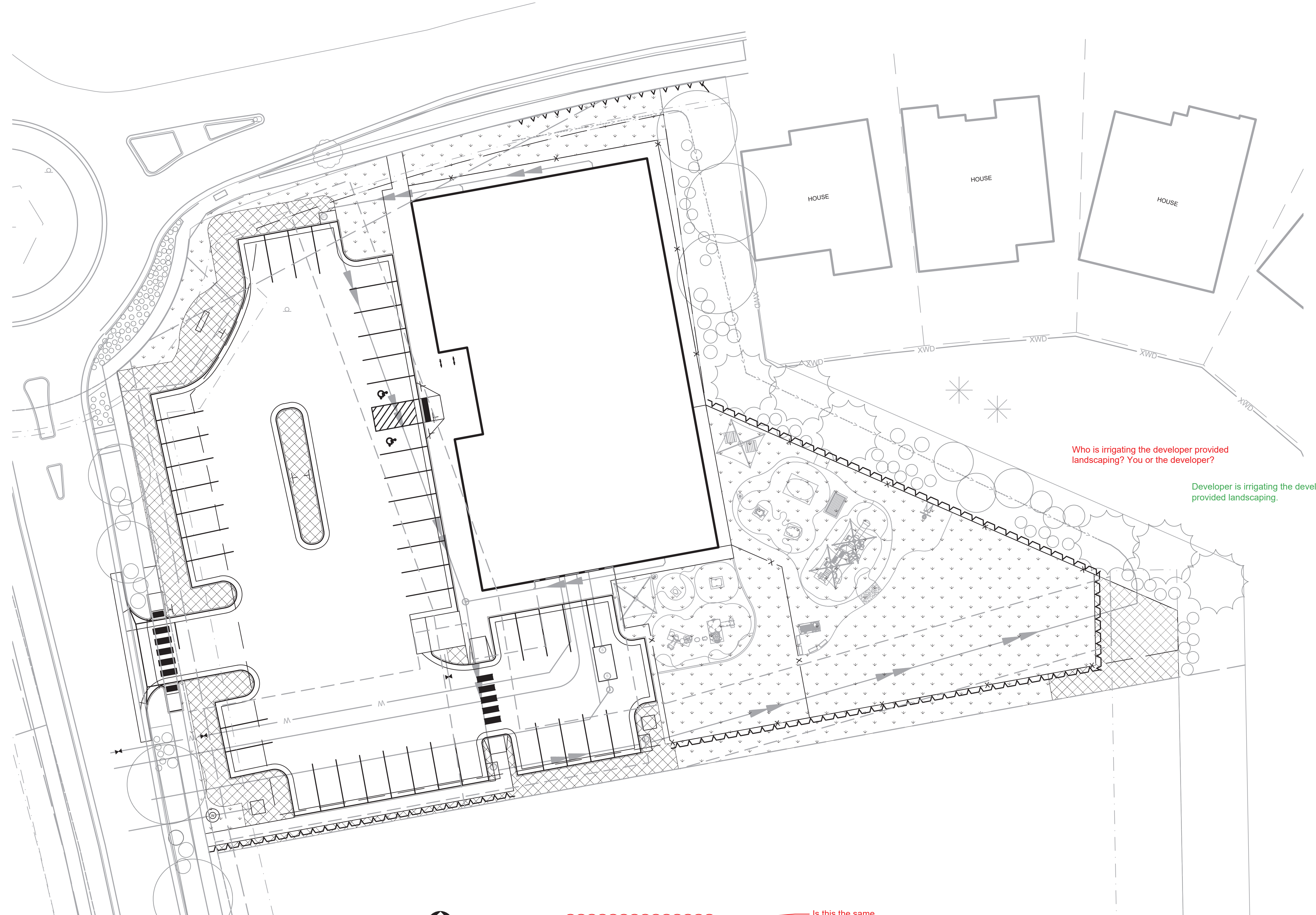
Project Status Issue Date

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| 1 | City Comments | 01/15/2021 |

IRRIGATION DIAGRAM

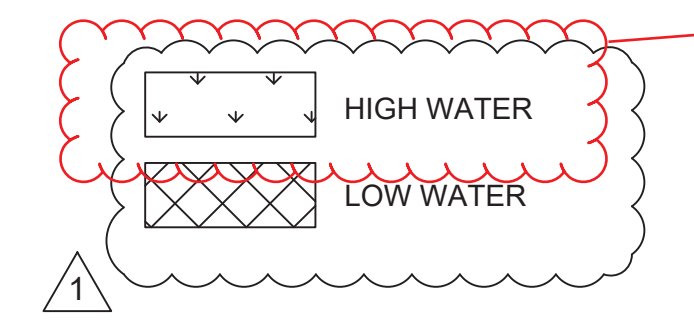
L1.02



Who is irrigating the developer provided landscaping? You or the developer?

Developer is irrigating the developer provided landscaping.

1 IRRIGATION DIAGRAM
SCALE: 1" = 20'-0"
0' 10' 20' 40' 80'



Is this the same
Comment is noted.

X:\WORK\PROJECTS\156217\FINAL\DESIGNS\CONTRACTS\SEH\AN\NHOC\156217_L1_2021.1.15.DWG 5/10/2021 4:28 PM

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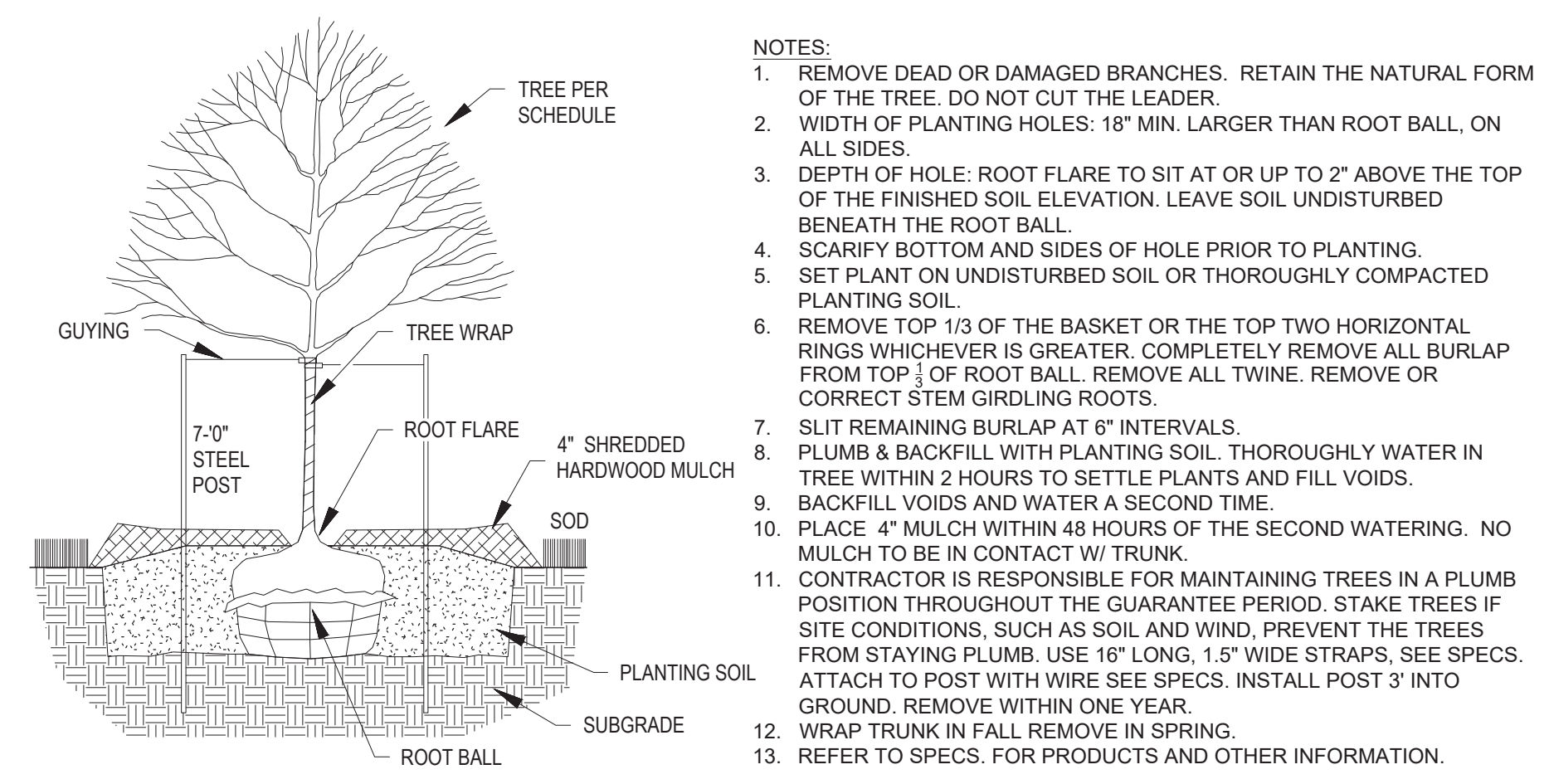
LANDSCAPE DETAILS

L1.03

LANDSCAPE SPECIFICATIONS

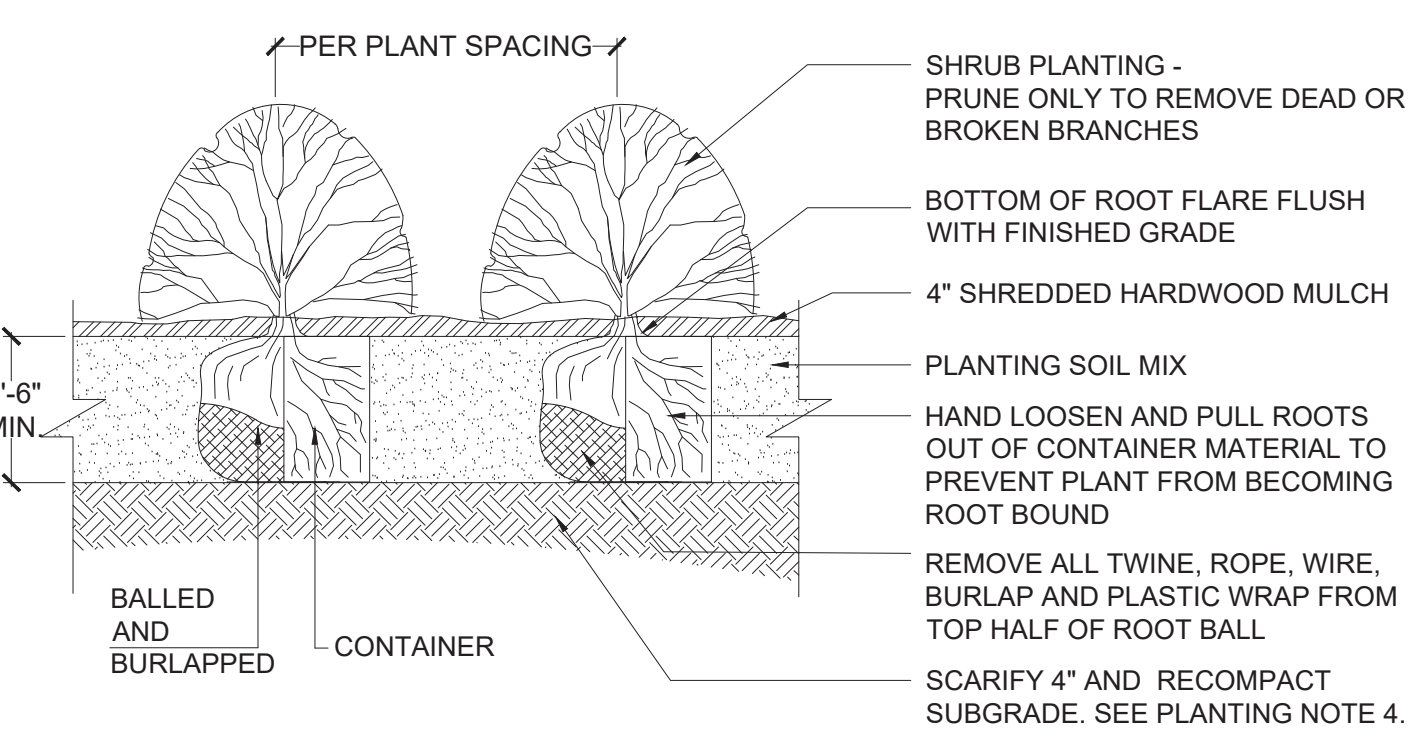
TREES, SHRUBS, AND PERENNIALS

1. REFERENCES
 - A. CDOT - COLORADO DEPARTMENT OF TRANSPORTATION, 2017 EDITION.
 - B. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014.
2. QUALITY ASSURANCE
 - A. WORK SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR WITH EXTENSIVE HORTICULTURE KNOWLEDGE, AND A MIN. OF 3 YEARS EXPERIENCE.
- B. HANDLE PLANTS IN SUCH A WAY AS TO PROTECT FROM DAMAGE EITHER PHYSICAL OR BY EXPOSURE TO SUN AND WIND. MISHANDLED PLANTS ARE SUBJECT TO REJECTION BY LANDSCAPE ARCHITECT.
- C. PLANTS USED ON THIS PROJECT SHALL MEET THE GRADING STANDARDS RECOMMENDED BY THE ANSI Z60.1-2014.
3. PRODUCTS
 - A. PLANTS: PROVIDE AS SPECIFIED ON PLANT SCHEDULE.
 - B. EDGING: RYERSON STEEL EDGING 3/8" X 5" W/ 18" STAKES, OR EQUAL.
 - C. MULCH: SHREDDED CEDAR FIBER MULCH, APPLIED A MINIMUM OF FOUR INCHES IN DEPTH, INSTALLED OVER A BASE OF GEOTEXTILE FABRIC.
 - D. WATER: CONTRACTOR TO PROVIDE.
 - E. PLANTING SOIL MIX: RICH SANDY LOAM, FREE OF DEBRIS AND SEEDS, AND CONFORMING TO CDOT 207 (TOPSOIL).
 - F. SOIL AMENDMENTS: CONFORMING TO CDOT 212 (SEEDING, FERTILIZER, SOIL CONDITIONS AND SODDING).
 - G. TREE WRAP: TWO-PLY WEATHER RESISTANT PAPER PRODUCT.
4. PLANTING DATES: SPRING PLANTING: APR. 1- JUNE 15. THESE DATES MAY BE EXTENDED IF DAYTIME TEMPS. REMAIN BELOW 80 DEGREES. FALL: SEPT. 30 - OCT. 30TH. DAYTIME TEMPS. NEED TO DROP BELOW 80 DEGREES BEFORE PLANTING BEGINS, AND MAY CONTINUE UNTIL FREEZE UP. CONIFEROUS TREES AUG. 15- OCT. 1ST. PLANT UNDER FAVORABLE WEATHER CONDITIONS, DO NO PLANT DURING DAYS OF EXTREME HEAT.
5. EXECUTION
 - A. PLANT INTO PREPARED PLANTING BEDS.
 - B. PRIOR TO DIGGING, CONTRACTOR TO HAVE UTILITIES LOCATED AND MARKED.
 - C. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT 3 DAYS IN ADVANCE OF WHEN PLANTING WORK WILL OCCUR.
 - D. INSTALL TREES, SHRUBS, AND PERENNIALS PER PLANTING DETAILS. ADJUST LOCATION IF IN CONFLICT WITH UTILITIES. VERIFY NEW LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 - E. SEPARATE ALL SHRUB BEDS FROM SOD AREAS WITH METAL EDGER.
 - F. CLEAN-UP ENTIRE SITE FOLLOWING PLANTING OPERATIONS.
6. ACCEPTANCE OF PLANTING WORK
 - A. CONTRACTOR TO NOTIFY OWNER WHEN PLANTING WORK IS COMPLETE FOR REVIEW AND PUNCH LIST.
 - B. CONTRACTOR TO WATER AND MAINTAIN THE TREES, SHRUBS, AND PERENNIALS UNTIL OWNER ACCEPTANCE.
 - C. OWNER WILL GIVE ACCEPTANCE OF WORK, FOLLOWING SATISFACTORY CORRECTION OF PUNCH LIST ITEMS.
 - D. WATERING AND REGULAR LANDSCAPE MAINTENANCE OF TREES, SHRUBS, AND PERENNIALS WILL BE OWNERS RESPONSIBILITY FOLLOWING OWNER ACCEPTANCE OF WORK.
7. GUARANTEE PERIOD
 - A. CONTRACTOR TO WARRANTY TREES, SHRUBS, AND PERENNIALS FOR TWO YEARS FOLLOWING ACCEPTANCE OF WORK BY OWNER.
 - B. CONTRACTOR TO MAINTAIN THE TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
 - C. CONTRACTOR TO REMOVE ALL STAKING/ WIRING/ STRAPS FROM FREES AT THE END OF THE GUARANTEE PERIOD.
 - D. REPLACEMENTS: AT THE END OF THE GUARANTEE PERIOD, ALL PLANTS WHICH ARE UNHEALTHY, DEAD, NOT HAVING A NORMAL DENSITY, SIZE, SHAPE OR COLOR SHALL BE REPLACED. REPLACEMENTS SHALL MATCH CALIPER AND/OR HEIGHT OF THE OTHER PLANTS AT TIME OF REPLACEMENT. SELECTION OF REPLACEMENT MATERIAL AND INSTALLATION PRACTICES SHALL FOLLOW THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
8. IRRIGATION
 - A. CONFORM TO THE REQUIREMENTS OF CDOT 107.14 (INTERRUPTION OF IRRIGATION WATER FLOW), CDOT 623 (IRRIGATION SYSTEM) AND ALL OTHER APPLICABLE CDOT IRRIGATION MATERIALS AND CONSTRUCTION REQUIREMENTS.



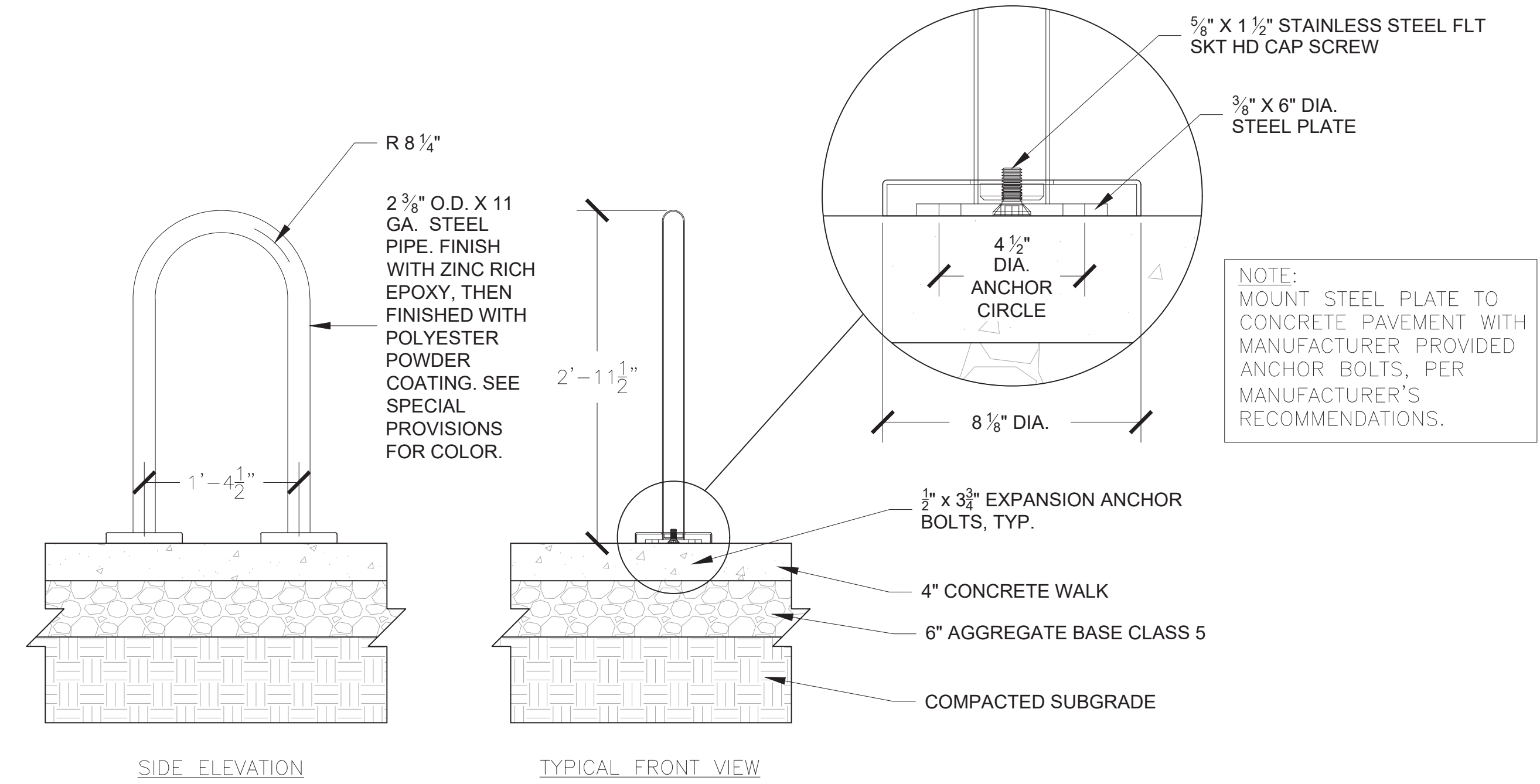
1 TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:**
1. REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE. DO NOT CUT THE LEADER.
 2. WIDTH OF PLANTING HOLES: 18" MIN. LARGER THAN ROOT BALL, ON ALL SIDES.
 3. DEPTH OF HOLE: ROOT FLARE TO SIT AT OR UP TO 2" ABOVE THE TOP OF THE FINISHED SOIL ELEVATION. LEAVE SOIL UNDISTURBED BENEATH THE ROOT BALL.
 4. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
 5. SET PLANT ON UNDISTURBED SOIL OR THOROUGHLY COMPACTED PLANTING SOIL.
 6. REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. COMPLETELY REMOVE ALL BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
 7. SLIT REMAINING BURLAP AT 6" INTERVALS.
 8. PLUMB & BACKFILL WITH PLANTING SOIL. THOROUGHLY WATER IN TREE WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 9. BACKFILL VOIDS AND WATER A SECOND TIME.
 10. PLACE 4" MULCH WITHIN 48 HOURS OF THE SECOND WATERING. NO MULCH TO BE IN CONTACT W/ TRUNK.
 11. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. STAKE TREES IF SITE CONDITIONS, SUCH AS SOIL, AND WIND, PREVENT THE TREES FROM STAYING PLUMB. USE 16" LONG, 1 1/2" WIDE STRAPS, SEE SPECS. ATTACH TO POST WITH WIRE SEE SPECS. INSTALL POST 3" INTO GROUND. REMOVE WITHIN ONE YEAR.
 12. WRAP TRUNK IN FALL REMOVE IN SPRING.
 13. REFER TO SPECS. FOR PRODUCTS AND OTHER INFORMATION.



2 SHRUB PLANTING DETAIL
NOT TO SCALE

1. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES
2. BOTTOM OF ROOT FLARE FLUSH WITH FINISHED GRADE
3. 4" SHREDDED HARDWOOD MULCH
4. PLANTING SOIL MIX
5. HAND LOOSEN AND PULL ROOTS OUT OF CONTAINER MATERIAL TO PREVENT PLANT FROM BECOMING ROOT BOUND
6. REMOVE ALL TWINE, ROPE, WIRE, BURLAP AND PLASTIC WRAP FROM TOP HALF OF ROOT BALL
7. SCARIFY 4" AND RECOMPACT SUBGRADE. SEE PLANTING NOTE 4.



3 BIKE RACK DETAIL
NOT TO SCALE

LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE OWNER. THIS SHALL INCLUDE PROPER PRUNING, MOVING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MAXIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE OWNER, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE.

| TYPE | PLANT REPLACEMENT WITHIN | |
|------------------|-------------------------------------------------|-------------------------------------------------|
| | 1 YEAR | 2+ YEARS |
| TREE- DECIDUOUS | INCREASE CALIPER BY 1" | INCREASE CALIPER BY 1.5" |
| TREE- CONIFEROUS | INCREASE HEIGHT BY 1.5' | INCREASE HEIGHT BY 2' |
| SHRUB | REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE | REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE |



1 SOUTHWEST PERSPECTIVE



2 SOUTHEAST PERSPECTIVE

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New Horizon Academy
NEW HORIZON ACADEMY
 PARKER, CO

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| Revision Issue | | |
|----------------|-------------|------|
| Rev. # | Description | Date |
| | | |