



## Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Alan Ruth, New Horizon Academy  
David Scharzwelder, SEH Inc.

**FROM:** Krista Flynt, Planner 1

**DATE:** May 25, 2021

**SUBJECT:** SP20-081 New Horizon Daycare Site Plan – Planning Review 3

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Krista Flynt  
**EMAIL:** [kflynt@parkeronline.org](mailto:kflynt@parkeronline.org)  
**PHONE:** 303.805.3331

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards (DDS). Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. If any comments in the redline file are unclear you may ask staff for an example of what they are looking for.
6. Due to the large amount of missing information. The second review will contain many new comments to address that are not contained in this review.
7. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

## Site Plan and Project Details

1. As the attempt to encourage a tower element using complementary roof and materials was unsuccessful, the town will allow the use of an “alternative compliance measure.” On Page A2.1 I have created a representation of what would be appropriate - raising the use of stone up to the height of the yellow band on the façade. By greater use of “high quality materials” we will waive the enforcement of the architectural corner feature requirement. Please raise the height of the stone “base” on your building. As well, please make the parapet and window arrangements on the NorthWest corner to be symmetrical to the other corners on the respective facades.

Comment Addressed:  Yes  No

Response:

2. Please reference the redlines for additional comments/clarification.

Comment Addressed:  Yes  No

Response:

## OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Civil (Site Plan)
- Parker Water and Sanitation
- Town of Parker – Fire Life Safety
- Douglas 234 Horse Creek HOA #

*# Please keep an eye out in eTRAKiT for the comment to the following reviews:*

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:  Yes  No

Response:

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Property Owner

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Date

---

Project Representative

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Date



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Owner

New Horizon Academy  
3405 Annapolis Lane  
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Plymouth, MN 55447  
763.557.1111

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Short Elliot Hendrickson, Inc.  
2000 South Colorado Boulevard  
Tower One, Suite 6000  
Denver, Colorado 80222  
720.540.6800

Landscape Architect

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Suite 300  
Minnetonka, MN 55343  
952.912.2600

Civil Engineer

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720.540.6800

Structural Engineer

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3335 Vadnais Center Drive  
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651.490.2000

Mechanical Engineer

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Electrical Engineer

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NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6

PARKER, CO

SEH PROJECT 2021

Short Elliot Hendrickson, Inc.

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SEH Project

Checked By

Drawn By

NHOAC 156217

DGH

AMP

Project Status

Issue Date

TOWN REVIEW

8/26/2020

TOWN REVIEW

1/22/2021

TOWN REVIEW

3/22/2021

Revision Issue

Rev. #

Description

Date

1

TOWN COMMENTS

1/22/21

2

TOWN COMMENTS

3/22/21

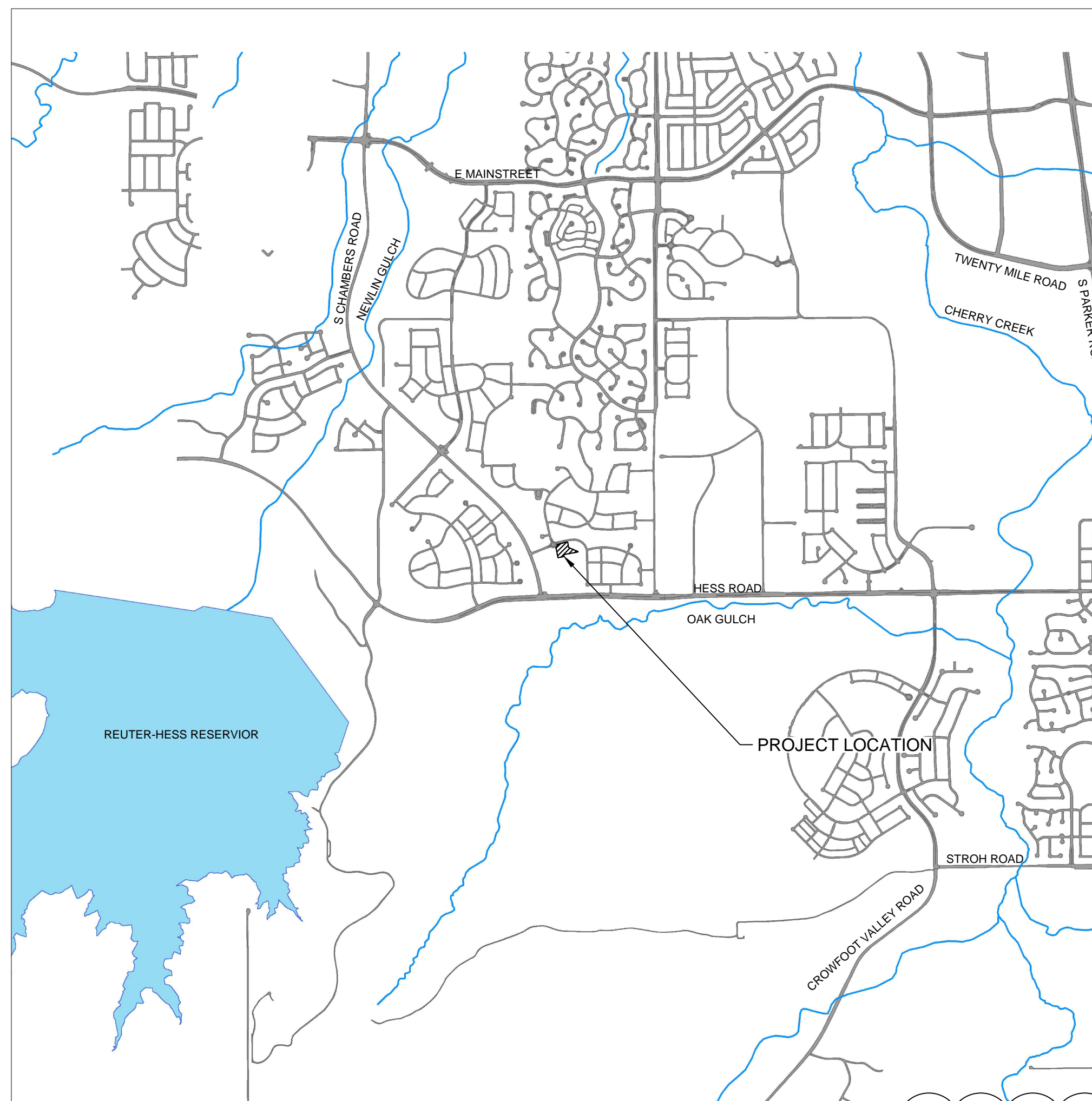
COVER SHEET

C0.0

DOUGLAS 234, FILING NO. 6

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
1.651 ACRES

SITE PLANS FOR  
NEW HORIZON ACADEMY



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PLAN SHEET INDEX

SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS
C1.1	OVERALL SITE
C1.2	BUILDING SITE LAYOUT
C1.3	PARKING LOT SITE LAYOUT
C1.4	RETAINING WALL PLAN
C1.5	RETAINING WALL PROFILES
C2.0	GRADING PLAN
C5.0	SIGNAGE PLAN
A2.1 - A2.2	PRELIMINARY EXTERIOR ELEVATIONS
A2.3	PRELIMINARY ELEVATIONS
A2.4 - A2.5	PERSPECTIVES
ES.01	PHOTOMETRIC SITE PLAN
ES.02	LIGHT FIXTURE CUTSHEETS
L1.01	LANDSCAPE PLAN
L1.02	IRRIGATION DIAGRAM
L1.03	LANDSCAPE DETAILS
	PLAYGROUND PLANS

1

2

SITE DISTANCE CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

TIM NUETZEL

LICENSE NO. 37763

EXISTING

- RIGHT OF WAY
- PERMANENT EASEMENT
- PROPERTY LINE
- HORIZONTAL CONTROL POINT
- BENCHMARK
- SURVEY MARKER
- SOIL BORING
- SANITARY SEWER AND MANHOLE
- FORCE MAIN AND LIFT STATION
- SANITARY SEWER SERVICE & CLEANOUT
- WATER MAIN, HYDRANT, VALVE AND MANHOLE
- WATER SERVICE AND CURB STOP BOX
- STORM SEWER, MANHOLE AND CATCH BASIN
- CULVERT AND APRON ENDWALL
- GAS MAIN, VALVE, VENT AND METER
- HANDHOLE
- BURIED FIBER OPTIC CABLE AND MANHOLE
- BURIED PHONE CABLE, PEDESTAL AND MANHOLE
- BURIED TV CABLE, PEDESTAL AND MANHOLE
- BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER
- OVERHEAD WIRE, POLE AND GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL
- STREET NAME SIGN
- SIGN (NON STREET NAME)
- RAILROAD TRACKS
- DECIDUOUS AND CONIFEROUS TREE
- BUSH / SHRUB AND STUMP
- EDGE OF WOODED AREA
- WETLAND
- BUILDING
- FENCE (UNIDENTIFIED)
- BARBED WIRE FENCE
- CHAIN LINK FENCE
- ELECTRIC WIRE FENCE
- WOOD FENCE
- WOVEN WIRE FENCE
- PLATE BEAM GUARDRAIL
- CABLE GUARDRAIL
- POST / BOLLARD
- RETAINING WALL

PROPOSED

- STREET CENTERLINE
- RIGHT-OF-WAY
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- CONSTRUCTION LIMITS
- SANITARY SEWER, BULKHEAD AND MANHOLE
- FORCE MAIN
- SANITARY SERVICE AND CLEANOUT
- WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE
- WATER VALVE MANHOLE, REDUCER, BEND AND CROSS
- WATER SERVICE AND CURB STOP BOX
- STORM SEWER, MANHOLE AND CATCH BASIN
- CULVERT AND APRON ENDWALL
- DRAIN TILE
- DITCH / SWALE
- RIPRAP
- STREET NAME SIGN
- SIGN (NON STREET NAME)
- RETAINING WALL

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS.

GEOTECHNICAL ENGINEER: ROCKY MOUNTAIN GROUP.  
PROJECT NO. 167366

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT AND BRING ANY CONFLICTS BETWEEN IT AND THE CONSTRUCTION PLANS AND SPECIFICATIONS TO THE ENGINEER'S ATTENTION PRIOR TO BEGINNING WORK.

BASIS OF BEARINGS:

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH P.M. BEARING SOUTH 89°15'13" WEST AS SHOWN ON FINAL PLAT DOUGLAS 234 FILING NO. 1.

BENCHMARK

BENCHMARK IS BY GPS OBSERVATION NAVD 88. SET SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200'+/- NORTH OF HESS RD.

1

2

LEGAL DESCRIPTION:

THIS IS AN AS-SURVEYED PERIMETER DESCRIPTION AROUND THE SUBJECT PROPERTY AND IS NOT INTENDED TO REPLACE THE RECORD LEGAL DESCRIPTION.

LOT 11, DOUGLAS 234, FILING 6, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.



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TOWN OF PARKER GENERAL NOTES – CONSTRUCTION

- 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION...
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT...
3. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION...
4. THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION...
5. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION...
6. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS...
7. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE...
8. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
9. COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
10. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION...
11. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC...
12. PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK...
13. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR...
14. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
15. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY."
16. IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
17. ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE

TOWN OF PARKER GENERAL NOTES – ROADWAY NOTES

- 1. PAVING SHALL NOT COMMENCE UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS APPROVED BY THE TOWN OF PARKER AND SUBGRADE COMPACTION TESTS ARE SUBMITTED TO AND APPROVED BY THE TOWN INSPECTOR.
2. STANDARD TOWN OF PARKER CURB RAMPS ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS IN ACCORDANCE WITH THE LATEST TOWN OF PARKER STANDARDS
3. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
4. ALL ELEVATIONS ARE ON USGS DATUM WITH DATE. RANGE POINT OR MONUMENT SHALL BE SHOWN ON THE CONSTRUCTION PLANS.
5. EXCEPT WHERE OTHERWISE PROVIDED FOR IN THESE PLANS AND SPECIFICATIONS, THE COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE COLORADO DEPARTMENT OF HIGHWAYS M AND S STANDARDS, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, LATEST EDITION, SHALL APPLY.

TOWN OF PARKER GENERAL NOTES – STORM SEWER SYSTEM

- 1. ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
2. THE CONTRACTOR SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8 CRS), THE "PROTECTION OF FISHING STREAMS" TITLE 33, ARTICLE 5, CRS, THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72" (5 CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
3. INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUDED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
4. STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEGEE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.

- 5. ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
6. TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS:
• 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC)
• 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
7. ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
8. ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLE FLUSH, AVERAGE JOINT GAP THAT EXCEEDS 1/2 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.

TOWN OF PARKER GENERAL NOTES – STORM SEWER SYSTEM (CONT.)

- 9. JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
10. EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
11. CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
12. PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
13. TWO- (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
14. ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
15. ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
16. CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
17. PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

TOWN OF PARKER GENERAL NOTES – SIGNAGE AND STRIPING

- 1. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), COLORADO SUPPLEMENTAL MUTCD, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL. FURTHER SPECIFICATIONS AND ILLUSTRATIONS ARE LOCATED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
2. A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS AND MARKINGS SHALL BE PERFORMED BY THE TOWN OF PARKER.
3. THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR THE LOCATING AND PROTECTING OF ALL UNDERGROUND UTILITIES.
4. TYPE II (LIGHTED) BARRICADES SHALL BE SET AT THE ENDS OF ROADWAYS SEPARATING FINISHED (AND/OR ACCEPTED) AND UNFINISHED CONSTRUCTION AREAS AND SHALL BE MAINTAINED BY THE CONTRACTOR/DEVELOPER. A "ROAD CLOSED AHEAD" AND "TO BE EXTENDED" WARNING SIGNS SHALL BE INSTALLED APPROPRIATELY IN ADVANCE OF THE TYPE III BARRICADES.
5. SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATIONS TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
6. WHERE STOP SIGN CONTROL IS APPROPRIATE, 36 INCH STOP SIGNS SHALL BE USED FOR APPROACHES TO ANY ROADWAY THAT IS CLASSIFIED AS A COLLECTOR OR GREATER.
7. A 7 FOOT MINIMUM POST LENGTH SHALL BE MAINTAINED FROM THE BOTTOM OF THE SIGN PANEL TO THE GROUND. THIS REQUIREMENT FOR VERTICAL CLEARANCE IS FOR ALL SIGNS.
8. DELINEATION OF ROADWAYS SHALL BE AS SPECIFIED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
9. RAISED MEDIAN ISLAND NOSES SHALL HAVE R4-7 SIGNS AT EACH END AND A 4"x12" HIGH INTENSITY YELLOW SIGN BLANK LOCATED MIDWAY BETWEEN THE R4-7 SIGN AND FINISHED GRADE ON EACH POST.
10. SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO THE INITIATION OF ANY WARRANTY PERIOD, THE TOWN OF PARKER RESERVES THE RIGHT TO REQUIRE MODIFICATIONS TO EXISTING, OR INSTALLATION OF, ADDITIONAL SIGNAGE AND/OR PAVEMENT MARKING IF IT IS DETERMINED THAT CONDITIONS WARRANT SUCH MODIFICATION ACCORDING TO THE MUTCD OR THE CDOT M AND S STANDARDS. ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE TWO-YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION. ADDITIONALLY, ALL PAVEMENT MARKINGS SHALL NOT LIFT OR PEEL DURING THE FIRST YEAR AFTER INSTALLATION.
11. DIAMOND GRADE MATERIAL SHALL BE USED ON ALL STOP SIGNS AND OVERHEAD SIGNS. ALL OTHER ROADSIDE TRAFFIC CONTROL DEVICES SHALL USE HIGH INTENSITY GRADE SHEETING. NO FLUORESCENT YELLOW GREEN SHEETING SHALL BE USED UNLESS SPECIFICALLY APPROVED BY THE TOWN OF PARKER.
12. ALL STREET NAME SIGNS SHALL BE HIGH INTENSITY, EXTRUDED, GREEN AND WHITE BLADES. ARTERIAL AND COLLECTOR STREET NAME SIGNS SHALL BE 9 INCH BLADES AND HAVE MIXED CASE LETTERING. LOCAL STREET NAME SIGNS SHALL BE 6 INCHES BLADES WITH MIXED CASE LETTERING.
13. ALL LAYOUTS FOR INTERNALLY ILLUMINATED STREET NAME SIGNS SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
14. ALL REMOVED SIGNS SHALL BE RETURNED TO THE TOWN OF PARKER.

TOWN OF PARKER GENERAL NOTES – SIGNAGE AND STRIPING

- 15. CROSSWALKS: SHALL BE CONSTRUCTED USING PREFORMED THERMO-PLASTIC OR AN APPROVED EQUAL.
SHALL BE LONGITUDINAL 2 FEET BY 10 FEET (CONTINENTAL) TYPE OR OTHER APPROVED BY THE TOWN OF PARKER.
SHALL LINE UP WITH HANDICAP RAMPS.
SHALL BE CENTERED WITHIN LANES AND PLACED ON LANE AND CURB LINES SO AS TO AVOID VEHICLE WHEEL PATHS.
16. ALL PAVEMENT MARKING MATERIAL (INCLUDING WORDS AND SYMBOLS) SHALL BE AS FOLLOWS:
FOR CONCRETE SURFACE:
LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT. OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER.
WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE METHYL-MYTHACRALATE, PREFORMED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), OR AS SPECIFIED.
(SAND OR WATER BLAST CURING COMPOUND PRIOR TO INSTALLATION OF MARKINGS.)
FOR ASPHALT SURFACE:
LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT. OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER.
WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE HOT APPLIED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), METHYL-MYTHACRALATE, OR AS SPECIFIED.
17. INSPECTION AND APPROVAL OF STRIPING AND CROSSWALK LAYOUT TO BE DONE BY TOWN OF PARKER DEVELOPMENT REVIEW ENGINEER (CALL 303-840-9546) PRIOR TO APPLICATION OF FINAL STRIPING.

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NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6 PARKER, CO

This drawing is an instrument of service and shall remain the property of Short Elliot Hendrickson, Inc. (SEH). This drawing and the concepts and ideas contained herein shall not be used, reproduced, revised, or retained without the express written approval of SEH.

SEH Project NHOAC 156217
Checked By DEH
Drawn By AMP

Project Status Issue Date
TOWN REVIEW 8/26/2020
TOWN REVIEW 1/22/2021
TOWN REVIEW 3/22/2021

Revision Issue
Rev. # Description Date
1 TOWN COMMENTS 1/22/21
2 TOWN COMMENTS 3/22/21

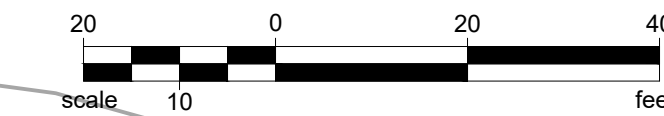
GENERAL NOTES

C0.1

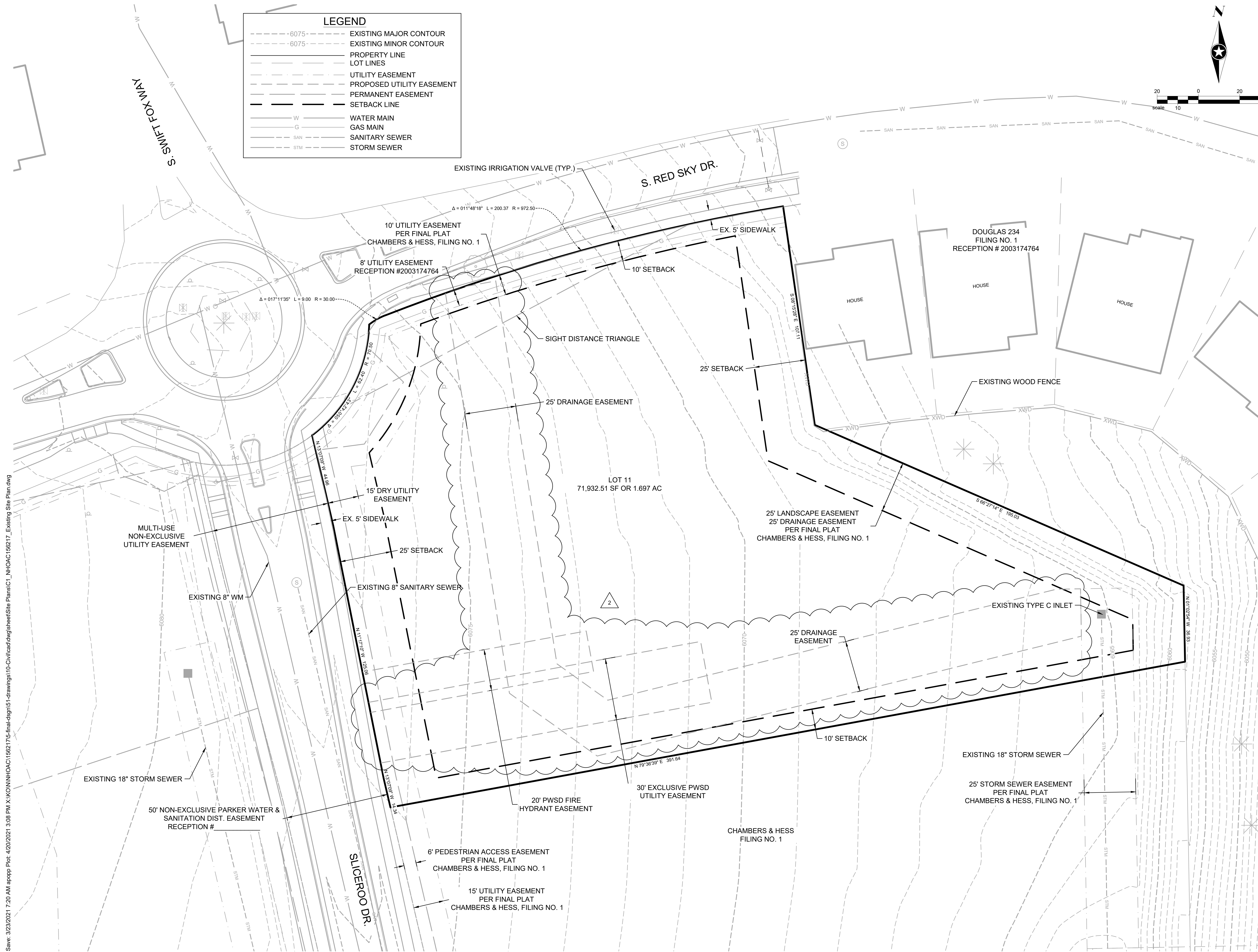


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LEGEND	
---6075---	EXISTING MAJOR CONTOUR
---6075---	EXISTING MINOR CONTOUR
---	PROPERTY LINE
---	LOT LINES
---	UTILITY EASEMENT
---	PROPOSED UTILITY EASEMENT
---	PERMANENT EASEMENT
---	SETBACK LINE
W	WATER MAIN
G	GAS MAIN
SAN	SANITARY SEWER
STM	STORM SEWER



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**NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6**  
 PARKER, CO

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SEH Project	NHOAC 156217
Checked By	DRH
Drawn By	AMP

Project Status	Issue Date
TOWN REVIEW	8/26/2020
TOWN REVIEW	1/22/2021
TOWN REVIEW	3/22/2021

Rev. #	Description	Date
1	TOWN COMMENTS	1/22/21
2	TOWN COMMENTS	3/22/21

EXISTING CONDITIONS

C1.0



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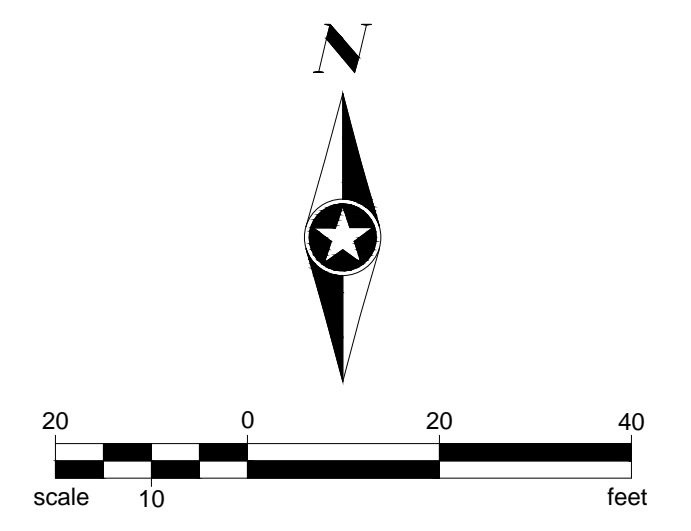
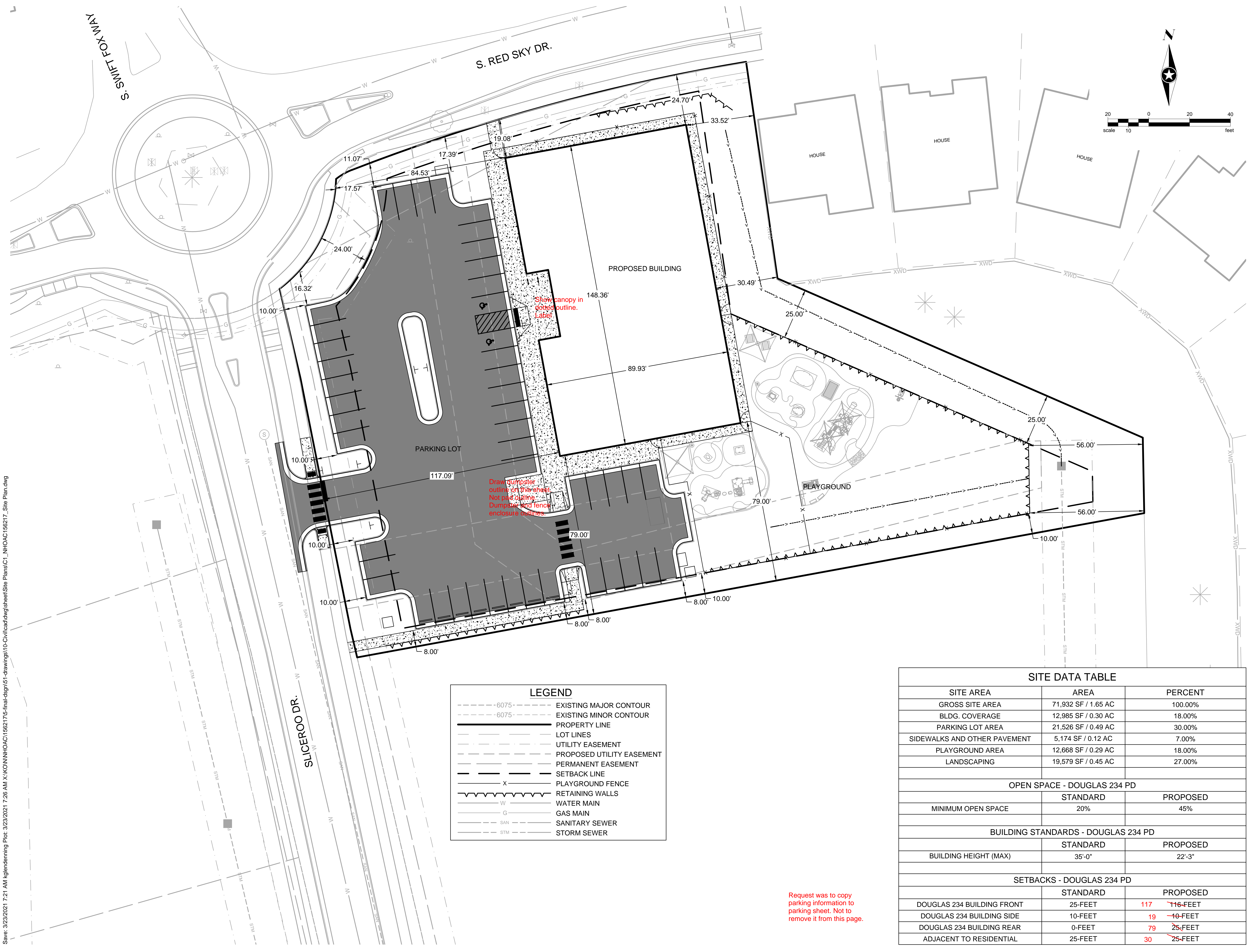
SEH Project Checked By Drawn By

Project Status TOWN REVIEW TOWN REVIEW TOWN REVIEW

Revision Issue

OVERALL SITE

C1.1



**LEGEND**

--- -6075---	EXISTING MAJOR CONTOUR
--- -6075---	EXISTING MINOR CONTOUR
---	PROPERTY LINE
---	LOT LINES
---	UTILITY EASEMENT
---	PROPOSED UTILITY EASEMENT
---	PERMANENT EASEMENT
---	SETBACK LINE
x	PLAYGROUND FENCE
~ ~ ~	RETAINING WALLS
W	WATER MAIN
G	GAS MAIN
SAN	SANITARY SEWER
STM	STORM SEWER

Show canopy in notes outline. Label.

Draw dumpster outline on this sheet. Not pad cycling. Dumpster and fence enclosure outlines.

Request was to copy parking information to parking sheet. Not to remove it from this page.

**SITE DATA TABLE**

SITE AREA	AREA	PERCENT
GROSS SITE AREA	71,932 SF / 1.65 AC	100.00%
BLDG. COVERAGE	12,985 SF / 0.30 AC	18.00%
PARKING LOT AREA	21,526 SF / 0.49 AC	30.00%
SIDEWALKS AND OTHER PAVEMENT	5,174 SF / 0.12 AC	7.00%
PLAYGROUND AREA	12,668 SF / 0.29 AC	18.00%
LANDSCAPING	19,579 SF / 0.45 AC	27.00%

OPEN SPACE - DOUGLAS 234 PD		
	STANDARD	PROPOSED
MINIMUM OPEN SPACE	20%	45%

BUILDING STANDARDS - DOUGLAS 234 PD		
	STANDARD	PROPOSED
BUILDING HEIGHT (MAX)	35'-0"	22'-3"

SETBACKS - DOUGLAS 234 PD		
	STANDARD	PROPOSED
DOUGLAS 234 BUILDING FRONT	25-FEET	117 116- FEET
DOUGLAS 234 BUILDING SIDE	10- FEET	19 10- FEET
DOUGLAS 234 BUILDING REAR	0- FEET	79 25- FEET
ADJACENT TO RESIDENTIAL	25- FEET	30 25- FEET

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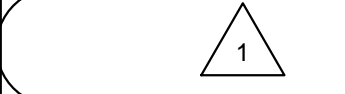
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SEH Project: NHOAC 156217  
Checked By: DGH  
Drawn By: AMP

Project Status: Issue Date  
TOWN REVIEW: 8/26/2020  
TOWN REVIEW: 1/22/2021  
TOWN REVIEW: 3/22/2021

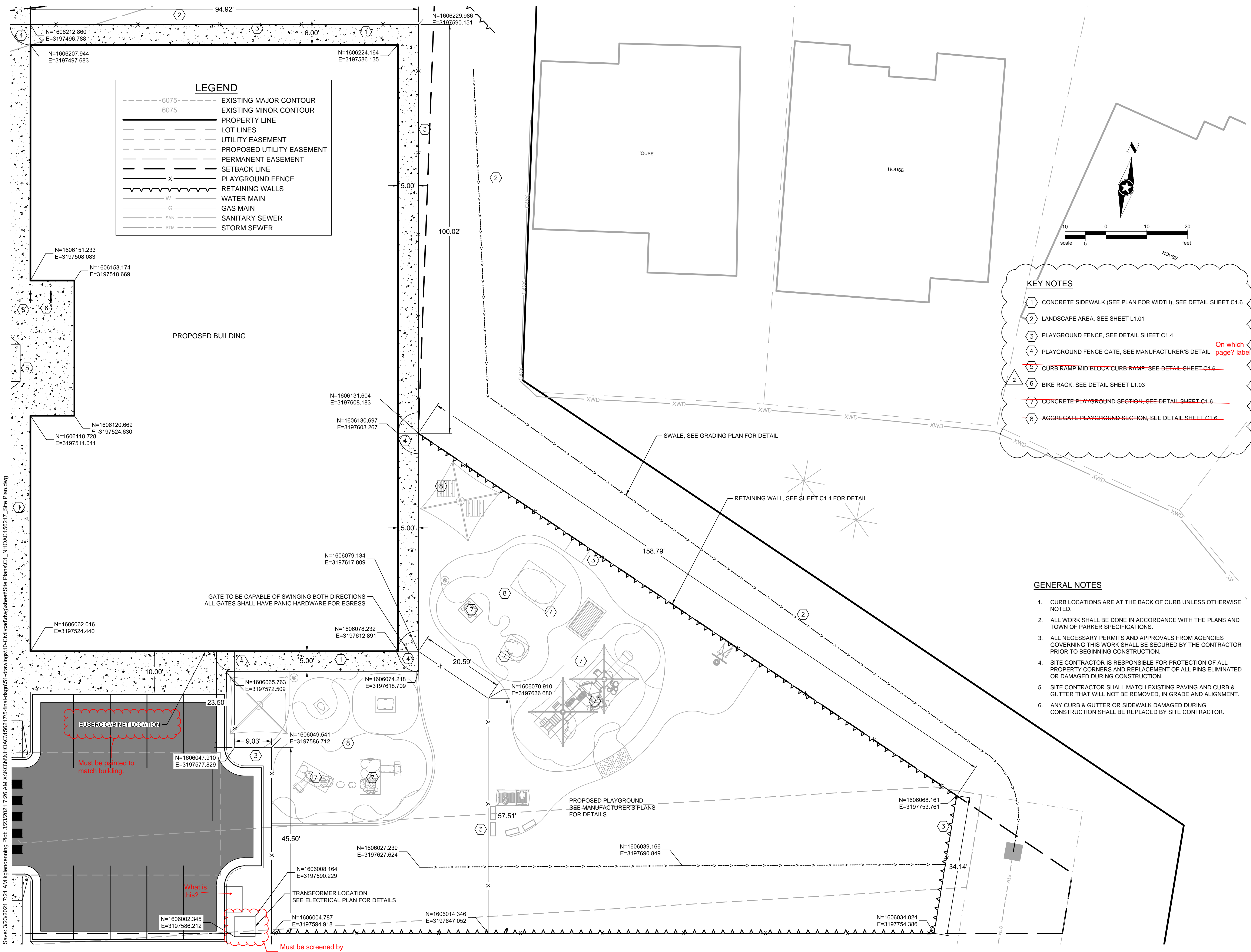
Revision Issue  
Rev. # Description Date  
1 TOWN COMMENTS 1/22/21  
2 TOWN COMMENTS 3/22/21

BUILDING SITE LAYOUT



1

C1.2



**LEGEND**

- - - - -6075- - - - - EXISTING MAJOR CONTOUR
- - - - -6075- - - - - EXISTING MINOR CONTOUR
- PROPERTY LINE
- LOT LINES
- UTILITY EASEMENT
- - - - - PROPOSED UTILITY EASEMENT
- PERMANENT EASEMENT
- SETBACK LINE
- X ————— PLAYGROUND FENCE
- RETAINING WALLS
- W ————— WATER MAIN
- G ————— GAS MAIN
- SAN ————— SANITARY SEWER
- STM ————— STORM SEWER

**KEY NOTES**

- 1 CONCRETE SIDEWALK (SEE PLAN FOR WIDTH), SEE DETAIL SHEET C1.6
- 2 LANDSCAPE AREA, SEE SHEET L1.01
- 3 PLAYGROUND FENCE, SEE DETAIL SHEET C1.4
- 4 PLAYGROUND FENCE GATE, SEE MANUFACTURER'S DETAIL **On which page? label**
- 5 CURB RAMP MID BLOCK CURB RAMP, SEE DETAIL SHEET C1.6
- 6 BIKE RACK, SEE DETAIL SHEET L1.03
- 7 CONCRETE PLAYGROUND SECTION, SEE DETAIL SHEET C1.6
- 8 AGGREGATE PLAYGROUND SECTION, SEE DETAIL SHEET C1.6

**GENERAL NOTES**

- CURB LOCATIONS ARE AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND TOWN OF PARKER SPECIFICATIONS.
- ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- SITE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND REPLACEMENT OF ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- SITE CONTRACTOR SHALL MATCH EXISTING PAVING AND CURB & GUTTER THAT WILL NOT BE REMOVED, IN GRADE AND ALIGNMENT.
- ANY CURB & GUTTER OR SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY SITE CONTRACTOR.

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EUSERC CABINET LOCATION

Must be painted to match building.

N=1606047.910  
E=3197577.829

N=1606002.345  
E=3197586.212

What is this?

Must be screened by plants.

TRANSFORMER LOCATION  
SEE ELECTRICAL PLAN FOR DETAILS

N=1606008.164  
E=3197590.229

N=1606004.787  
E=3197594.918

N=1606027.239  
E=3197627.624

N=1606049.541  
E=3197586.712

N=1606065.763  
E=3197572.509

N=1606074.218  
E=3197618.709

N=1606079.134  
E=3197617.809

N=1606130.697  
E=3197603.267

N=1606131.604  
E=3197608.183

N=1606151.233  
E=3197508.083

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E=3197524.630

N=1606118.728  
E=3197514.041

N=1606207.944  
E=3197496.788

N=1606224.164  
E=3197586.135

N=1606229.996  
E=3197590.151

N=1606082.016  
E=3197524.440

N=1606078.232  
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N=1606070.910  
E=3197636.680

N=1606039.166  
E=3197690.849

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N=1606004.787  
E=3197594.918

N=1606002.345  
E=3197586.212

N=1606000.164  
E=3197590.229

N=1606000.164  
E=3197590.229

N=1606000.164  
E=3197590.229

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E=3197590.229

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E=3197590.229

N=1606000.164  
E=3197590.229

N=1606000.164  
E=3197590.229

N=1606000.164  
E=3197590.229



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**NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6**  
PARKER, CO

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SEH Project: NHOAC 156217  
Checked By: DRH  
Drawn By: AMP

Project Status: TOWN REVIEW  
Issue Date: 8/26/2020  
TOWN REVIEW: 1/22/2021  
TOWN REVIEW: 3/22/2021

Rev. #	Description	Date
1	TOWN COMMENTS	1/22/21
2	TOWN COMMENTS	3/22/21

**PARKING LOT SITE LAYOUT**

**C1.3**

**LEGEND**

---6075---	EXISTING MAJOR CONTOUR
---6075---	EXISTING MINOR CONTOUR
---	PROPERTY LINE
---	LOT LINES
---	UTILITY EASEMENT
---	PROPOSED UTILITY EASEMENT
---	PERMANENT EASEMENT
---	SETBACK LINE
X	PLAYGROUND FENCE
---	RETAINING WALLS
W	WATER MAIN
G	GAS MAIN
SAN	SANITARY SEWER
STM	STORM SEWER

**KEY NOTES**

- CONCRETE SIDEWALK (SEE PLAN FOR WIDTH), SEE DETAIL SHEET C1.6
- LANDSCAPE AREA, SEE LANDSCAPE PLANS **Provide sheet number**
- PLAYGROUND FENCE, SEE DETAIL SHEET C1.4
- PLAYGROUND FENCE GATE, SEE MANUFACTURER'S DETAIL **Provide sheet number**
- CURB RAMP MID BLOCK CURB RAMP, SEE DETAIL SHEET C1.6
- BIKE RACK, SEE LANDSCAPE PLANS **Provide sheet number**
- ASPHALT PARKING LOT, SEE DETAIL SHEET C1.6
- CONCRETE DUMPSTER PAD, SEE DETAIL SHEET C1.6
- DUMPSTER ENCLOSURE FENCE, SEE ARCHITECTURAL PLANS **Provide sheet number**
- DUMPSTER ENCLOSURE FENCE GATE, SEE ARCHITECTURAL PLANS
- VERTICAL CURB AND GUTTER SECTION (CATCH), SEE DETAIL SHEET C1.6
- VERTICAL CURB AND GUTTER SECTION (SPILL), SEE DETAIL SHEET C1.6
- DIRECTIONAL CURB RAMP WITHIN RADIUS, SEE DETAIL SHEET C1.8
- PEDESTRIAN CURB RAMP FOR SIDEWALK OR TRAIL, SEE DETAIL SHEET C1.6

Delete notes that refer to pages you didn't include in this site plan set. Apply this comment to every page.

**RADIUS TABLE**

POINT #	NORTHING	EASTING	RADIUS
1	1606004.909	3197526.268	4.5'
2	1605989.988	3197446.653	4.5'
3	1606027.163	3197433.881	4.5'
4	1606060.532	3197427.345	4.5'
5	1606157.222	3197406.08	4.5'
6	1606199.903	3197344.409	94.5'
7	1606190.568	3197476.979	4.5'
8	1606176.196	3197415.564	26.5'
9	1606083.346	3197460.281	4.5'
10	1606083.483	3197461.027	4.5'
11	1606126.604	3197453.119	0.75'
12	1606126.224	3197451.049	0.75'
13	1606017.400	3197408.364	9.5'
14	1606060.700	3197400.543	9.5'
15	1606052.341	3197389.005	1.0'
16	1606053.237	3197406.972	1.0'
17	1606026.667	3197411.771	1.0'
18	1606024.694	3197403.998	1.0'
19	1606006.172	3197533.153	1.50'
20	1606014.926	3197586.448	4.50'
21	1606048.363	3197580.287	4.50'
22	1606037.647	3197527.385	1.50'
23	1606054.090	3197517.256	19.50'
24	1606038.214	3197505.934	0.50' (FOC)

- GENERAL NOTES**
- CURB LOCATIONS ARE AT THE BACK OF CURB UNLESS OTHERWISE NOTED.
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  - SITE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND REPLACEMENT OF ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.

Draw dumpster building on this sheet. See pad outline. Dumpster and fence outlines.

Combine information on sheets C1.3 and C.5. Label Parking lot site layout.

Save: 3/23/2021 8:21 AM kglendinning Plot: 3/23/2021 8:22 AM X:\KONNINHOAC\156217\5-final\design\51-drawings\10-Civil\caddwg\sheet\Site Plans\C1\_NHOAC 156217\_Site Plan.dwg

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SEH Project: NHOAC 156217  
Checked By: DJH  
Drawn By: AMP

Project Status: Issue Date  
TOWN REVIEW: 8/26/2020  
TOWN REVIEW: 1/22/2021  
TOWN REVIEW: 3/22/2021

Rev. #	Description	Date
1	TOWN COMMENTS	1/22/21
2	TOWN COMMENTS	3/22/21

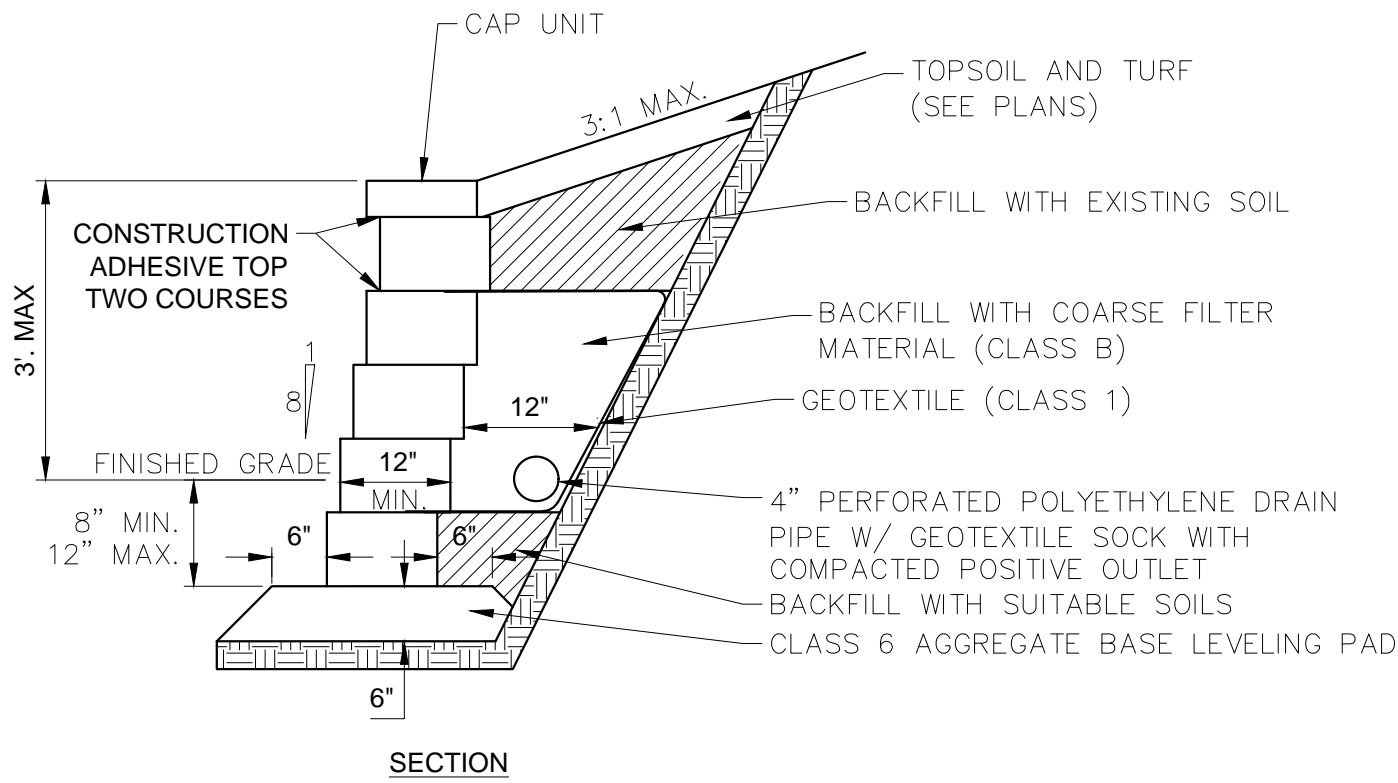
RETAINING WALL PLAN

2

**C1.4**

**NOTES:**

1. MAXIMUM EXPOSED HEIGHT NOT TO EXCEED 3 FEET. A SPECIFIC ENGINEERED DESIGN IS REQUIRED FOR WALLS WITH AN EXPOSED HEIGHT OVER 3 FEET.
2. FILL ALL VOID AREAS IN MODULAR BLOCK UNITS WITH COARSE FILTER MATERIAL (CLASS B) OR PEA GRAVEL AS APPROVED BY ENGINEER.
3. MODULAR BLOCK UNITS MUST HAVE INTERLOCKING LIP OR PIN CONNECTIONS.
4. RETAINING WALL LOCATION SHOWN ON PLANS.
5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR PROPOSED MODULAR BLOCK UNITS.
6. OUTLET DRAIN PIPE TO A STORM SEWER CATCH BASIN OR MANHOLE OR THROUGH FACE OF WALL.
7. RETAINING WALL BLOCK TO BE SPLIT FACE AND MATCH BUILDING COLOR PALETTE.
8. BASIS OF DESIGN IS ALLEN BLOCK CLASSIC IN TAN BLEND.



NTS

Revised:  
Oct. 2011  
SEH Plate No.  
MISC-02

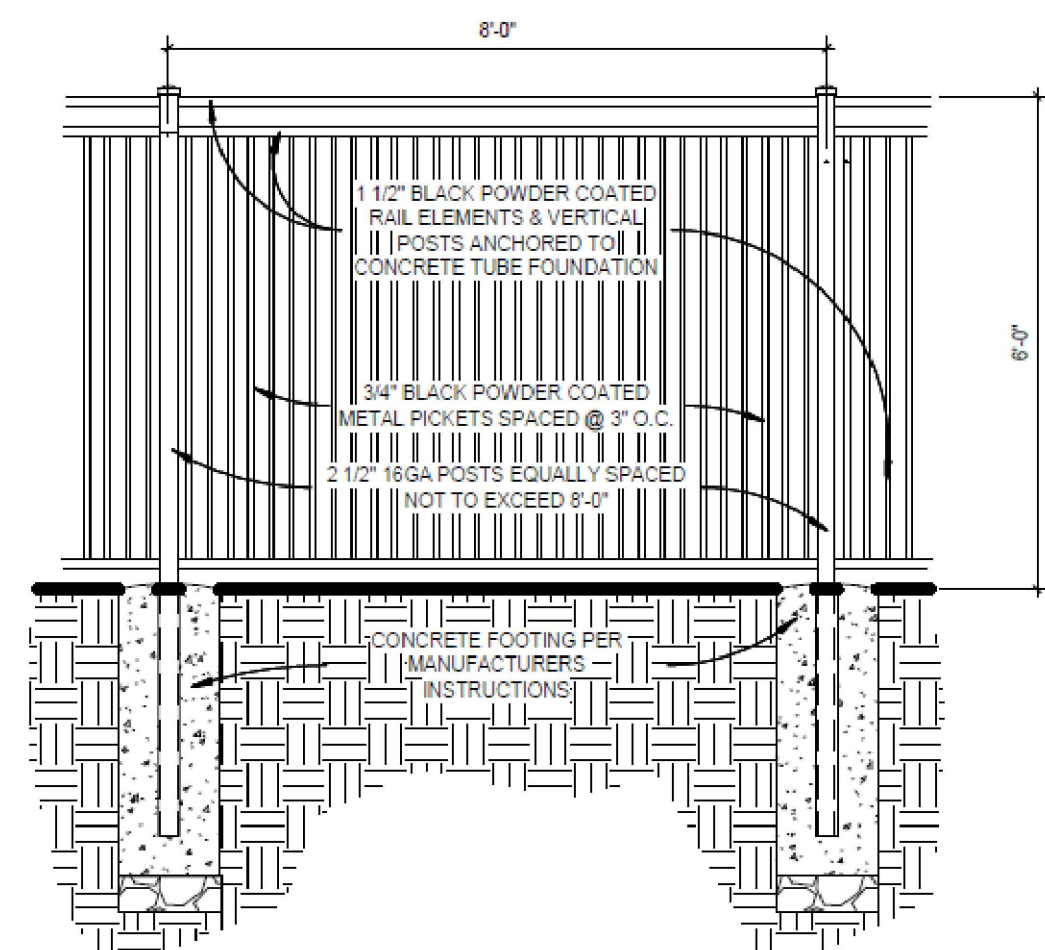
**RETAINING WALL DETAIL  
GRAVITY WALL**



**Tan Blend**

Actual color may vary. See block samples to confirm colors.

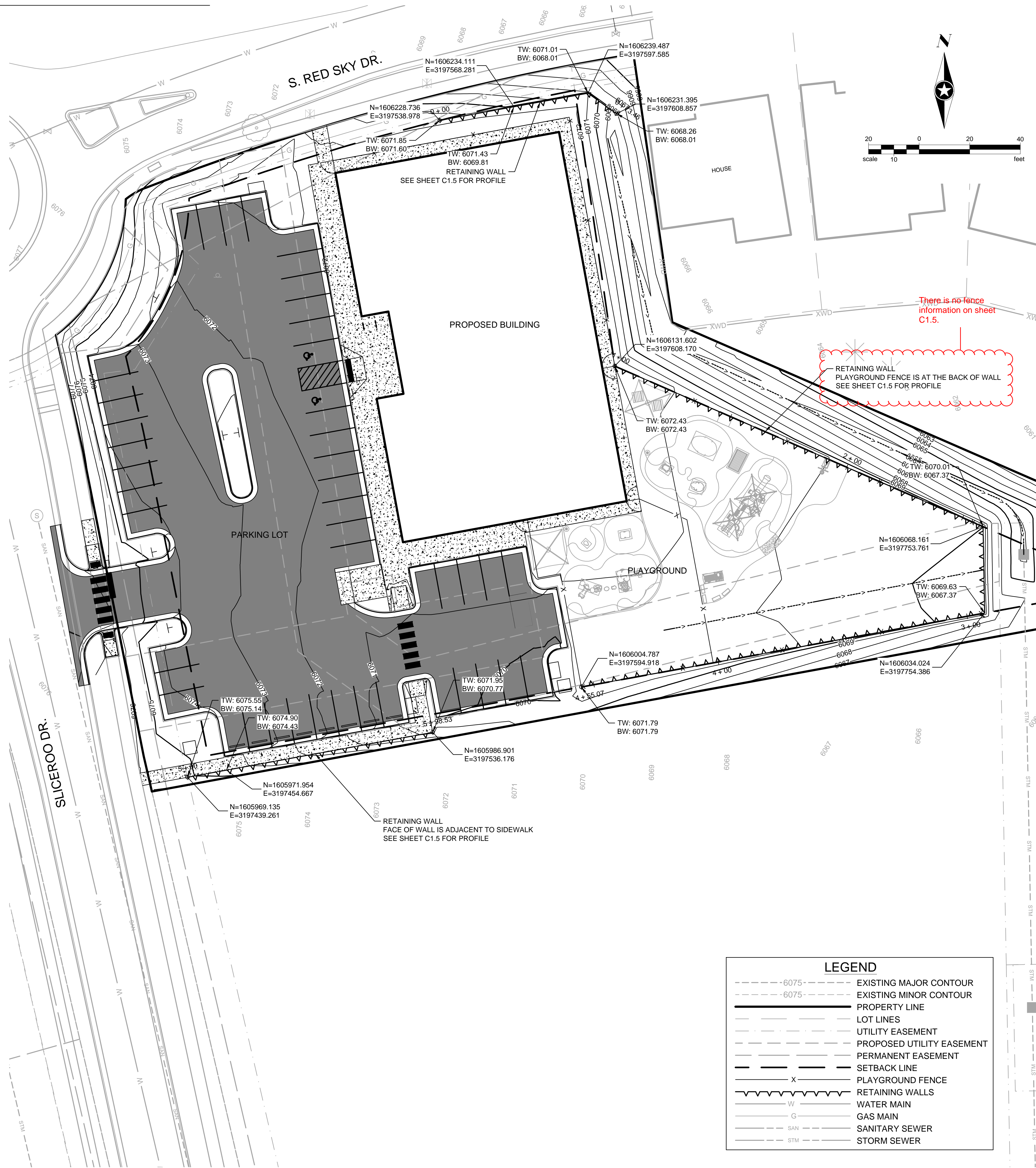
APPROXIMATE FINAL APPEARANCE OF WALL BLOCK.



**PLAYGROUND FENCE DETAIL**

1/2" = 1'-0"

Can the fence be lowered to 5ft?



**LEGEND**

- - - - - 6075 -	EXISTING MAJOR CONTOUR
- - - - - 6075 -	EXISTING MINOR CONTOUR
—————	PROPERTY LINE
—————	LOT LINES
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720.540.6800

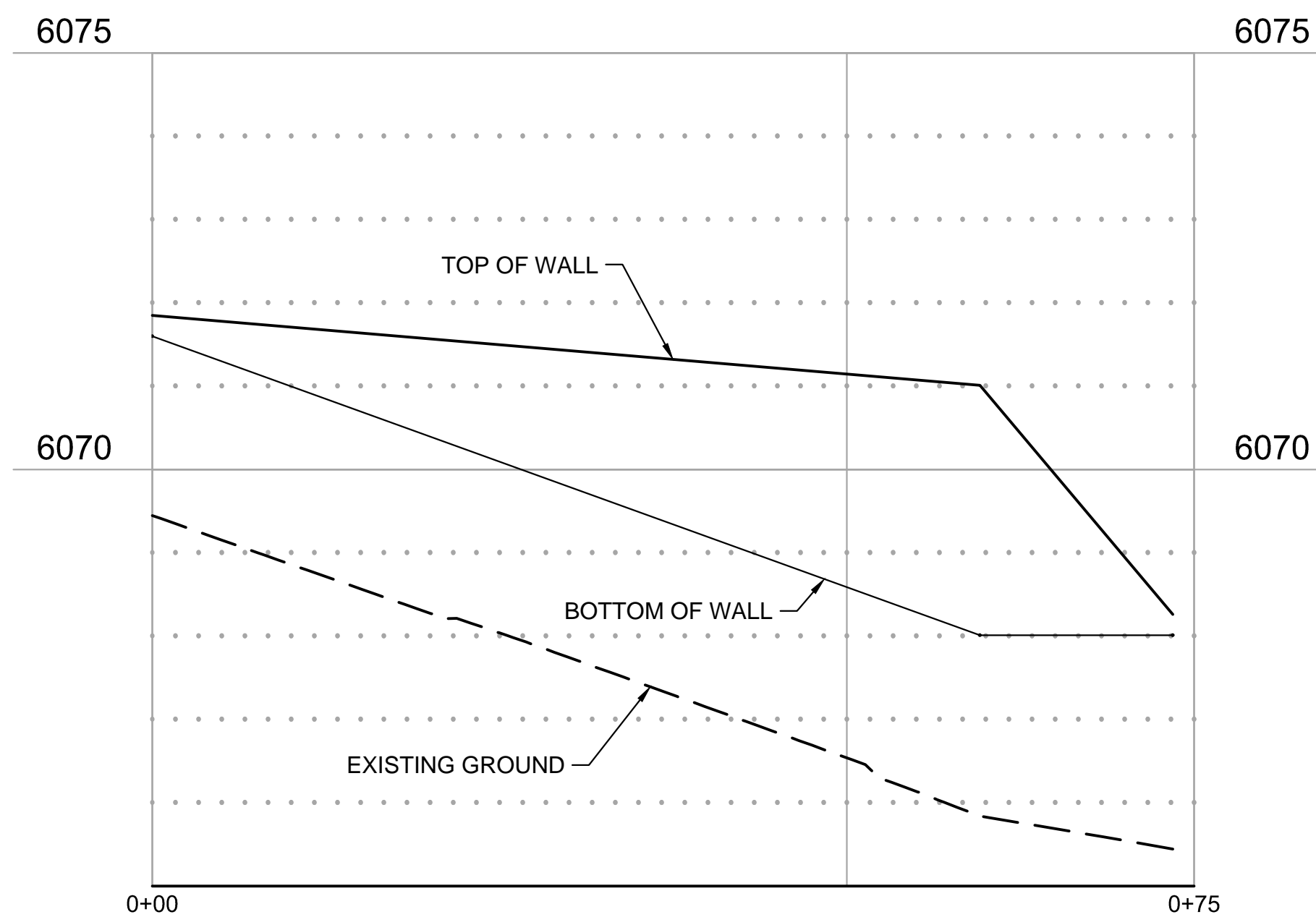
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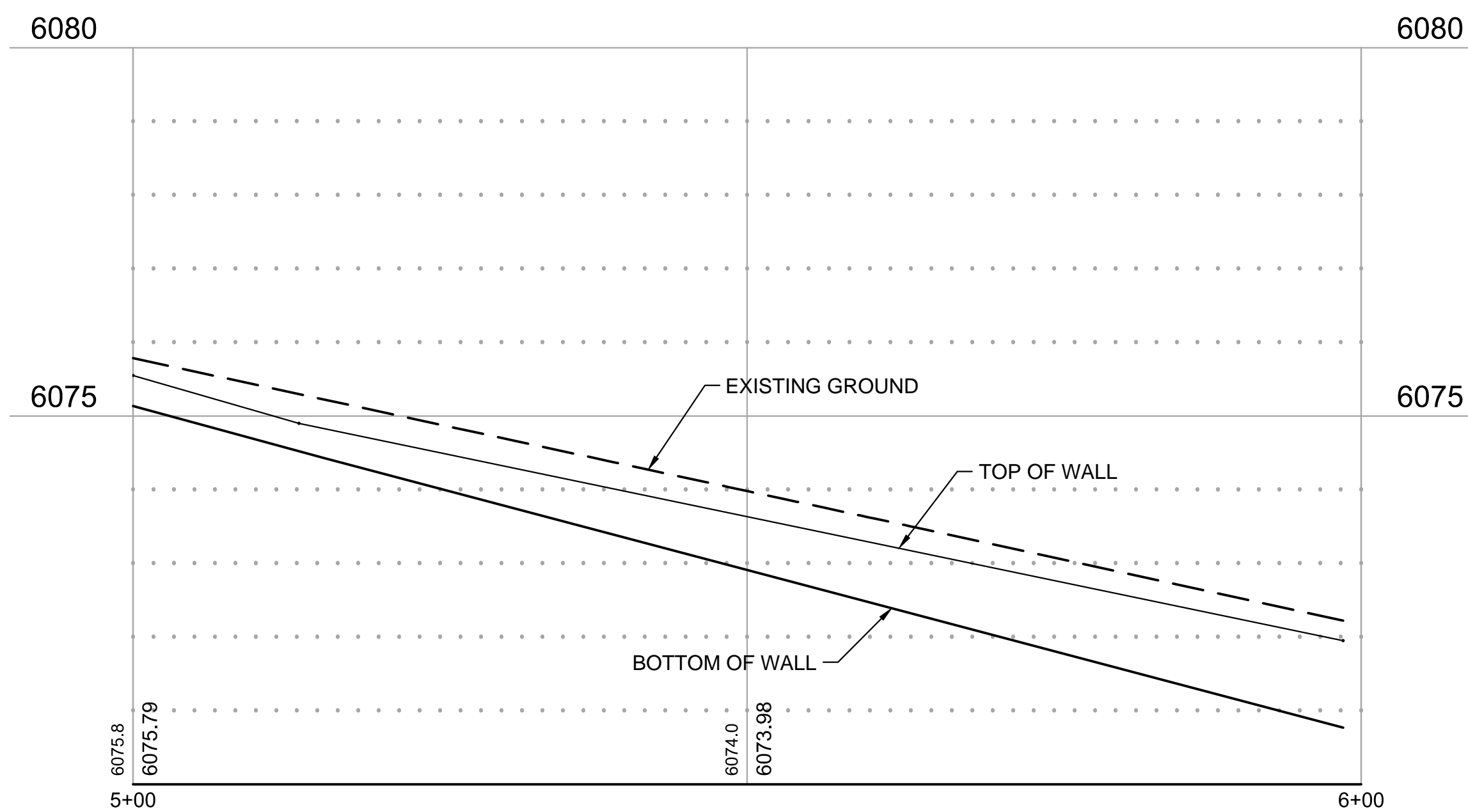
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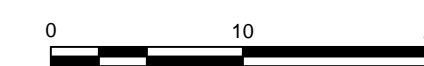
Electrical Engineer  
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RETAINING WALL PROFILE  
WALL ALONG NORTH SIDE OF BUILDING



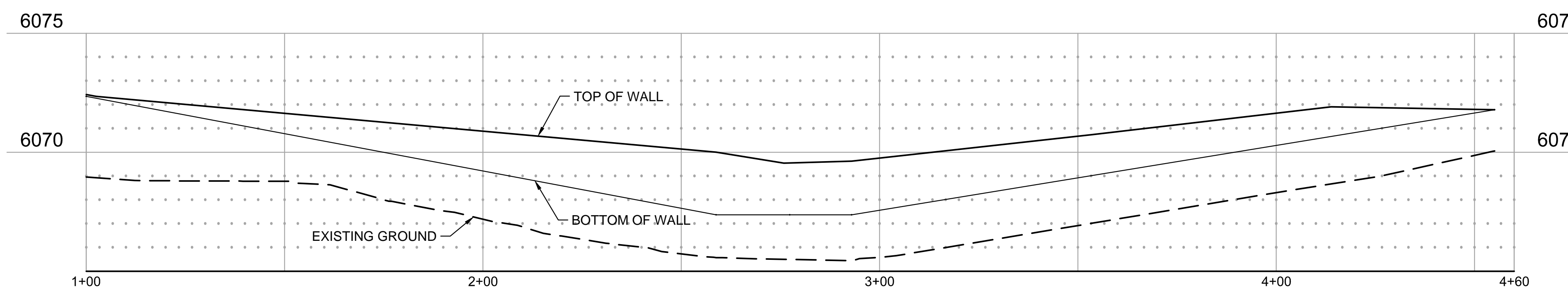
RETAINING WALL PROFILE  
WALL ALONG SOUTH SIDE OF PARKING LOT



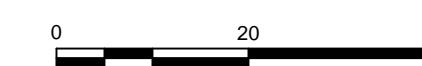
NOTE:  
RETAINING WALL PROFILES ARE SHOWN FOR  
REFERENCE ONLY. ELEVATIONS SHOULD BE  
DETERMINED FROM PLAN SHEETS.

Label max height and length of each wall.

Since the fence is located directly above the wall, show  
elevation of both wall and fence together. Draw in same style  
as building elevations. Showing the material texture and  
color.



RETAINING WALL PROFILE  
WALL ALONG PLAYGROUND FENCE



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NEW HORIZON ACADEMY -  
DOUGLAS 234 FILING, NO. 6  
PARKER, CO

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SEH Project NHOAC 156217  
Checked By DEH  
Drawn By AMP

Project Status Issue Date  
TOWN REVIEW 8/26/2020  
TOWN REVIEW 1/22/2021  
TOWN REVIEW 3/22/2021

Revision Issue  
Rev. # Description Date  
1 TOWN COMMENTS 1/22/21  
2 TOWN COMMENTS 3/22/21

RETAINING WALL PROFILES

2

C1.5



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Checked By: DJH  
Drawn By: AMP

Project Status: TOWN REVIEW  
Town Review: 8/26/2020  
Town Review: 1/22/2021  
Town Review: 3/22/2021

Revision Issue  
1 Description 1/22/21  
2 TOWN COMMENTS 3/22/21

GRADING PLAN

2

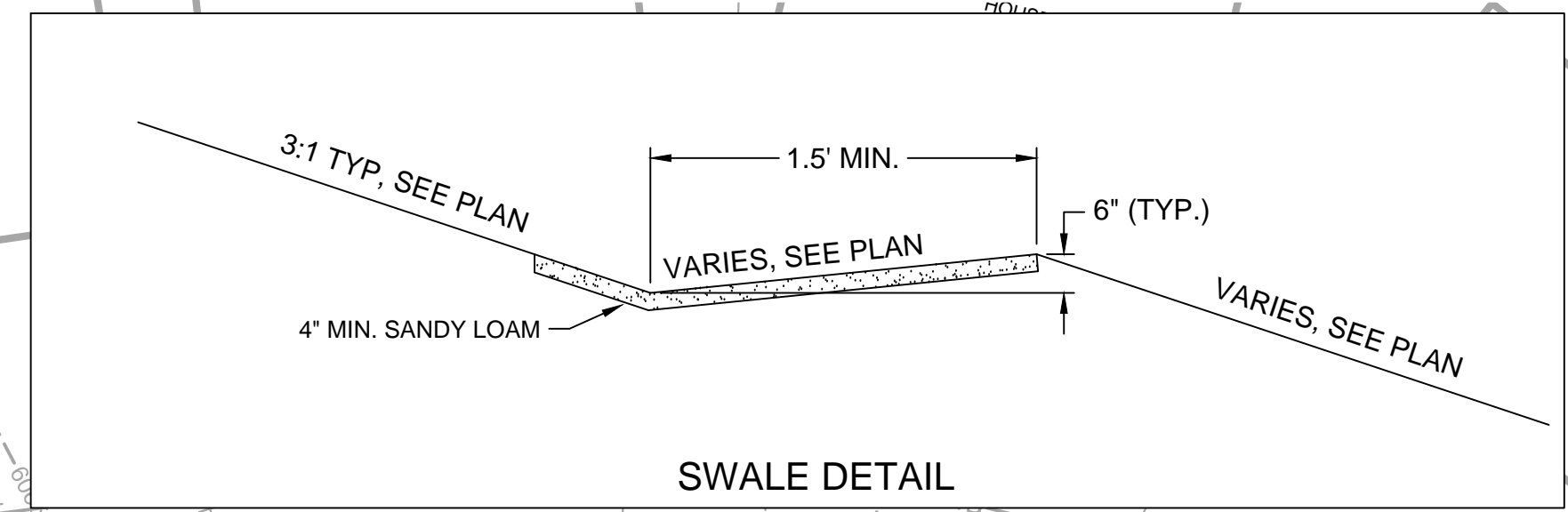
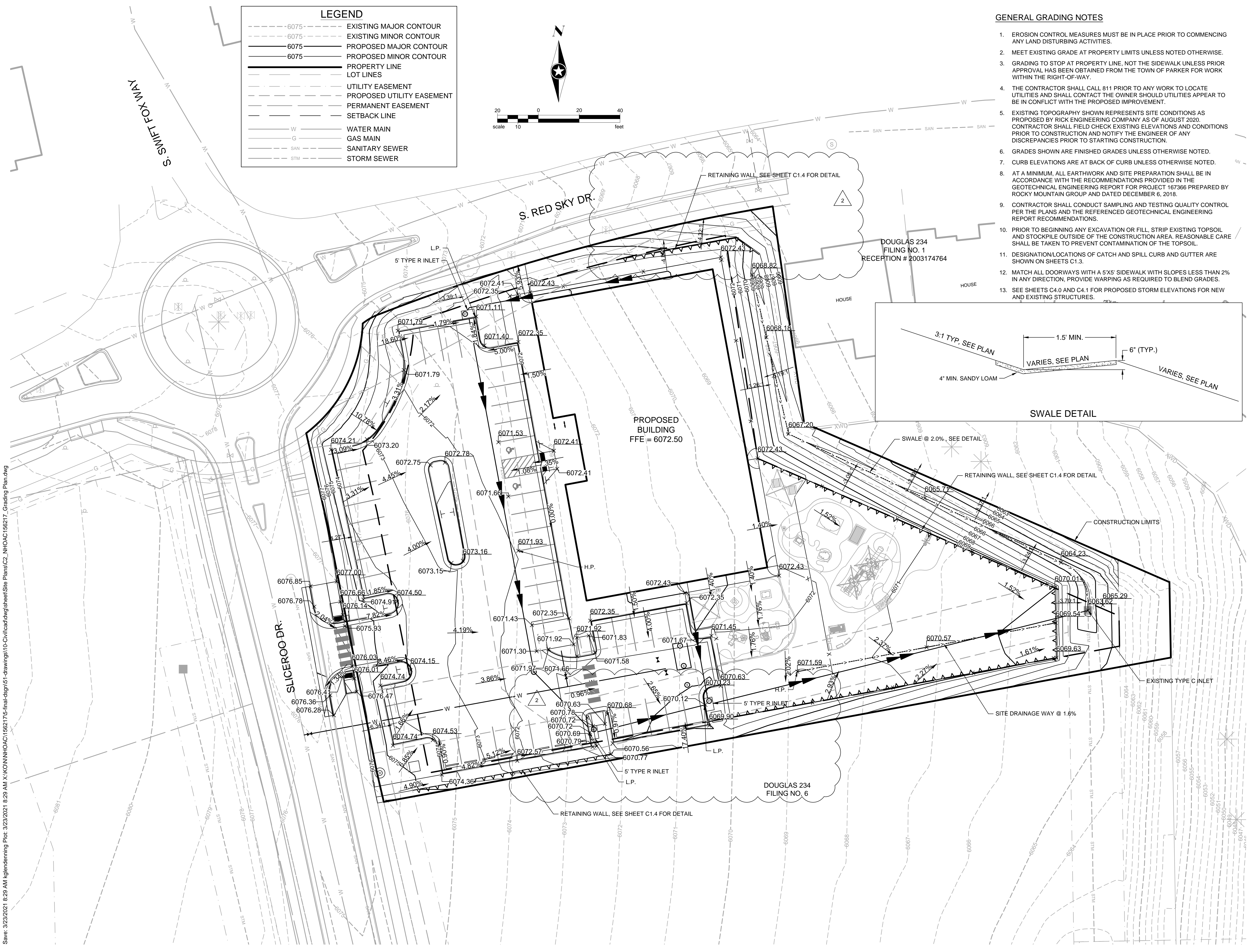
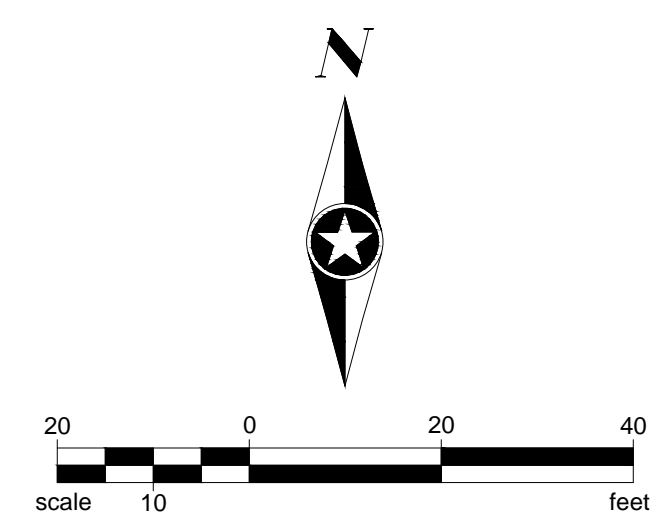
C2.0

GENERAL GRADING NOTES

- EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
- GRADING TO STOP AT PROPERTY LINE, NOT THE SIDEWALK UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF PARKER FOR WORK WITHIN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CALL 811 PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PROPOSED BY RICK ENGINEERING COMPANY AS OF AUGUST 2020. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- GRADES SHOWN ARE FINISHED GRADES UNLESS OTHERWISE NOTED.
- CURB ELEVATIONS ARE AT BACK OF CURB UNLESS OTHERWISE NOTED.
- AT A MINIMUM, ALL EARTHWORK AND SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR PROJECT 167366 PREPARED BY ROCKY MOUNTAIN GROUP AND DATED DECEMBER 6, 2018.
- CONTRACTOR SHALL CONDUCT SAMPLING AND TESTING QUALITY CONTROL PER THE PLANS AND THE REFERENCED GEOTECHNICAL ENGINEERING REPORT RECOMMENDATIONS.
- PRIOR TO BEGINNING ANY EXCAVATION OR FILL, STRIP EXISTING TOPSOIL AND STOCKPILE OUTSIDE OF THE CONSTRUCTION AREA. REASONABLE CARE SHALL BE TAKEN TO PREVENT CONTAMINATION OF THE TOPSOIL.
- DESIGNATION/LOCATIONS OF CATCH AND SPILL CURB AND GUTTER ARE SHOWN ON SHEETS C1.3.
- MATCH ALL DOORWAYS WITH A 5'X5' SIDEWALK WITH SLOPES LESS THAN 2% IN ANY DIRECTION. PROVIDE WARPING AS REQUIRED TO BLEND GRADES.
- SEE SHEETS C4.0 AND C4.1 FOR PROPOSED STORM ELEVATIONS FOR NEW AND EXISTING STRUCTURES.

**LEGEND**

- - - 6075 -	EXISTING MAJOR CONTOUR
- - - 6075 -	EXISTING MINOR CONTOUR
- - - 6075 -	PROPOSED MAJOR CONTOUR
- - - 6075 -	PROPOSED MINOR CONTOUR
—	PROPERTY LINE
—	LOT LINES
- - -	UTILITY EASEMENT
- - -	PROPOSED UTILITY EASEMENT
- - -	PERMANENT EASEMENT
- - -	SETBACK LINE
— W —	WATER MAIN
— G —	GAS MAIN
— SAN —	SANITARY SEWER
— STM —	STORM SEWER



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NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6 PARKER, CO

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SEH Project Checked By Drawn By

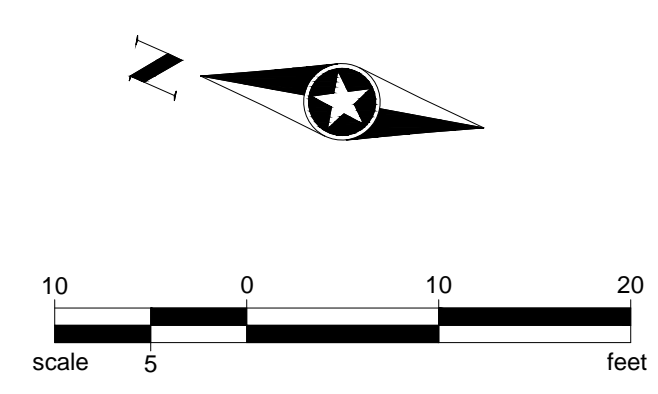
Project Status Issue Date  
TOWN REVIEW 8/26/2020  
TOWN REVIEW 1/22/2021  
TOWN REVIEW 3/22/2021

Revision Issue  
Rev. # Description Date  
1 TOWN COMMENTS 1/22/21  
2 TOWN COMMENTS 3/22/21

SIGNAGE PLAN

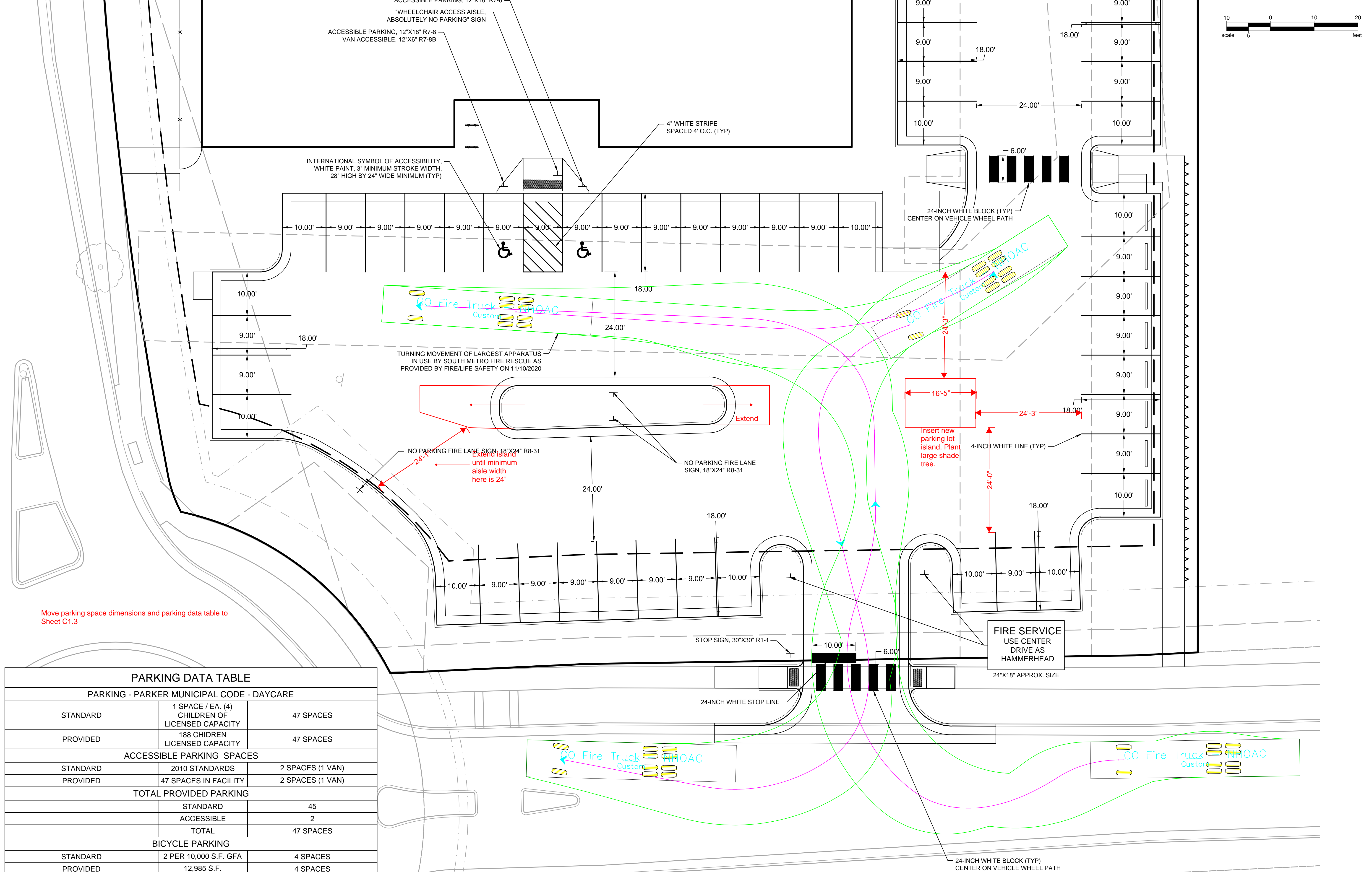
2

C5.0



**LEGEND**

---	PROPERTY LINE
---	LOT LINES
---	UTILITY EASEMENT
---	PROPOSED UTILITY EASEMENT
---	PERMANENT EASEMENT
---	SETBACK LINE
---	WATER MAIN
---	GAS MAIN
---	SANITARY SEWER
---	STORM SEWER



Move parking space dimensions and parking data table to Sheet C1.3

**PARKING DATA TABLE**

PARKING - PARKER MUNICIPAL CODE - DAYCARE		
STANDARD	1 SPACE / EA. (4) CHILDREN OF LICENSED CAPACITY	47 SPACES
PROVIDED	188 CHILDREN LICENSED CAPACITY	47 SPACES
ACCESSIBLE PARKING SPACES		
STANDARD	2010 STANDARDS	2 SPACES (1 VAN)
PROVIDED	47 SPACES IN FACILITY	2 SPACES (1 VAN)
TOTAL PROVIDED PARKING		
	STANDARD	45
	ACCESSIBLE	2
	TOTAL	47 SPACES
BICYCLE PARKING		
STANDARD	2 PER 10,000 S.F. GFA	4 SPACES
PROVIDED	12,985 S.F.	4 SPACES

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NEW HORIZON ACADEMY  
**CHAMBERS AND HESS  
CHILD CARE CENTER**  
PARKER, CO

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SEH Project	NHOAC 156217	
Checked By	SB	
Drawn By	DRS	
Project Status	Issue Date	
Revision	Issue	
Rev. #	Description	Date
1	City Comments	01/15/2021

PRELIMINARY EXTERIOR ELEVATIONS



All brick? all stone? or stay same with white stripes? How to get rid of yellow? Nothing in DDS says no.

Make all white stripes same material as wall. (brick)

Please match this corner to the other corner on this facade in terms of parapet height.

Make right brick wall width the same width as the left wall width.

Add third pane to match other corner.

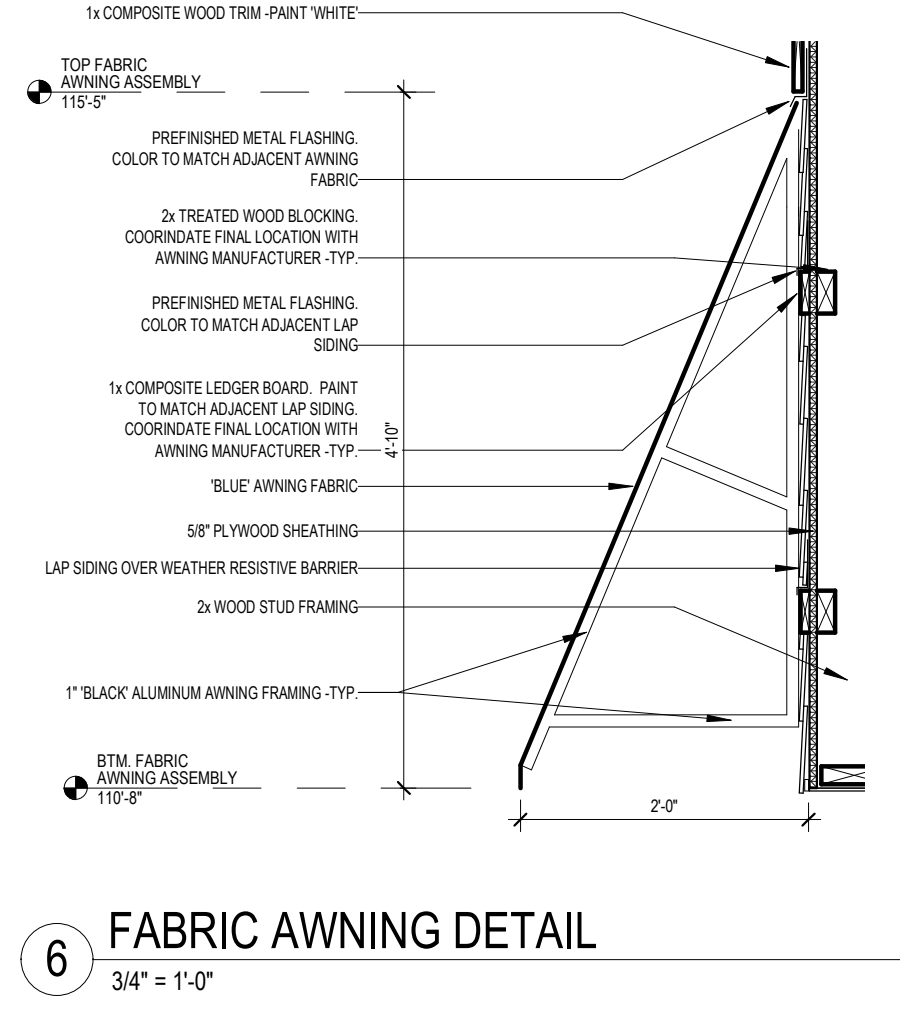
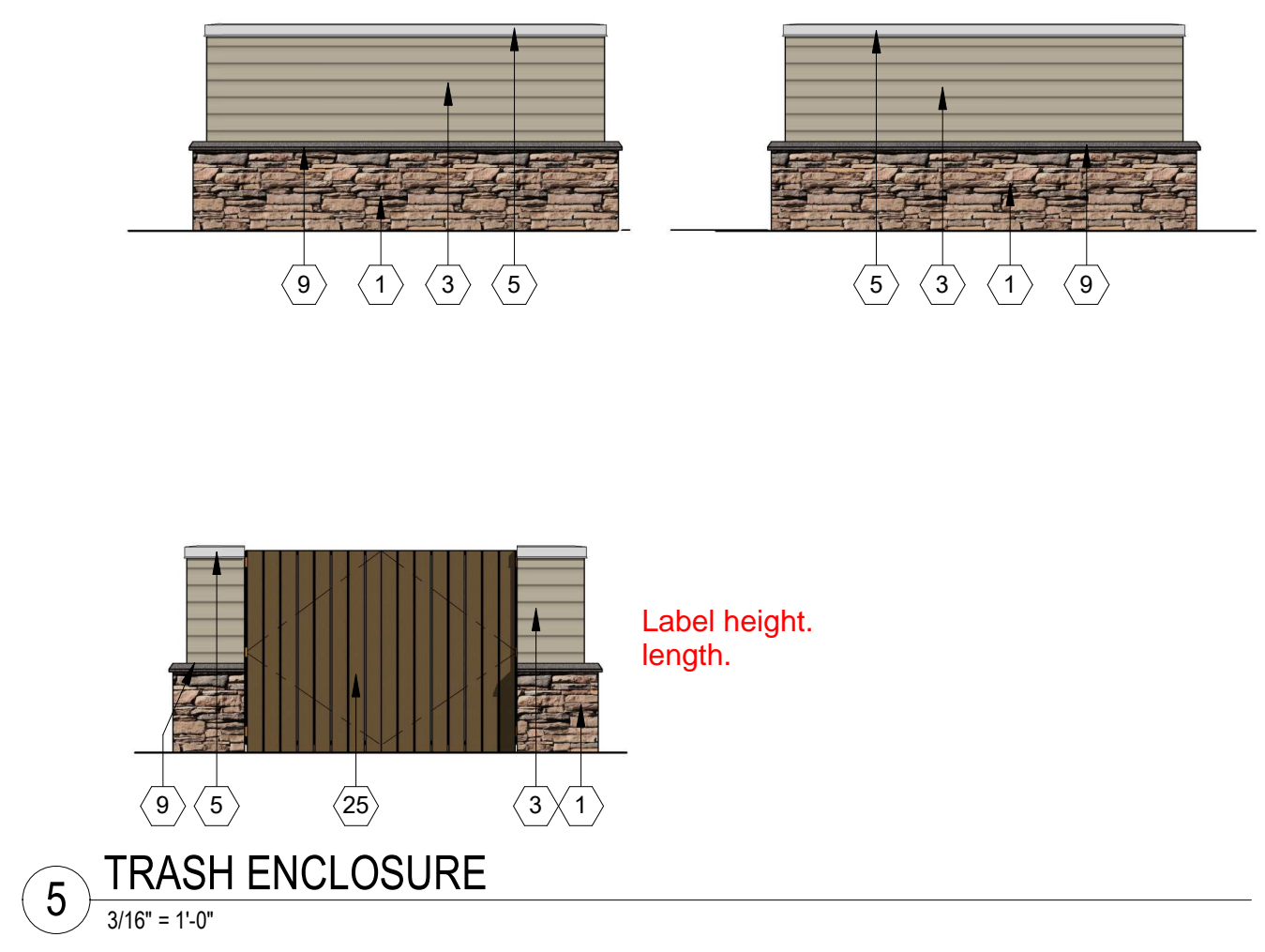
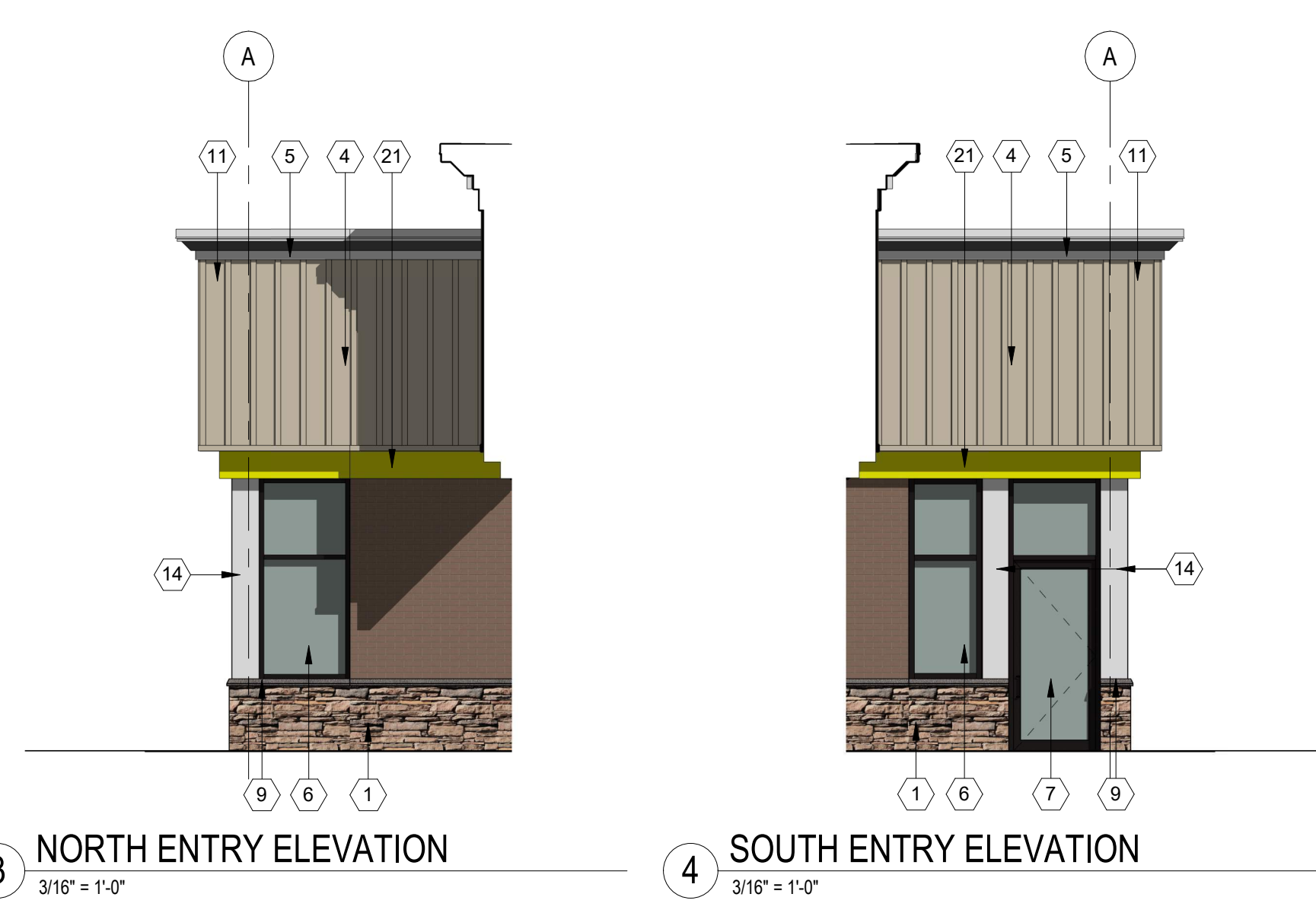
- ELEVATION KEY NOTES (#)**
- STONE - SOUTHERN LEDGESTONE 'CHARDONNAY' BY CULTURED STONE
  - FIBER CEMENT SHAKE SIDING - HARDIESHINGLE - STRAIGHT EDGE PANEL 'COBBLESTONE' BY JAMES HARDIE
  - FIBER CEMENT HORIZONTAL SIDING - HARDIEPLANK - SMOOTH - 'COBBLESTONE' BY JAMES HARDIE
  - FIBER CEMENT BOARD AND BATTEN SIDING - HARDIEPANEL VERTICAL SIDING - SMOOTH - 'COBBLESTONE' WITH HARDIETRIM BOARD - SMOOTH BATTEN BOARD - 'COBBLESTONE' BY JAMES HARDIE
  - PREFINISHED METAL COPING - 'WHITE'
  - ALUMINUM STOREFRONT FRAMING / GLAZING ASSEMBLY - CLEAR INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
  - ALUMINUM DOOR / TRANSOM / GLAZING ASSEMBLY - CLEAR INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
  - HOLLOW METAL DOOR AND FRAME - PAINT TO MATCH 'DARK BRONZE'
  - ARCHITECTURAL PRECAST CONCRETE SILL
  - 14'-3" x 3'-7" EXTERIOR LED 'NEW HORIZON ACADEMY' AND 'SUN' SIGNAGE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
  - EIFS CORNICE - PAINT 'WHITE'
  - PREFINISHED METAL SCUPPER AND 4"x6" DOWNSPOUT - 'DARK BRONZE'. CONNECT DOWNSPOUT TO UNDERGROUND STORM SEWER. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION.
  - LED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
  - 1x FIBER CEMENT TRIM - PAINT 'WHITE'
  - 'BLUE' FABRIC AWNING.
  - DASHED LINE DENOTES TOP OF ROOF BEYOND
  - EIFS DENTIL MOLDING - PAINT 'WHITE'
  - ARCHITECTURAL PRECAST CONCRETE COLUMN CAP
  - 8x8 WOOD COLUMN, STAINED. SEE STRUCTURAL FOR FURTHER INFORMATION
  - 4x12 WOOD BEAM, STAINED.
  - 12" FIBER CEMENT TRIM - PAINT 'YELLOW'
  - WALL MOUNTED CT CABINET - PAINT TO MATCH ADJACENT FINISH
  - ELECTRICAL METER - PAINT TO MATCH ADJACENT FINISH
  - 1'-0" HIGH x 2'-0" WIDE SCUPPER OPENING
  - WOODEN TRASH ENCLOSURE GATE AND POST ASSEMBLY
  - ROOFTOP SCREENING BEYOND - SEE ROOF PLAN AND 8/A 305
  - FIRE DEPARTMENT LOCK BOX. MODEL R3-RECESSED BY THE DAMA COMPANY. VERIFY LOCATION WITH LOCAL FIRE OFFICIAL
  - THIN BRICK VENEER - ACME BRICK - 'ROXBURY' VELOUR TO MATCH 'NEWPORT' BY OCHS BRICK COMPANY

Include exterior materials board in site plan set.

Based only on seeing the PDF file sample yellow, the yellow selected does not create a "coordinated color theme." It appears to be too bright to match the other colors and textures of the building. If this is simply a poor RGB rendering of the color please let me know. A physical swatch may help. I can add it to your physical materials board.

separate materials list from key notes.

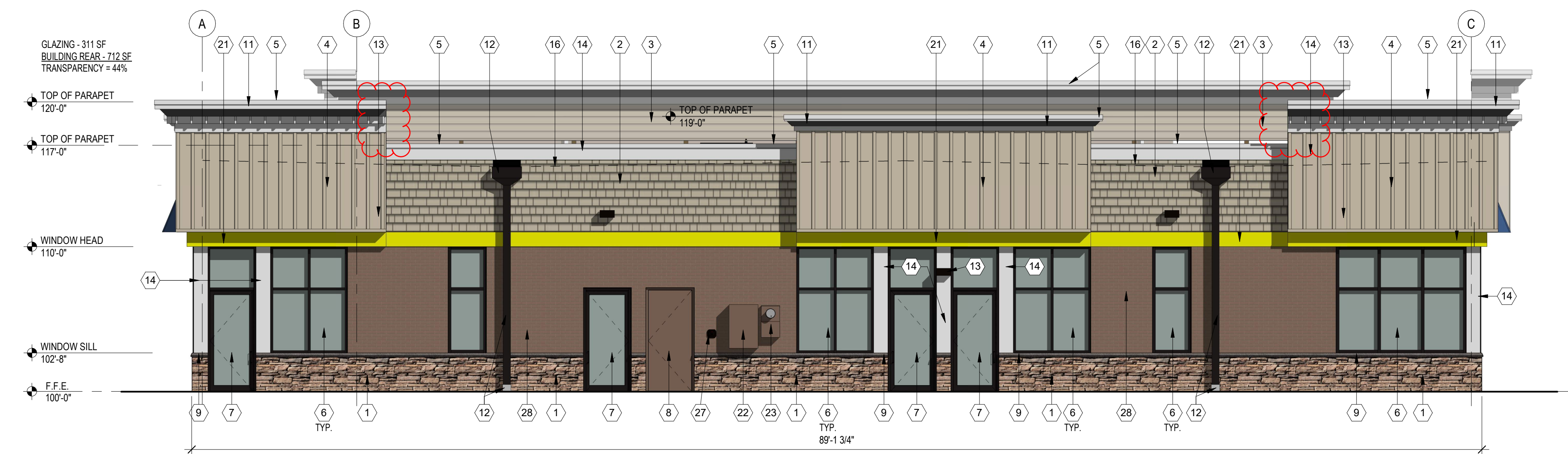
No physical sample on materials board.



Label height, length.



**1 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"  
0 2 6 12 21'-4"



**2 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"  
0 2 6 12 21'-4"

Provide table of SF of transparency required and provided and percentages for each facade. Add rows for code requirement and provided.

**ELEVATION KEY NOTES #**

1. STONE - SOUTHERN LEDGESTONE 'CHARDONNAY' BY CULTURED STONE
2. FIBER CEMENT SHAKE SIDING - HARDIESHINGLE - STRAIGHT EDGE PANEL 'COBBLESTONE' BY JAMES HARDIE
3. FIBER CEMENT HORIZONTAL SIDING - HARDIEPLANK - SMOOTH - 'COBBLESTONE' BY JAMES HARDIE
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7. ALUMINUM DOOR / TRANSOM / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINUM FRAMES
8. HOLLOW METAL DOOR AND FRAME - PAINT TO MATCH 'DARK BRONZE'
9. ARCHITECTURAL PRECAST CONCRETE SILL
10. 14'-3" x 3'-7" EXTERIOR LED 'NEW HORIZON ACADEMY' AND 'SUN' SIGNAGE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
11. EIFS CORNICE - PAINT 'WHITE'
12. PREFINISHED METAL SCUPPER AND 4"x6" DOWNSPOUT - 'DARK BRONZE'. CONNECT DOWNSPOUT TO UNDERGROUND STORM SEWER. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION.
13. LED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
14. 1x FIBER CEMENT TRIM - PAINT 'WHITE'
15. 'BLUE' FABRIC AWNING.
16. DASHED LINE DENOTES TOP OF ROOF BEYOND
17. EIFS DENTIL MOLDING - PAINT 'WHITE'
18. ARCHITECTURAL PRECAST CONCRETE COLUMN CAP
19. 8x8 WOOD COLUMN, STAINED. SEE STRUCTURAL FOR FURTHER INFORMATION
20. 4x12 WOOD BEAM, STAINED.
21. 12" FIBER CEMENT TRIM - PAINT "YELLOW"
22. WALL MOUNTED CT CABINET - PAINT TO MATCH ADJACENT FINISH
23. ELECTRICAL METER - PAINT TO MATCH ADJACENT FINISH
24. 1'-0" HIGH x 2'-0" WIDE SCUPPER OPENING
25. WOODEN TRASH ENCLOSURE GATE AND POST ASSEMBLY
26. ROOFTOP SCREENING BEYOND - SEE ROOF PLAN AND 8/A.305
27. FIRE DEPARTMENT LOCK BOX. MODEL R3-RECESSED BY THE DAMA COMPANY. VERIFY LOCATION WITH LOCAL FIRE OFFICIAL
28. THIN BRICK VENEER - ACME BRICK - 'ROXBURY' VELOUR TO MATCH 'NEWPORT' BY OCHS BRICK COMPANY

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**SEH Project** NHOAC 156217  
**Checked By** SB  
**Drawn By** DRS

**Project Status** Issue Date

Rev. #	Description	Date
1	City Comments	01/15/2021

PRELIMINARY EXTERIOR ELEVATIONS



1 WEST ELEVATION  
3/16" = 1'-0"



2 NORTH ELEVATION  
3/16" = 1'-0"



3 EAST ELEVATION  
3/16" = 1'-0"



4 SOUTH ELEVATION  
3/16" = 1'-0"

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Drawn By: DRS

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Rev. #	Description	Date

PRELIMINARY ELEVATIONS



1 NORTHWEST PERSPECTIVE



2 NORTHEAST PERSPECTIVE

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NEW HORIZON ACADEMY  
**CHAMBERS AND HESS  
CHILD CARE CENTER**  
PARKER, CO

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SEH Project: NHOAC 156217  
Checked By: SB  
Drawn By: DRS

Project Status: Issue Date: \_\_\_\_\_

Revision Issue		
Rev. #	Description	Date

PERSPECTIVE



1 SOUTHWEST PERSPECTIVE



2 SOUTHEAST PERSPECTIVE

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Revision Issue		
Rev. #	Description	Date



Building a Better World for All of Us

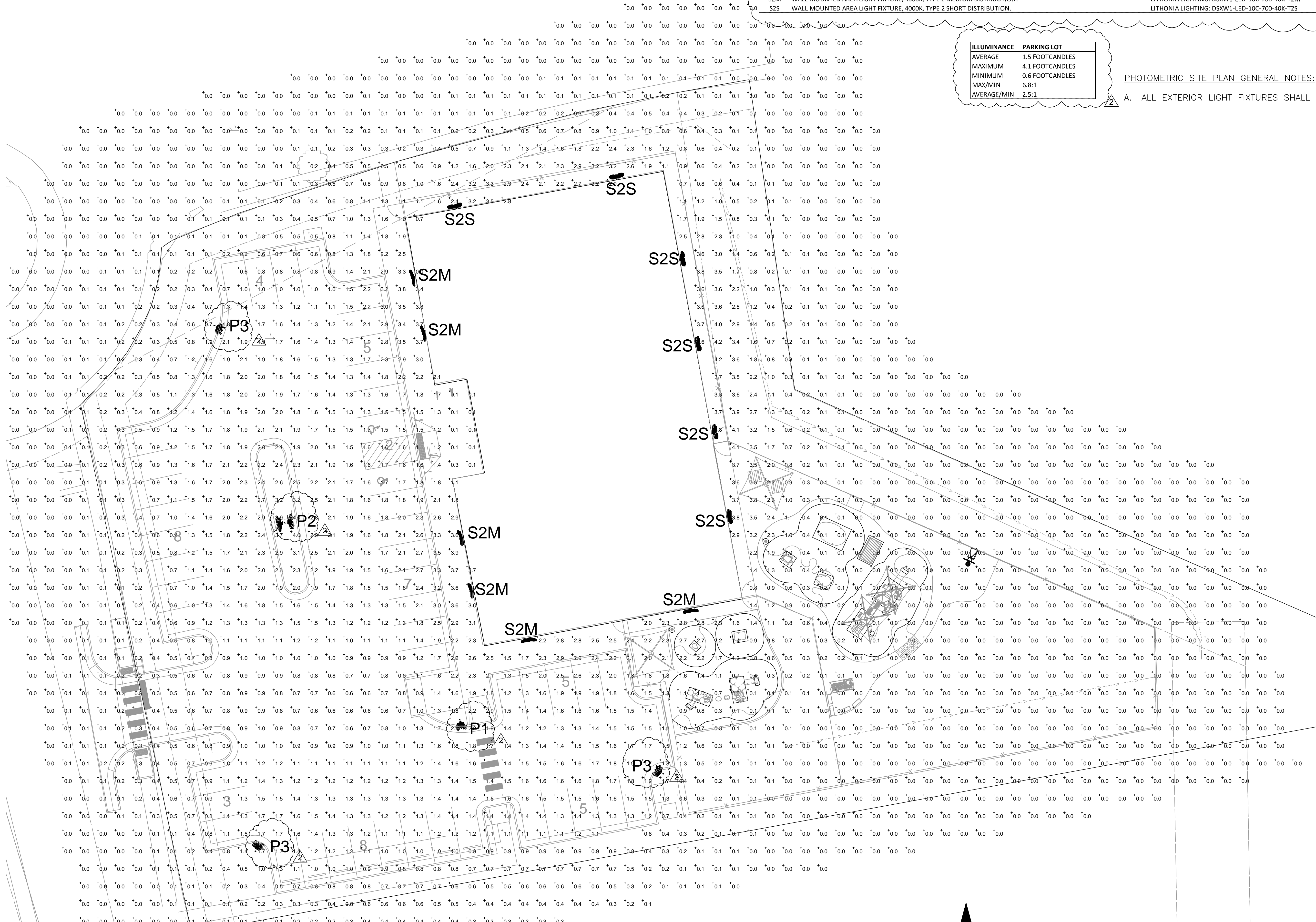
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TYPE	DESCRIPTION	CATALOG #	MOUNTING
P1	POLE MOUNTED AREA LED LIGHT FIXTURE, 4000K, TYPE TFM FORWARD THROW DISTRIBUTION W/HOUSE SIDE SHIELDS POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	LITHONIA LIGHTING: DSX1-LED-P1-40K-TFTM-MVOLT-RPA-HS POLE: LITHONIA LIGHTING RSS, DDBXD	POLE: 22 FEET
P2	TWIN POLE MOUNTED AREA LED LIGHT FIXTURES, 4000K, TYPE 3 MEDIUM DISTRIBUTION POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	LITHONIA LIGHTING: DSX1-LED-P2-40K-T3M-MVOLT-RPA POLE: LITHONIA LIGHTING RSS, DDBXD	POLE: 22 FEET
P3	POLE MOUNTED AREA LED LIGHT FIXTURE, 4000K, TYPE 4 MEDIUM DISTRIBUTION W/HOUSE SIDE SHIELDS POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	LITHONIA LIGHTING: DSX1-LED-P1-40K-T4M-MVOLT-RPA-HS POLE: LITHONIA LIGHTING RSS, DDBXD	POLE: 22 FEET
S2M	WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 MEDIUM DISTRIBUTION.	LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2M	WALL: 12 FEET
S2S	WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 SHORT DISTRIBUTION.	LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2S	WALL: 12 FEET

ILLUMINANCE	PARKING LOT
AVERAGE	1.5 FOOTCANDLES
MAXIMUM	4.1 FOOTCANDLES
MINIMUM	0.6 FOOTCANDLES
MAX/MIN	6.8:1
AVERAGE/MIN	2.5:1

PHOTOMETRIC SITE PLAN GENERAL NOTES:

A. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF.



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SEH Project: NHOAC 15R217  
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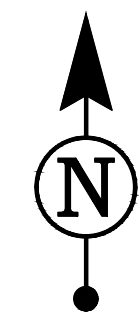
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Project Status	Issue Date

Revision Issue	
Rev. #	Description Date

1 PHOTOMETRIC SITE PLAN  
Scale: 1/16" = 1'-0"





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SEH Project: NHOAC 152217  
Checked By: KW  
Drawn By: VT

Project Status: Issue Date:

Revision	Issue
Rev. # 1	City Comments 01/15/2021
2	City Comments 04/09/2021

NHA Provided Planting Schedule						
SYM	QTY	Botanical Name	Common Name	Size	Mature Size (H x W)	Water Usage / Notes
<b>26</b> Trees						
Deciduous						
GD	3	Gymnocladus dioicus	Kentucky Coffee Tree	2.5" Cal B&B	60' x 50'	Xeric
CC	6	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	2" Cal B&B	20' x 20'	Xeric
MP	11	Malus 'Prairifire'	Prairifire Crabapple	2" Cal B&B	20' x 20'	Low
Coniferous						
PN	6	Pinus nigra	Austrian Pine	6' HT	50' x 25'	Xeric
<b>145</b> Shrubs						
Deciduous						
PA	10	Pervoskia artiplicifolia	Russian Sage	5 Gal	4' x 4'	Xeric
SJ	62	Spiraea japonica 'Little Princess'	Little Princess Spirea	5 Gal	2' x 3'	Low
SP	17	Syringa Patula 'Miss Kim'	Miss Kim Lilac	5 Gal	7' x 6'	Low
EF	16	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Euonymus	5 Gal	4' x 4'	Low
Coniferous						
JS	39	Juniperus sabina 'Broadmoor'	Broadmoor Juniper	5 Gal	1' x 5'	Xeric
JC	1	Juniperus chinensis 'Spartan'	Spartan Juniper	5Gal	15' x 5'	Xeric
<b>500</b> Ornamental Grasses						
CA	94	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 Gal	5' x 2'	Low
FG	406	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	1 Gal	10" x 10"	Xeric

Developer's Planting Schedule		
QTY	Botanical Name	Common Name
<b>15</b> Trees		
Deciduous		
4	Catalpa Speciosa	Catalpa
Ornamental		
2	Koeleruteria panuculata	Goldernrain Tree
Coniferous		
3	Picea pungens 'Bakeri'	Bakeri Spruce
6	Pinus nigra	Austrian Pine
<b>73</b> Shrubs		
Deciduous		
6	Amelanchier alnifolia	Saskatoon Serviceberry
5	Cornus sericea 'Kelseyi'	Kelsey Dogwood
15	Pervoskia atriplicifolia	Russian Sage
9	Prunus besseyii 'Pawnee Buttes'	Sandcherry Pawnee Buttes
3	Rhus trilobata	Threeleaf Sumac
3	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac
Coniferous		
5	Cytisus x 'Minstead'	Minstead Broom
7	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Euonymus
3	Juniperus sabina 'Arcadia'	Arcadia Juniper
17	Pinus mugo 'Mops'	Mops Mugo Pine
<b>75</b> Ornamental Grasses		
75	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass

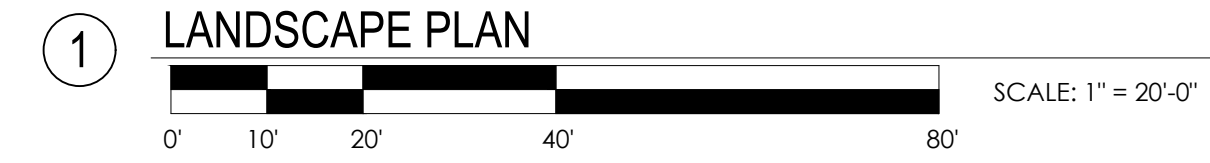
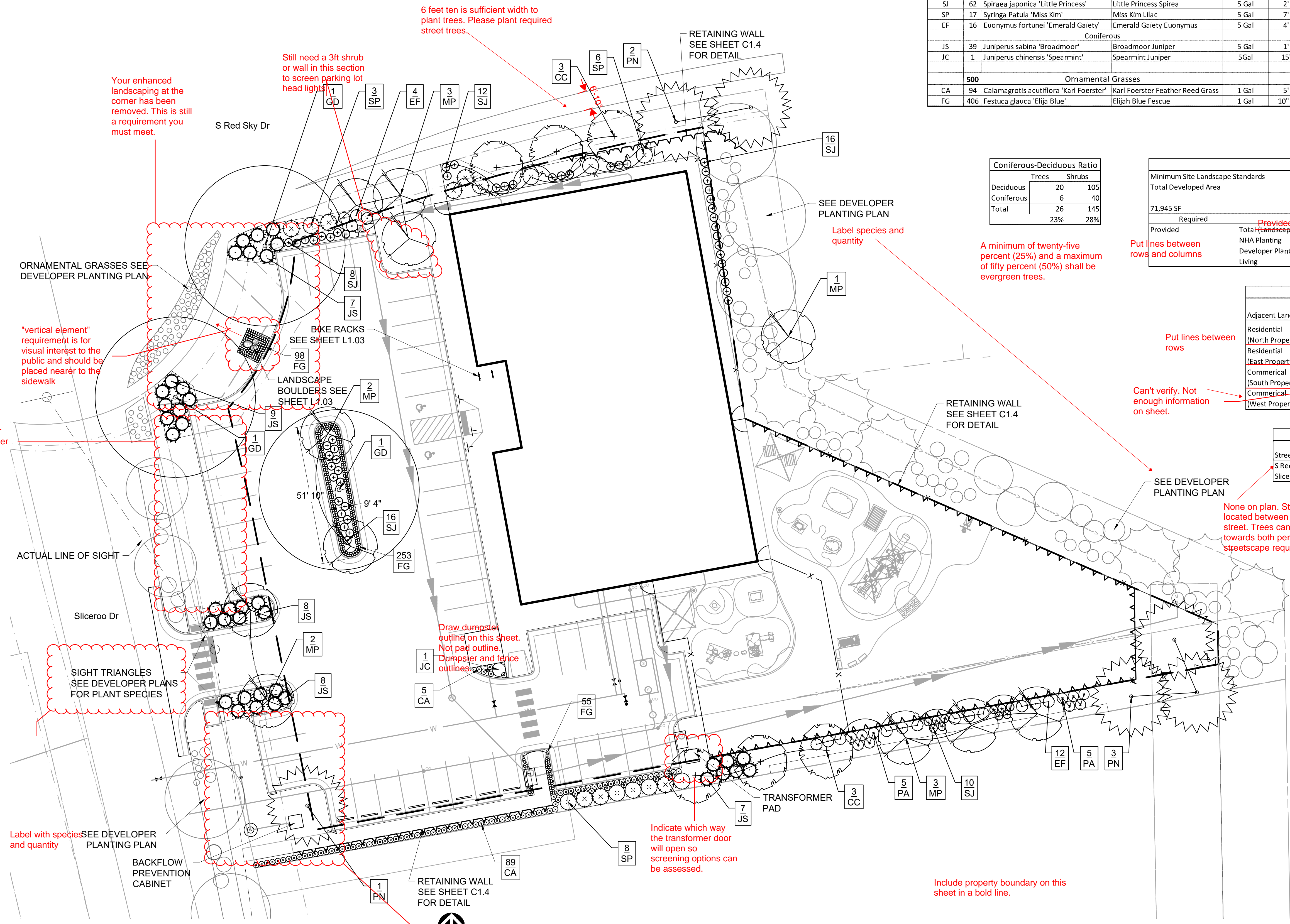
Coniferous-Deciduous Ratio		
	Trees	Shrubs
Deciduous	20	105
Coniferous	6	40
Total	26	145
	23%	28%

Landscape Requirements				
Minimum Site Landscape Standards	Site Landscape Requirements	Site Trees	Site Shrubs	Grasses
Total Developed Area	26,635 SF (37%)	1 Tree/ 1,500 SF (1/4 Evergreen)	5 Shrubs/ 1,500 SF	3 Grasses/ 1 Shrub
71,945 SF	18,744 Trees	90 Shrubs	N/A	
Required	Provided	Landscaped area 15%		
	41	26	15	218
NHA Planting	26	15	73	575
Developer Planting	17,982 SF (68%)		N/A	75
Living				

Site Perimeter Requirements					
Adjacent Land Use	Perimeter Length	Required	Total Provided	NHA Provided / Developer Provided	
Residential (North Property Line)	202 LF	1 Tree and 5 Shrubs for each 25 LF of edge	8 Trees/ 40 Shrubs	8 Trees/ 40 Shrubs	8 Trees/ 40 Shrubs / N/A
Residential (East Property Line)	339 LF	1 Tree and 5 Shrubs for each 25 LF of edge	14 Trees/ 70 Shrubs	14 Trees/ 72 Shrubs	2 Trees/ 12 Trees/ 16 Shrubs/ 56 Shrubs
Commercial (South Property Line)	392 LF	1 Tree and 5 Shrubs for each 40 LF of edge	10 Trees/ 50 Shrubs	10 Trees/ 47 Shrubs	10 Trees/ 47 Shrubs / N/A
Commercial (West Property Line)	185 LF	1 Tree and 5 Shrubs for each 40 LF of edge	5 Trees/ 25 Shrubs	7 Trees/ 42 Shrubs	4 Trees/ 3 Trees/ 25 Shrubs 17 Shrubs

Street Tree Requirements					
Street	Street Frontage Length	Required Trees (1 Tree/ 40 Lineal Feet)	Provided NHA	Provided Developer	Total Trees Provided
S Red Sky Dr	202 LF	5	0	0	0
Sliceroo Dr	185 LF	5	0	3	3

Parking Lot Interior Requirements			
Parking Island Area	Provided Trees	Provided Shrubs	Provided Grasses
418 SF	(3 Req.) 3 Provided	(15 Req.) 16 Provided	(0 Req.) 253 Provided



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**SEH Project** NHOAC 156217  
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**Drawn By** VT

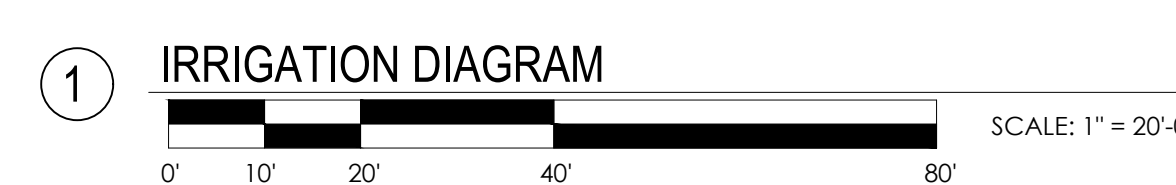
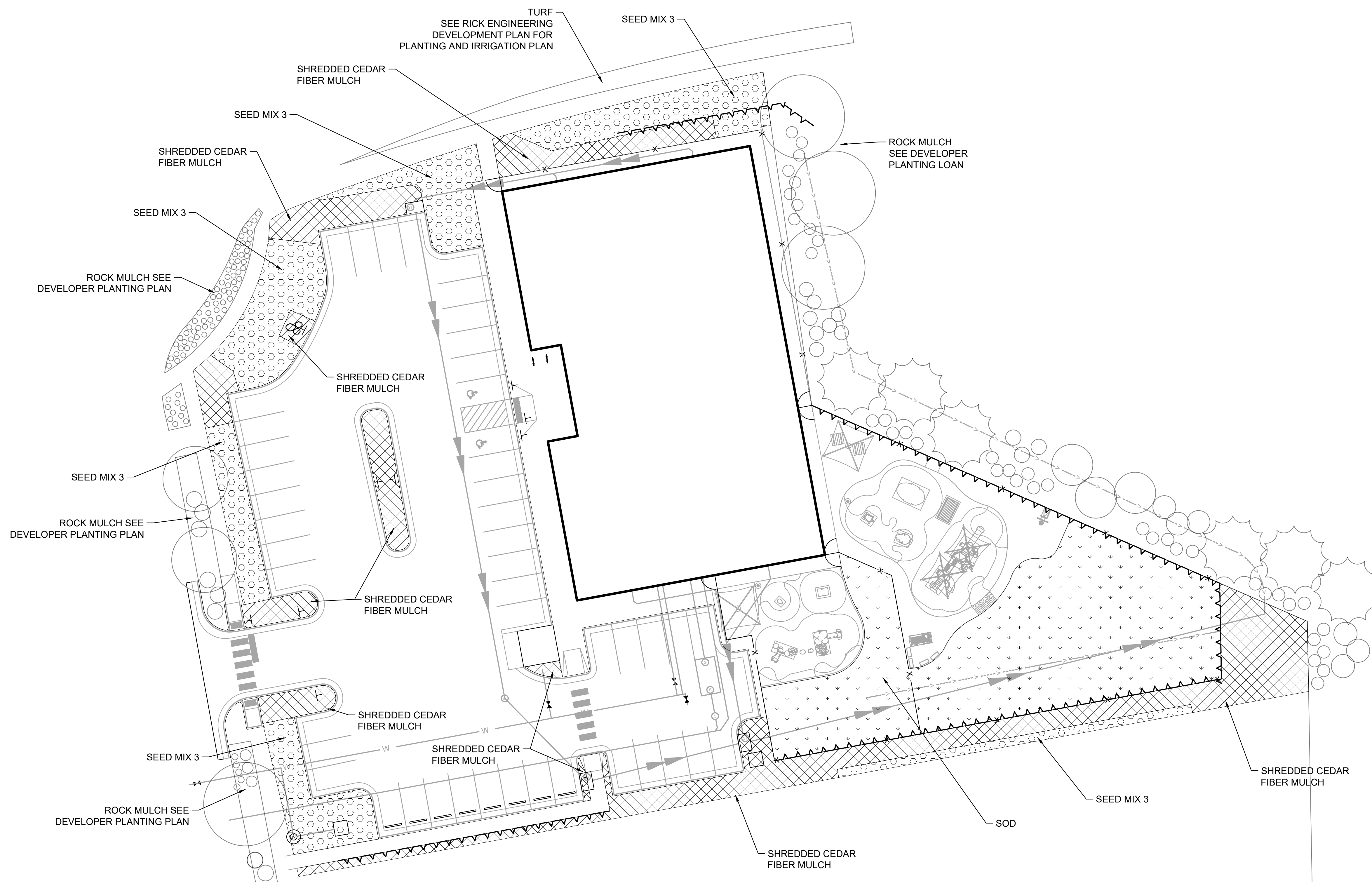
**Project Status** Issue Date

**Revision Issue**

Rev. #	Description	Date
1	City Comments	01/15/2021
2	City Comments	04/9/2021

GROUNDCOVER DIAGRAM

**L1.02**



- SOD
- SEED MIX 3
- MULCH

FINAL IRRIGATION PLAN AND SPECIFICATIONS TO BE SUPPLIED BY IRRIGATION CONTRACTOR.

Groundcover Requirements	
Total Landscape Area	26,635 SF
Sod (Playground Area)	7,068 SF (27%)
Town of Parker, Seed Mix 3*	5,038 SF (19%)
Natural Cedar Fiber Mulch-minimum of 4" in depth over base of geotextile fabric.	5,881 SF (22%)
Developer installed Landscape rock	8,648 SF (32%)

* Town of Parker, Seed Mix 3 (Low-Growth Mix)	
25%	Ephraim Crested Wheatgrass
23%	Sheep Fescue
18%	Perennial Ryegrass
13%	Canada Bluegrass
12%	Barley or Oats
9%	Blue Fescue

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1	City Comments	01/15/2021
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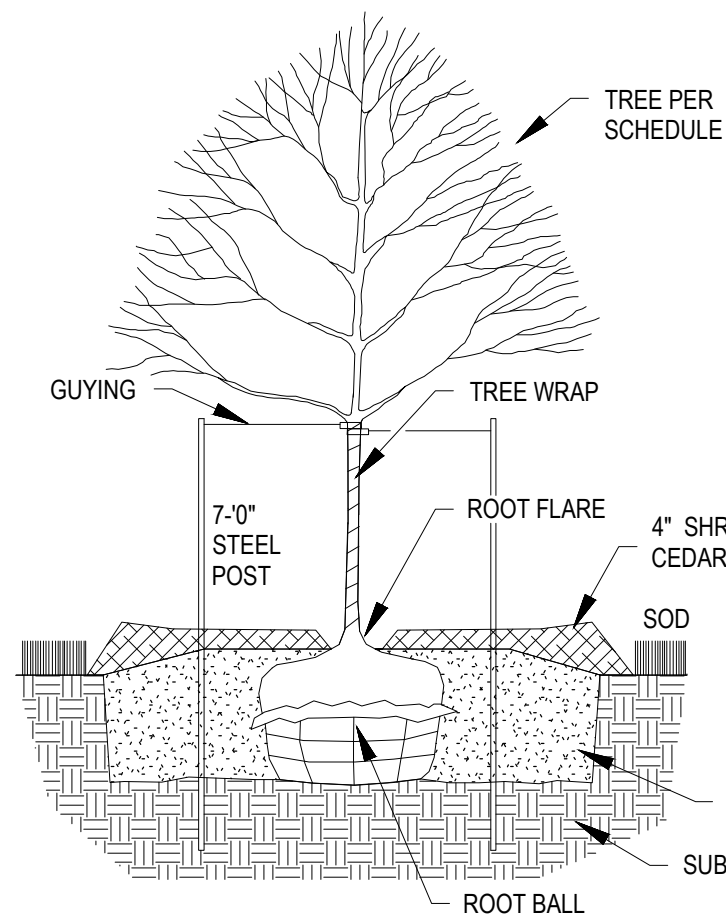
LANDSCAPE DETAILS

**L1.03**

**LANDSCAPE SPECIFICATIONS**

**TREES, SHRUBS, AND PERENNIALS**

- REFERENCES
  - CDOT - COLORADO DEPARTMENT OF TRANSPORTATION, 2017 EDITION.
  - AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014.
- QUALITY ASSURANCE
  - WORK SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR WITH EXTENSIVE HORTICULTURE KNOWLEDGE, AND A MIN. OF 3 YEARS EXPERIENCE.
- HANDLE PLANTS IN SUCH A WAY AS TO PROTECT FROM DAMAGE EITHER PHYSICAL OR BY EXPOSURE TO SUN AND WIND. MISHANDLED PLANTS ARE SUBJECT TO REJECTION BY LANDSCAPE ARCHITECT.
- PLANTS USED ON THIS PROJECT SHALL MEET THE GRADING STANDARDS RECOMMENDED BY THE ANSI Z60.1-2014.
- PRODUCTS
  - PLANTS: TO BE PROVIDED AS SPECIFIED ON PLANT SCHEDULE.
  - EDGING: RYERSON STEEL EDGING 3/8" X 5" W/ 18" STAKES, OR EQUAL.
  - MULCH: SHREDDED CEDAR FIBER MULCH, APPLIED A MINIMUM OF FOUR INCHES IN DEPTH, INSTALLED OVER A BASE OF GEOTEXTILE FABRIC.
  - WATER: CONTRACTOR TO PROVIDE.
  - PLANTING SOIL MIX: RICH SANDY LOAM, FREE OF DEBRIS AND SEEDS, AND CONFORMING TO CDOT 207 (TOPSOIL).
  - SOIL AMENDMENTS: CONFORMING TO CDOT 212 (SEEDING, FERTILIZER, SOIL CONDITIONS AND SODDING).
  - TREE WRAP: TWO-PLY WEATHER RESISTANT PAPER PRODUCT.
- PLANTING DATES: SPRING PLANTING: APR. 1- JUNE 15. THESE DATES MAY BE EXTENDED IF DAYTIME TEMPS. REMAIN BELOW 80 DEGREES. FALL: SEPT. 30 - OCT. 30TH. DAYTIME TEMPS. NEED TO DROP BELOW 80 DEGREES BEFORE PLANTING BEGINS, AND MAY CONTINUE UNTIL FREEZE UP. CONIFEROUS TREES AUG. 15- OCT. 1ST. PLANT UNDER FAVORABLE WEATHER CONDITIONS, DO NO PLANT DURING DAYS OF EXTREME HEAT.
- EXECUTION
  - PLANT INTO PREPARED PLANTING BEDS.
  - PRIOR TO DIGGING, CONTRACTOR TO HAVE UTILITIES LOCATED AND MARKED.
  - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT 3 DAYS IN ADVANCE OF WHEN PLANTING WORK WILL OCCUR.
  - INSTALL TREES, SHRUBS, AND PERENNIALS PER PLANTING DETAILS. ADJUST LOCATION IF IN CONFLICT WITH UTILITIES. VERIFY NEW LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO PLANTING.
  - SEPARATE ALL SHRUB BEDS FROM SOD AREAS WITH METAL EDGER.
  - CLEAN-UP ENTIRE SITE FOLLOWING PLANTING OPERATIONS.
- ACCEPTANCE OF PLANTING WORK
  - CONTRACTOR TO NOTIFY OWNER WHEN PLANTING WORK IS COMPLETE FOR REVIEW AND PUNCH LIST.
  - CONTRACTOR TO WATER AND MAINTAIN THE TREES, SHRUBS, AND PERENNIALS UNTIL OWNER ACCEPTANCE.
  - OWNER WILL GIVE ACCEPTANCE OF WORK, FOLLOWING SATISFACTORY CORRECTION OF PUNCH LIST ITEMS.
  - WATERING AND REGULAR LANDSCAPE MAINTENANCE OF TREES, SHRUBS, AND PERENNIALS WILL BE OWNERS RESPONSIBILITY FOLLOWING OWNER ACCEPTANCE OF WORK.
- GUARANTEE PERIOD
  - CONTRACTOR TO WARRANTY TREES, SHRUBS, AND PERENNIALS FOR TWO YEARS FOLLOWING ACCEPTANCE OF WORK BY OWNER.
  - CONTRACTOR TO MAINTAIN THE TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. CONTRACTOR TO REMOVE ALL STAKING/ WIRING/ STRAPS FROM FREES AT THE END OF THE GUARANTEE PERIOD.
  - REPLACEMENTS: AT THE END OF THE GUARANTEE PERIOD, ALL PLANTS WHICH ARE UNHEALTHY, DEAD, NOT HAVING A NORMAL DENSITY, SIZE, SHAPE OR COLOR SHALL BE REPLACED. REPLACEMENTS SHALL MATCH CALIPER AND/OR HEIGHT OF THE OTHER PLANTS AT TIME OF REPLACEMENT. SELECTION OF REPLACEMENT MATERIAL AND INSTALLATION PRACTICES SHALL FOLLOW THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.
  - IRRIGATION
    - CONFORM TO THE REQUIREMENTS OF CDOT 107.14 (INTERRUPTION OF IRRIGATION WATER FLOW), CDOT 623 (IRRIGATION SYSTEM) AND ALL OTHER APPLICABLE CDOT IRRIGATION MATERIALS AND CONSTRUCTION REQUIREMENTS.

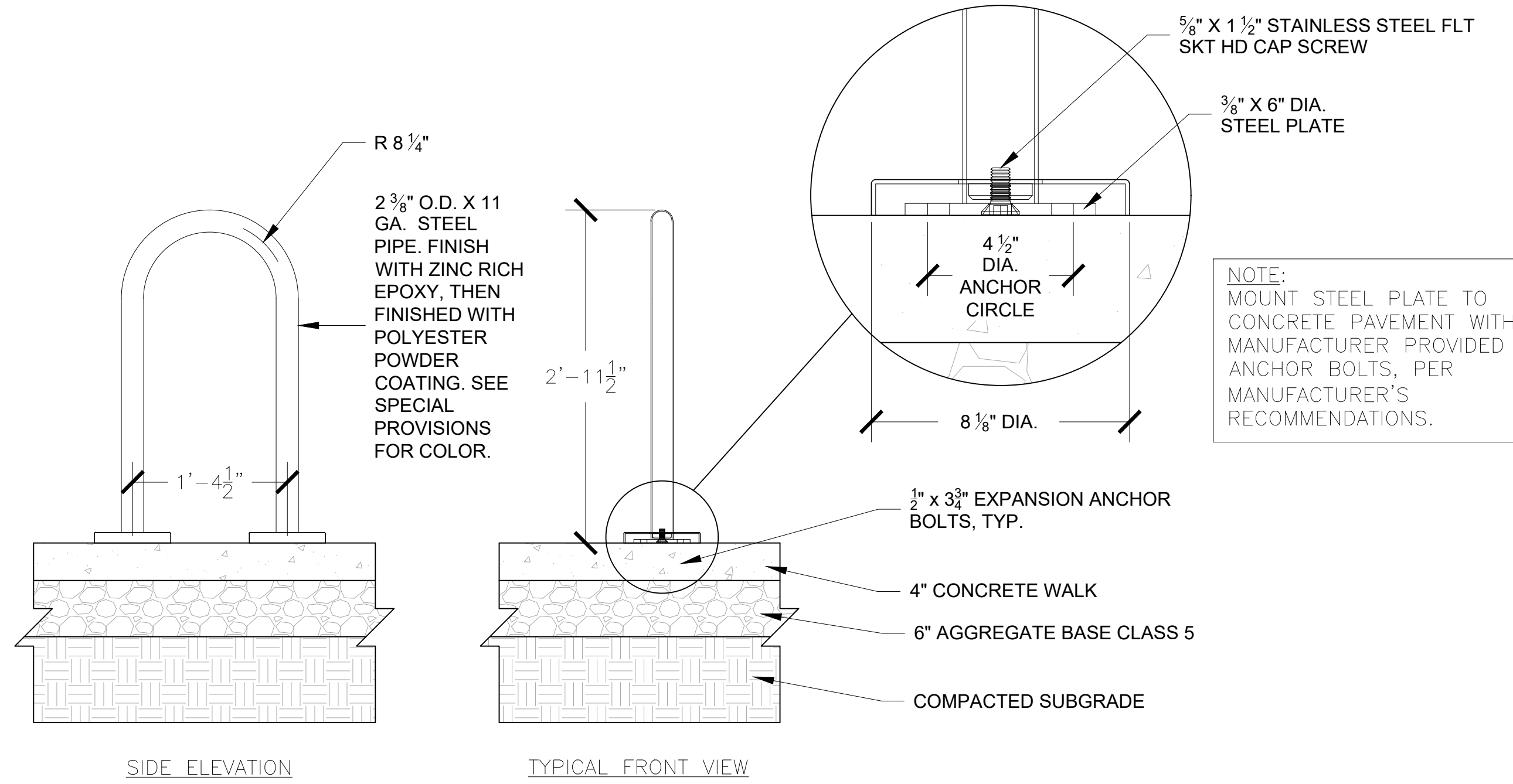


**NOTES:**

- REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE. DO NOT CUT THE LEADER.
- WIDTH OF PLANTING HOLES: 18" MIN. LARGER THAN ROOT BALL, ON ALL SIDES.
- DEPTH OF HOLE: ROOT FLARE TO SIT AT OR UP TO 2" ABOVE THE TOP OF THE FINISHED SOIL ELEVATION. LEAVE SOIL UNDISTURBED BENEATH THE ROOT BALL.
- SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
- SET PLANT ON UNDISTURBED SOIL OR THOROUGHLY COMPACTED PLANTING SOIL.
- REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. COMPLETELY REMOVE ALL BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
- SLIT REMAINING BURLAP AT 6" INTERVALS.
- PLUMB & BACKFILL WITH PLANTING SOIL. THOROUGHLY WATER IN TREE WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
- BACKFILL VOIDS AND WATER A SECOND TIME.
- PLACE 4" MULCH WITHIN 48 HOURS OF THE SECOND WATERING. NO MULCH TO BE IN CONTACT W/ TRUNK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. STAKE TREES IF SITE CONDITIONS, SUCH AS SOIL AND WIND, PREVENT THE TREES FROM STAYING PLUMB. USE 16" LONG, 1.5" WIDE STRAPS, SEE SPECS. ATTACH TO POST WITH WIRE SEE SPECS. INSTALL POST 3" INTO GROUND. REMOVE WITHIN ONE YEAR.
- WRAP TRUNK IN FALL REMOVE IN SPRING.
- REFER TO SPECS. FOR PRODUCTS AND OTHER INFORMATION.

**1 TREE PLANTING DETAIL**

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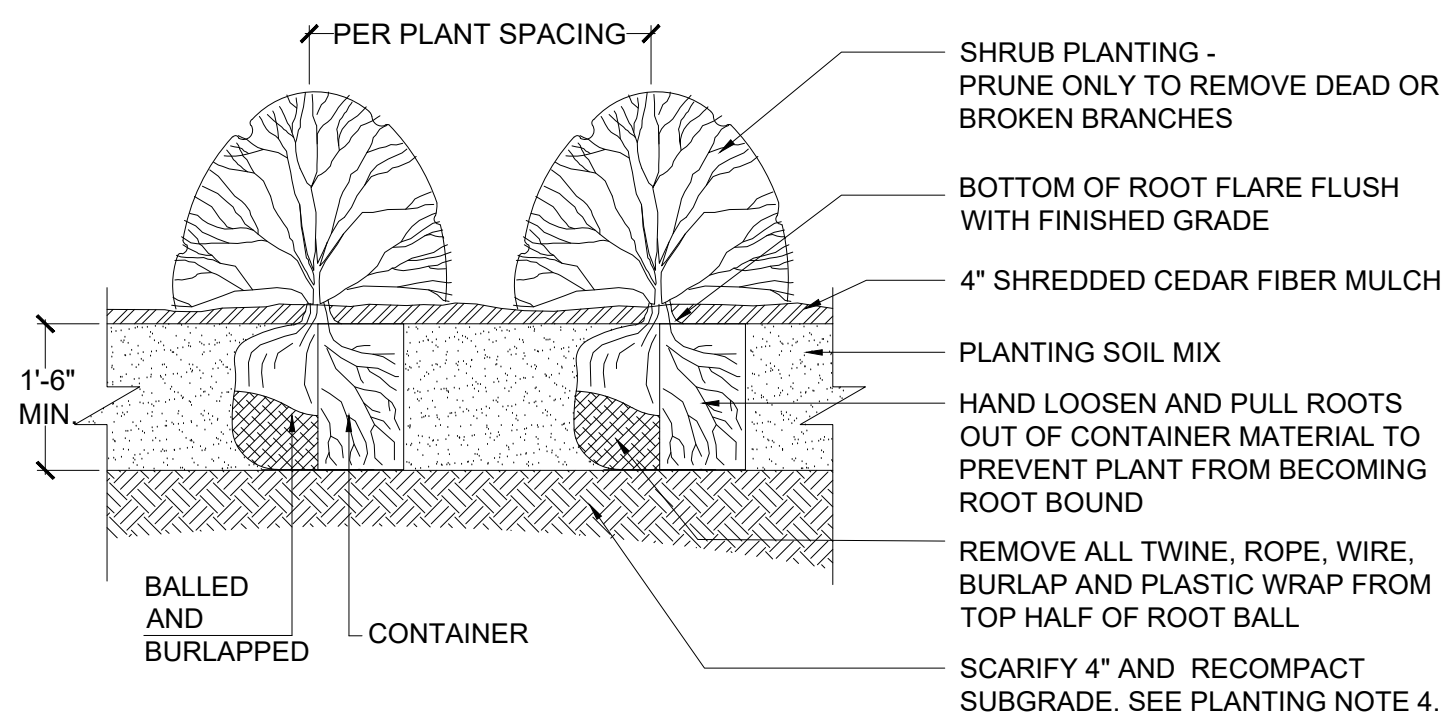


**4 BIKE RACK DETAIL**

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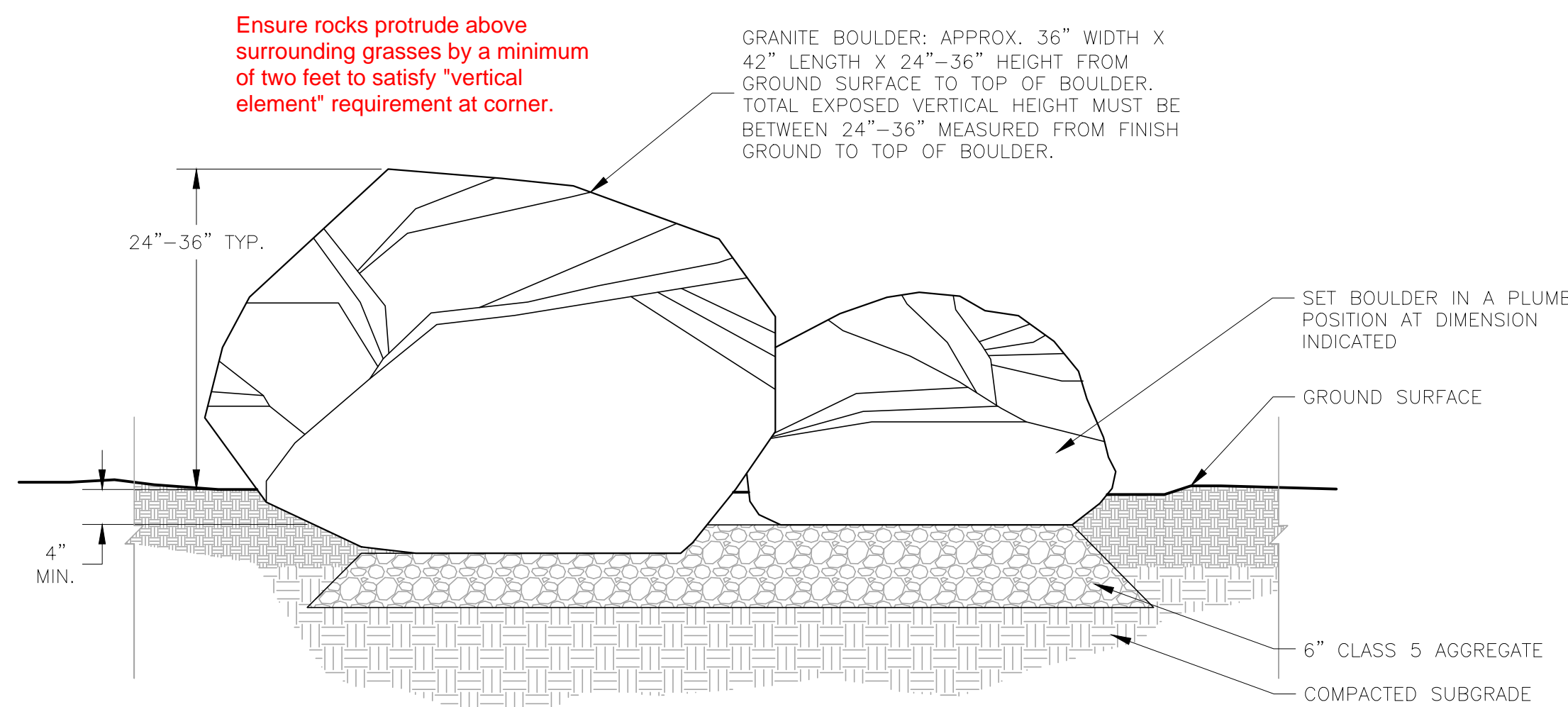
LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE CONTRACTOR. THIS SHALL INCLUDE PROPER PRUNING, MOVING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MAXIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE CONTRACTOR, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE.

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
TREE- DECIDUOUS	INCREASE CALIPER BY 1"	INCREASE CALIPER BY 1.5"
TREE- CONIFEROUS	INCREASE HEIGHT BY 1.5'	INCREASE HEIGHT BY 2'
SHRUB	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE



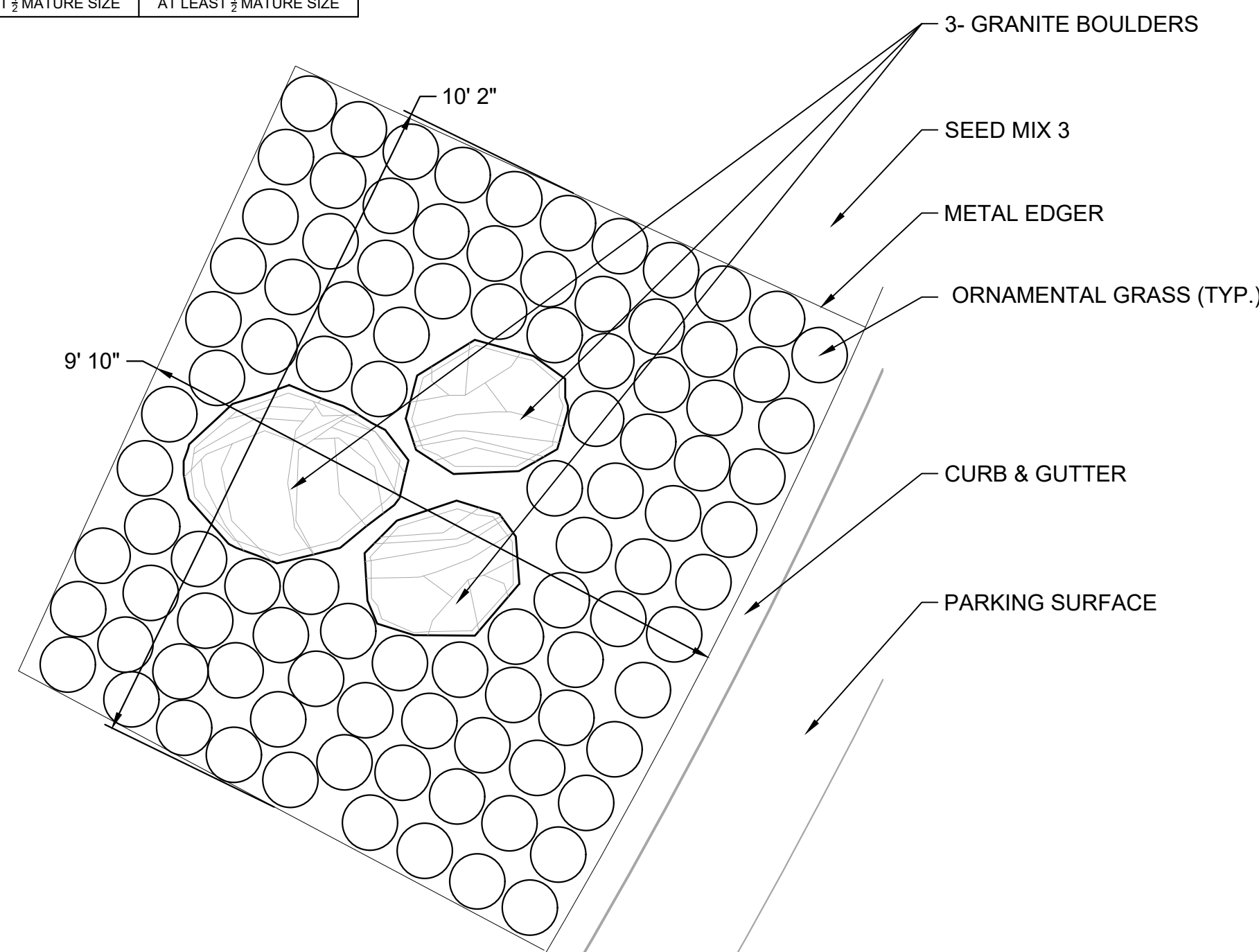
**2 SHRUB PLANTING DETAIL**

NOT TO SCALE



**3 BOULDER SECTION \"VERTICAL HEIGHT ELEMENT\"**

NOT TO SCALE



**5 BOULDER PLAN VIEW \"VERTICAL HEIGHT ELEMENT\"**

NOT TO SCALE