



Building a Better World for All of Us®

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Owner: New Horizon Academy... Architect: Short Elliott Hendrickson, Inc... Landscape Architect: Short Elliott Hendrickson, Inc... Civil Engineer: Short Elliott Hendrickson, Inc... Structural Engineer: Short Elliott Hendrickson, Inc... Mechanical Engineer: Short Elliott Hendrickson, Inc... Electrical Engineer: Short Elliott Hendrickson, Inc.

NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6 PARKER, CO

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SEH Project: NHOAC 156217 Checked By: DRH Drawn By: AMP

Project Status: TOWN REVIEW Issue Date: 8/26/2020 TOWN REVIEW 1/22/2021 TOWN REVIEW 3/22/2021 TOWN REVIEW 6/4/2021

Revision Issue: Rev. # Description Date 1 TOWN COMMENTS 1/22/21 2 TOWN COMMENTS 3/22/21 3 TOWN COMMENTS 6/4/21

COVER SHEET

C0.0

DOUGLAS 234, FILING NO. 6

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO 1.651 ACRES

SITE PLANS FOR NEW HORIZON ACADEMY

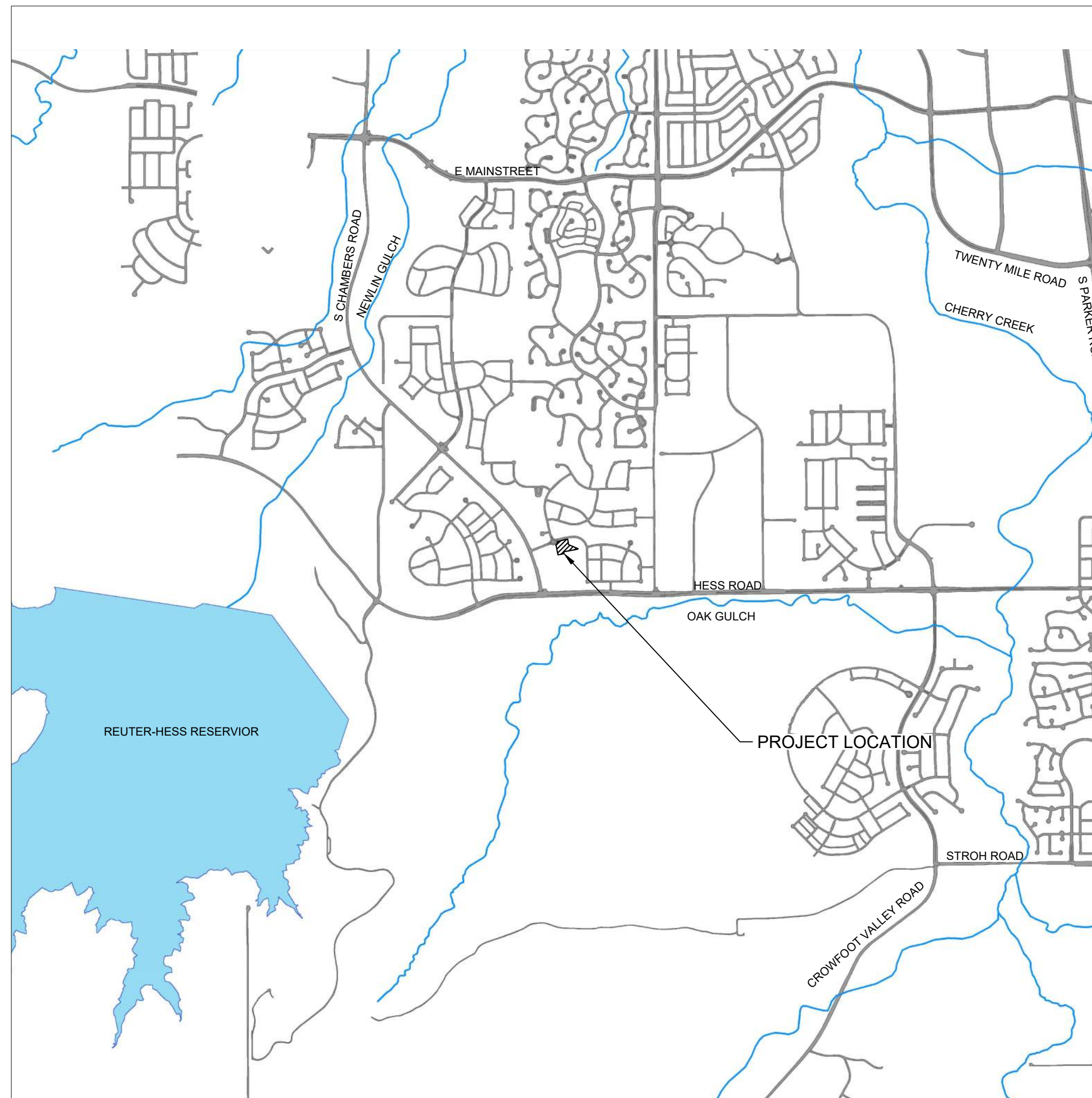


Table with 2 columns: SHEET NUMBER and SHEET TITLE. Lists sheets C0.0 through L1.03 including cover sheet, existing conditions, site layout, elevations, grading, signage, and landscape plans.

- EXISTING: RIGHT OF WAY, PERMANENT EASEMENT, PROPERTY LINE, HORIZONTAL CONTROL POINT, BENCHMARK, SURVEY MARKER, SOIL BORING, SANITARY SEWER AND MANHOLE, FORCE MAIN AND LIFT STATION, SANITARY SEWER SERVICE & CLEANOUT, WATER MAIN, HYDRANT, VALVE AND MANHOLE, WATER SERVICE AND CURB STOP BOX, STORM SEWER, MANHOLE AND CATCH BASIN, CULVERT AND APRON ENDWALL, GAS MAIN, VALVE, VENT AND METER, HANDHOLE, BURIED FIBER OPTIC CABLE AND MANHOLE, BURIED PHONE CABLE, PEDESTAL AND MANHOLE, BURIED TV CABLE, PEDESTAL AND MANHOLE, BURIED ELECTRIC CABLE, PEDESTAL, MANHOLE, TRANSFORMER AND METER, OVERHEAD WIRE, POLE AND GUY WIRE, LIGHT POLE, TRAFFIC SIGNAL, STREET NAME SIGN, SIGN (NON STREET NAME), RAILROAD TRACKS, DECIDUOUS AND CONIFEROUS TREE, BUSH / SHRUB AND STUMP, EDGE OF WOODED AREA, WETLAND, BUILDING, FENCE (UNIDENTIFIED), BARBED WIRE FENCE, CHAIN LINK FENCE, ELECTRIC WIRE FENCE, WOOD FENCE, WOVEN WIRE FENCE, PLATE BEAM GUARDRAIL, CABLE GUARDRAIL, POST / BOLLARD, RETAINING WALL.
- PROPOSED: STREET CENTERLINE, RIGHT-OF-WAY, PERMANENT EASEMENT, TEMPORARY EASEMENT, CONSTRUCTION LIMITS, SANITARY SEWER, BULKHEAD AND MANHOLE, FORCE MAIN, SANITARY SERVICE AND CLEANOUT, WATER MAIN, TEE, HYDRANT, BULKHEAD AND VALVE, WATER VALVE MANHOLE, REDUCER, BEND AND CROSS, WATER SERVICE AND CURB STOP BOX, STORM SEWER, MANHOLE AND CATCH BASIN, CULVERT AND APRON ENDWALL, DRAIN TILE, DITCH / SWALE, RIPRAP, STREET NAME SIGN, SIGN (NON STREET NAME), RETAINING WALL.

BASIS OF BEARINGS:

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH P.M. BEARING SOUTH 89°15'13" WEST AS SHOWN ON FINAL PLAT DOUGLAS 234 FILING NO. 1.

BENCHMARK

BENCHMARK IS BY GPS OBSERVATION NAVD 88. SET SITE BENCHMARK AT NORTHWEST CORNER OF INLET ON CHAMBERS RD. APPROXIMATELY 200'+/- NORTH OF HESS RD.

LEGAL DESCRIPTION:

THIS IS AN AS-SURVEYED PERIMETER DESCRIPTION AROUND THE SUBJECT PROPERTY AND IS NOT INTENDED TO REPLACE THE RECORD LEGAL DESCRIPTION.

LOT 11, DOUGLAS 234, FILING 6, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO.

CONTACT LIST

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PARKER WATER AND SANITATION DISTRICT 18100 E. WOODMAN DR. PARKER, CO 80134 303-841-4627

FIRE & LIFE SAFETY RANDALL CAPRA 20120 E. MAINSTREET CENTENNIAL, CO 80138 303-205-3169

UTILITY NOTIFICATION COMPANY OF COLORADO 2801 S. YOUNGFIELD ST. SUITE 301 GOLDEN, CO 80401 LOCAL CALLS 800-922-1987 (811)

XCEL ENERGY MICHELLE O'NAN 5909 E. 38TH AVE. DENVER, CO 80207 303-329-1618

COMCAST KEVIN YOUNG 6859 S. TUCSON WAY ENGLEWOOD, CO 80112 720-490-3867

CENTURY LINK WILLIAM BENSON 9750 E. COSTILLA AVE. ENGLEWOOD, CO 80220 303-792-6069

COLORADO DEPARTMENT OF HEALTH 4210 E. 11TH AVE. DENVER, CO 303-320-8333

INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION JASON JENKS 5496 NORTH US HWY 85 P.O. BOX DRAWER A SEDALIA, CO 80135 303-688-3100

MILE HIGH FLOOD DISTRICT (MHFD) MIKE SARMENTO 2480 W 26TH AVE. SUITE 156-B DENVER, CO 80211 303-455-6277



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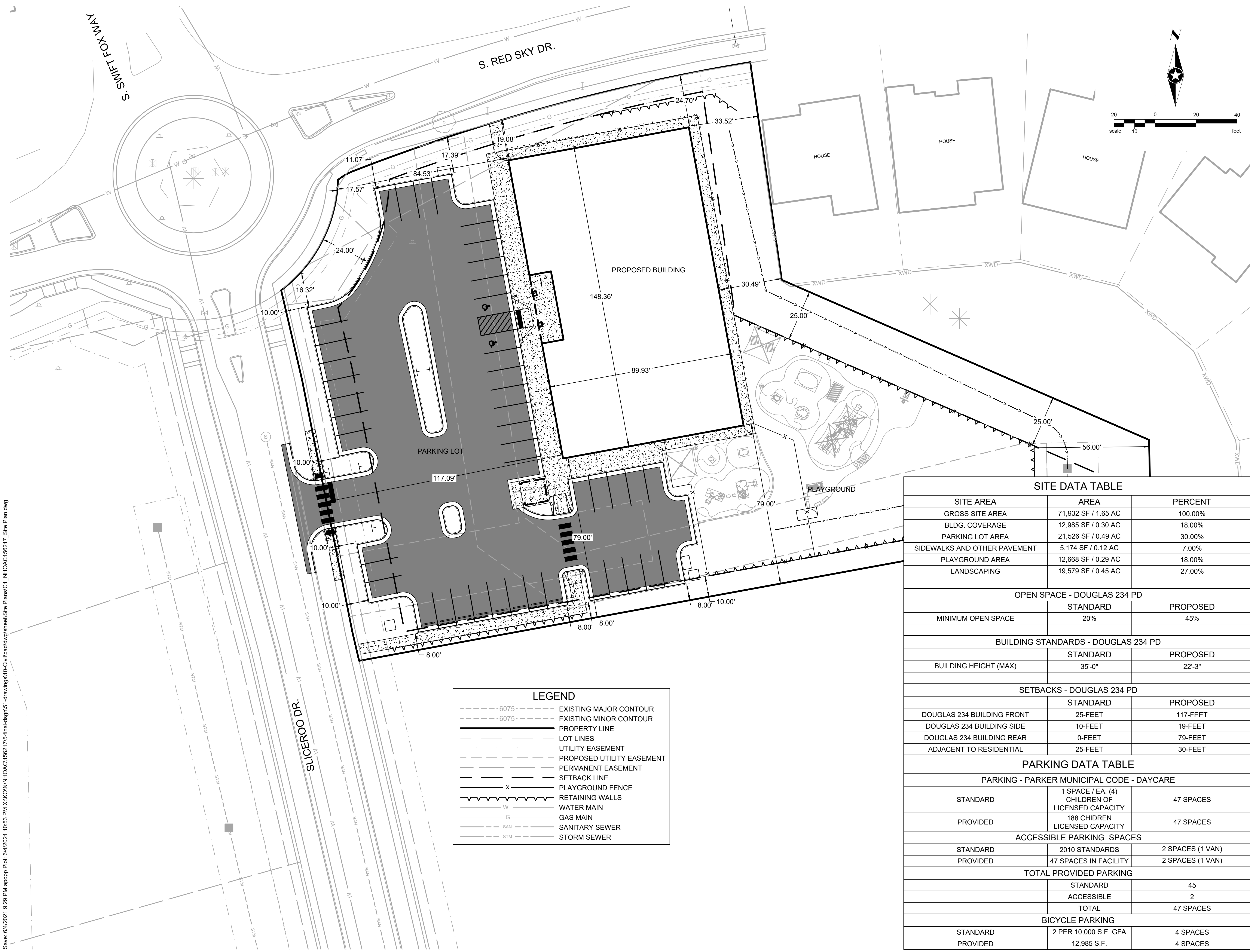
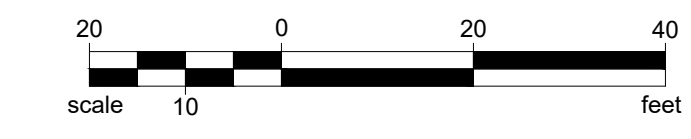
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**LEGEND**

- - - - -6075- - - - - EXISTING MAJOR CONTOUR
- - - - -6075- - - - - EXISTING MINOR CONTOUR
- PROPERTY LINE
- LOT LINES
- UTILITY EASEMENT
- - - - - PROPOSED UTILITY EASEMENT
- PERMANENT EASEMENT
- SETBACK LINE
- x ————— PLAYGROUND FENCE
- ~~~~~ RETAINING WALLS
- W ————— WATER MAIN
- G ————— GAS MAIN
- SAN ————— SANITARY SEWER
- STM ————— STORM SEWER

**SITE DATA TABLE**

SITE AREA	AREA	PERCENT
GROSS SITE AREA	71,932 SF / 1.65 AC	100.00%
BLDG. COVERAGE	12,985 SF / 0.30 AC	18.00%
PARKING LOT AREA	21,526 SF / 0.49 AC	30.00%
SIDEWALKS AND OTHER PAVEMENT	5,174 SF / 0.12 AC	7.00%
PLAYGROUND AREA	12,668 SF / 0.29 AC	18.00%
LANDSCAPING	19,579 SF / 0.45 AC	27.00%

**OPEN SPACE - DOUGLAS 234 PD**

	STANDARD	PROPOSED
MINIMUM OPEN SPACE	20%	45%

**BUILDING STANDARDS - DOUGLAS 234 PD**

	STANDARD	PROPOSED
BUILDING HEIGHT (MAX)	35'-0"	22'-3"

**SETBACKS - DOUGLAS 234 PD**

	STANDARD	PROPOSED
DOUGLAS 234 BUILDING FRONT	25-FEET	117-FEET
DOUGLAS 234 BUILDING SIDE	10-FEET	19-FEET
DOUGLAS 234 BUILDING REAR	0-FEET	79-FEET
ADJACENT TO RESIDENTIAL	25-FEET	30-FEET

**PARKING DATA TABLE**

**PARKING - PARKER MUNICIPAL CODE - DAYCARE**

	STANDARD	PROVIDED
1 SPACE / EA. (4) CHILDREN OF LICENSED CAPACITY	47 SPACES	47 SPACES
188 CHILDREN LICENSED CAPACITY	47 SPACES	47 SPACES

**ACCESSIBLE PARKING SPACES**

	STANDARD	PROVIDED
2010 STANDARDS	2 SPACES (1 VAN)	2 SPACES (1 VAN)
47 SPACES IN FACILITY	2 SPACES (1 VAN)	2 SPACES (1 VAN)

**TOTAL PROVIDED PARKING**

	STANDARD	PROVIDED
TOTAL	45	47 SPACES

**BICYCLE PARKING**

	STANDARD	PROVIDED
2 PER 10,000 S.F. G.F.A	4 SPACES	4 SPACES
12,985 S.F.	4 SPACES	4 SPACES

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DOUGLAS 234 FILING, NO. 6  
PARKER, CO

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Drawn By: AMP

**Project Status**

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TOWN REVIEW	8/26/2020
TOWN REVIEW	1/22/2021
TOWN REVIEW	3/22/2021
TOWN REVIEW	6/4/2021

**Revision Issue**

Rev. #	Description	Date
1	TOWN COMMENTS	1/22/21
2	TOWN COMMENTS	3/22/21
3	TOWN COMMENTS	6/4/21

OVERALL SITE

C1.1

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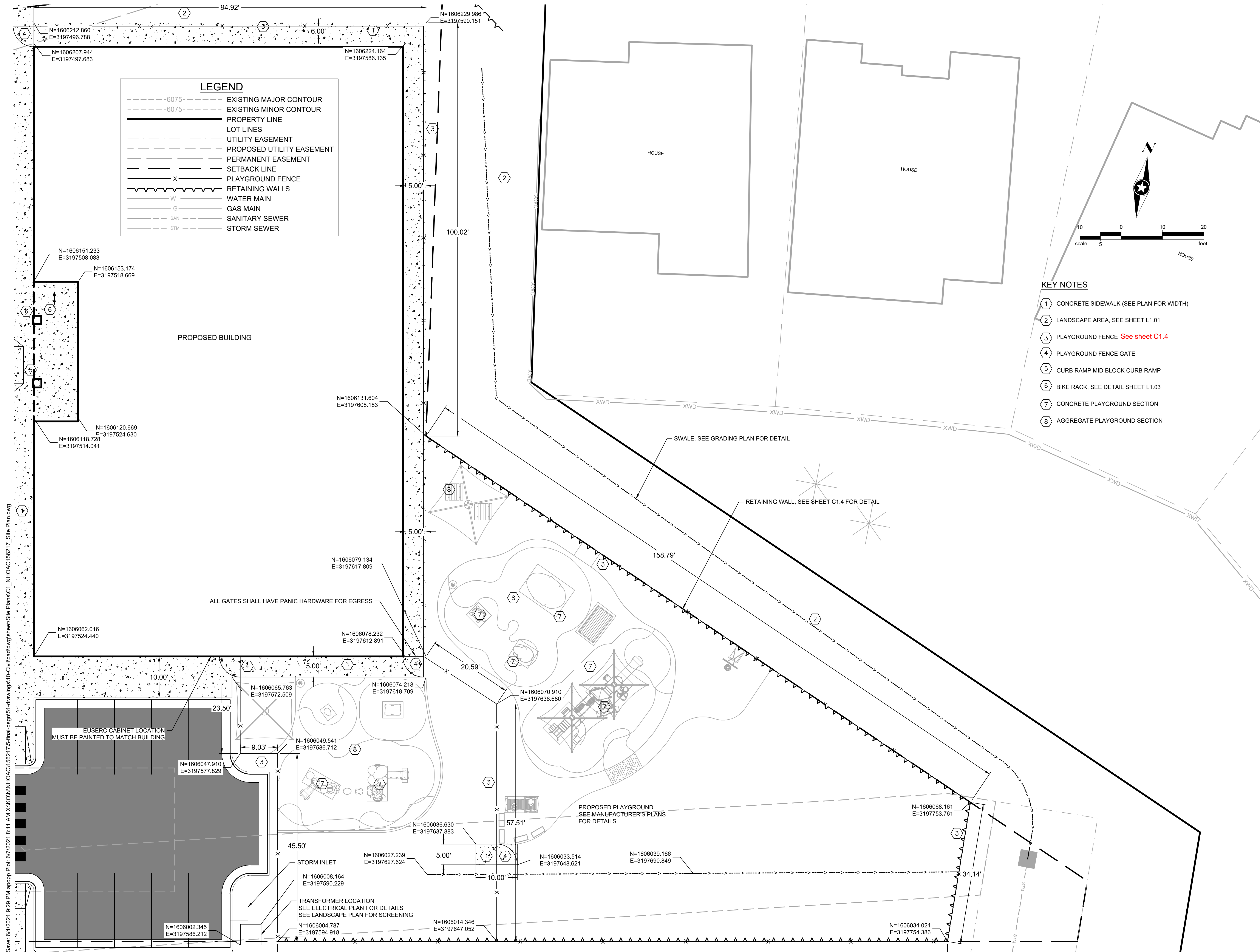
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BUILDING SITE LAYOUT

C1.2



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**KEY NOTES**

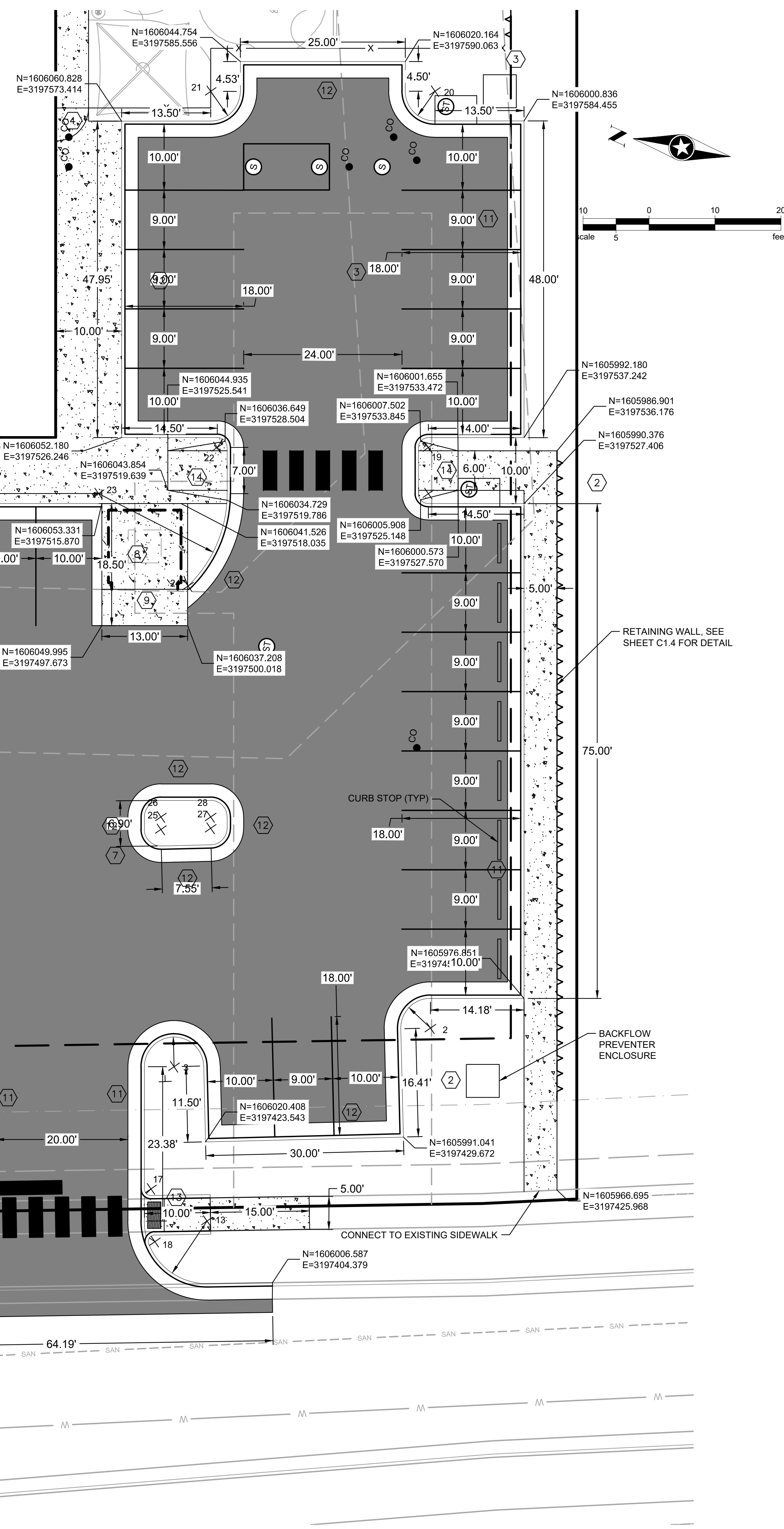
- 1 CONCRETE SIDEWALK (SEE PLAN FOR WIDTH)
- 2 LANDSCAPE AREA, SEE LANDSCAPE SHEET L1.01
- 3 PLAYGROUND FENCE
- 4 PLAYGROUND FENCE GATE
- 5 CURB RAMP MID BLOCK CURB RAMP
- 6 BIKE RACK, SEE LANDSCAPE SHEET L1.03
- 7 ASPHALT PARKING LOT
- 8 CONCRETE DUMPSTER PAD,
- 9 DUMPSTER ENCLOSURE FENCE See sheet L2.1
- 10 DUMPSTER ENCLOSURE FENCE GATE
- 11 VERTICAL CURB AND GUTTER SECTION (CATCH)
- 12 VERTICAL CURB AND GUTTER SECTION (SPILL)
- 13 DIRECTIONAL CURB RAMP WITHIN RADIUS
- 14 PEDESTRIAN CURB RAMP FOR SIDEWALK OR TRAIL

NOTE: CURB AND GUTTER AND FIRST LIFT OF ASPHALT MUST BE INSTALLED PRIOR TO ANY VERTICAL CONSTRUCTION OCCURRING BY ORDER OF THE FIRE MARSHALL.

**LEGEND**

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- - - - -6075- EXISTING MINOR CONTOUR
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- UTILITY EASEMENT
- - - - - PROPOSED UTILITY EASEMENT
- PERMANENT EASEMENT
- SETBACK LINE
- X - PLAYGROUND FENCE
- ~~~~~ RETAINING WALLS
- W WATER MAIN
- G GAS MAIN
- SAN SANITARY SEWER
- STM STORM SEWER

PROPOSED BUILDING



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3	TOWN COMMENTS	6/4/21

PARKING LOT SITE LAYOUT

**PARKING DATA TABLE**

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STANDARD	1 SPACE / EA. (4) CHILDREN OF LICENSED CAPACITY	47 SPACES
PROVIDED	188 CHIDREN LICENSED CAPACITY	47 SPACES
ACCESSIBLE PARKING SPACES		
STANDARD	2010 STANDARDS	2 SPACES (1 VAN)
PROVIDED	47 SPACES IN FACILITY	2 SPACES (1 VAN)
TOTAL PROVIDED PARKING		
	STANDARD	45
	ACCESSIBLE	2
	TOTAL	47 SPACES
BICYCLE PARKING		
STANDARD	2 PER 10,000 S.F. GFA	4 SPACES
PROVIDED	12,985 S.F.	4 SPACES

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C1.3

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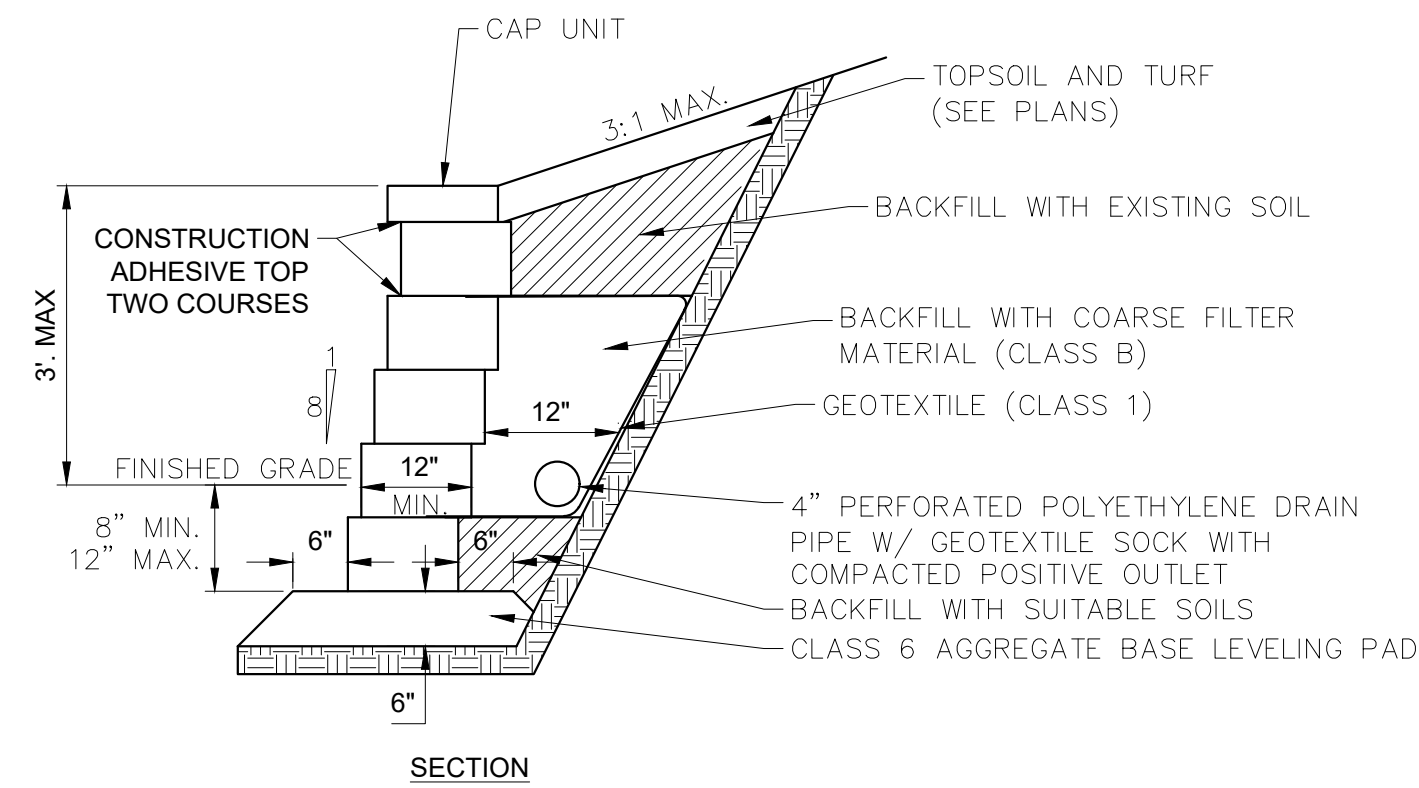
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1	TOWN COMMENTS	1/22/21
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RETAINING WALL PLAN

C1.4

**NOTES:**

1. MAXIMUM EXPOSED HEIGHT NOT TO EXCEED 3 FEET. A SPECIFIC ENGINEERED DESIGN IS REQUIRED FOR WALLS WITH AN EXPOSED HEIGHT OVER 3 FEET.
2. FILL ALL VOID AREAS IN MODULAR BLOCK UNITS WITH COARSE FILTER MATERIAL (CLASS B) OR PEA GRAVEL AS APPROVED BY ENGINEER.
3. MODULAR BLOCK UNITS MUST HAVE INTERLOCKING LIP OR PIN CONNECTIONS.
4. RETAINING WALL LOCATION SHOWN ON PLANS.
5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR PROPOSED MODULAR BLOCK UNITS.
6. OUTLET DRAIN PIPE TO A STORM SEWER CATCH BASIN OR MANHOLE OR THROUGH FACE OF WALL.
7. RETAINING WALL BLOCK TO BE SPLIT FACE AND MATCH BUILDING COLOR PALETTE.
8. BASIS OF DESIGN IS ALLEN BLOCK CLASSIC IN TAN BLEND.



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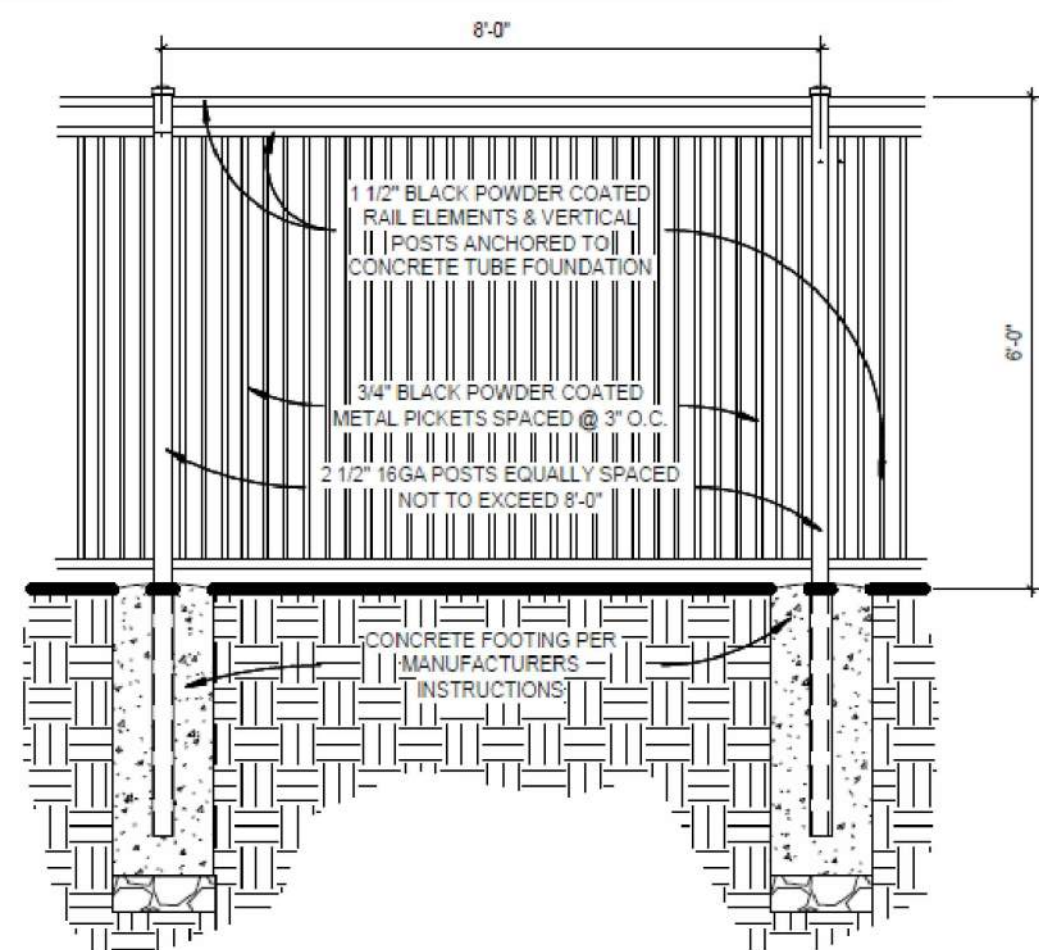
Revised:  
Oct. 2011  
SEH Plate No.  
MISC-02

**RETAINING WALL DETAIL  
GRAVITY WALL**



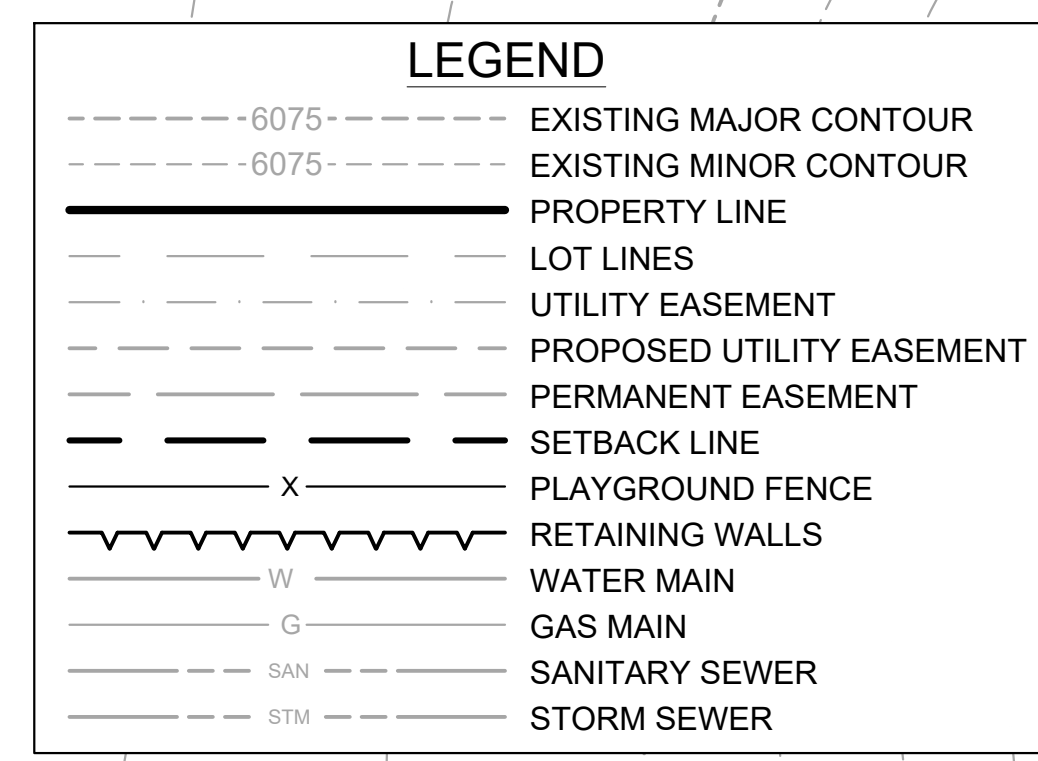
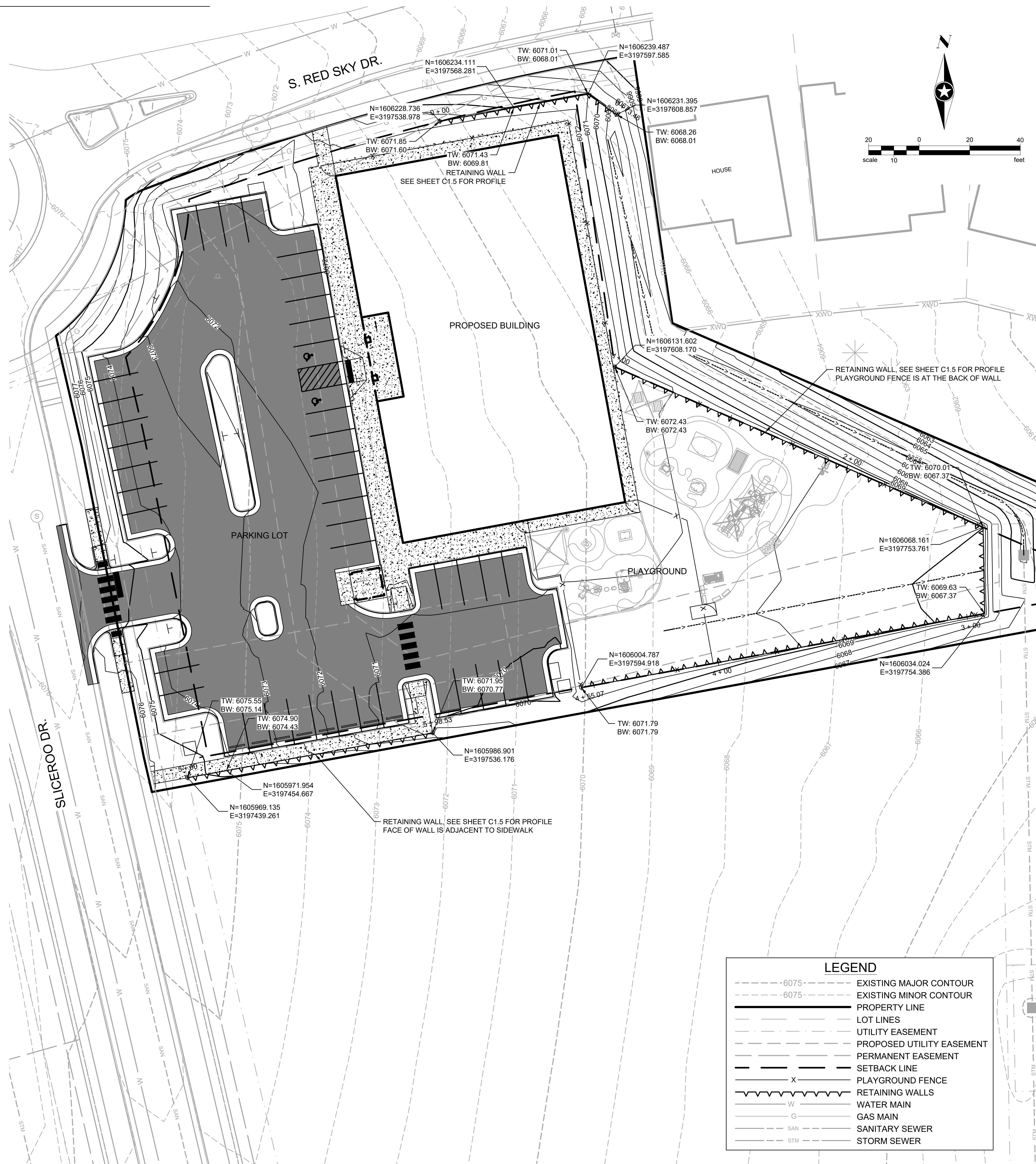
**Tan Blend**

APPROXIMATE FINAL APPEARANCE OF WALL BLOCK.



**PLAYGROUND FENCE DETAIL**

1/2" = 1'-0"



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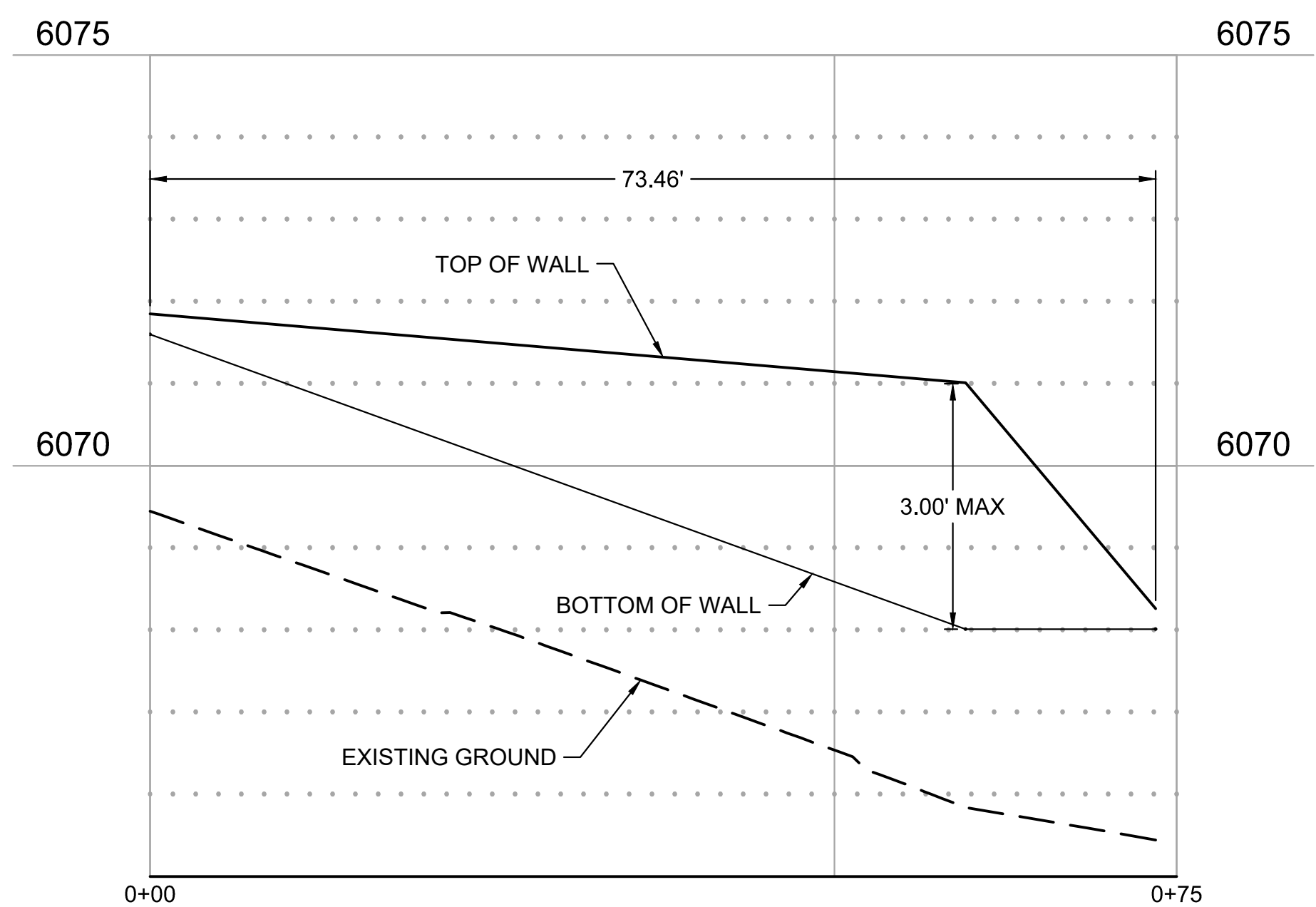
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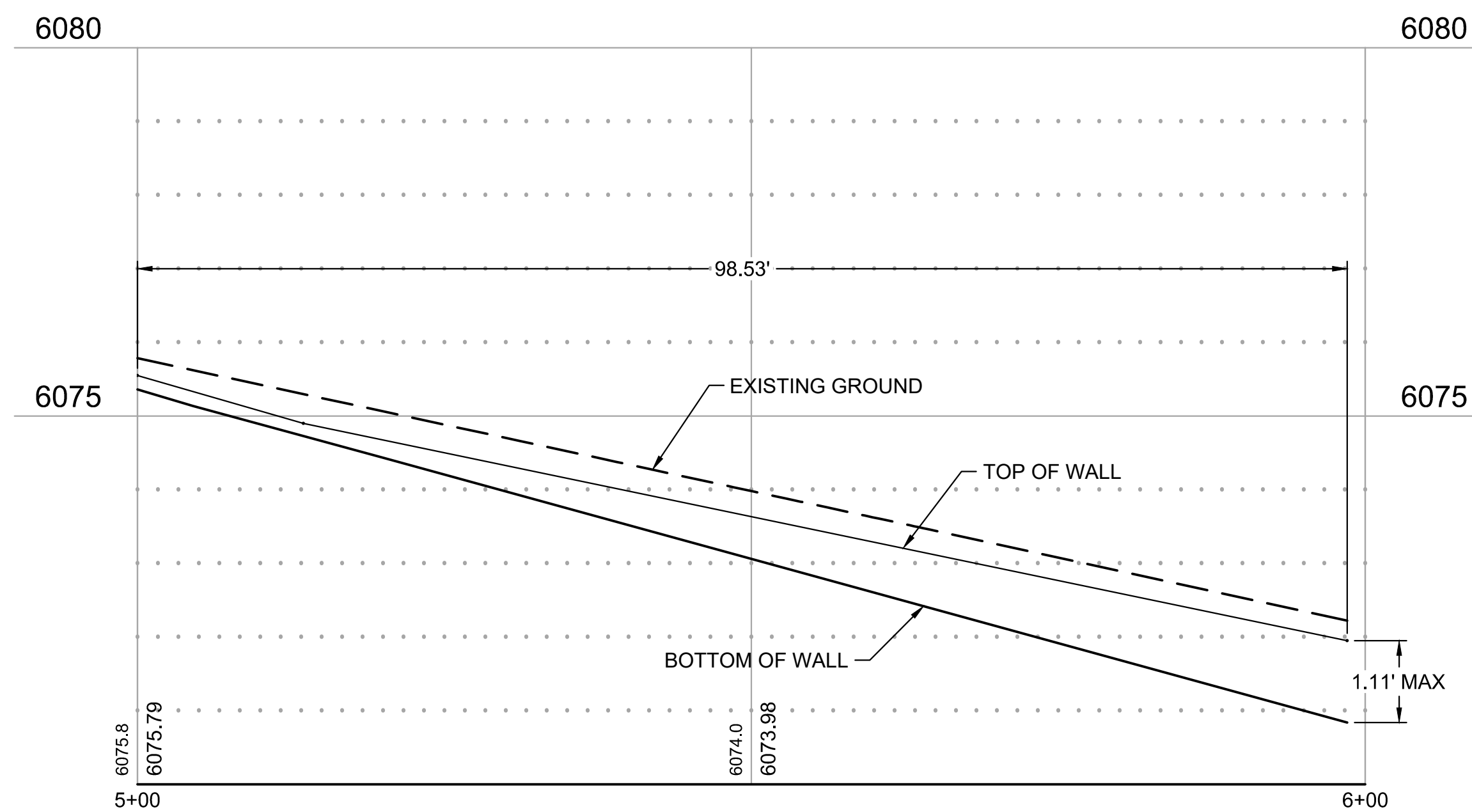
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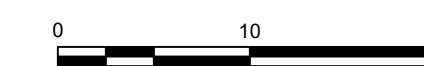
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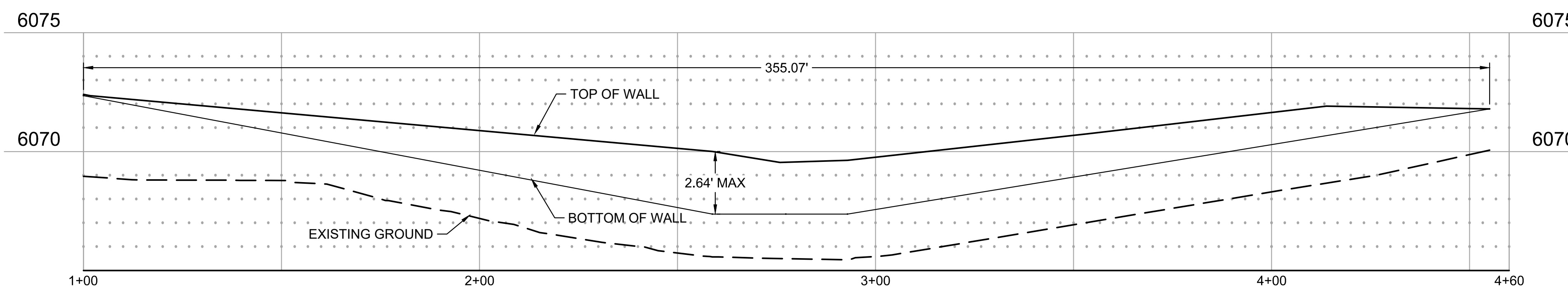
RETAINING WALL PROFILE  
WALL ALONG NORTH SIDE OF BUILDING



RETAINING WALL PROFILE  
WALL ALONG SOUTH SIDE OF PARKING LOT



NOTE:  
RETAINING WALL PROFILES ARE SHOWN FOR  
REFERENCE ONLY. ELEVATIONS SHOULD BE  
DETERMINED FROM PLAN SHEETS.



RETAINING WALL PROFILE  
WALL ALONG PLAYGROUND FENCE



TYPICAL ELEVATION OF RETAINING  
WALL WITH PLAYGROUND FENCE

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# NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6

PARKER, CO

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SEH Project: NHOAC 156217  
Checked By: DRH  
Drawn By: AMP

Project Status	Issue Date
TOWN REVIEW	8/26/2020
TOWN REVIEW	1/22/2021
TOWN REVIEW	3/22/2021
TOWN REVIEW	6/4/2021

Rev. #	Description	Date
1	TOWN COMMENTS	1/22/21
2	TOWN COMMENTS	3/22/21
3	TOWN COMMENTS	6/4/21

GRADING PLAN

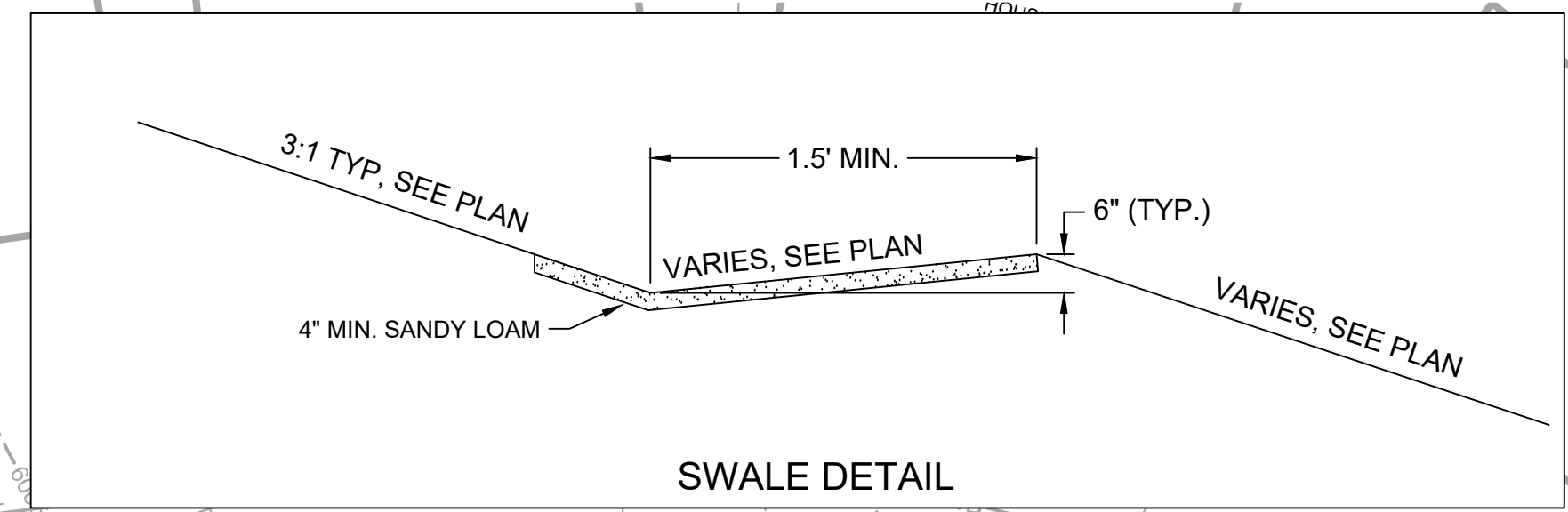
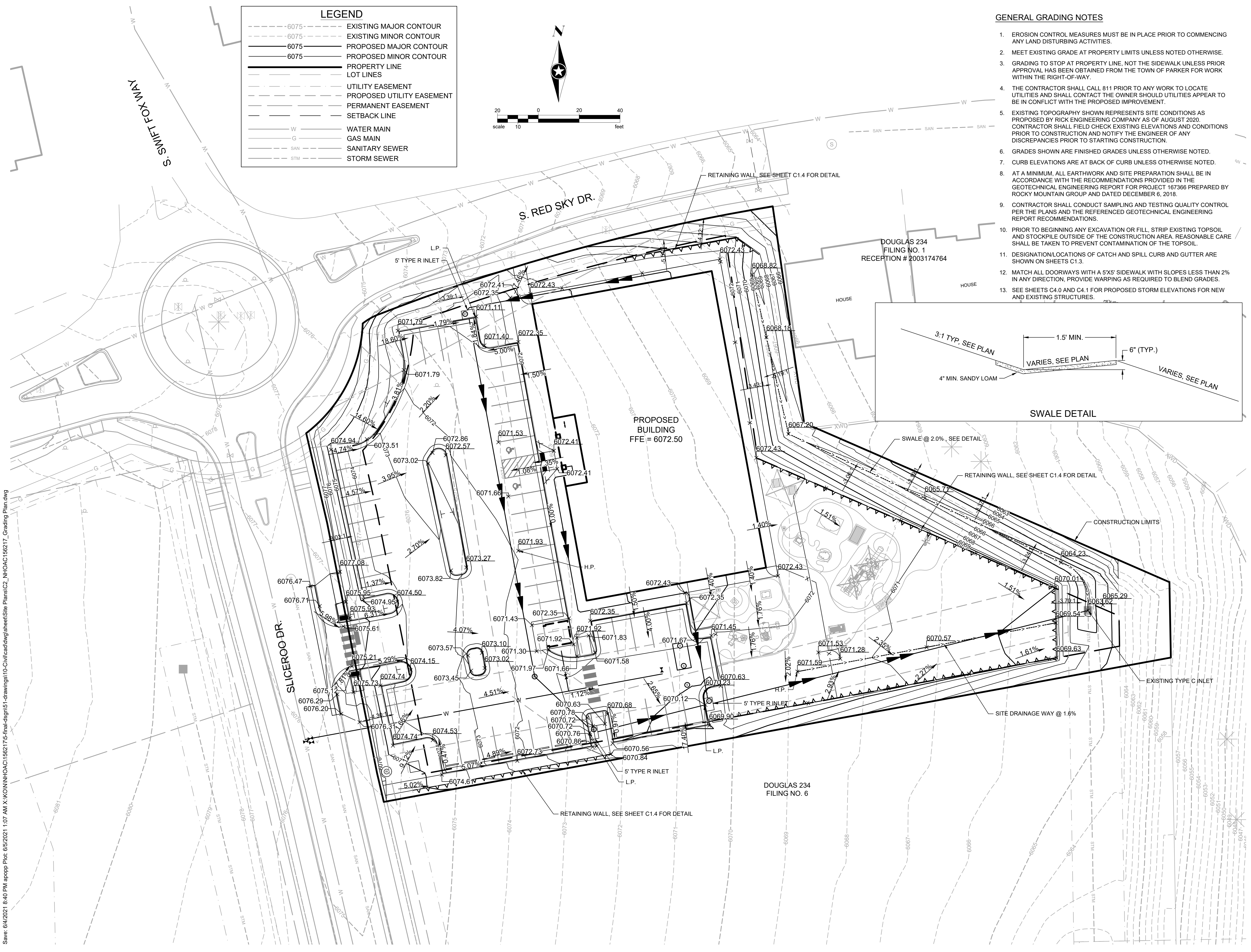
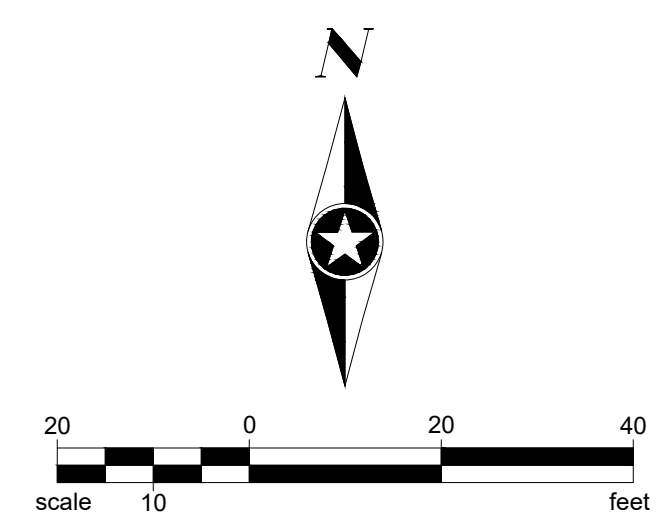
# C2.0

### GENERAL GRADING NOTES

- EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES.
- MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
- GRADING TO STOP AT PROPERTY LINE, NOT THE SIDEWALK UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF PARKER FOR WORK WITHIN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL CALL 811 PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PROPOSED BY RICK ENGINEERING COMPANY AS OF AUGUST 2020. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- GRADES SHOWN ARE FINISHED GRADES UNLESS OTHERWISE NOTED.
- CURB ELEVATIONS ARE AT BACK OF CURB UNLESS OTHERWISE NOTED.
- AT A MINIMUM, ALL EARTHWORK AND SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR PROJECT 167366 PREPARED BY ROCKY MOUNTAIN GROUP AND DATED DECEMBER 6, 2018.
- CONTRACTOR SHALL CONDUCT SAMPLING AND TESTING QUALITY CONTROL PER THE PLANS AND THE REFERENCED GEOTECHNICAL ENGINEERING REPORT RECOMMENDATIONS.
- PRIOR TO BEGINNING ANY EXCAVATION OR FILL, STRIP EXISTING TOPSOIL AND STOCKPILE OUTSIDE OF THE CONSTRUCTION AREA. REASONABLE CARE SHALL BE TAKEN TO PREVENT CONTAMINATION OF THE TOPSOIL.
- DESIGNATION/LOCATIONS OF CATCH AND SPILL CURB AND GUTTER ARE SHOWN ON SHEETS C1.3.
- MATCH ALL DOORWAYS WITH A 5X5' SIDEWALK WITH SLOPES LESS THAN 2% IN ANY DIRECTION. PROVIDE WARPING AS REQUIRED TO BLEND GRADES.
- SEE SHEETS C4.0 AND C4.1 FOR PROPOSED STORM ELEVATIONS FOR NEW AND EXISTING STRUCTURES.

### LEGEND

--- 6075 ---	EXISTING MAJOR CONTOUR
--- 6075 ---	EXISTING MINOR CONTOUR
--- 6075 ---	PROPOSED MAJOR CONTOUR
--- 6075 ---	PROPOSED MINOR CONTOUR
---	PROPERTY LINE
---	LOT LINES
---	UTILITY EASEMENT
---	PROPOSED UTILITY EASEMENT
---	PERMANENT EASEMENT
---	SETBACK LINE
---	WATER MAIN
---	GAS MAIN
---	SANITARY SEWER
---	STORM SEWER



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NOT FOR CONSTRUCTION

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**NEW HORIZON ACADEMY - DOUGLAS 234 FILING, NO. 6**  
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**SEH Project** NHOAC 156217  
**Checked By** DRH  
**Drawn By** AMP

Project Status	Issue Date
TOWN REVIEW	8/26/2020
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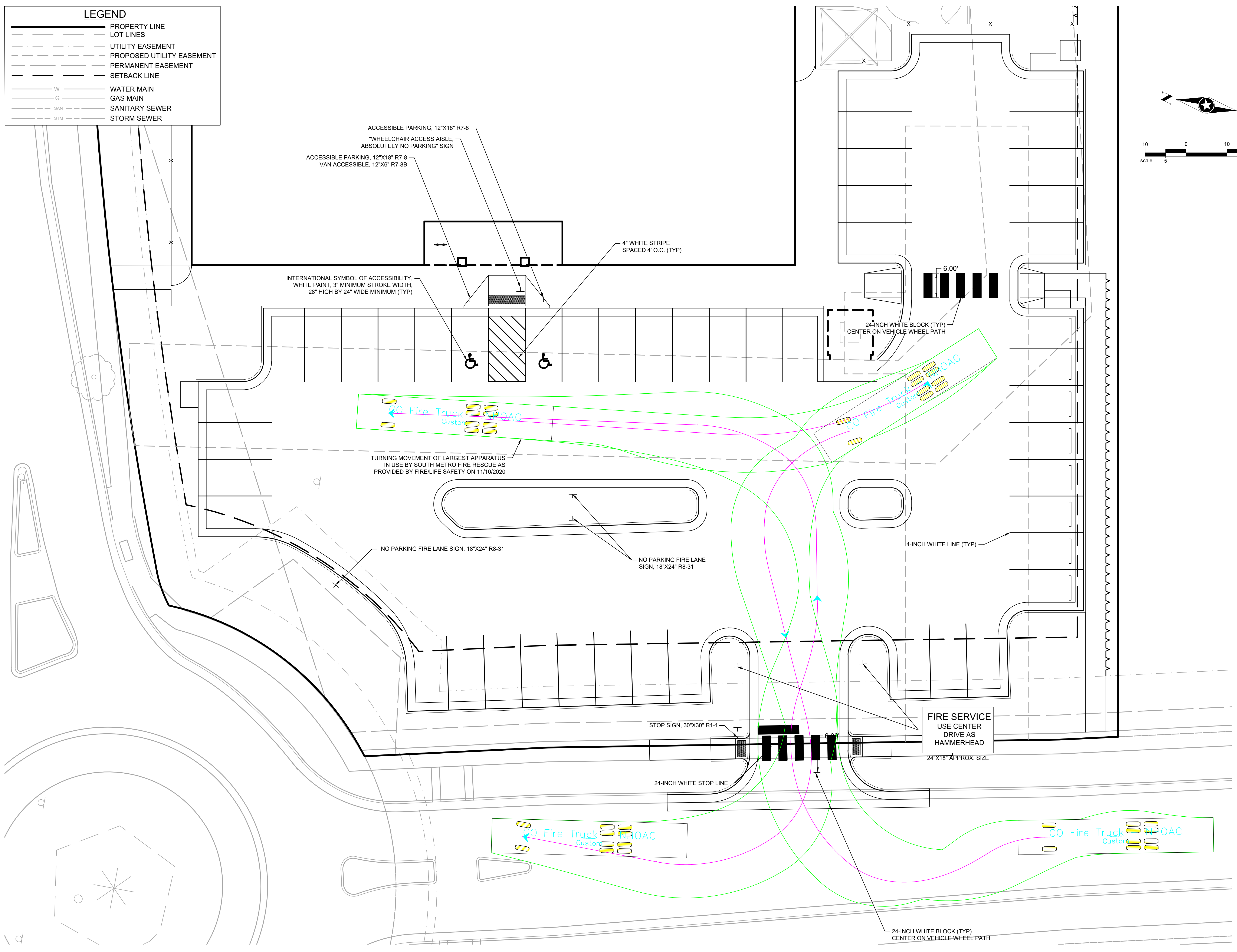
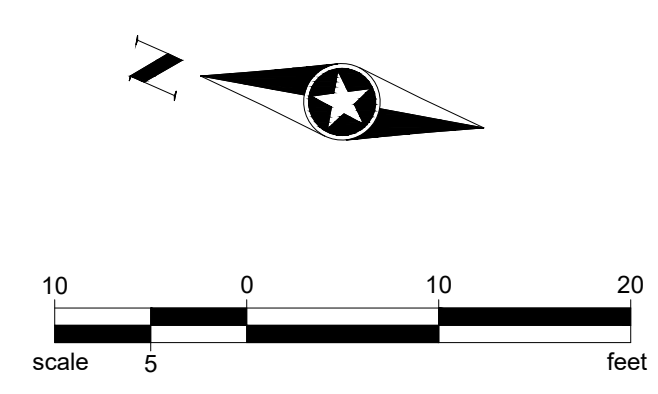
Rev. #	Description	Date
1	TOWN COMMENTS	1/22/21
2	TOWN COMMENTS	3/22/21
3	TOWN COMMENTS	6/4/21

SIGNAGE PLAN

C5.0

**LEGEND**

- PROPERTY LINE
- - - LOT LINES
- - - UTILITY EASEMENT
- - - PROPOSED UTILITY EASEMENT
- - - PERMANENT EASEMENT
- - - SETBACK LINE
- W — WATER MAIN
- G — GAS MAIN
- SAN — SANITARY SEWER
- STM — STORM SEWER



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**1 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"  
0' 2' 6' 12' 21'-4"

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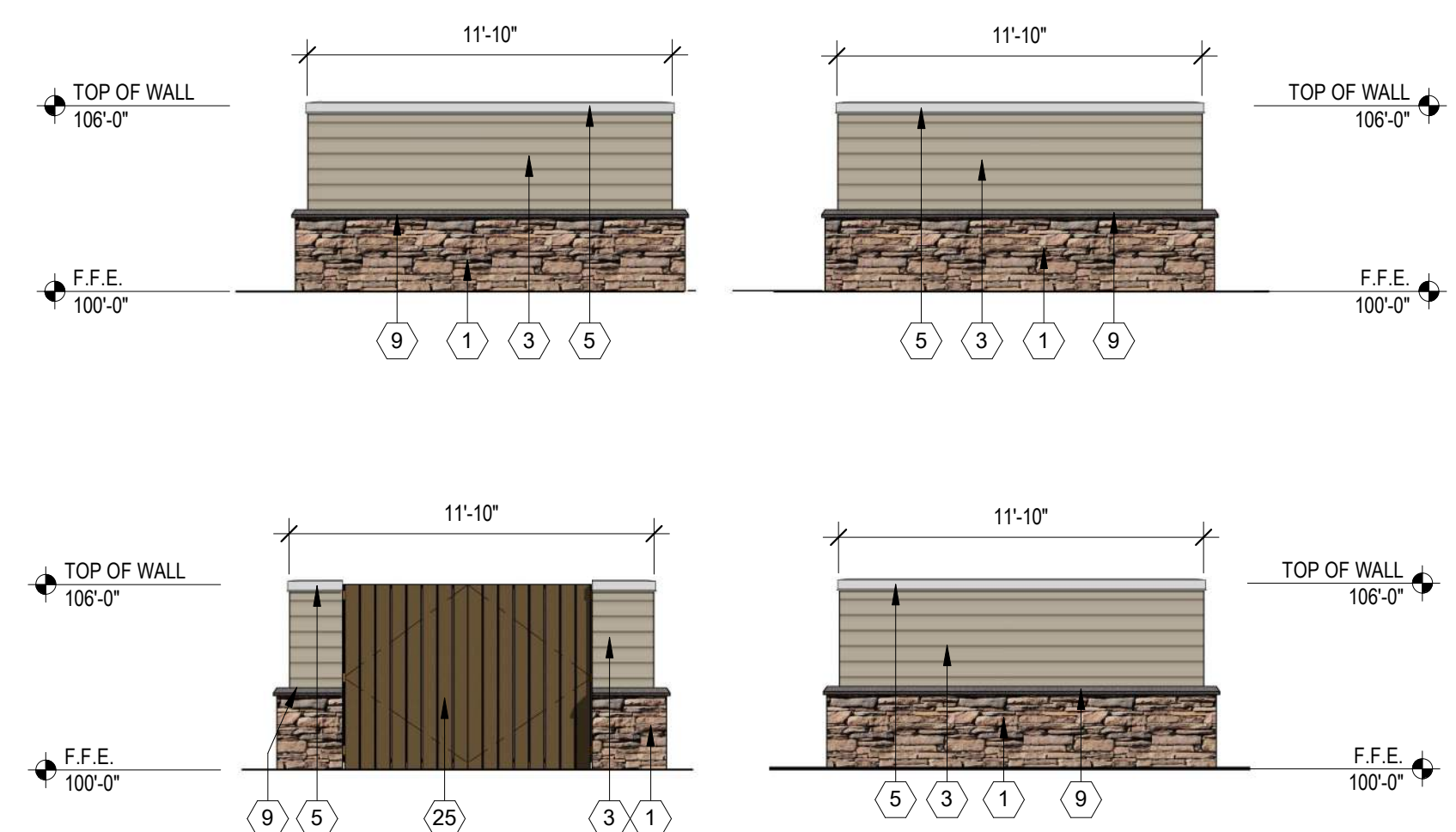
**2 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"  
0' 2' 6' 12' 21'-4"

- ELEVATION KEY NOTES (#)**
- STONE - SOUTHERN LEDGESTONE 'CHARDONNAY' BY CULTURED STONE
  - FIBER CEMENT SHAKE SIDING - HARDIESHINGLE - STRAIGHT EDGE PANEL 'COBBLESTONE' BY JAMES HARDIE
  - FIBER CEMENT HORIZONTAL SIDING - HARDIEPLANK - SMOOTH - 'COBBLESTONE' BY JAMES HARDIE
  - FIBER CEMENT BOARD AND BATTEN SIDING - HARDIEPANEL VERTICAL SIDING - SMOOTH - 'COBBLESTONE' WITH HARDIETRIM BOARD - SMOOTH BATTEN BOARD - 'COBBLESTONE' BY JAMES HARDIE
  - PREFINISHED METAL COPING - 'WHITE'
  - ALUMINIUM STOREFRONT FRAMING / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINIUM FRAMES
  - ALUMINIUM DOOR / TRANSOM / GLAZING ASSEMBLY - INSULATED LOW-E GLASS WITH 'DARK BRONZE' ANODIZED ALUMINIUM FRAMES
  - HOLLOW METAL DOOR AND FRAME - PAINT TO MATCH 'DARK BRONZE'
  - ARCHITECTURAL PRECAST CONCRETE SILL
  - 14'-3" x 3'-7" EXTERIOR LED 'NEW HORIZON ACADEMY' AND 'SUN' SIGNAGE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
  - EIFS CORNICE - PAINT 'WHITE'
  - PREFINISHED METAL SCUPPER AND 4"x6" DOWNSPOUT - 'DARK BRONZE'. CONNECT DOWNSPOUT TO UNDERGROUND STORM SEWER. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION.
  - LED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
  - 1x FIBER CEMENT TRIM - PAINT 'WHITE'
  - 'BLUE' FABRIC AWNING.
  - DASHED LINE DENOTES TOP OF ROOF BEYOND
  - EIFS DENTIL MOLDING - PAINT 'WHITE'
  - ARCHITECTURAL PRECAST CONCRETE COLUMN CAP
  - 8x8 WOOD COLUMN, STAINED. SEE STRUCTURAL FOR FURTHER INFORMATION
  - 4x12 WOOD BEAM, STAINED.
  - 12" FIBER CEMENT TRIM - PAINT "BLUE"
  - WALL MOUNTED CT CABINET - PAINT TO MATCH ADJACENT FINISH
  - ELECTRICAL METER - PAINT TO MATCH ADJACENT FINISH
  - 1'-0" HIGH x 2'-0" WIDE SCUPPER OPENING
  - WOODEN TRASH ENCLOSURE GATE AND POST ASSEMBLY
  - ROOFTOP SCREENING BEYOND - SEE ROOF PLAN AND 8/A 305
  - FIRE DEPARTMENT LOCK BOX. MODEL R3-RECESSED BY THE DAMA COMPANY. VERIFY LOCATION WITH LOCAL FIRE OFFICIAL

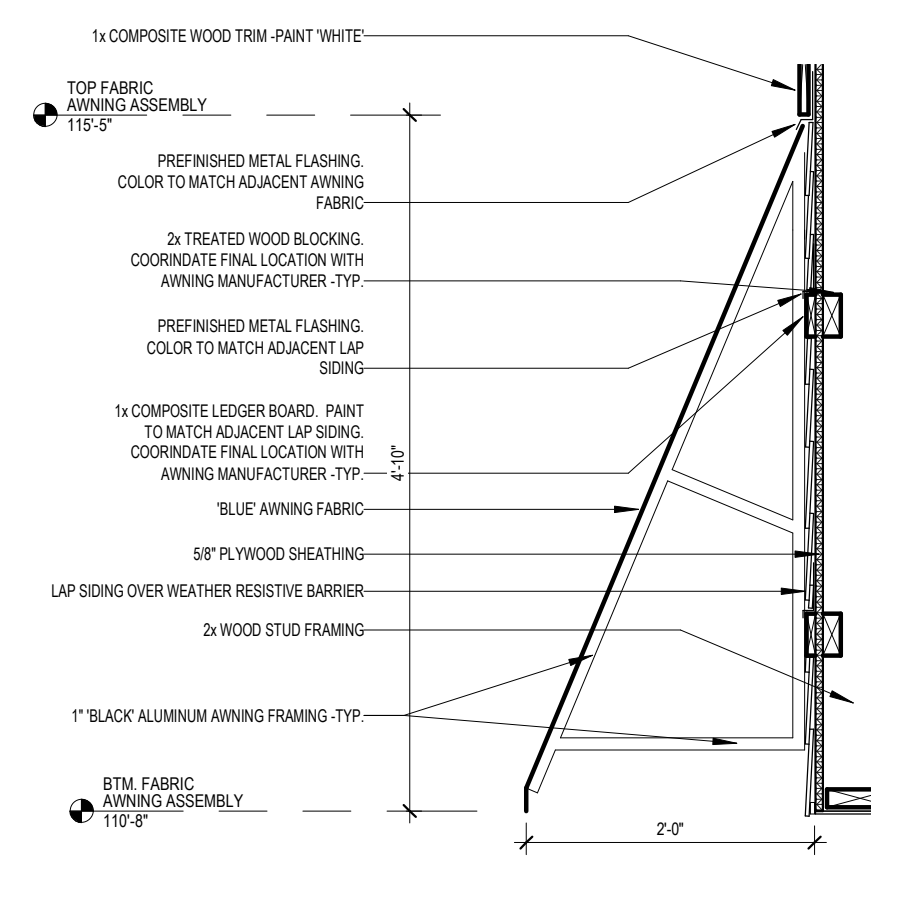


**3 NORTH ENTRY ELEVATION**  
3/16" = 1'-0"

**4 SOUTH ENTRY ELEVATION**  
3/16" = 1'-0"



**5 TRASH ENCLOSURE**  
3/16" = 1'-0"



**6 FABRIC AWNING DETAIL**  
3/4" = 1'-0"

NEW HORIZON ACADEMY  
**CHAMBERS AND HESS  
CHILD CARE CENTER**  
PARKER, CO

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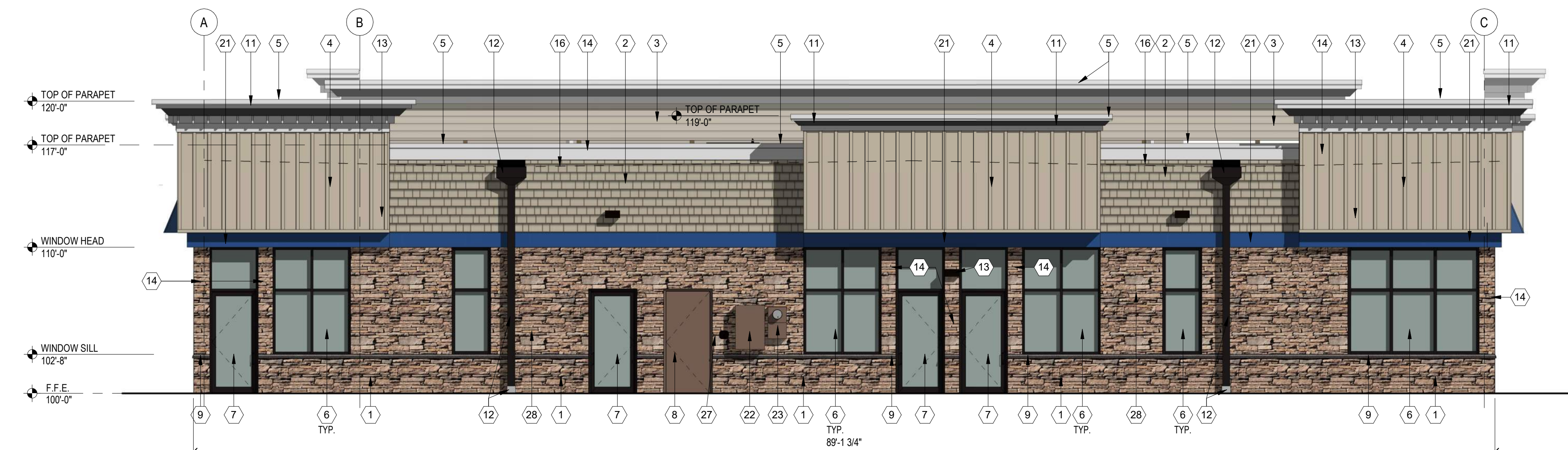
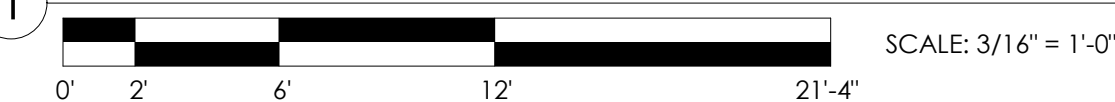
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SEH Project	NHAC 156217
Checked By	SB
Drawn By	DRS
Project Status	Issue Date
1	City Comments

PRELIMINARY EXTERIOR ELEVATIONS



1 EAST ELEVATION



2 SOUTH ELEVATION



EXTERIOR FINISH SCHEDULE

MATERIAL	PRODUCT
STONE VENEER	SOUTHERN LEDGESTONE, 'CHARDONNAY', BY CULTURED STONE
FIBER CEMENT SHAKE SIDING	HARDIESHINGLE, STRAIGHT EDGE PANEL, 'COBBLESTONE', BY JAMES HARDIE
FIBER CEMENT HORIZONTAL SIDING	HARDIEPLANK, SMOOTH, 'COBBLESTONE', BY JAMES HARDIE
FIBER CEMENT BOARD AND BATTEN SIDING	HARDIEPANEL VERTICAL SIDING, SMOOTH, 'COBBLESTONE', WITH HARDIETRIM BOARD, SMOOTH BATTEN BOARD, 'COBBLESTONE' BY JAMES HARDIE
COMPOSITE WOOD TRIM	PAINT 'BLUE'
COMPOSITE WOOD TRIM	PAINT TO MATCH 'ARTIC WHITE' BY JAMES HARDIE
ARCHITECTURAL PRECAST CONCRETE	INDIANA LINEDSTONE
ALUMINUM STOREFRONT FRAMING	'DARK BRONZE' ANODIZED
FABRIC AWNING	'BLUE' BY SUNBRELLA

FACADE TRANSPARENCY SCHEDULE

FACADE	TOTAL S.F. OF FACADE	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED
NORTH ELEVATION (BUILDING FRONT LESS THAN 100' IN LENGTH)	704 S.F.	40% (282 S.F.)	60% (423 S.F.)
SOUTH ELEVATION (BUILDING REAR LESS THAN 100' IN LENGTH)	712 S.F.	25% (178 S.F.)	44% (311 S.F.)
EAST ELEVATION (BUILDING SIDE MORE THAN 100' IN LENGTH)	1,178 S.F.	25% (295 S.F.)	50% (587 S.F.)
WEST ELEVATION (BUILDING FRONT MORE THAN 100' IN LENGTH)	1,179 S.F.	30% (354 S.F.)	58% (689 S.F.)

ELEVATION KEY NOTES (#)

- STONE - SOUTHERN LEDGESTONE 'CHARDONNAY' BY CULTURED STONE
- FIBER CEMENT SHAKE SIDING - HARDIESHINGLE - STRAIGHT EDGE PANEL 'COBBLESTONE' BY JAMES HARDIE
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- FIRE DEPARTMENT LOCK BOX - MODEL R3-RECESSED BY THE DAMA COMPANY. VERIFY LOCATION WITH LOCAL FIRE OFFICIAL

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NEW HORIZON ACADEMY  
**CHAMBERS AND HESS**  
**CHILD CARE CENTER**  
 PARKER, CO

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SEH Project: NHAC 156217  
Checked By: SB  
Drawn By: DRS

Project Status: Issue Date: 01/15/2021

Rev. #	Description	Date
1	City Comments	01/15/2021

PRELIMINARY EXTERIOR ELEVATIONS



1 WEST ELEVATION  
3/16" = 1'-0"

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2 NORTH ELEVATION  
3/16" = 1'-0"



3 EAST ELEVATION  
3/16" = 1'-0"



4 SOUTH ELEVATION  
3/16" = 1'-0"

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SEH Project: NHOC 156217  
Checked By: SB  
Drawn By: DRS

Project Status: \_\_\_\_\_ Issue Date: \_\_\_\_\_

Revision Issue		
Rev. #	Description	Date

PRELIMINARY ELEVATIONS



1 NORTHWEST PERSPECTIVE



2 NORTHEAST PERSPECTIVE

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Project Status: Issue Date: \_\_\_\_\_

Revision Issue		
Rev. #	Description	Date



1 SOUTHWEST PERSPECTIVE



2 SOUTHEAST PERSPECTIVE

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CHILD CARE CENTER**  
PARKER, CO

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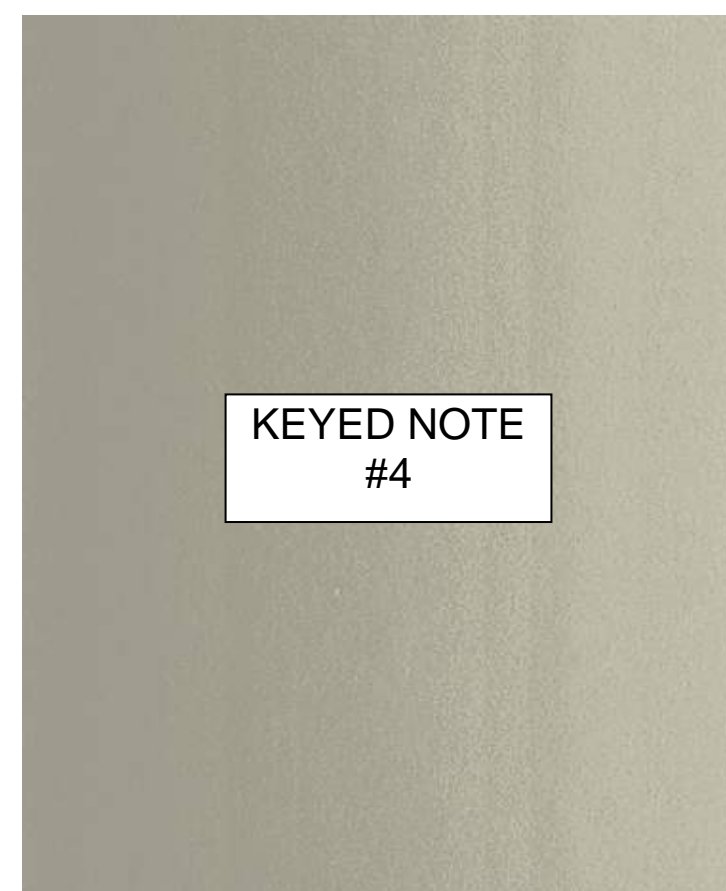
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SEH Project: NHAC 156217  
Checked By: SB  
Drawn By: DRS

Project Status: \_\_\_\_\_ Issue Date: \_\_\_\_\_

Revision Issue		
Rev. #	Description	Date



KEYED NOTE  
#4

FIBER CEMENT BOARD AND BATTEN SIDING -  
HARDIEPANEL VERTICAL SIDING - SMOOTH -  
'COBBLESTONE' WITH HARDIETRIM BOARD -  
SMOOTH BATTEN BOARD - 'COBBLESTONE' BY  
JAMES HARDIE



KEYED NOTE  
#2

FIBER CEMENT SHAKE SIDING -  
HARDIESHINGLE - STRAIGHT EDGE PANEL  
'COBBLESTONE' BY JAMES HARDIE



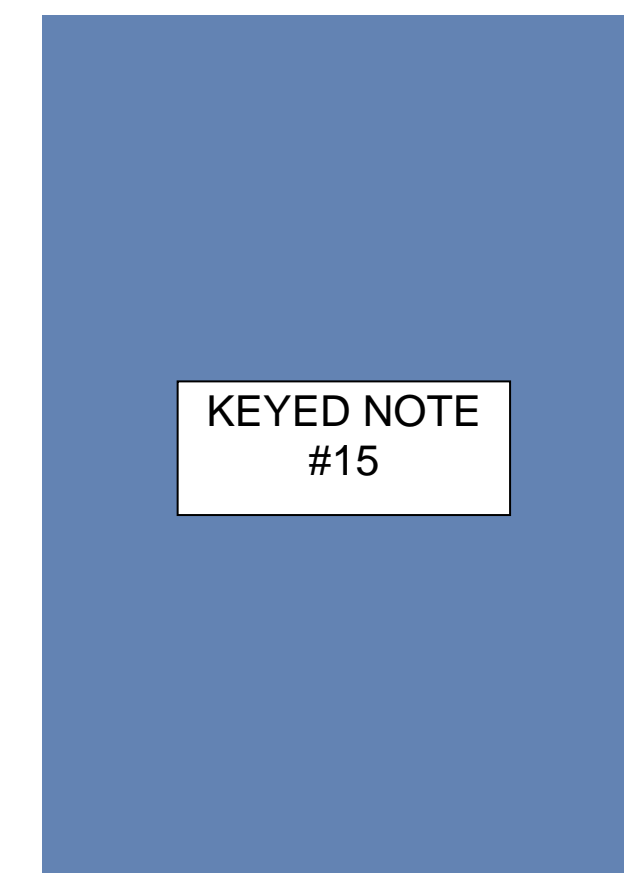
KEYED NOTE  
#3

FIBER CEMENT HORIZONTAL SIDING -  
HARDIEPLANK - SMOOTH - 'COBBLESTONE'  
BY JAMES HARDIE



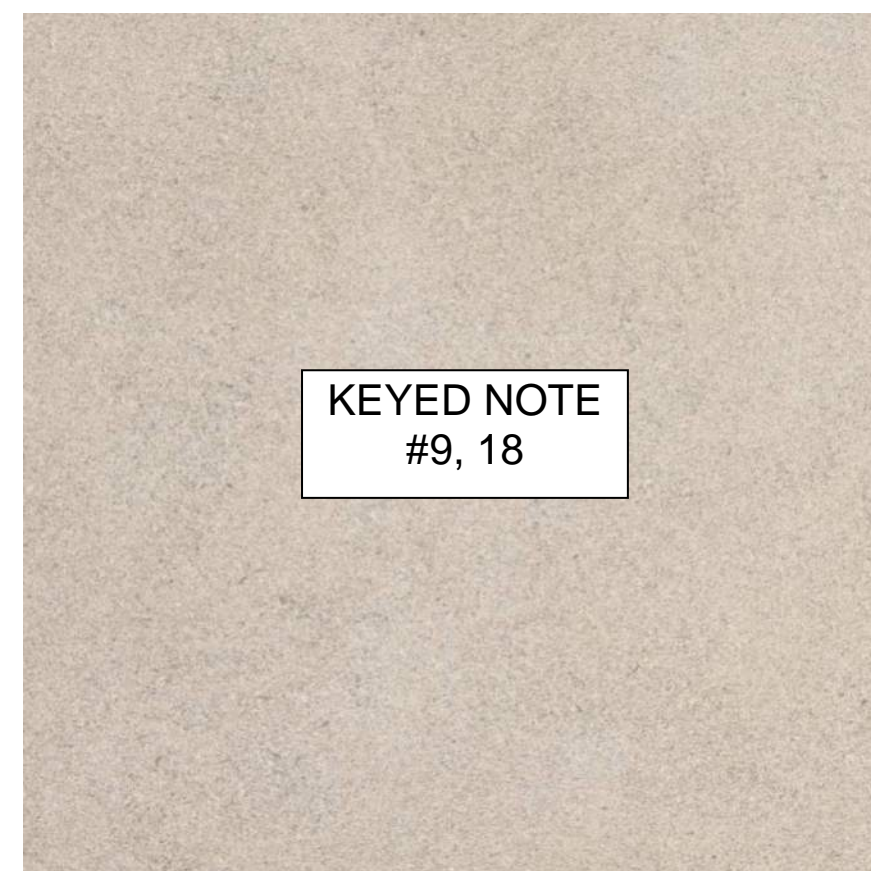
KEYED NOTE  
#14

COMPOSITE WOOD TRIM - PAINTED TO  
MATCH 'ARCTIC WHITE' BY JAMES HARDIE



KEYED NOTE  
#15

'BLUE' FABRIC AWNING



KEYED NOTE  
#9, 18

ARCHITECTURAL PRECAST CONCRETE -  
INDIANA LIMESTONE



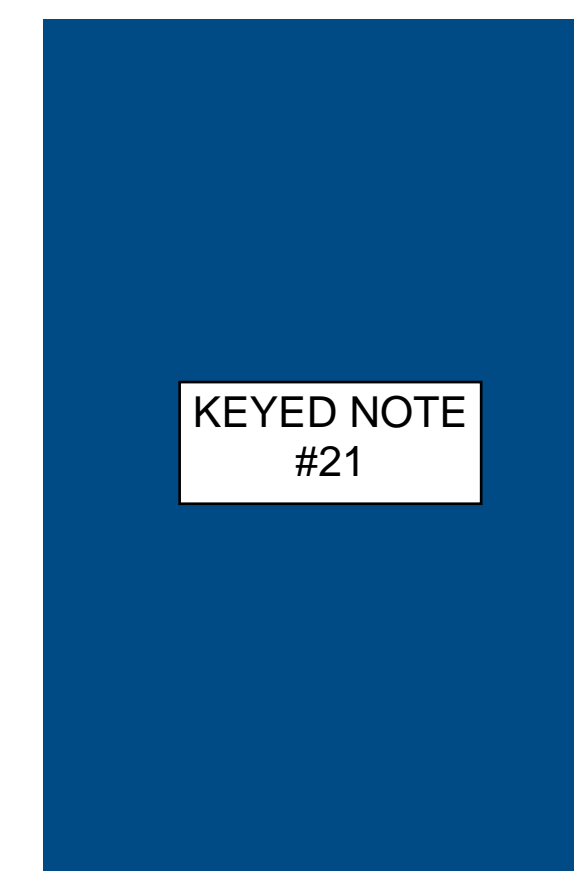
KEYED NOTE  
#1

STONE VENEER - SOUTHER LEDGESTONE  
'CHARDONNAY' BY CULTURED STONE



KEYED NOTES  
#6, 7, 8, 12

ALUMINUM STOREFRONT FRAMING -  
'DARK BRONZE' ANODIZED



KEYED NOTE  
#21

COMPOSITE WOOD TRIM (LIMITED  
LOCATIONS) - PAINT 'BLUE'

Owner  
New Horizon Academy  
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NEW HORIZON ACADEMY  
**CHAMBERS AND HESS  
CHILD CARE CENTER**  
PARKER, CO

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Rev. #	Description	Date
1	City Comments	01/15/2021

EXTERIOR MATERIALS  
BOARD



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TYPE	DESCRIPTION	CATALOG #	MOUNTING
P1	POLE MOUNTED AREA LED LIGHT FIXTURE, 4000K, TYPE TFM FORWARD THROW DISTRIBUTION W/HOUSE SIDE SHIELDS POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	LITHONIA LIGHTING: DSX1-LED-P1-40K-TFTM-MVOLT-RPA-HS POLE: LITHONIA LIGHTING RSS, DDBXD	POLE: 22 FEET
P2	TWIN POLE MOUNTED AREA LED LIGHT FIXTURES, 4000K, TYPE 3 MEDIUM DISTRIBUTION POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	LITHONIA LIGHTING: DSX1-LED-P2-40K-T3M-MVOLT-RPA POLE: LITHONIA LIGHTING RSS, DDBXD	POLE: 22 FEET
P3	POLE MOUNTED AREA LED LIGHT FIXTURE, 4000K, TYPE 4 MEDIUM DISTRIBUTION W/HOUSE SIDE SHIELDS POLE: ROUND STRAIGHT STEEL, DARK BRONZE FINISH	LITHONIA LIGHTING: DSX1-LED-P1-40K-T4M-MVOLT-RPA-HS POLE: LITHONIA LIGHTING RSS, DDBXD	POLE: 22 FEET
S2M	WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 MEDIUM DISTRIBUTION.	LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2M	WALL: 12 FEET
S2S	WALL MOUNTED AREA LIGHT FIXTURE, 4000K, TYPE 2 SHORT DISTRIBUTION.	LITHONIA LIGHTING: DSXW1-LED-10C-700-40K-T2S	WALL: 12 FEET



PHOTOMETRIC SITE PLAN GENERAL NOTES:  
 A. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULL CUTOFF.

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**Mechanical Engineer**

**Electrical Engineer**

New Horizon Academy  
**NEW HORIZON ACADEMY - CHAMBERS & HESS**  
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SEH Project: NHOAC 15R217  
 Checked By: RW  
 Drawn By: VT

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Project Status	Issue Date

Revision Issue	
Rev. #	Description Date

1 PHOTOMETRIC SITE PLAN  
 Scale: 1/16" = 1'-0"

PHOTOMETRIC SITE PLAN  
**ES.01**



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient Temperature	Multiplier	Lumen Maintenance Factor
0°C	1.00	
5°C	1.04	
10°C	1.08	
15°C	1.12	
20°C	1.16	
25°C	1.20	
30°C	1.24	
35°C	1.28	
40°C	1.32	

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the luminaire noted in a 25°C ambient, based on 100,000 hours of LED testing based per IESNA LM-80-08 and projected per IESNA TM-21-11.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.96
50,000	0.92
100,000	0.85

Option	Dimmed State	High Level (stepped)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5TC	5 min	3 sec	5 min
*PIR/PICH or *PIR/PICH	3V (37%) Output	10V (100%) Output	Enabled @ 10C	5 min	3 sec	5 min

### Control Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire, used to fine-tune dimming levels.	Allows the luminaire to be manually dimmed, effectively increasing the light output.	FAO device	Cannot be used with other control options that need the FAO knob.
DS	Drivers wired independently for 50/50 lumen operation.	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider night A/B as a more cost-effective alternative.
PIES or PIRH	Twist-lock photocell receptacle.	Compatible with standard twist-lock photocells. Includes a driver operation, or advanced control wires that provide 0-10V dimming signals.	Twist-lock photocell such as DLI Elite or advanced control nodes such as ROAM.	Use 4-5 dimming leads on driver. PIES is an capped inside luminaire.
PIR or PIRH	Motion sensor with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting.	Luminaire dims when an occupancy is detected.	Acuity Controls SGR8	Also available with PIR/PICH when the sensor photocell is used for dusk-to-dawn operation.
NEMRA2 PIRH	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Wireless and ambient light sensing with group response. Scheduled dimming with motion sensor override when wireless connected to the nLight Edge.	nLight AIR r502R	nLight AIR sensors can be programmed and commissioned from the ground using the nLight Up App.

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LED Count	Drive Current	Power Package	System Watts	Bld. Type	TM (2000K-5000K)										TM (2700K-5000K)										TM (3000K-5000K)									
					Lumens			lm/W			lm/W			Lumens			lm/W			lm/W			Lumens			lm/W			lm/W					
					L	U	D	L	U	D	L	U	D	L	U	D	L	U	D	L	U	D	L	U	D	L	U	D						
30	530	P1	5W	T15	6,457	2	0	2	128	4,956	2	0	2	129	7,044	2	0	2	130	10,000	3	0	3	131	14,228	3	0	3	134					
				T25	4,450	2	0	2	119	4,401	2	0	2	120	7,071	2	0	2	121	10,000	3	0	3	122	14,228	3	0	3	126					
				T30	4,401	1	0	1	120	4,944	2	0	2	129	7,071	2	0	2	131	10,000	3	0	3	132	14,228	3	0	3	136					
				T35	6,279	2	0	2	116	6,344	2	0	2	125	8,950	2	0	2	127	10,000	3	0	3	128	14,228	3	0	3	132					
				T40	4,401	1	0	1	120	4,944	2	0	2	129	7,071	2	0	2	131	10,000	3	0	3	132	14,228	3	0	3	136					
				T45	6,327	2	0	2	117	6,816	2	0	2	126	8,950	2	0	2	128	10,000	3	0	3	129	14,228	3	0	3	133					
				T50	4,401	1	0	1	124	4,944	2	0	2	129	7,071	2	0	2	131	10,000	3	0	3	132	14,228	3	0	3	136					
				T55	6,722	2	0	2	114	7,242	2	0	2	124	7,314	2	0	2	126	10,000	3	0	3	127	14,228	3	0	3	131					
				T60	6,728	2	0	2	115	7,248	2	0	2	124	7,314	2	0	2	126	10,000	3	0	3	127	14,228	3	0	3	131					
				T65	6,711	3	0	3	124	7,223	3	0	3	134	7,314	3	0	3	136	10,000	3	0	3	137	14,228	3	0	3	140					
				T70	6,667	3	0	3	123	7,182	3	0	3	133	7,273	3	0	3	135	10,000	3	0	3	136	14,228	3	0	3	140					
				T75	6,249	2	0	2	117	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134					
T80	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T85	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T90	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T95	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T100	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T105	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T110	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T115	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T120	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T125	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T130	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T135	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T140	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T145	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T150	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T155	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T160	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T165	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T170	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
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T185	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
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T195	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
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T205	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T210	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T215	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T220	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T225	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T230	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									
T235	6,249	2	0	2	118	6,879	2	0	2	127	8,950	2	0	2	129	10,000	3	0	3	130	14,228	3	0	3	134									



Building a Better World for All of Us

NOT FOR CONSTRUCTION

Owner: New Horizon Academy... Architect: Short Elliott Hendrickson, Inc. Landscape Architect: Short Elliott Hendrickson, Inc.

NHA Provided Planting Schedule table with columns: SYM, QTY, Botanical Name, Common Name, Size, Mature Size (H x W), Water Usage, Notes

Developer's Planting Schedule table with columns: QTY, Botanical Name, Common Name

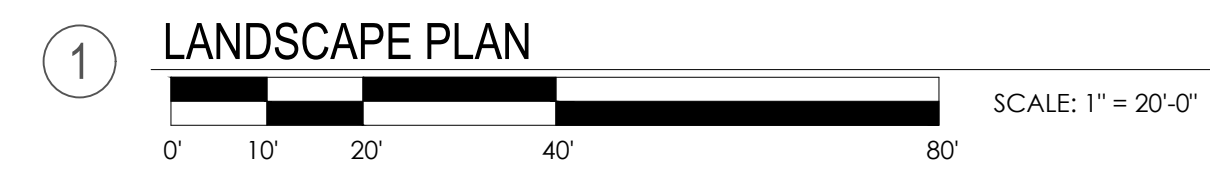
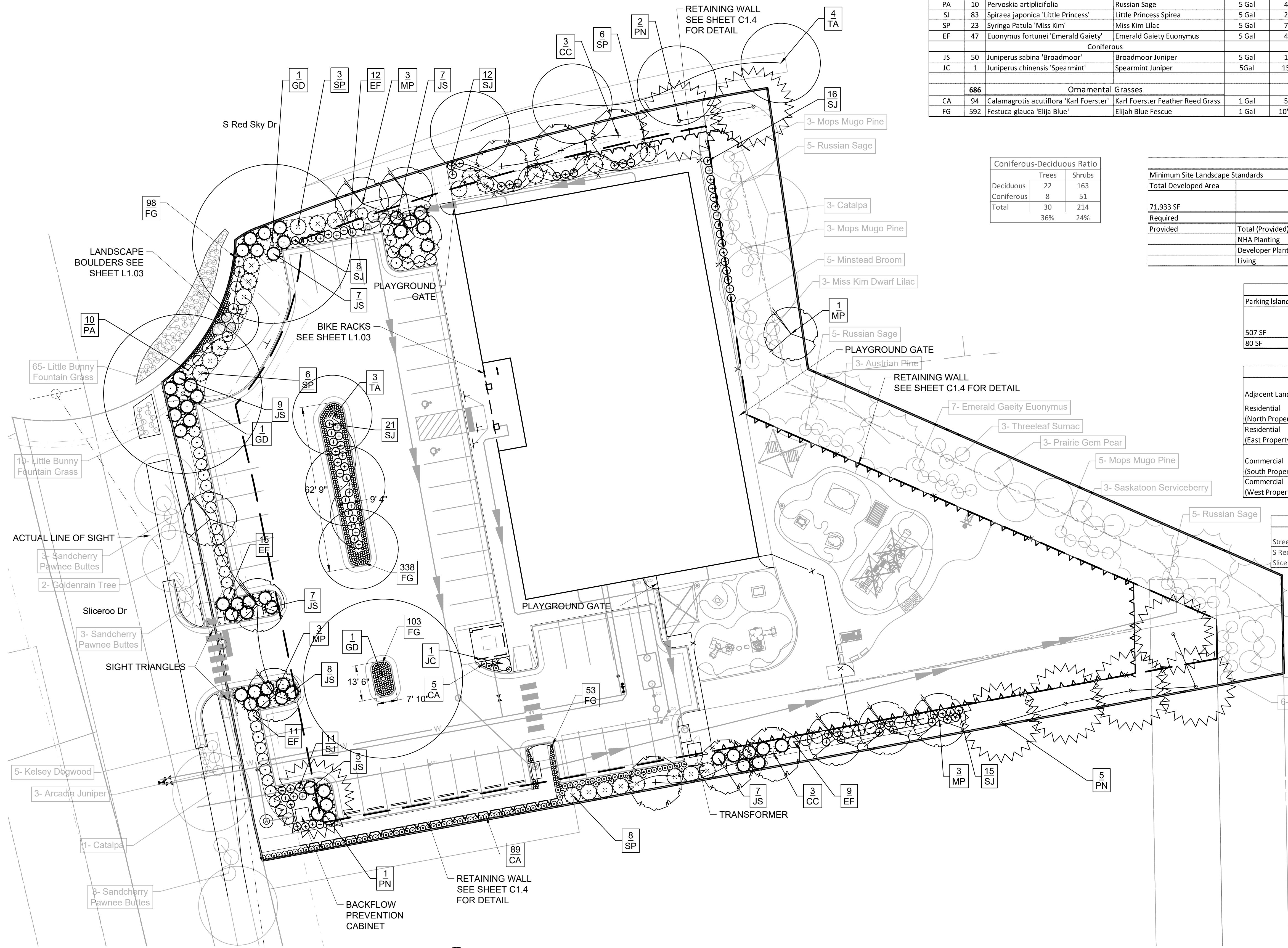
Coniferous-Deciduous Ratio table showing counts for Deciduous, Coniferous, and Total trees and shrubs.

Landscape Requirements table with columns: Minimum Site Landscape Standards, Site Landscape Requirements, Site Trees, Site Shrubs, Grasses

Parking Lot Interior Requirements table with columns: Parking Island Area, Required, Provided Trees, Provided Shrubs, Provided Grasses

Site Perimeter Requirements table with columns: Adjacent Land Use, Perimeter Length, Required, Total Provided, NHA Provided, Developer Provided

Street Tree Requirements table with columns: Street, Street Frontage Length, Required Trees, Provided NHA, Provided Developer, Total Trees Provided



NEW HORIZON ACADEMY - CHAMBERS & HESS PARKER, CO

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SEH Project: NHOAC 152217 Checked By: KW Drawn By: VT

Revision table with columns: Rev. #, Description, Date

LANDSCAPE PLAN L1.01

**NOT FOR  
CONSTRUCTION**

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**SEH Project** NHOAC 156217  
**Checked By** KW  
**Drawn By** VT

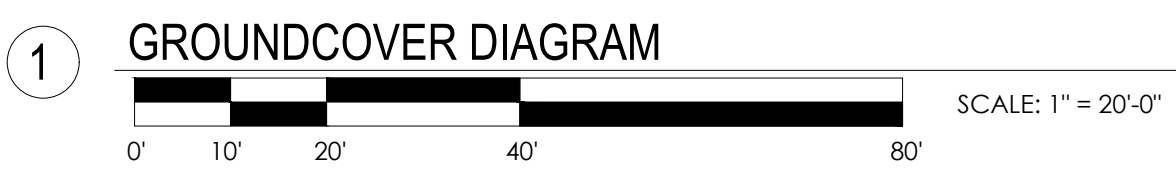
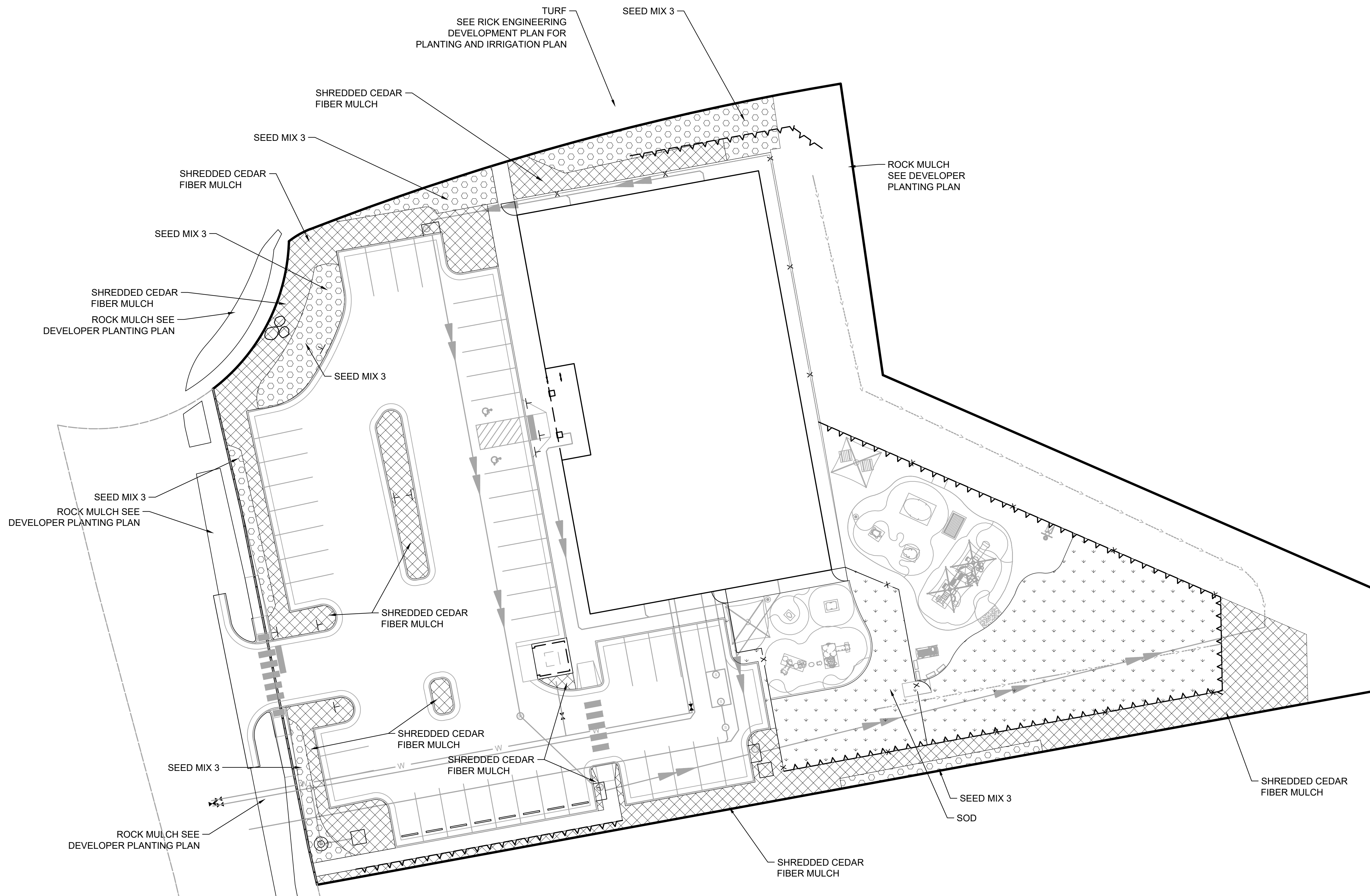
**Project Status** Issue Date

**Revision Issue**

Rev. #	Description	Date
1	City Comments	01/15/2021
2	City Comments	04/9/2021
3	City Comments	06/7/2021

GROUNDCOVER DIAGRAM

**L1.02**



- SOD
- SEED MIX 3
- MULCH

FINAL IRRIGATION PLAN AND SPECIFICATIONS TO BE SUPPLIED BY IRRIGATION CONTRACTOR.

NOTE:  
THE LANDSCAPE WORKSHEET IS 1.8 SFE. A 1" IRRIGATION TAP IS APPROPRIATE IF THE FLOW RATE AND PRESSURE WORK FOR THE IRRIGATION DESIGN.

Groundcover Requirements	
Total Landscape Area	31,851 SF
Playground (By Other)	5,596 SF (18%)
Sod (Playground Area)	7,318 SF (23%)
Town of Parker, Seed Mix 3*	3,155 SF (10%)
Natural Cedar Fiber Mulch-minimum of 4" in depth over base of geotextile fabric.	7,134 SF (22%)
Developer installed Landscape rock	8,648 SF (27%)

* Town of Parker, Seed Mix 3 (Low-Growth Mix)	
25% Ephraim Crested Wheatgrass	
23% Sheep Fescue	
18% Perennial Ryegrass	
13% Canada Bluegrass	
12% Barley or Oats	
9% Blue Fescue	

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**NOT FOR CONSTRUCTION**

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**Structural Engineer**

**Mechanical Engineer**

**Electrical Engineer**

**NEW HORIZON ACADEMY - CHAMBERS & HESS**  
PARKER, CO

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Revision Issue

Rev. #	Description	Date
1	City Comments	01/15/2021
2	City Comments	04/9/2021
3	City Comments	06/7/2021

LANDSCAPE DETAILS

**L1.03**

**LANDSCAPE SPECIFICATIONS**

**TREES, SHRUBS, AND PERENNIALS**

- REFERENCES
  - CDOT - COLORADO DEPARTMENT OF TRANSPORTATION, 2017 EDITION.
  - AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014.
- QUALITY ASSURANCE
  - WORK SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR WITH EXTENSIVE HORTICULTURE KNOWLEDGE, AND A MIN. OF 3 YEARS EXPERIENCE.
- HANDLE PLANTS IN SUCH A WAY AS TO PROTECT FROM DAMAGE EITHER PHYSICAL OR BY EXPOSURE TO SUN AND WIND. MISHANDLED PLANTS ARE SUBJECT TO REJECTION BY LANDSCAPE ARCHITECT.
- PLANTS USED ON THIS PROJECT SHALL MEET THE GRADING STANDARDS RECOMMENDED BY THE ANSI Z60.1-2014.
- PRODUCTS
  - PLANTS: TO BE SPECIFIED ON PLANT SCHEDULE.
  - EDGING: RYERSON STEEL EDGING 1/8" X 5" W/ 18" STAKES, OR EQUAL.
  - MULCH: SHREDDED CEDAR FIBER MULCH, APPLIED A MINIMUM OF FOUR INCHES IN DEPTH, INSTALLED OVER A BASE OF GEOTEXTILE FABRIC.
  - WATER: CONTRACTOR TO PROVIDE.
  - PLANTING SOIL MIX: RICH SANDY LOAM, FREE OF DEBRIS AND SEEDS, AND CONFORMING TO CDOT 207 (TOPSOIL).
  - SOIL AMENDMENTS: CONFORMING TO CDOT 212 (SEEDING, FERTILIZER, SOIL CONDITIONS AND SODDING).
  - TREE WRAP: TWO-PLY WEATHER RESISTANT PAPER PRODUCT.

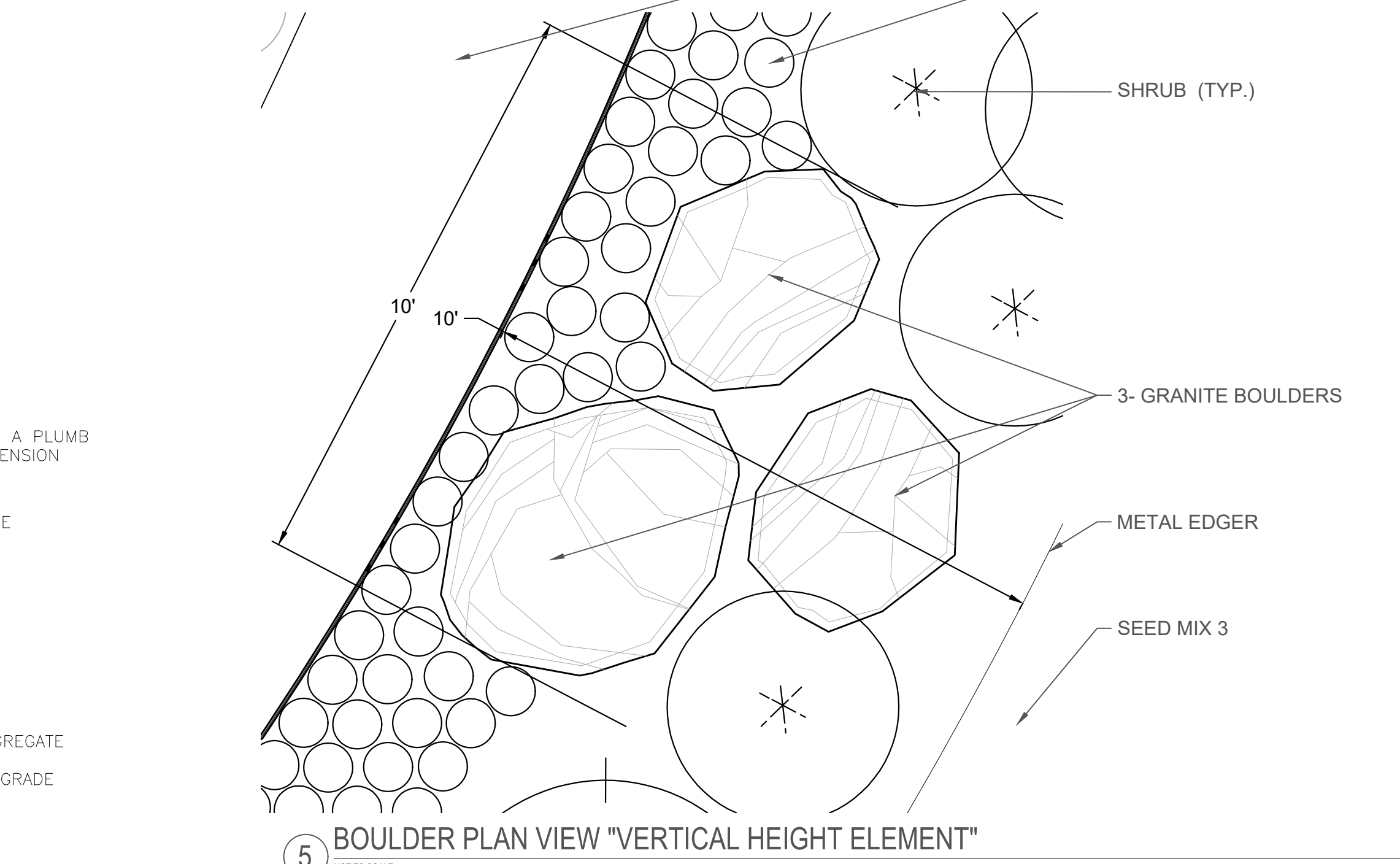
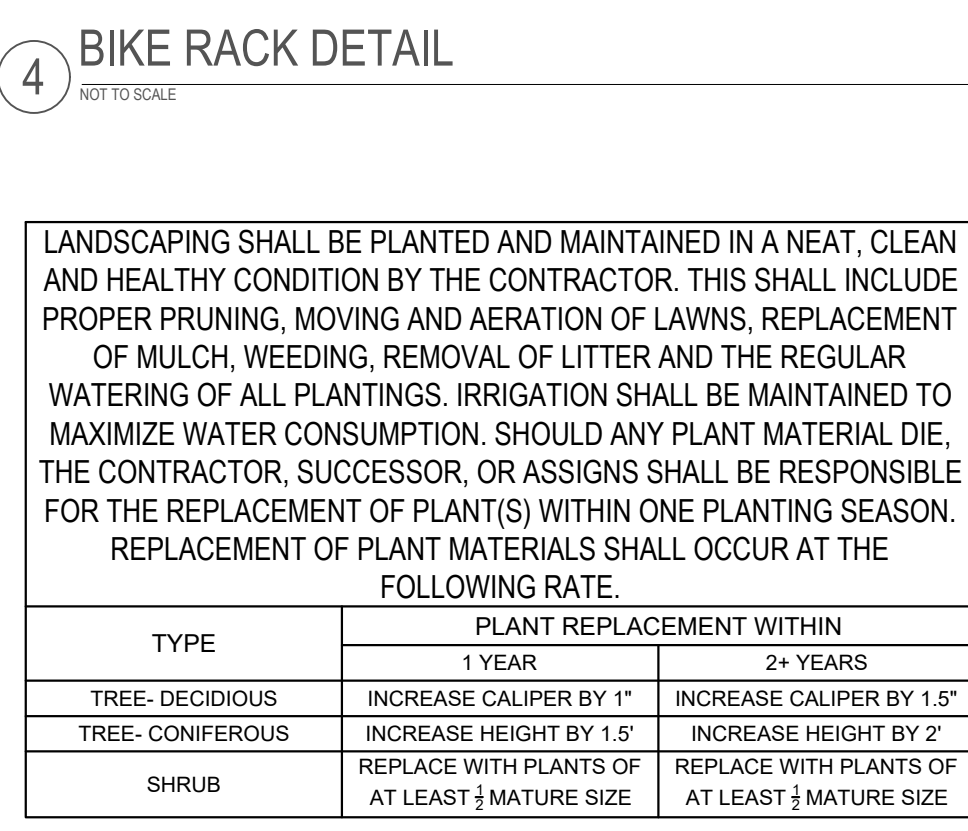
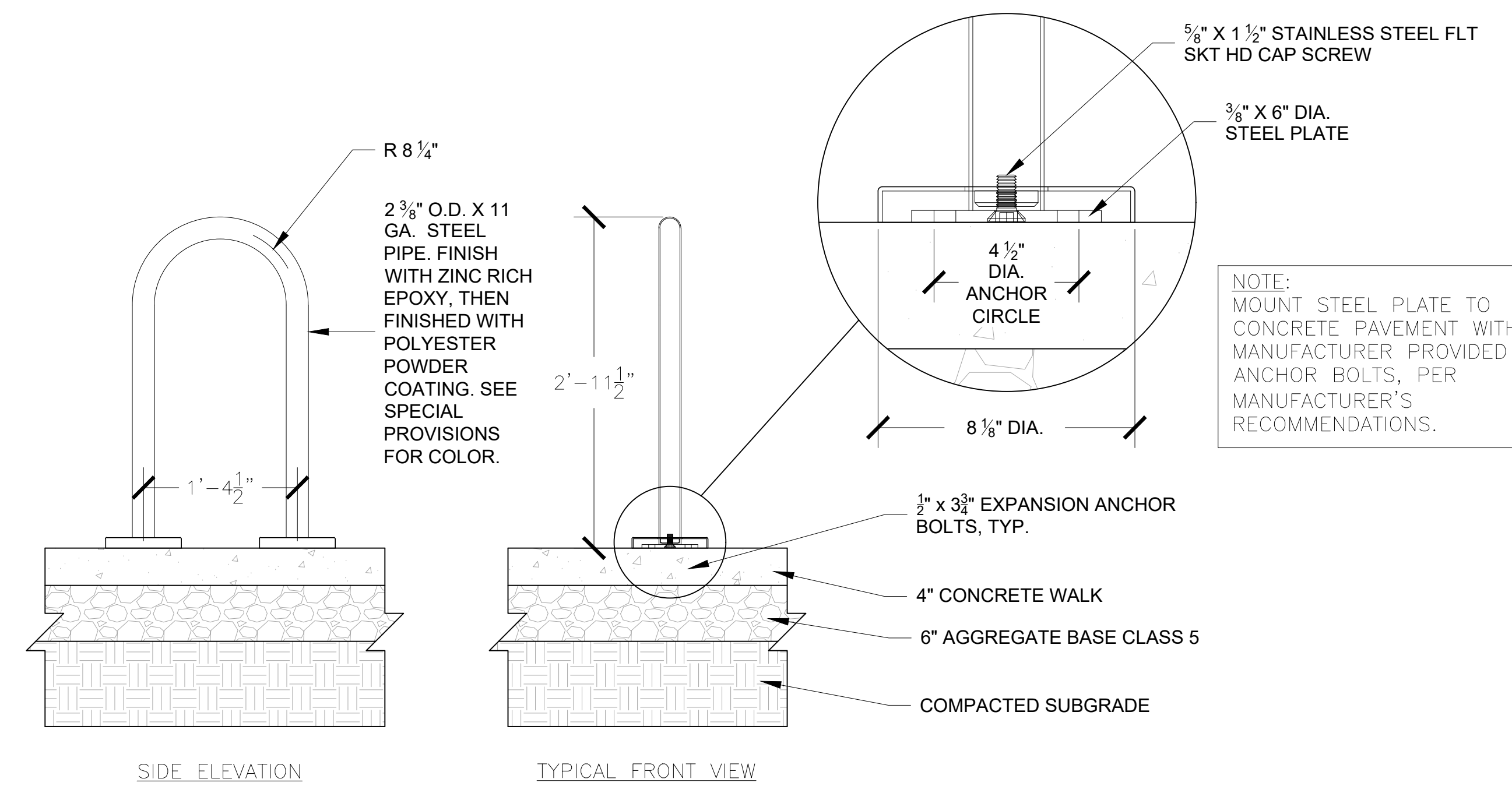
- PLANTING DATES: SPRING PLANTING: APR. 1- JUNE 15. THESE DATES MAY BE EXTENDED IF DAYTIME TEMPS. REMAIN BELOW 80 DEGREES. FALL: SEPT. 30 - OCT. 30TH. DAYTIME TEMPS. NEED TO DROP BELOW 80 DEGREES BEFORE PLANTING BEGINS, AND MAY CONTINUE UNTIL FREEZE UP. CONIFEROUS TREES AUG. 15- OCT. 1ST. PLANT UNDER FAVORABLE WEATHER CONDITIONS, DO NO PLANT DURING DAYS OF EXTREME HEAT.

- EXECUTION
  - PLANT INTO PREPARED PLANTING BEDS.
  - PRIOR TO DIGGING, CONTRACTOR TO HAVE UTILITIES LOCATED AND MARKED.
  - CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT 3 DAYS IN ADVANCE OF WHEN PLANTING WORK WILL OCCUR.
  - INSTALL TREES, SHRUBS, AND PERENNIALS PER PLANTING DETAILS. ADJUST LOCATION IF IN CONFLICT WITH UTILITIES. VERIFY NEW LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO PLANTING.
  - SEPARATE ALL SHRUB BEDS FROM SOD AREAS WITH METAL EDGER.
  - CLEAN-UP ENTIRE SITE FOLLOWING PLANTING OPERATIONS.

- ACCEPTANCE OF PLANTING WORK
  - CONTRACTOR TO NOTIFY OWNER WHEN PLANTING WORK IS COMPLETE FOR REVIEW AND PUNCH LIST.
  - CONTRACTOR TO WATER AND MAINTAIN THE TREES, SHRUBS, AND PERENNIALS UNTIL OWNER ACCEPTANCE.
  - OWNER WILL GIVE ACCEPTANCE OF WORK, FOLLOWING SATISFACTORY CORRECTION OF PUNCH LIST ITEMS.
  - WATERING AND REGULAR LANDSCAPE MAINTENANCE OF TREES, SHRUBS, AND PERENNIALS WILL BE OWNERS RESPONSIBILITY FOLLOWING OWNER ACCEPTANCE OF WORK.

- GUARANTEE PERIOD
  - CONTRACTOR TO WARRANTY TREES, SHRUBS, AND PERENNIALS FOR TWO YEARS FOLLOWING ACCEPTANCE OF WORK BY OWNER.
  - CONTRACTOR TO MAINTAIN THE TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. CONTRACTOR TO REMOVE ALL STAKING/ WIRING/ STRAPS FROM FREES AT THE END OF THE GUARANTEE PERIOD.
  - REPLACEMENTS: AT THE END OF THE GUARANTEE PERIOD, ALL PLANTS WHICH ARE UNHEALTHY, DEAD, NOT HAVING A NORMAL DENSITY, SIZE, SHAPE OR COLOR SHALL BE REPLACED. REPLACEMENTS SHALL MATCH CALIPER AND/OR HEIGHT OF THE OTHER PLANTS AT TIME OF REPLACEMENT. SELECTION OF REPLACEMENT MATERIAL AND INSTALLATION PRACTICES SHALL FOLLOW THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.

- IRRIGATION
  - CONFORM TO THE REQUIREMENTS OF CDOT 107.14 (INTERRUPTION OF IRRIGATION WATER FLOW), CDOT 623 (IRRIGATION SYSTEM) AND ALL OTHER APPLICABLE CDOT IRRIGATION MATERIALS AND CONSTRUCTION REQUIREMENTS.



LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN AND HEALTHY CONDITION BY THE CONTRACTOR. THIS SHALL INCLUDE PROPER PRUNING, MOVING AND AERATION OF LAWNS, REPLACEMENT OF MULCH, WEEDING, REMOVAL OF LITTER AND THE REGULAR WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED TO MAXIMIZE WATER CONSUMPTION. SHOULD ANY PLANT MATERIAL DIE, THE CONTRACTOR, SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT(S) WITHIN ONE PLANTING SEASON. REPLACEMENT OF PLANT MATERIALS SHALL OCCUR AT THE FOLLOWING RATE.

TYPE	PLANT REPLACEMENT WITHIN	
	1 YEAR	2+ YEARS
TREE- DECIDUOUS	INCREASE CALIPER BY 1"	INCREASE CALIPER BY 1.5"
TREE- CONIFEROUS	INCREASE HEIGHT BY 1.5'	INCREASE HEIGHT BY 2'
SHRUB	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE	REPLACE WITH PLANTS OF AT LEAST 1/2 MATURE SIZE



- NOTES:**
- REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE. DO NOT CUT THE LEADER.
  - WIDTH OF PLANTING HOLES: 18" MIN. LARGER THAN ROOT BALL, ON ALL SIDES.
  - DEPTH OF HOLE: ROOT FLARE TO SIT AT OR UP TO 2" ABOVE THE TOP OF THE FINISHED SOIL ELEVATION. LEAVE SOIL UNDISTURBED BENEATH THE ROOT BALL.
  - SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
  - SET PLANT ON UNDISTURBED SOIL OR THOROUGHLY COMPACTED PLANTING SOIL.
  - REMOVE TOP 1/3 OF THE BASKET OR THE TOP TWO HORIZONTAL RINGS WHICHEVER IS GREATER. COMPLETELY REMOVE ALL BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL TWINE. REMOVE OR CORRECT STEM GIRDLING ROOTS.
  - SLIT REMAINING BURLAP AT 6" INTERVALS.
  - PLUMB & BACKFILL WITH PLANTING SOIL. THOROUGHLY WATER IN TREE WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
  - BACKFILL VOIDS AND WATER A SECOND TIME.
  - PLACE 4" MULCH WITHIN 48 HOURS OF THE SECOND WATERING. NO MULCH TO BE IN CONTACT W/ TRUNK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. STAKE TREES IF SITE CONDITIONS, SUCH AS SOIL AND WIND, PREVENT THE TREES FROM STAYING PLUMB. USE 16" LONG, 1.5" WIDE STRAPS, SEE SPECS. ATTACH TO POST WITH WIRE SEE SPECS. INSTALL POST 3" INTO GROUND. REMOVE WITHIN ONE YEAR.
  - WRAP TRUNK IN FALL REMOVE IN SPRING.
  - REFER TO SPECS. FOR PRODUCTS AND OTHER INFORMATION.

**1 TREE PLANTING DETAIL**  
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**4 BIKE RACK DETAIL**  
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**2 SHRUB PLANTING DETAIL**  
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**3 BOULDER SECTION "VERTICAL HEIGHT ELEMENT"**  
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