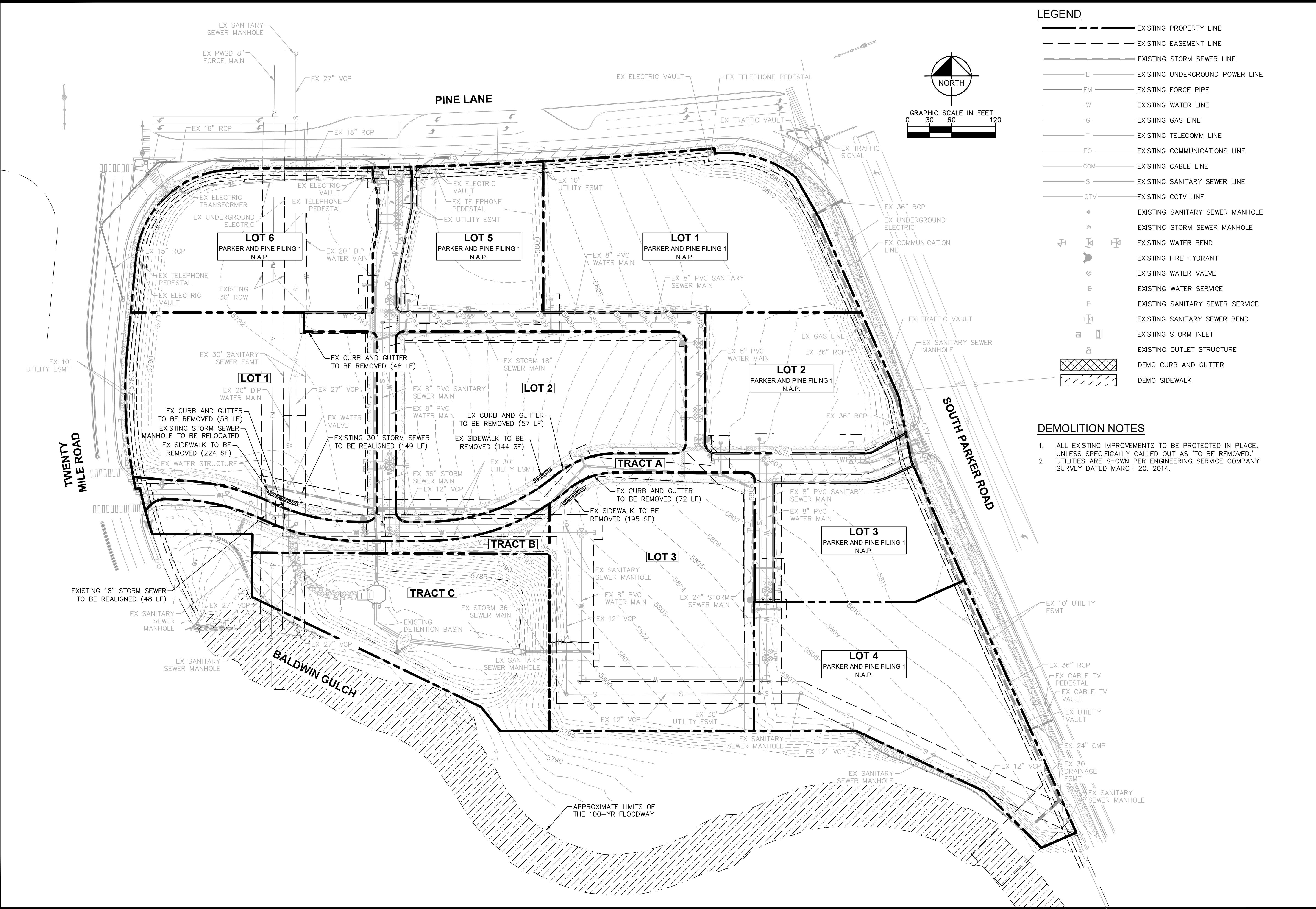




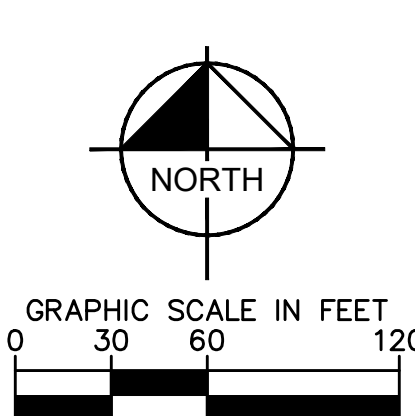
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**LEGEND**

- — — — — EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- — — — — EXISTING STORM SEWER LINE
- — — — — EXISTING UNDERGROUND POWER LINE
- — — — — EXISTING FORCE PIPE
- — — — — EXISTING WATER LINE
- — — — — EXISTING GAS LINE
- — — — — EXISTING TELECOMM LINE
- — — — — EXISTING COMMUNICATIONS LINE
- — — — — EXISTING CABLE LINE
- — — — — EXISTING SANITARY SEWER LINE
- — — — — EXISTING CCTV LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- ⊕ EXISTING WATER BEND
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER SERVICE
- ⊕ EXISTING SANITARY SEWER SERVICE
- ⊕ EXISTING SANITARY SEWER BEND
- ⊕ EXISTING STORM INLET
- ⊕ EXISTING OUTLET STRUCTURE
- ▨ DEMO CURB AND GUTTER
- ▨ DEMO SIDEWALK

- DEMOLITION NOTES**
1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
  2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.



NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

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 DRAWN BY: JRK  
 CHECKED BY: DLS  
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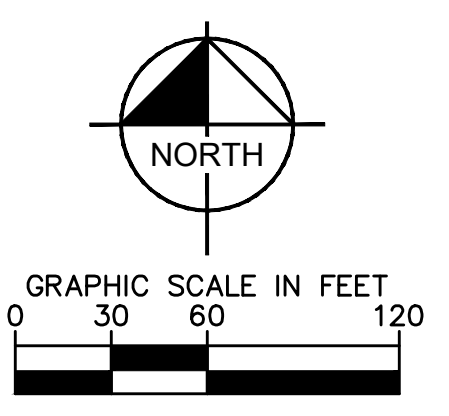
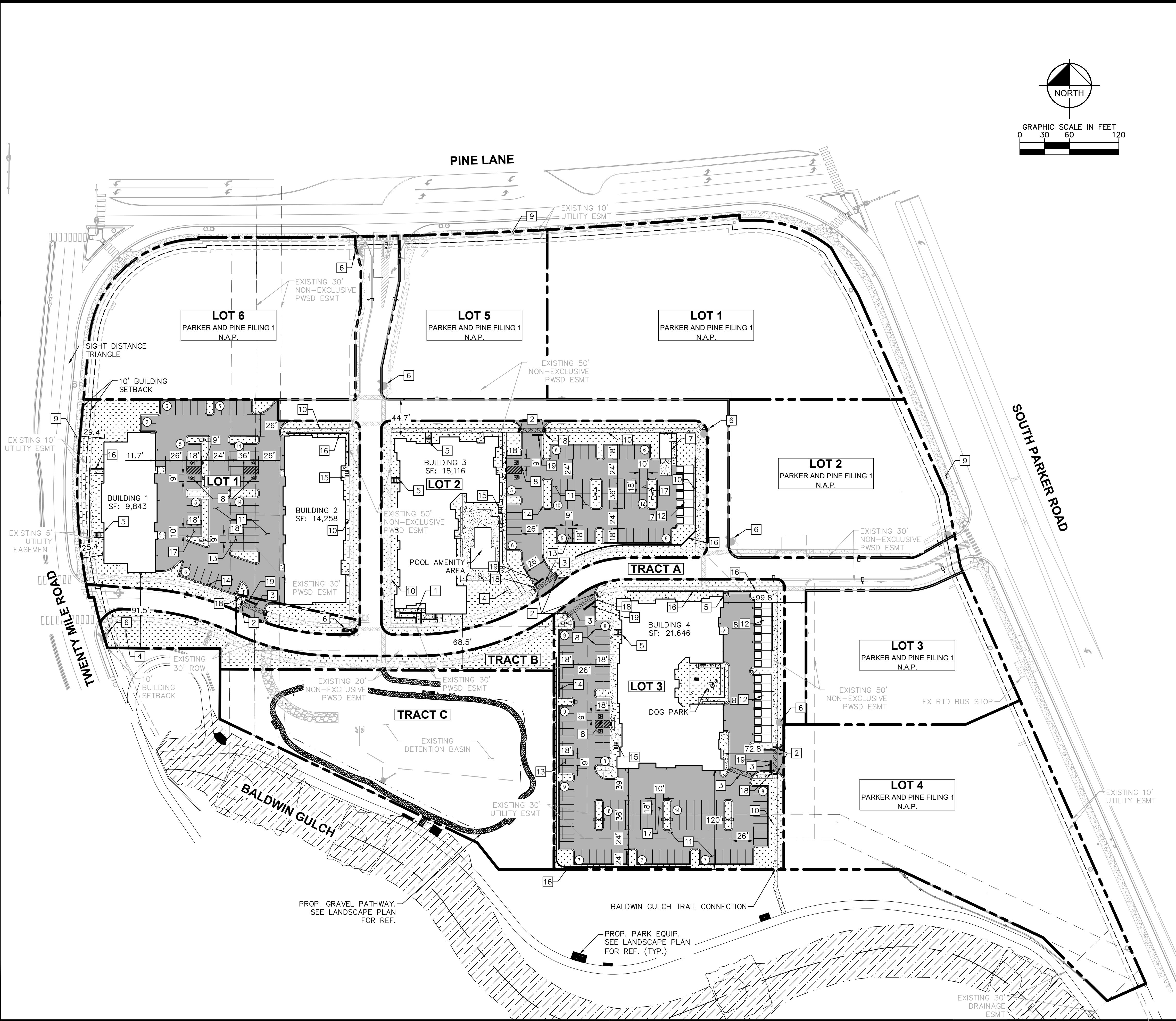
PARKER AND PINE MULTI-FAMILY  
 PARKER, CO  
 SITE PLAN  
 EXISTING CONDITIONS AND DEMO PLAN

**PRELIMINARY**  
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 NOT FOR CONSTRUCTION  
**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

PROJECT NO.  
 096481002

DRAWING NAME  
 096481002PSP\_DM

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**LEGEND**

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	COLORLED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
  - 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
  - 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
  - 4 PROPOSED MONUMENT SIGN.
  - 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
  - 6 EXISTING FIRE HYDRANT.
  - 7 PROPOSED TRASH ENCLOSURE.
  - 8 PROPOSED ADA PARKING STALLS.
  - 9 EXISTING 8' CONCRETE SIDEWALK.
  - 10 PROPOSED 5' CONCRETE SIDEWALK.
  - 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
  - 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
  - 13 PROPOSED STANDARD 9'X18' PARKING STALL
  - 14 PROPOSED STANDARD CURB AND GUTTER
  - 15 PROPOSED 6 STALL BICYCLE PARKING
  - 16 PROPOSED RETAINING WALL
  - 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
  - 18 PROPOSED STOP SIGN R-1
  - 19 PROPOSED STOP BAR

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
  2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
  3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

NO.	REVISION	BY	DATE	APPR

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 4582 South Ulster Street, Suite 1500,  
 Denver, Colorado 80237 (303) 228-2300

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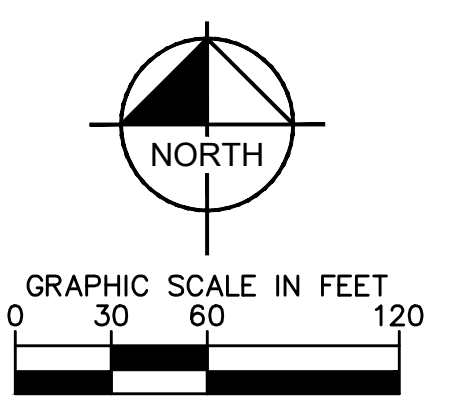
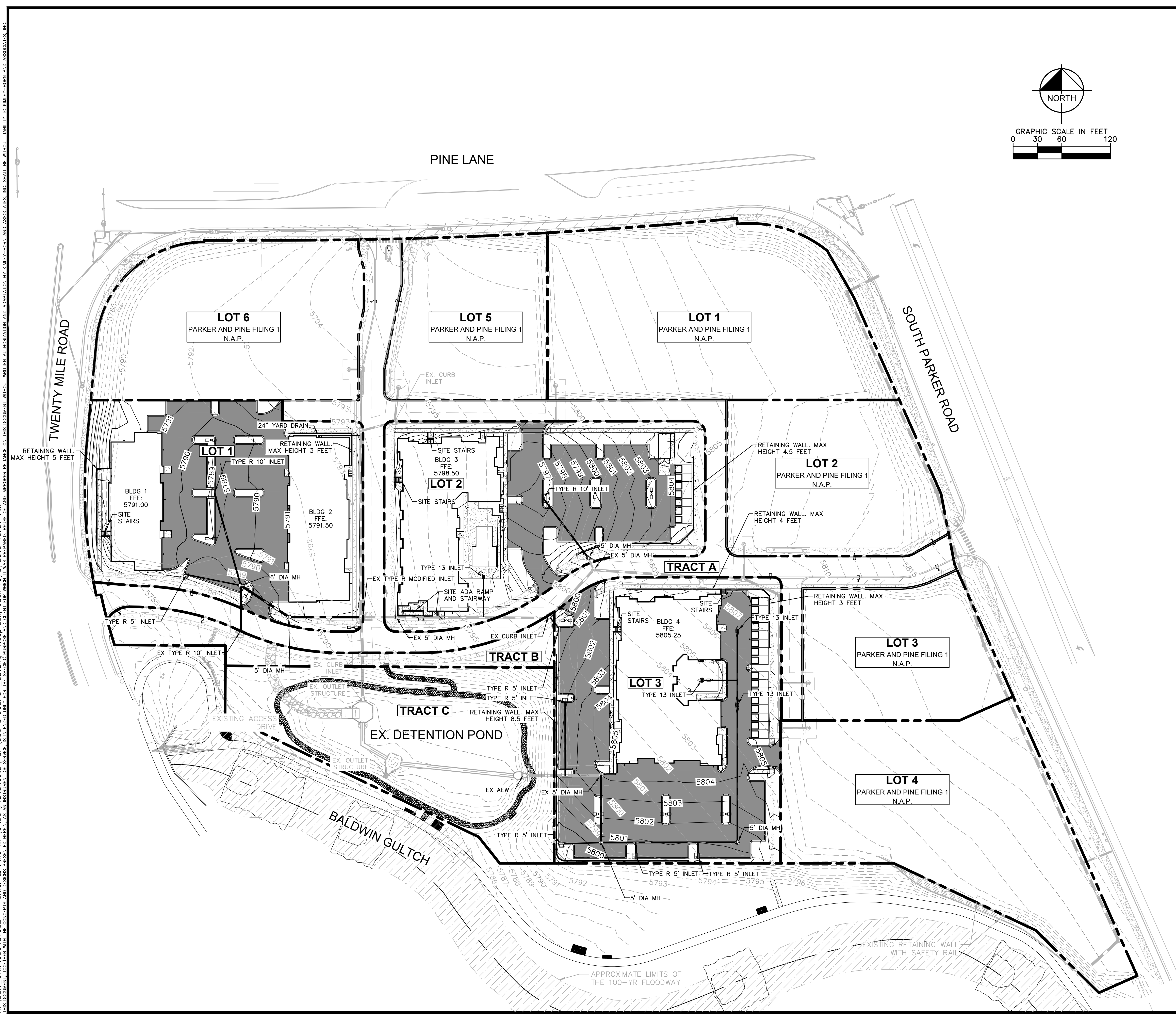
PARKER AND PINE MULTI-FAMILY  
 PARKER, CO  
 SITE PLAN  
**OVERALL SITE PLAN**

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**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET

**BENCHMARK**  
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.  
 ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

**NOTE:**  
 1. BUILDING ROOF DRAINS TO DISCHARGE ON GRADE.

NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

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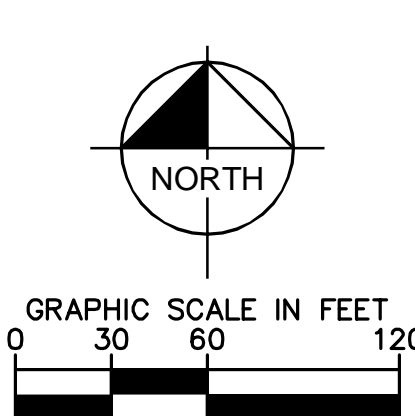
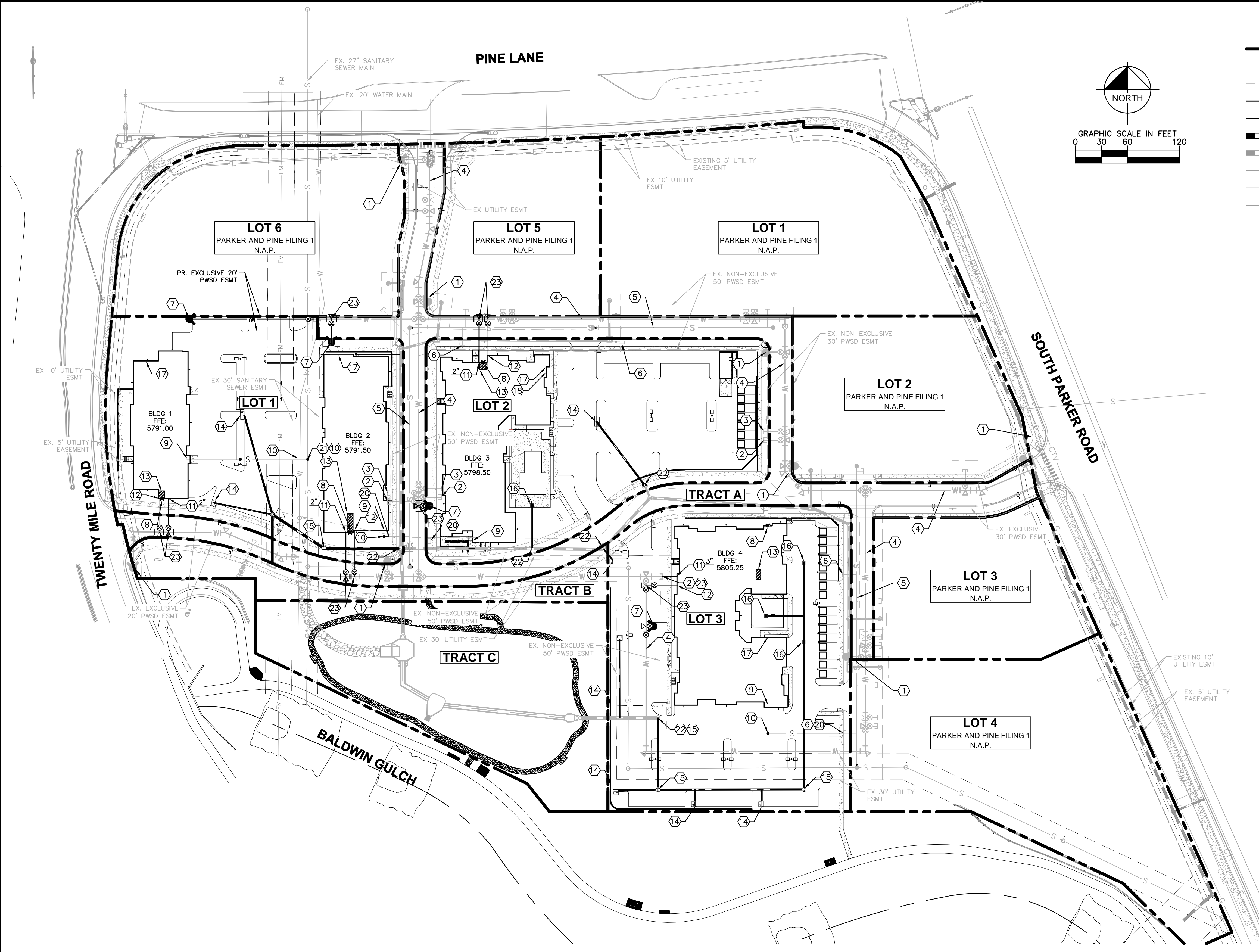
PARKER AND PINE MULTI-FAMILY  
 PARKER, CO  
 SITE PLAN  
**OVERALL GRADING PLAN**

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PROJECT NO.  
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**UTILITY LEGEND**

- — — — — EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT
- - - - - PROPOSED EASEMENT
- S — — — — — PROPOSED SANITARY SEWER LINE
- W — — — — — PROPOSED WATER LINE
- — — — — PROPOSED STORM DRAINAGE LINE
- — — — — EXISTING STORM DRAINAGE LINE
- G — — — — — EXISTING GAS LINE
- W — — — — — EXISTING WATER LINE
- S — — — — — EXISTING SANITARY SEWER LINE
- E — — — — — EXISTING ELECTRIC LINE
- ⊕ PROPOSED FIRE HYDRANT W/ BOLLARDS
- ⊠ PROPOSED METER
- ⊕ ⊖ PROPOSED WATER VALVE
- ⊕ ⊖ PROPOSED TEE / BEND
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS

**SITE KEYNOTES**

- ① EXISTING FIRE HYDRANT
- ② EXISTING 8" STUB W/TEMP BLOW-OFF
- ③ EXISTING 6" FIRE SERVICE W/TEMP BLOW-OFF
- ④ EXISTING 8" WATER MAIN
- ⑤ EXISTING 8" SEWER MAIN
- ⑥ EXISTING 6" SEWER STUB
- ⑦ PROPOSED FIRE HYDRANT WITH 6" GATE VALVE
- ⑧ PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- ⑨ PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
- ⑩ PROPOSED SANITARY SEWER CLEANOUT
- ⑪ PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. SIZE PER PLAN
- ⑫ PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
- ⑬ PROPOSED FIRE RISER ROOM
- ⑭ PROPOSED CURB INLET
- ⑮ PROPOSED STORM MANHOLE
- ⑯ PROPOSED AREA INLET
- ⑰ PROPOSED BUILDING ELECTRIC METER LOCATION
- ⑱ PROPOSED BUILDING GAS METER LOCATION
- ⑲ EXISTING PWS 8" FORCE MAIN
- ⑳ CONNECT TO EXISTING SANITARY SEWER STUB
- ㉑ CONNECT TO EXISTING SANITARY SEWER MAIN PER PWS STANDARDS.
- ㉒ TIE INTO EXISTING STORM SEWER SYSTEM
- ㉓ CONNECT TO EXISTING WATER MAIN PER PWS STANDARDS

**FIRE CODE REVIEW BLOCK**

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

(NOTE - UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)

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**Kimley»Horn**  
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 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

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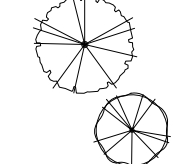

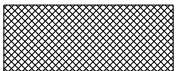

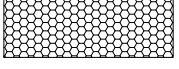


PARKER AND PINE MULTI-FAMILY  
 PARKER, CO  
 SITE PLAN  
**OVERALL UTILITY PLAN**

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**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

PROJECT NO.  
096481002

DRAWING NAME  
096481002PSP\_UT

**LANDSCAPE PLAN LEGEND:**

-  - DECIDUOUS CANOPY TREES
-  - ORNAMENTAL TREES
-  - EVERGREEN TREES
-  - DECIDUOUS SHRUBS
-  - LOW/SPREADING SHRUBS
-  - PERENNIALS
-  - ORNAMENTAL GRASSES
-  - KEN-TEX BLUEGRASS SOD (HIGH WATER USE)
-  - EXISTING KEN-TEX BLUEGRASS SOD & TOWN OF PARKER SEED MIX 3

REFERENCE SHEET 07 OF 08 FOR COMPLETE PLANT SCHEDULE, TABULATIONS & NOTES.  
 REFERENCE SHEET 08 OF 08 FOR LANDSCAPE DETAILS.

NO.	REVISION	BY	DATE	APPR.

**THE GARRETT COMPANIES**  
 1051 GREENWOOD SPRINGS  
 BLD. GREENWOOD, IN 46143 317-866-7923



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 DRAWN BY: NAS  
 CHECKED BY: TGC  
 DATE: 08/21/20

PARKER AND PINE MULTI-FAMILY  
 PARKER, CO  
 PRELIMINARY SITE PLAN  
 LANDSCAPE PLAN

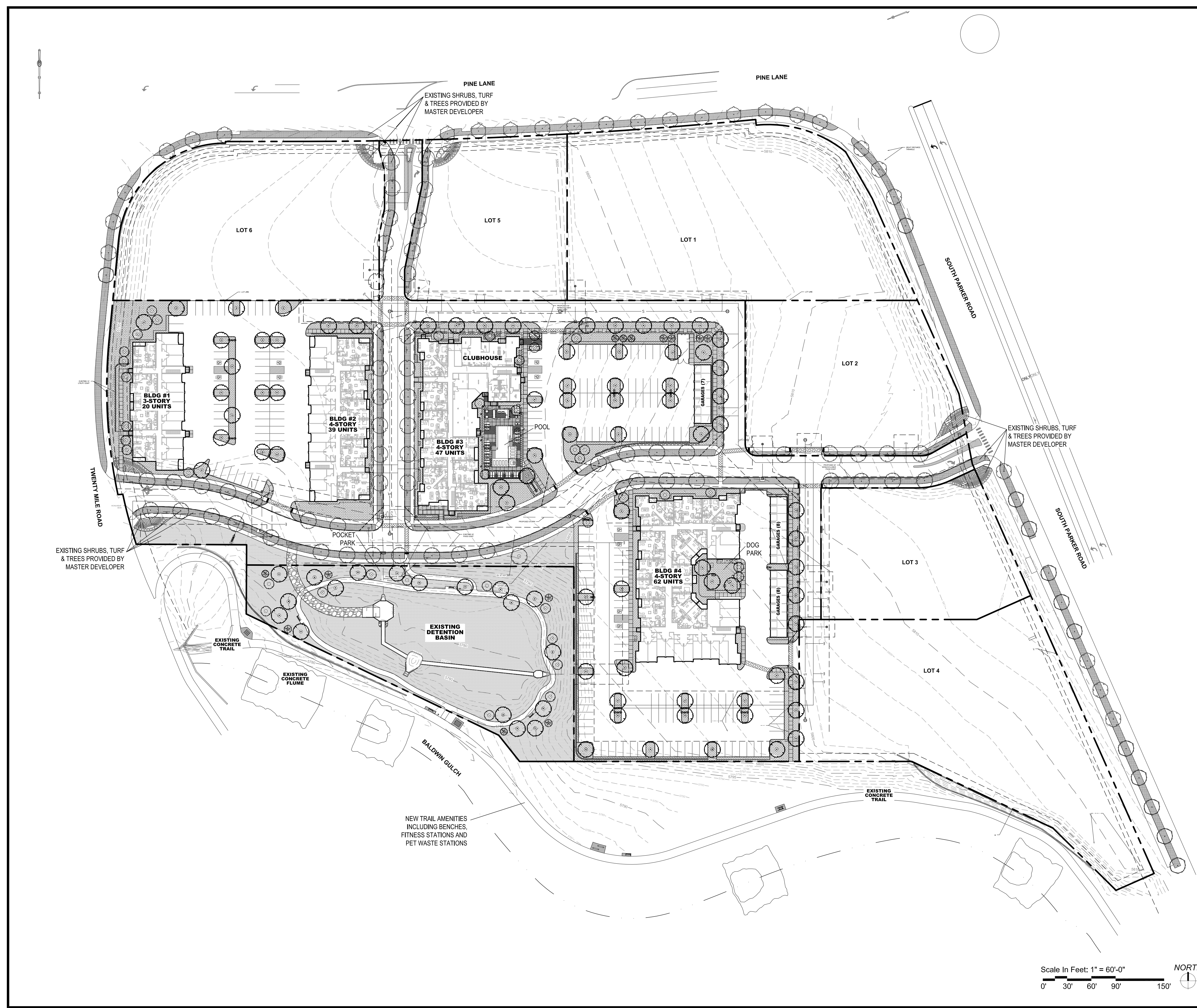
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 Nicholas Allen Smith  
 Registered Landscape Architect of the State of COLORADO  
 Registration Number: 1436

**NOT FOR CONSTRUCTION**

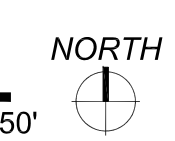
PROJECT NO. 096502001

DRAWING NAME LANDSCAPE PLAN

06 OF 13



Scale In Feet: 1" = 60'-0"  
 0' 30' 60' 90' 150'



**PLANT SCHEDULE**

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME	SIZE	HEIGHT	WIDTH	HYDROZONE	NOTES	%
<b>DECIDUOUS CANOPY TREES</b>										
	CTA	13	CATALPA	CATALPA SPECIOSA	2" CAL.	45	30	M-H	BALLED & BURLAPPED	9.2
	HAC	13	HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	50	45	M-H	BALLED & BURLAPPED	9.2
	PSG	13	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	9.2
	IMP	13	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'	2" CAL.	35	30	M-H	BALLED & BURLAPPED	9.2
	KCT	13	KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CAL.	50	45	M-H	BALLED & BURLAPPED	9.2
	EPT	13	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'	2" CAL.	50	30	M-H	BALLED & BURLAPPED	9.2
	ENO	13	ENGLISH OAK	QUERCUS ROBUR	2" CAL.	45	30	M-H	BALLED & BURLAPPED	9.2
	RED	13	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	9.2
	GSP	13	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDATA 'GREENSPIRE'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	9.2
	ACE	13	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2" CAL.	50	30	M-H	BALLED & BURLAPPED	9.2
	PSE	11	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	8
SUBTOTAL		141								

<b>ORNAMENTAL TREES</b>										
	HWM	10	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	2" CAL.	20	15	M	BALLED & BURLAPPED	26
	ABS	10	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'	2" CAL.	20	20	M	B & B, SINGLE TRUNK	26
	TCH	10	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'	2" CAL.	15	15	M	BALLED & BURLAPPED	26
	JLI	9	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT' TM	2" CAL.	20	15	M	BALLED & BURLAPPED	22
SUBTOTAL		39								

<b>EVERGREEN TREES</b>										
	VVP	4	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'	6' HT.	15	10	L-M	BALLED & BURLAPPED	30
	LBP	4	LIMBER PINE	PINUS FLEXILIS	6' HT.	35	15	L-M	BALLED & BURLAPPED	30
	BCP	1	BRISTLEcone PINE	PINUS ARISTATA	6' HT.	20	15	L-M	BALLED & BURLAPPED	30
	GGJ	4	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	6' HT.	15	6	L-M	BALLED & BURLAPPED	10
SUBTOTAL		13								

<b>DECIDUOUS SHRUBS</b>										
	CPB		REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL.	2	3	L-M	MATCHING, CONTAINER FULL	
	BMS		BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
	RUS		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	4	4	L-M	MATCHING, CONTAINER FULL	
	WSC		WESTERN SAND SHERRY	PRUNUS BESSEYI	5 GAL.	5	5	L-M	MATCHING, CONTAINER FULL	
	CSR		CAREFREE SUNSHINE ROSE	ROSA 'CAREFREE SUNSHINE ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	KOR		KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	NMP		NEW MEXICO PRIVET	FORESTIERA NEOMEXICANA	5 GAL.	12	8	M	MATCHING, CONTAINER FULL	
	GFS		'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	PML		MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	KBW		KOREAN BOXWOOD	BUXUS 'KOREAN'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	YTD		YELLOWTWIG DOGWOOD	CORNUS SERICEA 'FLAVIRAMEA'	5 GAL.	6	6	M	MATCHING, CONTAINER FULL	
	MAE		MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	KDD		KELSEY DWARF DOGWOOD	CORNUS SERICEA 'KELSEY'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	KSV		KOREAN SPICE VIBURNUM	VIBURNUM CARLESII	5 GAL.	6	6	M-H	MATCHING, CONTAINER FULL	
SUBTOTAL		500								

<b>LOW/SPREADING SHRUBS</b>										
	BHJ		BAR HARBOR JUNIPER	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	5 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	PWJ		PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	5 GAL.	1	8	L-M	MATCHING, CONTAINER FULL	
	CCJ		CALAGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	5 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	BRD		BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	ARJ		ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	5 GAL.	2	6	L-M	MATCHING, CONTAINER FULL	
	PBC		CREeping WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	2	5	L-M	MATCHING, CONTAINER FULL	
	HCS		HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	5 GAL.	3	5	L-M	MATCHING, CONTAINER FULL	
	NBJ		NEW BLUE JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA 'NEW BLUE'	5 GAL.	4	7	L-M	MATCHING, CONTAINER FULL	
SUBTOTAL		250								

<b>PERENNIALS</b>										
	DF		DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS.	1	2	L-M	18" O.C., CONTAINER FULL	
	PM		PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS.	1.5	1.5	M	18" O.C., CONTAINER FULL	
	YC		YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA	4 IN. POTS.	2	2	M	18" O.C., CONTAINER FULL	
	BE		BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	4 IN. POTS.	2	2	L-M	18" O.C., CONTAINER FULL	
	AJ		AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS.	2	1.5	L-M	18" O.C., CONTAINER FULL	
	MN		MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS.	2	2	M	18" O.C., CONTAINER FULL	
SUBTOTAL		500								

<b>ORNAMENTAL GRASSES</b>										
	BBG		BIG BLUESTEM GRASS	ANDROPOGON GERARDII	1 GAL.	6	3	L-M	MATCHING	
	GAG		BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL.	4	3	L-M	MATCHING	
	PMG		PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.	4	3	L-M	MATCHING	
	SWG		SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL.	5	3	L-M	MATCHING	
	FRG		FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M	MATCHING	
	LBG		LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL.	3	3	L-M	MATCHING	
	BLA		BLONDE AMBITION GRASS	BOUTELOUA GRACILIS	1 GAL.	2	2	L-M	MATCHING	
	PDG		PRAIRIE DROPSEED GRASS	SPOROBOLUS HETEROLEPIS	1 GAL.	3	3	L-M	MATCHING	
SUBTOTAL		250								

- KEN-TEX BLUEGRASS SOD (HIGH WATER USE)	SUBTOTAL	33,523 SQ. FT.
- EXISTING KEN-TEX BLUEGRASS SOD & TOWN OF PARKER SEED MIX 3	SUBTOTAL	62,992 SQ. FT.

NOTE: A PORTION OF STREET TREES, SHRUBS AND TURF SHALL BE INSTALLED BY MASTER DEVELOPER PREVIOUS TO THIS PROJECT

**TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES:**

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS' ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY. ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G., FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION.
- IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET. IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPED AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO THE ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

**LANDSCAPE NOTES:**

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- OWNER'S REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL AFTER CITY INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 2" DEPTH SHREDDED HARDWOOD MULCH. CONTRACTOR SHALL PROVIDE 1 GALLON BAG SAMPLE OF MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL. PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLE. ALL PERENNIAL AND ANNUAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARD AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER, AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH, FERTILIZING, PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.
- SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
- ALL EXISTING TREES, SHRUBS, GRASS, ROCKS, FENCE ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE CESARE, INC. PROJECT NO. 16.174, AUGUST 17, 2016 #11 SURFACE DRAINAGE. C) WATERING WITHIN 5 FEET OF THE STRUCTURE SHOULD BE ELIMINATED. D) IF LAWN EDGING IS USED AROUND THE EXTERIOR OF THE STRUCTURE, IT SHOULD BE PERFORATED TO PREVENT PONDING OF SURFACE WATER IN THE VICINITY OF THE BACKFILL SOILS. F) IF A SPRINKLER SYSTEM IS INSTALLED, THE SPRINKLER HEADS SHOULD BE PLACED SO THAT THE SPRAY FROM THE HEADS, UNDER FULL PRESSURES, DOES NOT FALL WITHIN 5 FEET OF FOUNDATION WALLS."

SITE DATA TABLE					
ZONING: PUD PARKER AUTO PLAZA 1ST AMD		PROPOSED USE: MULTI-FAMILY			
SITE DATA	TOTAL/ACTUAL SF	MIN. NUMBER/ AREA SF REQUIRED	% OR # REQUIRED	% OR # PROVIDED	
GROSS SITE AREA:	413,536 SF	N.A.	N.A.	N.A.	100%
BUILDING COVERAGE:	68,635 SF	N.A.	N.A.	N.A.	17%
HARD SURFACE AREA:	214,433 SF	N.A.	N.A.	N.A.	51%
TOTAL LANDSCAPED AREA (EXCLUDING R.O.W.):	130,468 SF	N.A.	N.A.	N.A.	32%
LANDSCAPED AREA:	130,468 SF				32%
(SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	14,628 SF	N.A.	N.A.	N.A.	4%
EXISTING GRASS	62,992 SF	N.A.	N.A.	N.A.	15%
NEW PERMANENTLY IRRIGATED GRASS	33,523 SF	N.A.	N.A.	N.A.	13%
TREES:	192				
STREET TREES:	60	N.A.	N.A.	N.A.	
PARKING LOT INTERIOR LANDSCAPING:	A MIN. OF 10% OF PARKING LOT AREA ALLOCATED TO LANDSCAPE ISLANDS				REQUIREMENT MET
SITE PERIMETER LANDSCAPE REQ.:	1 TREE AND 5 SHRUBS FOR EACH 30 LF OF EDGE				REQUIREMENT MET
LANDSCAPE REQUIREMENTS:					
ONE (1) TREE AND (5) SHRUBS SHALL BE PLANTED FOR EACH ONE THOUSAND FIVE HUNDRED (1,500) SQUARE FEET OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING.	TREES (288,000 SQ. FT.)	N.A.	192	N.A.	192
	SHRUBS (288,000 SQ. FT.)	N.A.	960	N.A.	960

EXISTING TREES					
TYPE OF TREE	LEGEND	CRITERIA FOR REMOVAL	CONDITION	CALIPER	MITIGATION TREES REQUIRED
THERE ARE NO EXISTING TREES ON SITE					



NO.	REVISION	BY	DATE	APPR.

**THE GARRETT COMPANIES**  
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46043 317-866-7923

DESIGNED BY: NAS  
DRAWN BY: NAS  
CHECKED BY: TGC  
DATE: 08/21/20

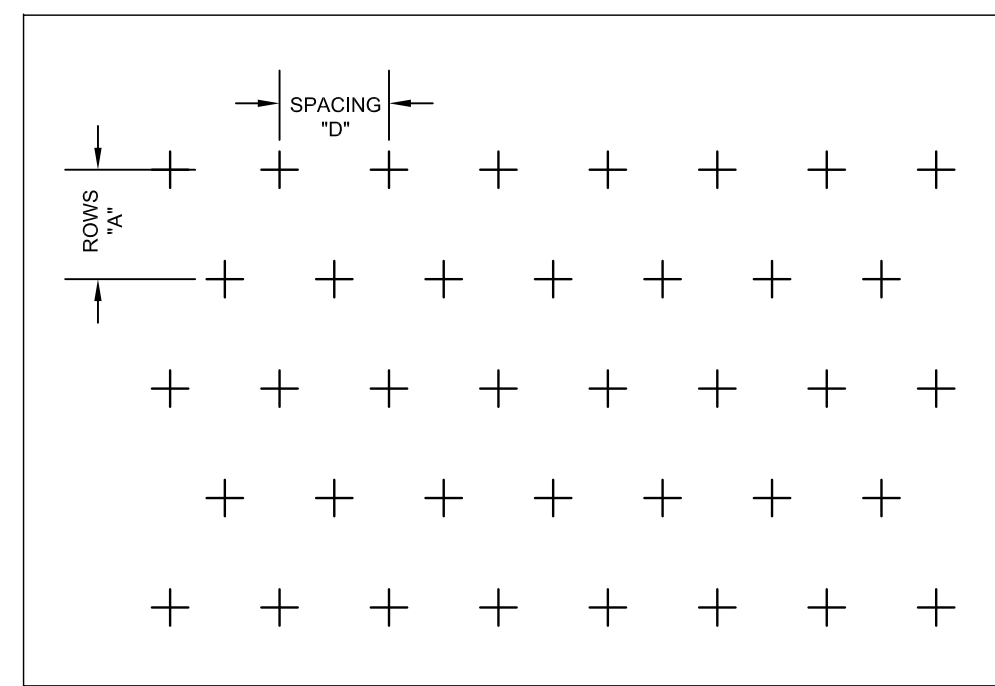
PARKER AND PINE MULTI-FAMILY  
PARKER, CO  
PRELIMINARY SITE PLAN  
PLANT PALETTE & NOTES

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.  
Nicholas Allen Smith  
Registered Landscape Architect of the State of COLORADO  
Registration Number: 1436

**NOT FOR CONSTRUCTION**

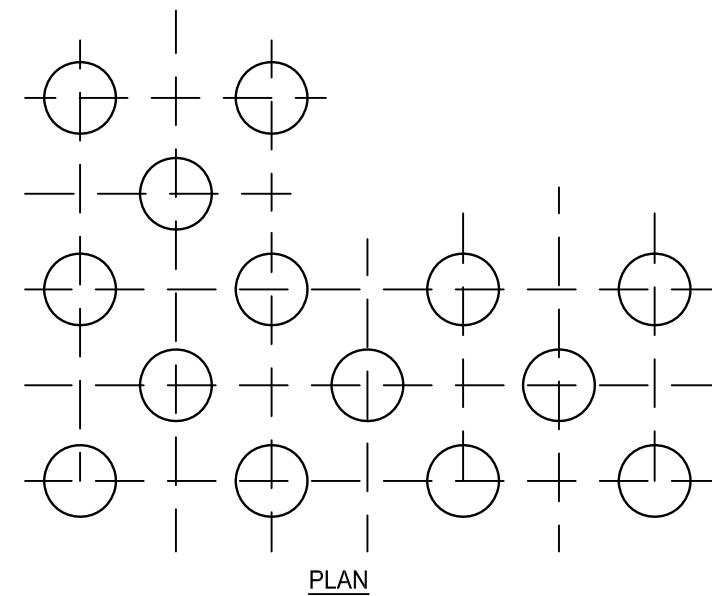
PROJECT NO. 096502001

DRAWING NAME PLANT PALETTE & NOTES

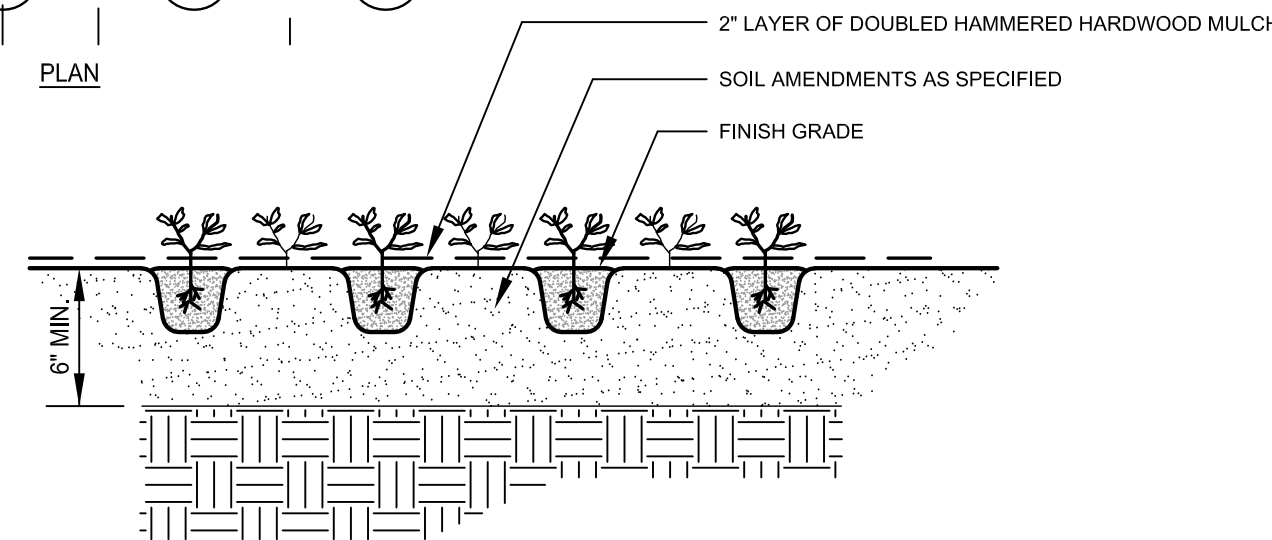


PLANT SPACING CHART

SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5 3/16" O.C.	4.81
8" O.C.	6 15/16" O.C.	2.60
10" O.C.	8 2/3" O.C.	1.66
12" O.C.	10 3/8" O.C.	1.15
15" O.C.	13" O.C.	0.73
18" O.C.	15 9/16" O.C.	0.51
24" O.C.	20 13/16" O.C.	0.29



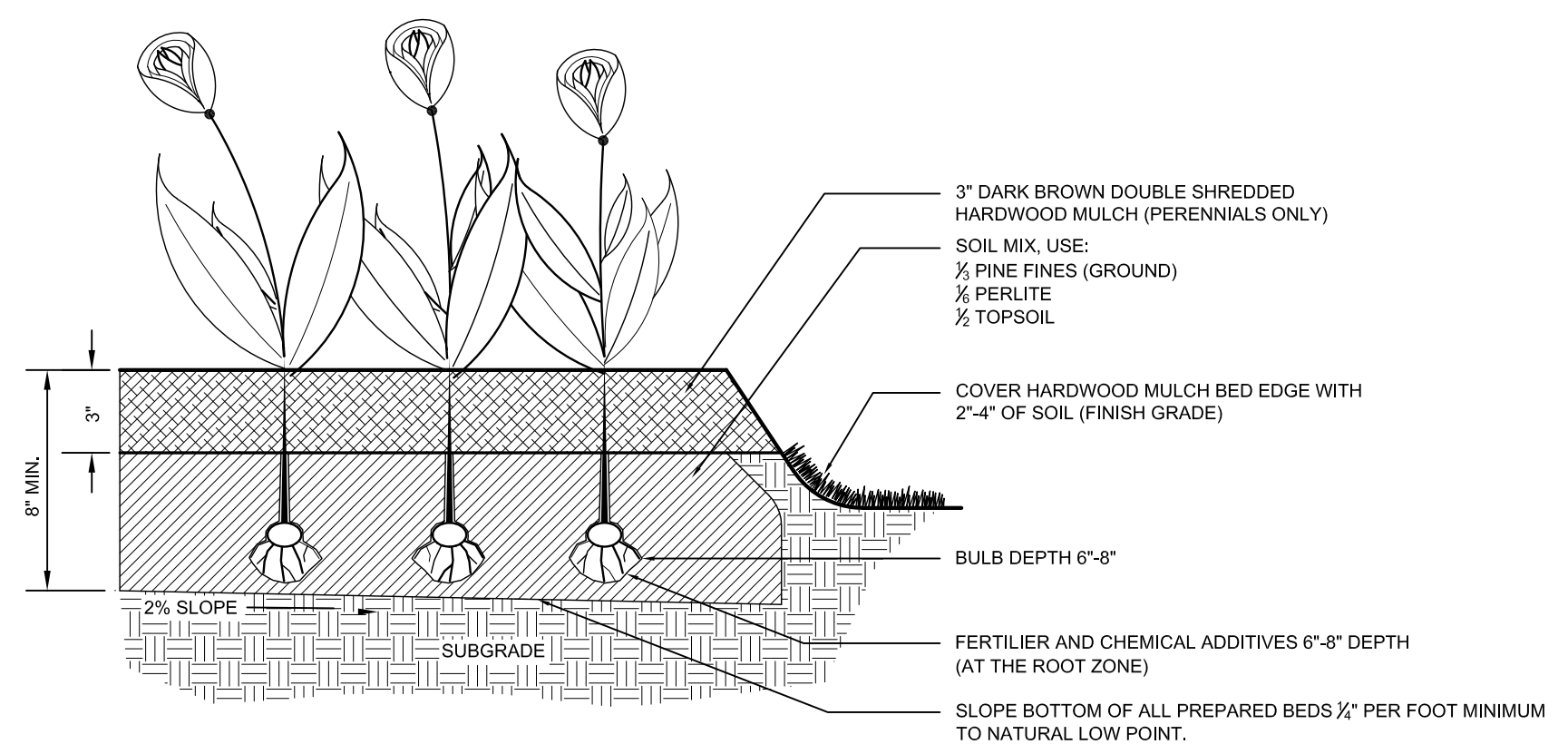
NOTES:  
1. LAYOUT PLANTS IN PREPARED BED AS SHOWN.  
2. SPACING AS SPECIFIED, PER SCHEDULE STAGGERED ROWS.



2 GROUND COVER PLANTING

08 OF 08 PLAN AND SECTION

NTS



NOTE:  
1. MIX IN BONE MEAL AT BOTTOM OF BULB WHEN PLANTED

3 PLANTING BED FOR ANNUALS AND PERENNIALS

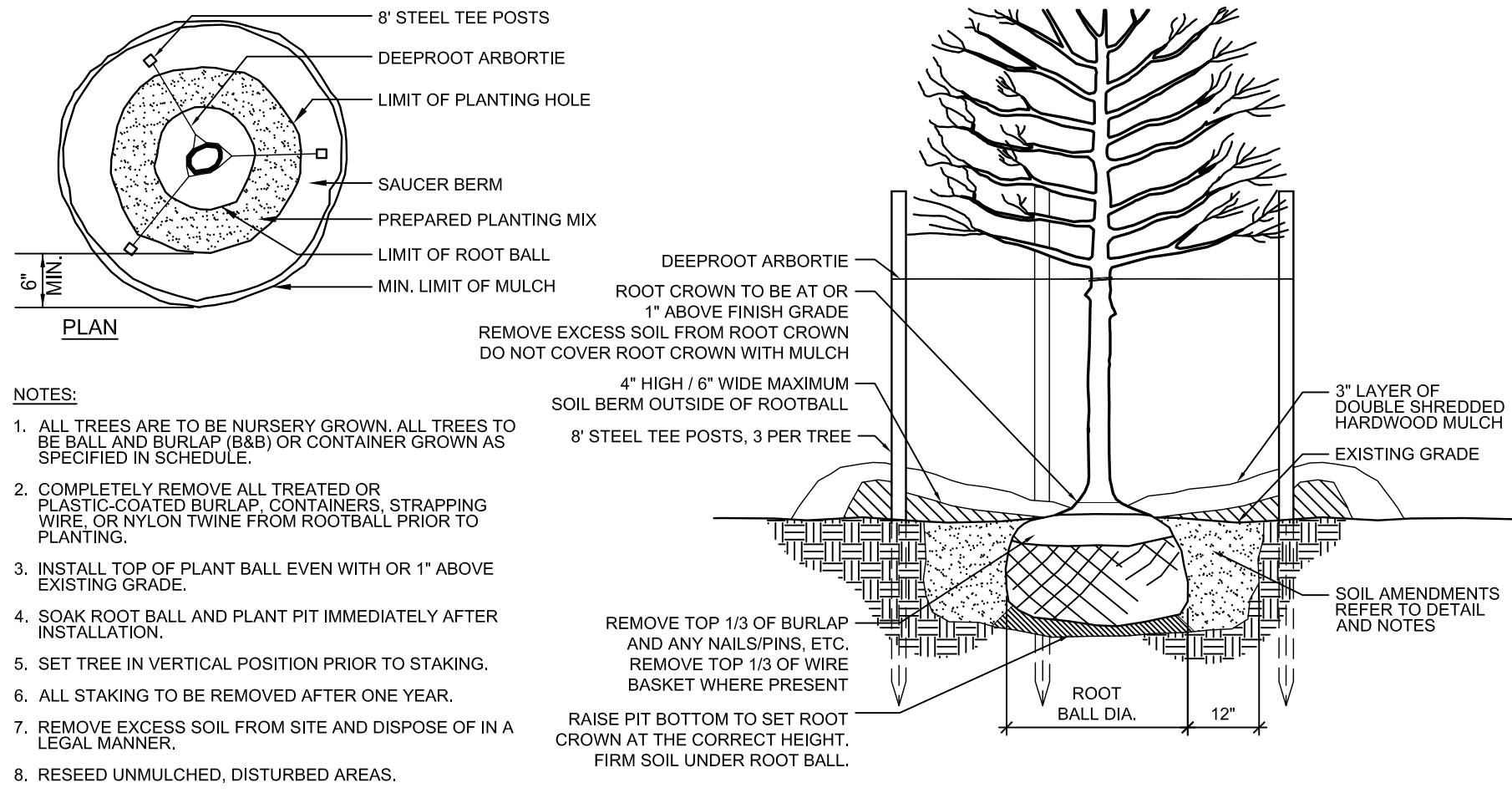
08 OF 08 SECTION

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1 TRIANGULAR SPACING FOR SHRUBS & GROUND COVERS

08 OF 08 PLAN

NTS



- NOTES:
- ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BURLAP (BAB) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
  - COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
  - INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
  - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
  - SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
  - ALL STAKING TO BE REMOVED AFTER ONE YEAR.
  - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
  - RESEED UNMULCHED, DISTURBED AREAS.
  - DO NOT COVER ROOT CROWN.

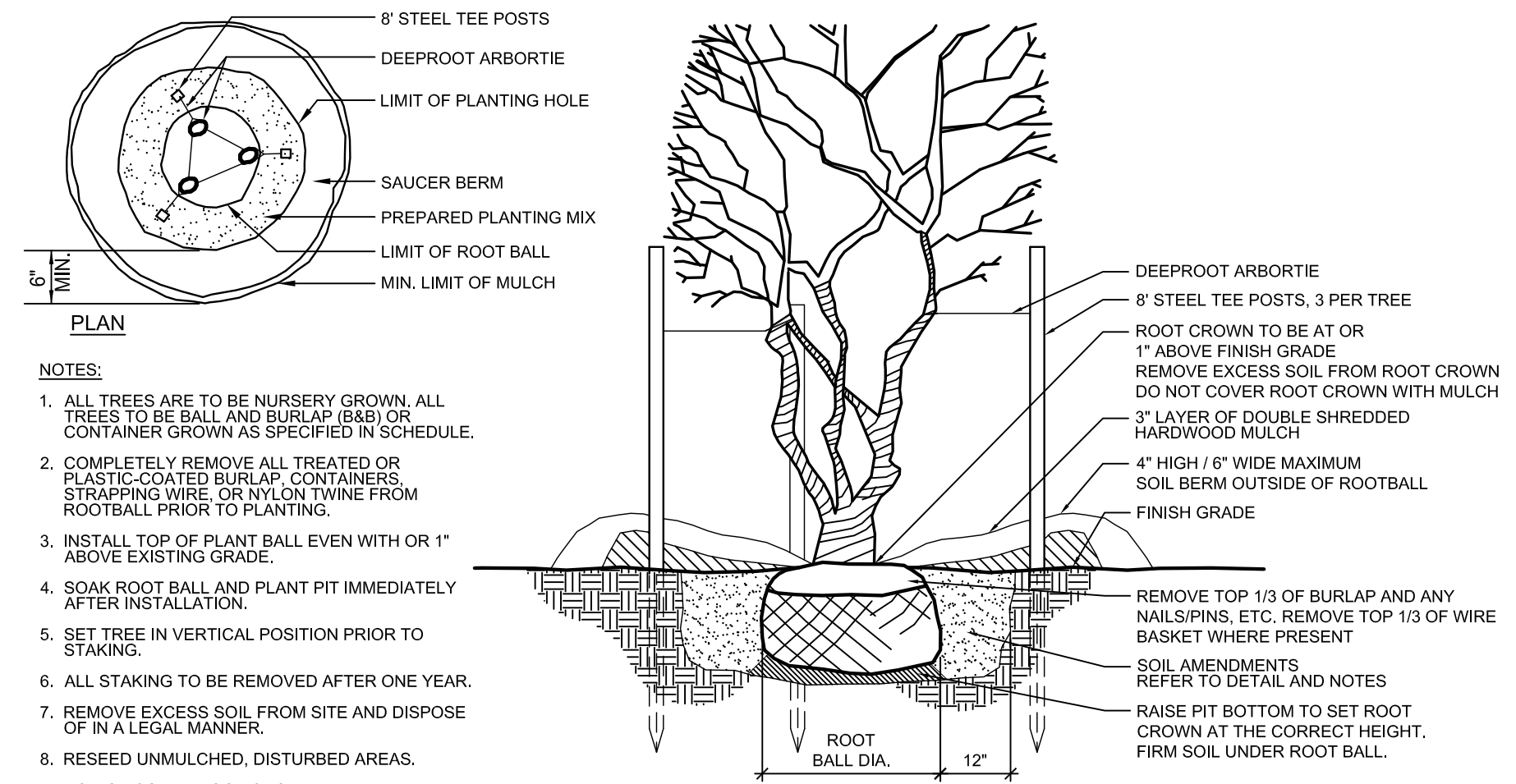
ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)  
FOR EXAMPLE: CALIPER HEIGHT (RANGE) MAX. HEIGHT MIN. ROOT BALL DIA. MIN. ROOT BALL DEPTH

2"	12-14'	18'	24"	15"
3"	14-16'	18'	32"	21"

4 TREE PLANTING

08 OF 08 SECTION

NTS

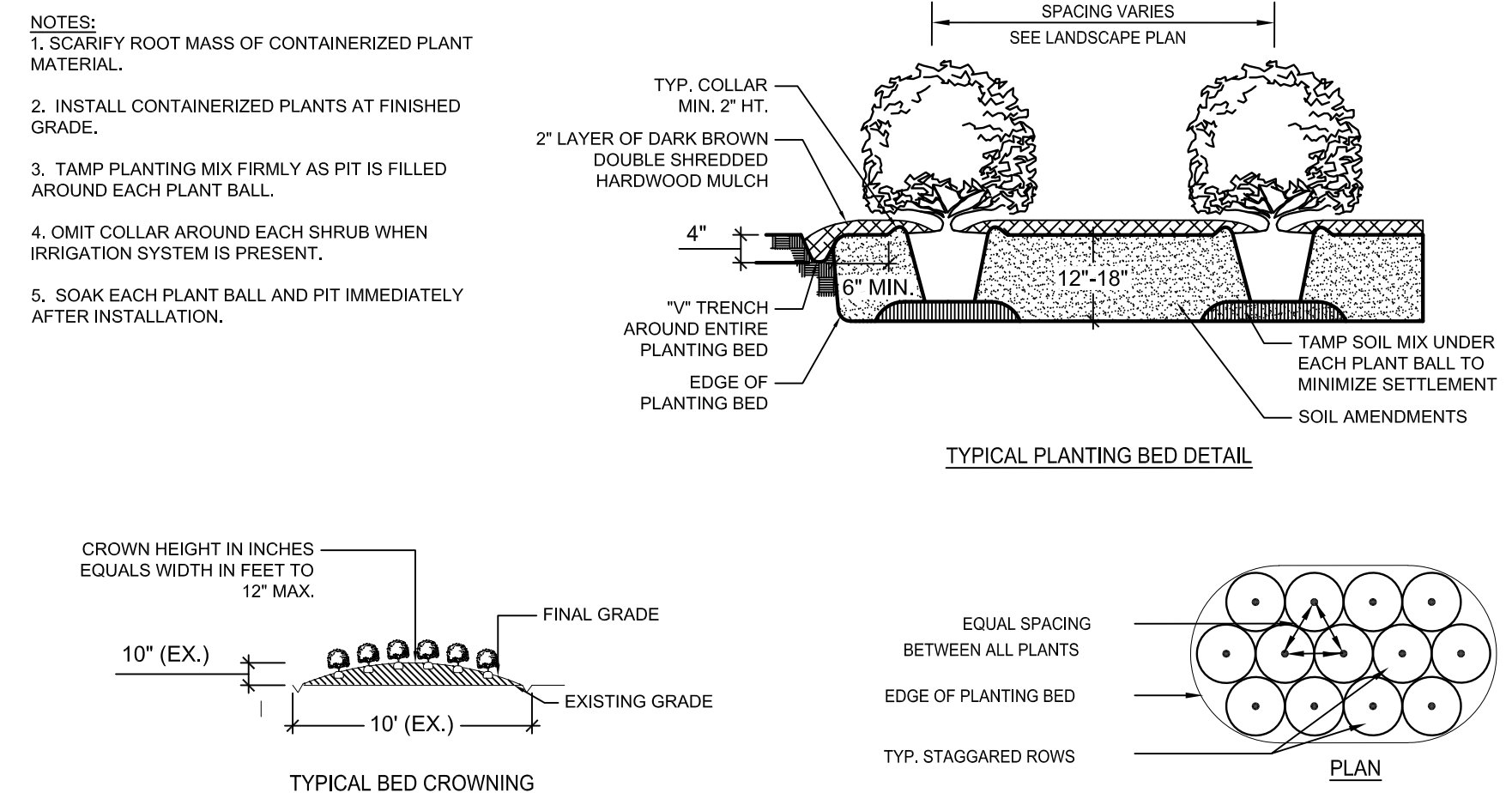


- NOTES:
- ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BURLAP (BAB) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
  - COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
  - INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
  - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
  - SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
  - ALL STAKING TO BE REMOVED AFTER ONE YEAR.
  - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
  - RESEED UNMULCHED, DISTURBED AREAS.
  - DO NOT COVER ROOT CROWN.

5 MULTI-TRUNK TREE

08 OF 08 SECTION AND PLAN

NTS

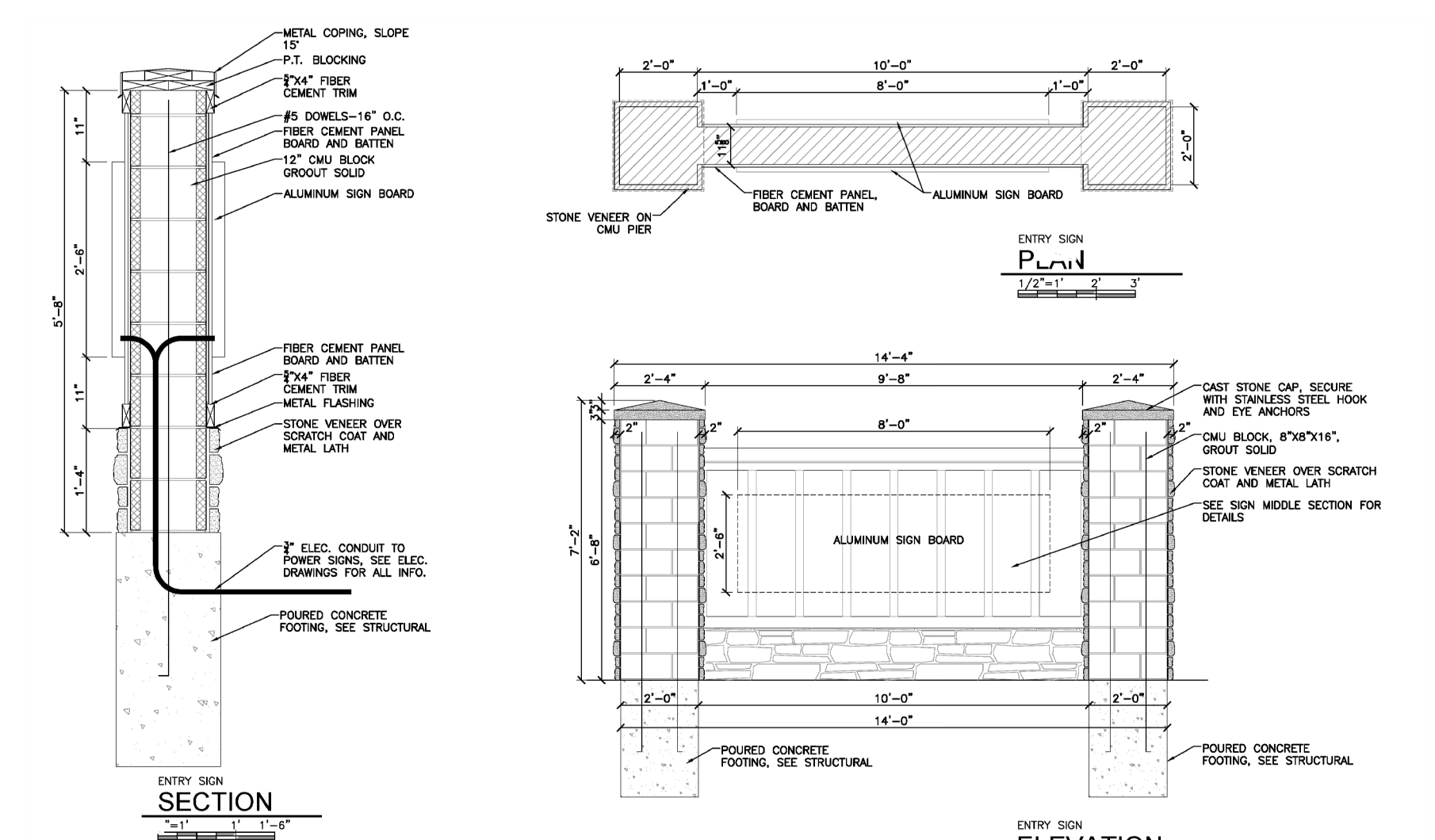


- NOTES:
- SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
  - INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
  - TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
  - OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
  - SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.

6 SHRUB PLANTING BED

08 OF 08 PLAN AND SECTION

NTS



7 MONUMENT SIGN

08 OF 08 PRODUCT INFORMATION

NTS



8 FIXIT STATION

08 OF 08 PRODUCT INFORMATION

NTS



9 BIKE RACK

08 OF 08 PRODUCT INFORMATION

NTS

NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES  
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

DESIGNED BY: NAS  
DRAWN BY: NAS  
DATE: 08/21/20

PARKER AND PINE MULTI-FAMILY  
PARKER, CO  
PRELIMINARY SITE PLAN  
LANDSCAPE DETAILS

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.

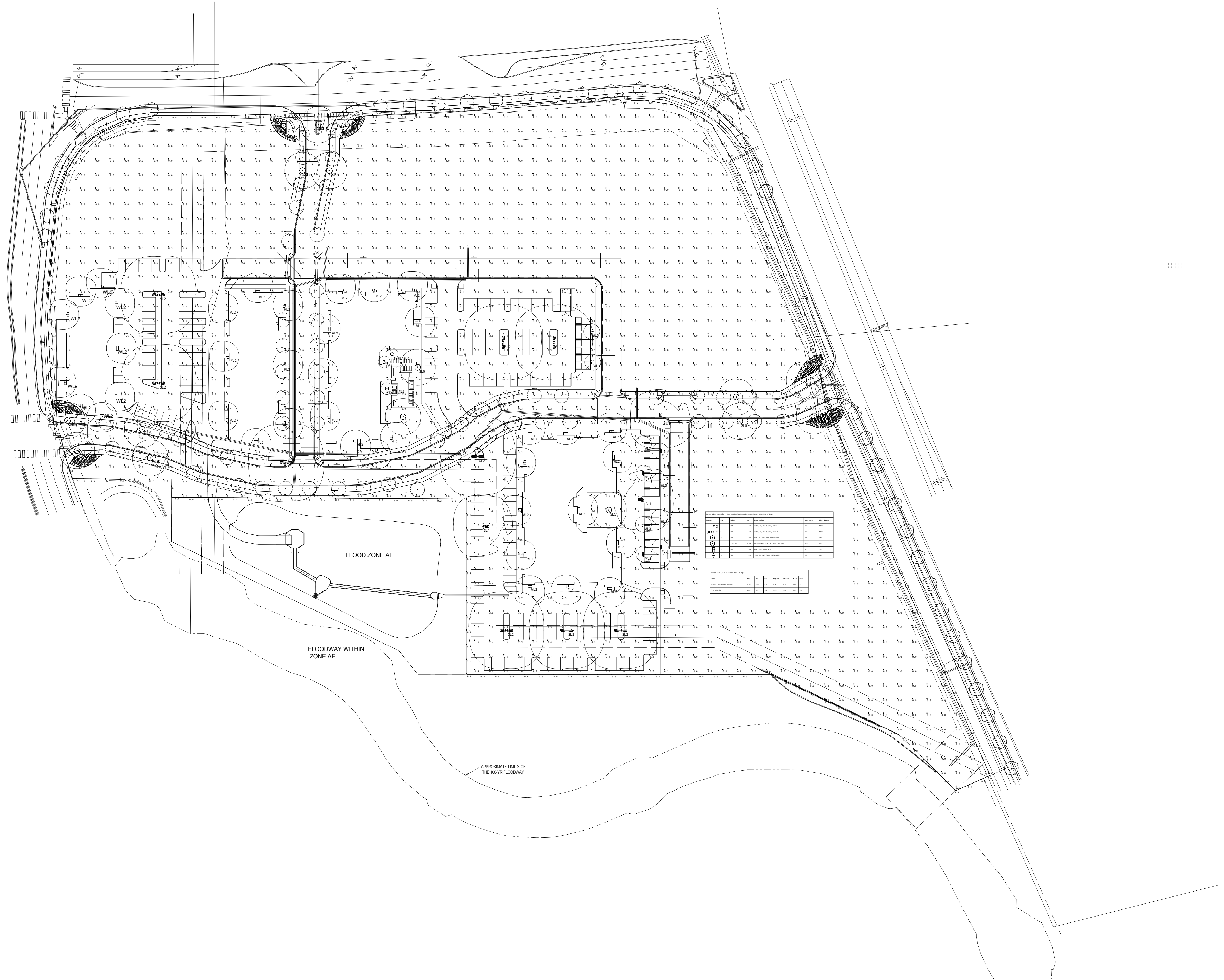
Nicholas Allen Smith  
Registered Landscape Architect of the State of COLORADO  
Registration Number: 1436

NOT FOR CONSTRUCTION

PROJECT NO. 096502001

DRAWING NAME LANDSCAPE DETAILS

08 OF 13



Parker & Pine Multi-Family Site Lighting Type SL1 Type SL2



Parker & Pine Multi-Family Site Lighting TYPE SL3



Parker & Pine Multi-Family Site Lighting TYPE WL2



Parker & Pine Multi-Family Site Lighting TYPE WL3



Parker & Pine Multi-Family Site Lighting TYPE SL6



FLOOD ZONE AE

FLOODWAY WITHIN ZONE AE

APPROXIMATE LIMITS OF THE 100-YR FLOODWAY

Symbol	Description	Quantity	Notes
SL1	Site Lighting Type SL1	10	
SL2	Site Lighting Type SL2	10	
SL3	Site Lighting Type SL3	10	
WL2	Site Lighting Type WL2	10	
WL3	Site Lighting Type WL3	10	
SL6	Site Lighting Type SL6	10	

#	Date	Comments
Revisions		

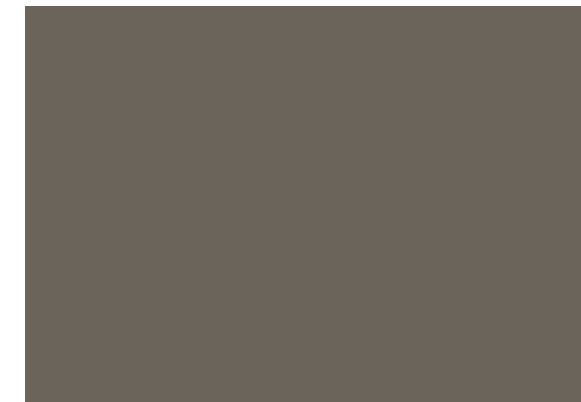
Drawn By: jrago  
 Checked By: jrago  
 Date: 8/21/2020  
 Scale:

# Parker and Pine Multi-Family Site Lighting Plan

**Materials**



Asphalt Shingles



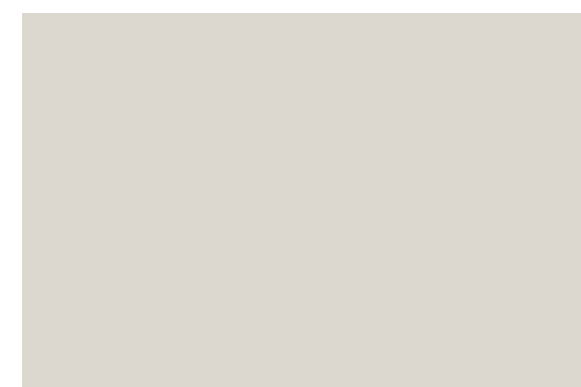
Fiber Cement Siding & Trim



Fiber Cement Siding & Trim



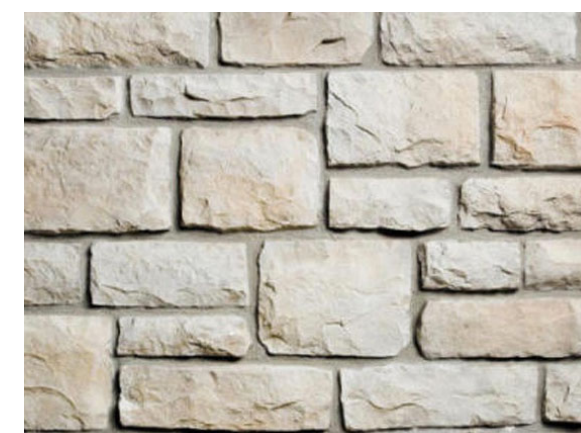
Fiber Cement Siding & Trim



Fiber Cement Siding & Trim



Fiber Cement Siding & Trim



Stone



West Elevation



North Elevation



South Elevation



East Elevation



East Elevation



North Elevation



South Elevation



West Elevation



West Elevation



North Elevation



South Elevation



East Elevation



West Elevation



North Elevation



South Elevation



East Elevation