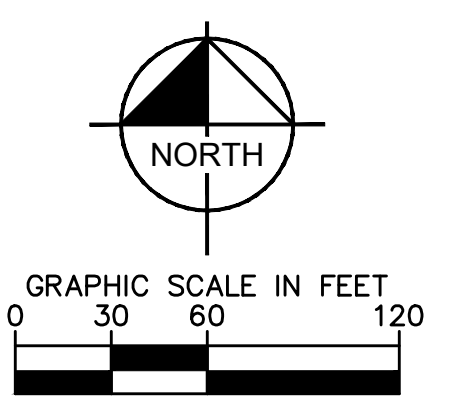
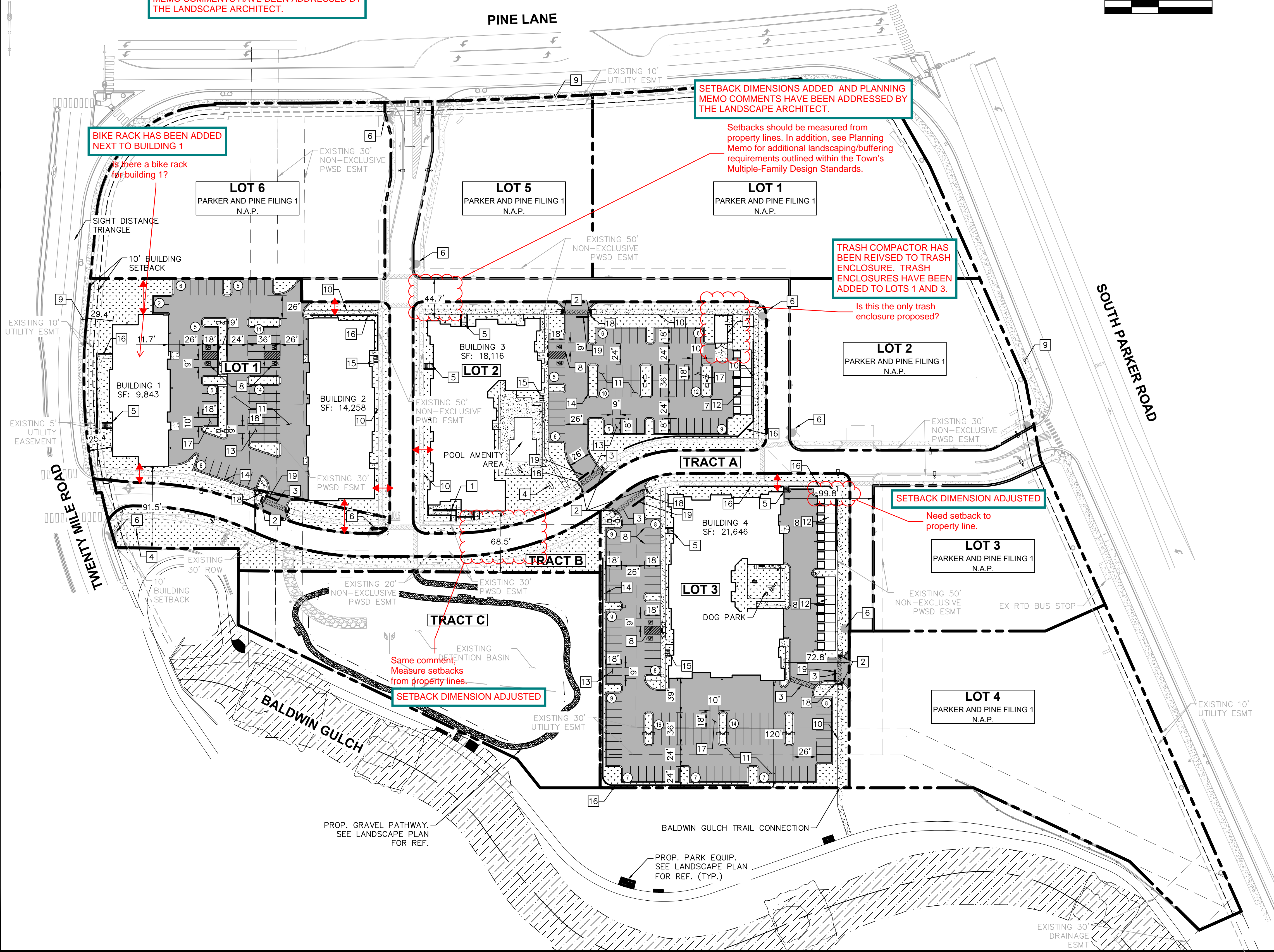


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Please add setback information for these places. Setbacks should be measured from property lines.
In addition, see Planning Memo for additional landscaping/buffering requirements outlined within the Town's Multiple-Family Design Standards.

SETBACK DIMENSIONS ADDED AND PLANNING MEMO COMMENTS HAVE BEEN ADDRESSED BY THE LANDSCAPE ARCHITECT.



LEGEND

- PROPERTY LINE
- NUMBER OF PARKING SPACES
- ACCESSIBLE PARKING SPACES
- PROPOSED ELECTRICAL TRANSFORMER
- LANDSCAPED AREA
- STANDARD DUTY ASPHALT PAVING
- COLORED CONCRETE
- HEAVY DUTY CONCRETE
- PROPOSED GRAVEL PATHWAY
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED CURB AND GUTTER

KEY NOTES

- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
- 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
- 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
- 4 PROPOSED MONUMENT SIGN.
- 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
- 6 EXISTING FIRE HYDRANT.
- 7 PROPOSED TRASH ENCLOSURE.
- 8 PROPOSED ADA PARKING STALLS.
- 9 EXISTING 8' CONCRETE SIDEWALK.
- 10 PROPOSED 5' CONCRETE SIDEWALK.
- 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
- 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
- 13 PROPOSED STANDARD 9'X18' PARKING STALL
- 14 PROPOSED STANDARD CURB AND GUTTER
- 15 PROPOSED 6 STALL BICYCLE PARKING
- 16 PROPOSED RETAINING WALL
- 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
- 18 PROPOSED STOP SIGN R-1
- 19 PROPOSED STOP BAR

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/25/20

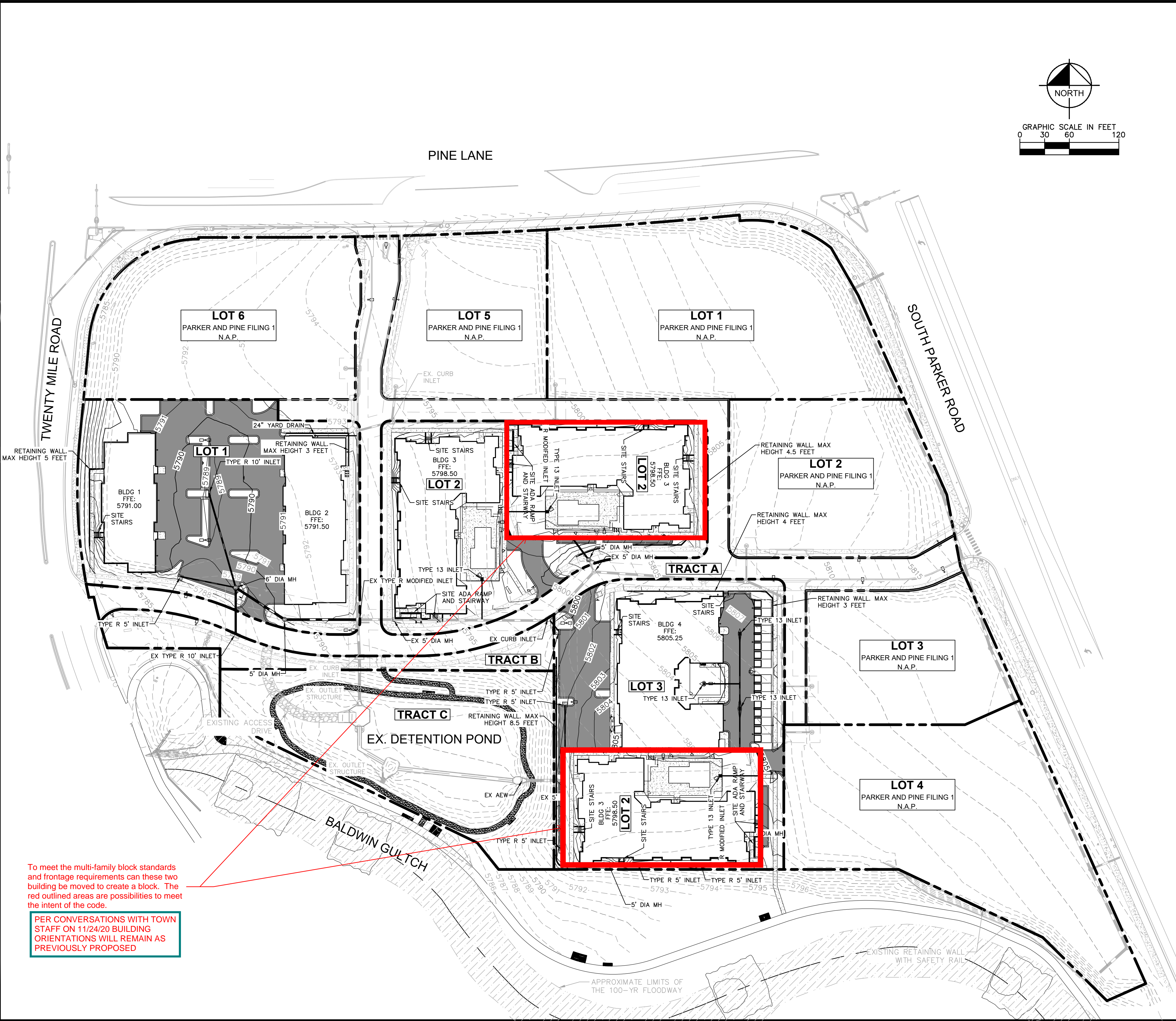
PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
OVERALL SITE PLAN

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002

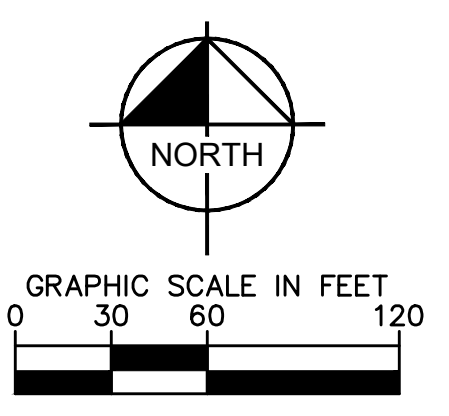
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To meet the multi-family block standards and frontage requirements can these two building be moved to create a block. The red outlined areas are possibilities to meet the intent of the code.

PER CONVERSATIONS WITH TOWN STAFF ON 11/24/20 BUILDING ORIENTATIONS WILL REMAIN AS PREVIOUSLY PROPOSED



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET

BENCHMARK
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

NOTE:
 1. BUILDING ROOF DRAINS TO DISCHARGE ON GRADE.

NO.	REVISION	BY	DATE	APPR.

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 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

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 CHECKED BY: DLS
 DATE: 08/25/20

PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
OVERALL GRADING PLAN

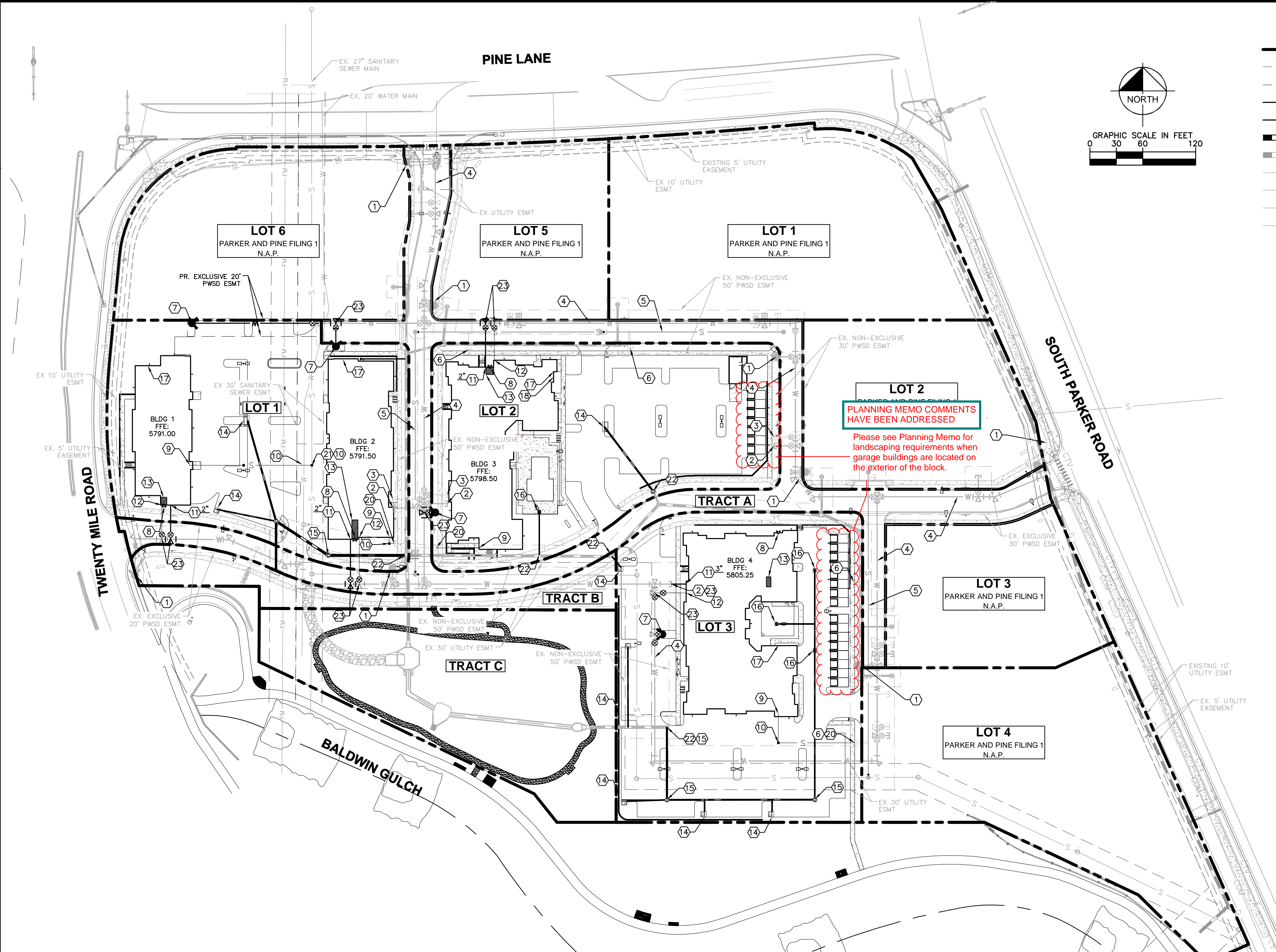
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PROJECT NO.
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DRAWING NAME
 096481002PSP_GD

04 OF 13

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UTILITY LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- S --- PROPOSED SANITARY SEWER LINE
- W --- PROPOSED WATER LINE
- PROPOSED STORM DRAINAGE LINE
- EXISTING STORM DRAINAGE LINE
- G --- EXISTING GAS LINE
- W --- EXISTING WATER LINE
- S --- EXISTING SANITARY SEWER LINE
- E --- EXISTING ELECTRIC LINE
- ⊕ PROPOSED FIRE HYDRANT W/ BOLLARDS
- ⊗ PROPOSED METER
- ⊕ ⊖ PROPOSED TEE / BEND
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS

SITE KEYNOTES

- ① EXISTING FIRE HYDRANT
- ② EXISTING 8" STUB W/TEMP BLOW-OFF
- ③ EXISTING 6" FIRE SERVICE W/TEMP BLOW-OFF
- ④ EXISTING 8" WATER MAIN
- ⑤ EXISTING 8" SEWER MAIN
- ⑥ EXISTING 6" SEWER STUB
- ⑦ PROPOSED FIRE HYDRANT WITH 6" GATE VALVE
- ⑧ PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- ⑨ PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
- ⑩ PROPOSED SANITARY SEWER CLEANOUT
- ⑪ PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. SIZE PER PLAN
- ⑫ PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
- ⑬ PROPOSED FIRE RISER ROOM
- ⑭ PROPOSED CURB INLET
- ⑮ PROPOSED STORM MANHOLE
- ⑯ PROPOSED AREA INLET
- ⑰ PROPOSED BUILDING ELECTRIC METER LOCATION
- ⑱ PROPOSED BUILDING GAS METER LOCATION
- ⑲ EXISTING PWS 8" FORCE MAIN
- ⑳ CONNECT TO EXISTING SANITARY SEWER STUB
- ㉑ CONNECT TO EXISTING SANITARY SEWER MAIN PER PWS STANDARDS.
- ㉒ TIE INTO EXISTING STORM SEWER SYSTEM
- ㉓ CONNECT TO EXISTING WATER MAIN PER PWS STANDARDS

FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE _____ DATE _____

(NOTE - UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/25/20


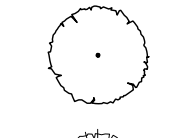


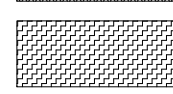




PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
 OVERALL UTILITY PLAN

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Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002

DRAWING NAME
 096481002PSP_UT

LANDSCAPE PLAN LEGEND:

-  - DECIDUOUS CANOPY TREES
-  - ORNAMENTAL TREES
-  - EVERGREEN TREES
-  - DECIDUOUS SHRUBS
-  - LOW/SPREADING SHRUBS
-  - PERENNIALS
-  - ORNAMENTAL GRASSES
-  - KEN-TEX BLUEGRASS SOD (HIGH WATER USE)
-  - EXISTING KEN-TEX BLUEGRASS SOD & TOWN OF PARKER SEED MIX 3

REFERENCE SHEET 07 OF 08 FOR COMPLETE PLANT SCHEDULE, TABULATIONS & NOTES. REFERENCE SHEET 08 OF 08 FOR LANDSCAPE DETAILS.

NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS
 BLD. GREENWOOD, IN 46143 317-866-7923



DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 08/21/20

PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 PRELIMINARY SITE PLAN
 LANDSCAPE PLAN

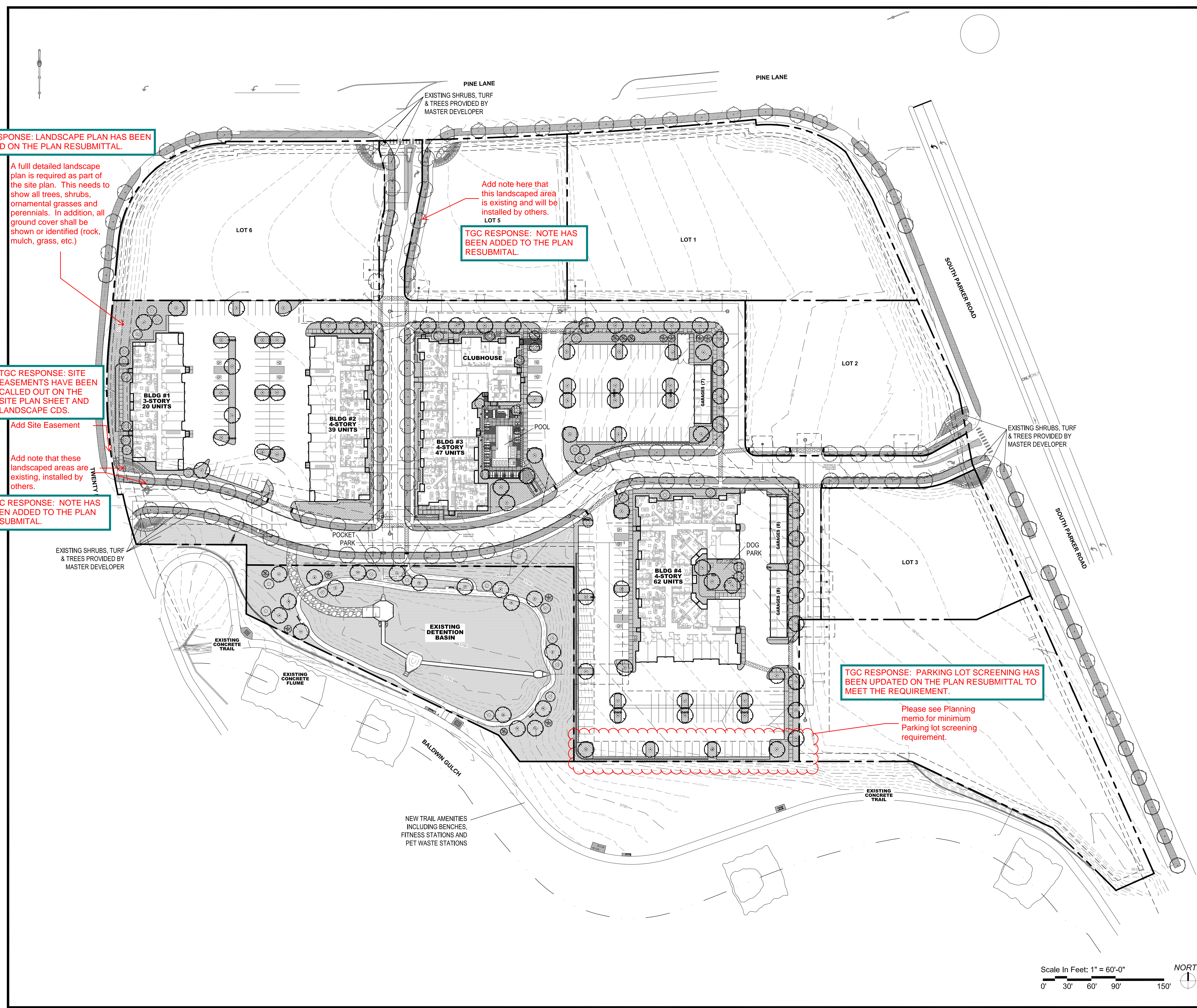
PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436

NOT FOR CONSTRUCTION

PROJECT NO. 096502001

DRAWING NAME LANDSCAPE PLAN

06 OF 13



TGC RESPONSE: LANDSCAPE PLAN HAS BEEN UPDATED ON THE PLAN RESUBMITTAL.

A full detailed landscape plan is required as part of the site plan. This needs to show all trees, shrubs, ornamental grasses and perennials. In addition, all ground cover shall be shown or identified (rock, mulch, grass, etc.)

TGC RESPONSE: SITE EASEMENTS HAVE BEEN CALLED OUT ON THE SITE PLAN SHEET AND LANDSCAPE CDS.

Add Site Easement

Add note that these landscaped areas are existing, installed by others.

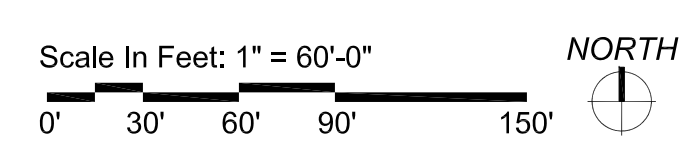
TGC RESPONSE: NOTE HAS BEEN ADDED TO THE PLAN RESUBMITTAL.

TGC RESPONSE: NOTE HAS BEEN ADDED TO THE PLAN RESUBMITTAL.

Add note here that this landscaped area is existing and will be installed by others.

TGC RESPONSE: PARKING LOT SCREENING HAS BEEN UPDATED ON THE PLAN RESUBMITTAL TO MEET THE REQUIREMENT.

Please see Planning memo for minimum Parking lot screening requirement.



PLANT SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME	SIZE	HEIGHT	WIDTH	HYDROZONE	NOTES	%
DECIDUOUS CANOPY TREES										
CTA	13		CATALPA	CATALPA SPECIOSA	2" CAL.	45	30	M-H	BALLED & BURLAPPED	9.2
HAC	13		HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	50	45	M-H	BALLED & BURLAPPED	9.2
PSG	13		PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	9.2
IMP	13		IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'	2" CAL.	35	30	M-H	BALLED & BURLAPPED	9.2
KCT	13		KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CAL.	50	45	M-H	BALLED & BURLAPPED	9.2
EPT	13		EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'	2" CAL.	50	30	M-H	BALLED & BURLAPPED	9.2
ENO	13		ENGLISH OAK	QUERCUS ROBUR	2" CAL.	45	30	M-H	BALLED & BURLAPPED	9.2
RED	13		REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	9.2
GSP	13		GREENSPIRE LITTLELEAF LINDEN	TILIA CORDATA 'GREENSPIRE'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	9.2
ACE	13		ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2" CAL.	50	30	M-H	BALLED & BURLAPPED	9.2
PSE	11		PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	8
SUBTOTAL 141										

ORNAMENTAL TREES										
HWM	10		HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	2" CAL.	20	15	M	BALLED & BURLAPPED	26
ABS	10		AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'	2" CAL.	20	20	M	B & B, SINGLE TRUNK	26
TCH	10		THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'	2" CAL.	15	15	M	BALLED & BURLAPPED	26
JLI	9		ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT' TM	2" CAL.	20	15	M	BALLED & BURLAPPED	22
SUBTOTAL 39										

EVERGREEN TREES										
VVP	4		VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'	6' HT.	15	10	L-M	BALLED & BURLAPPED	30
LBP	4		LIMBER PINE	PINUS FLEXILIS	6' HT.	35	15	L-M	BALLED & BURLAPPED	30
BCP	1		BRISTLEcone PINE	PINUS ARISTATA	6' HT.	20	15	L-M	BALLED & BURLAPPED	30
GGJ	4		GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	6' HT.	15	6	L-M	BALLED & BURLAPPED	10
SUBTOTAL 13										

DECIDUOUS SHRUBS										
CPB			REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL.	2	3	L-M	MATCHING, CONTAINER FULL	
BMS			BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
RUS			RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	4	4	L-M	MATCHING, CONTAINER FULL	
WSC			WESTERN SAND SHERRY	PRUNUS BESSEYI	5 GAL.	5	5	L-M	MATCHING, CONTAINER FULL	
CSR			CAREFREE SUNSHINE ROSE	ROSA 'CAREFREE SUNSHINE ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
KOR			KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
NMP			NEW MEXICO PRIVET	FORESTIERA NEOMEXICANA	5 GAL.	12	8	M	MATCHING, CONTAINER FULL	
GFS			'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
PML			MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
KBW			KOREAN BOXWOOD	BUXUS 'KOREAN'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
YTD			YELLOWTWIN DOGWOOD	CORNUS SERICEA 'FLAVIRAMEA'	5 GAL.	6	6	M	MATCHING, CONTAINER FULL	
MAE			MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
KDD			KELSEY DWARF DOGWOOD	CORNUS SERICEA 'KELSEY'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
KSV			KOREAN SPICE VIBURNUM	VIBURNUM CARLESII	5 GAL.	6	6	M-H	MATCHING, CONTAINER FULL	
SUBTOTAL 500										

LOW/SPREADING SHRUBS										
BHJ			BAR HARBOR JUNIPER	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	5 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
PWJ			PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	5 GAL.	1	8	L-M	MATCHING, CONTAINER FULL	
CCJ			CALAGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	5 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
BRD			BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
ARJ			ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	5 GAL.	2	6	L-M	MATCHING, CONTAINER FULL	
PBC			CREEPING WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	2	5	L-M	MATCHING, CONTAINER FULL	
HCS			HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	5 GAL.	3	5	L-M	MATCHING, CONTAINER FULL	
NBJ			NEW BLUE JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA 'NEW BLUE'	5 GAL.	4	7	L-M	MATCHING, CONTAINER FULL	
SUBTOTAL 250										

PERENNIALS										
DF			DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS.	1	2	L-M	18" O.C., CONTAINER FULL	
PM			PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS.	1.5	1.5	M	18" O.C., CONTAINER FULL	
YC			YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA	4 IN. POTS.	2	2	M	18" O.C., CONTAINER FULL	
BE			BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	4 IN. POTS.	2	2	L-M	18" O.C., CONTAINER FULL	
AJ			AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS.	2	1.5	L-M	18" O.C., CONTAINER FULL	
MN			MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS.	2	2	M	18" O.C., CONTAINER FULL	
SUBTOTAL 500										

ORNAMENTAL GRASSES										
BBG			BIG BLUESTEM GRASS	ANDROPOGON GERARDII	1 GAL.	6	3	L-M	MATCHING	
GAG			BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL.	4	3	L-M	MATCHING	
PMG			PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.	4	3	L-M	MATCHING	
SWG			SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL.	5	3	L-M	MATCHING	
FRG			FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M	MATCHING	
LBG			LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL.	3	3	L-M	MATCHING	
BLA			BLONDE AMBITION GRASS	BOUTELOUA GRACILIS	1 GAL.	2	2	L-M	MATCHING	
PDG			PRAIRIE DROPSEED GRASS	SPOROBOLUS HETEROLEPIS	1 GAL.	3	3	L-M	MATCHING	
SUBTOTAL 250										

			- KEN-TEX BLUEGRASS SOD (HIGH WATER USE)								SUBTOTAL 33,523 SQ. FT.
			- EXISTING KEN-TEX BLUEGRASS SOD & TOWN OF PARKER SEED MIX 3								SUBTOTAL 62,992 SQ. FT.

NOTE: A PORTION OF STREET TREES, SHRUBS AND TURF SHALL BE INSTALLED BY MASTER DEVELOPER PREVIOUS TO THIS PROJECT

This table needs to be broken down further to demonstrate that the minimum requirements have been satisfied. See Planning memo for an example. You should also add required park space and provided. Which can be broken down to show pool, dog park, etc.

TGC RESPONSE: QUANTITIES HAVE BEEN ADDED TO THE PLAN RESUBMITTAL

Please include the quantities for each species. They should all equal the table as well as the totals.

TGC RESPONSE: NOTES HAVE BEEN UPDATED ON THE PLAN RESUBMITTAL.

If any shrubs, ornamental grasses or trees will be substituted for other plantings, please add a note to describe.

Change this note to state: landscaping identified as existing, installed by others will be installed by the master developer.

TGC RESPONSE: NOTE HAS BEEN ADDED TO THE PLAN RESUBMITTAL.

TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES:

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS' ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY. ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G., FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION.
- IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET. IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPED AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO THE ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- OWNER'S REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL AFTER CITY INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 2" DEPTH SHREDDED HARDWOOD MULCH. CONTRACTOR SHALL PROVIDE 1 GALLON BAG SAMPLE OF MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL. PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLE. ALL PERENNIAL AND ANNUAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARD AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SHRUB BEDS TO BE IRRIGATION WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASEMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER, AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH, FERTILIZING, PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.
- SINGLE TRUNK TREES WITHIN THE 50' TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
- ALL EXISTING TREES, SHRUBS, GRASS, ROCKS, FENCE ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE CESARE INC. PROJECT NO. 16.174, AUGUST 17, 2016 #11 SURFACE DRAINAGE; C) WATERING WITHIN 5 FEET OF THE FOUNDATION; D) IF LAWN EDGING IS USED AROUND THE EXTERIOR OF THE STRUCTURE, TO PREVENT SPONDING OF SURFACE WATER IN THE VICINITY OF THE BACKFILL SOILS. F) IF INSTALLED, THE SPRINKLER HEADS SHOULD BE PLACES SO THAT THE SPRAY FROM THE PRESSURES, DOES NOT FALL WITHIN 5 FEET OF FOUNDATION WALLS.

SITE DATA TABLE		PROPOSED USE: MULTI-FAMILY PARK, etc.			
ZONING:	PUD PARKER AUTO PLAZA 1ST AMD	TOTAL/ACTUAL SF	MIN. NUMBER/ AREA SF REQUIRED	% OR # REQUIRED	% OR # PROVIDED
GROSS SITE AREA:	413,536 SF	N.A.	N.A.	N.A.	100%
BUILDING COVERAGE:	68,635 SF	N.A.	N.A.	N.A.	17%
HARD SURFACE AREA:	214,433 SF	N.A.	N.A.	N.A.	51%
TOTAL LANDSCAPED AREA (EXCLUDING R.O.W.):	130,468 SF	N.A.	N.A.	N.A.	32%
LANDSCAPED AREA:	130,468 SF				32%
(SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	14,628 SF	N.A.	N.A.	N.A.	4%
EXISTING GRASS	62,992 SF	N.A.	N.A.	N.A.	15%
NEW PERMANENTLY IRRIGATED GRASS	33,523 SF	N.A.	N.A.	N.A.	13%
TREES:	192				
STREET TREES:	60	N.A.	N.A.	N.A.	N.A.
PARKING LOT INTERIOR LANDSCAPING:	A MIN. OF 10% OF PARKING LOT AREA ALLOCATED TO LANDSCAPE ISLANDS				REQUIREMENT MET
SITE PERIMETER LANDSCAPE REQ.:	1 TREE AND 5 SHRUBS FOR EACH 30 LF OF EDGE				REQUIREMENT MET
LANDSCAPE REQUIREMENTS:					
ONE (1) TREE AND (5) SHRUBS SHALL BE PLANTED FOR EACH ONE THOUSAND FIVE HUNDRED (1,500) SQUARE FEET OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING.		TREES (288,000 SQ. FT.)	N.A.	192	N.A.
		SHRUBS (288,000 SQ. FT.)	N.A.	960	N.A.

Break down this component further. 45% required landscaping. % open space, % park, etc.

TGC RESPONSE: TABULATIONS HAVE BEEN UPDATED ON PLAN RESUBMITTAL.

TGC RESPONSE: NUMBERS HAVE BEEN UPDATED ON PLAN RESUBMITTAL.

Where is this number coming from?

EXISTING TREES					
TYPE OF TREE	LEGEND	CRITERIA FOR REMOVAL	CONDITION	CALIPER	MITIGATION TREES REQUIRED
THERE ARE NO EXISTING TREES ON SITE					

TGC RESPONSE: TABLE HAS BEEN UPDATED ON PLAN RESUBMITTAL.

NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46043 317-866-7923

DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 08/21/20

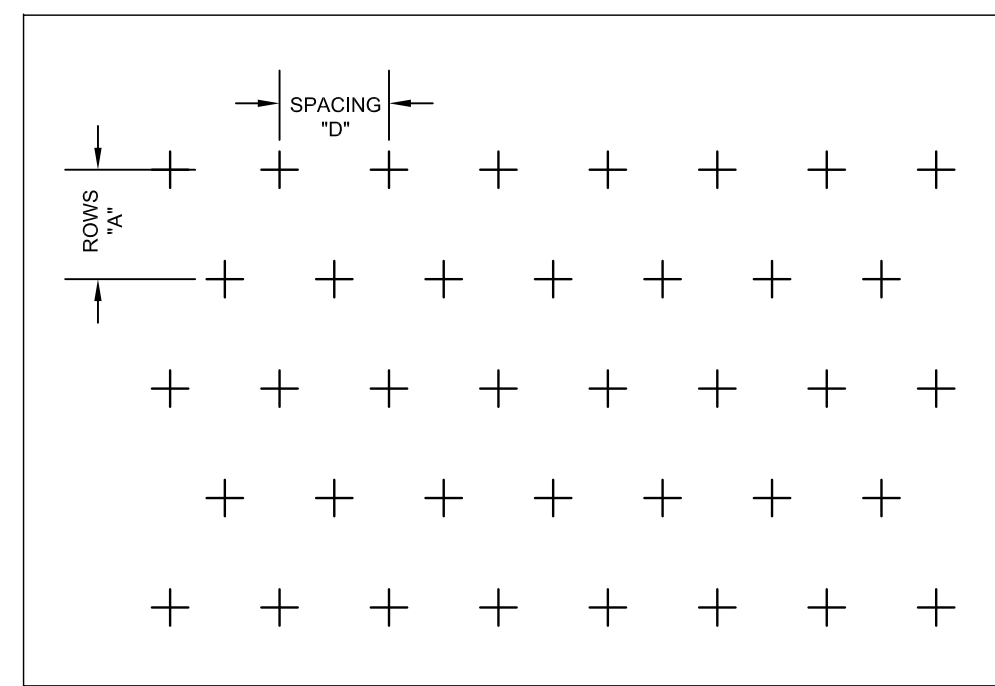
PARKER AND PINE MULTI-FAMILY PARKER, CO
PRELIMINARY SITE PLAN
PLANT PALETTE & NOTES

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.
Nicholas Allen Smith
Registered Landscape Architect of the State of COLORADO
Registration Number: 1436

NOT FOR CONSTRUCTION

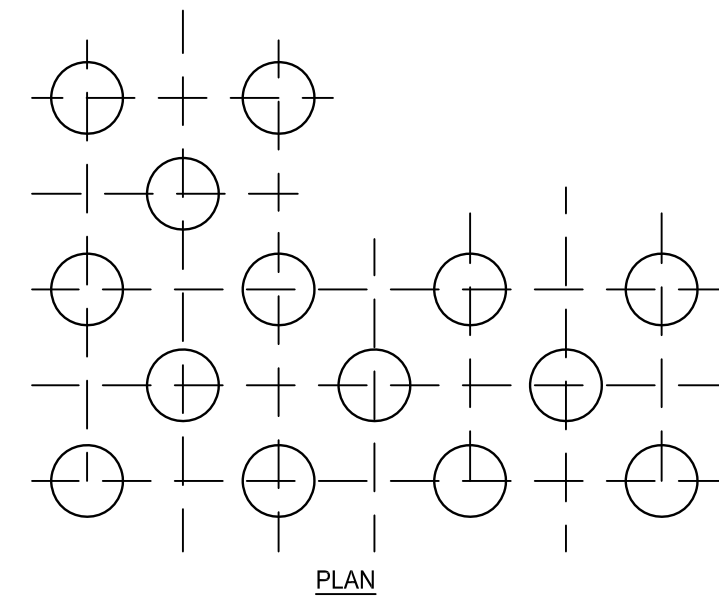
PROJECT NO. 096502001

DRAWING NAME PLANT PALETTE & NOTES

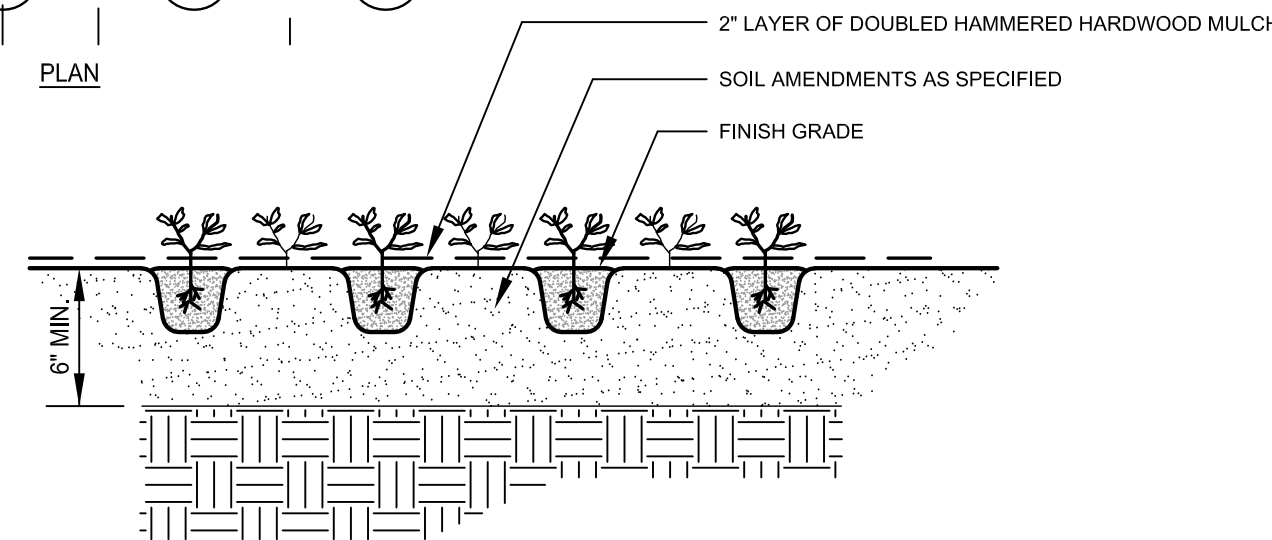


PLANT SPACING CHART

SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5 3/16" O.C.	4.81
8" O.C.	6 15/16" O.C.	2.80
10" O.C.	8 2/3" O.C.	1.66
12" O.C.	10 3/8" O.C.	1.15
15" O.C.	13" O.C.	0.73
18" O.C.	15 9/16" O.C.	0.51
24" O.C.	20 13/16" O.C.	0.29



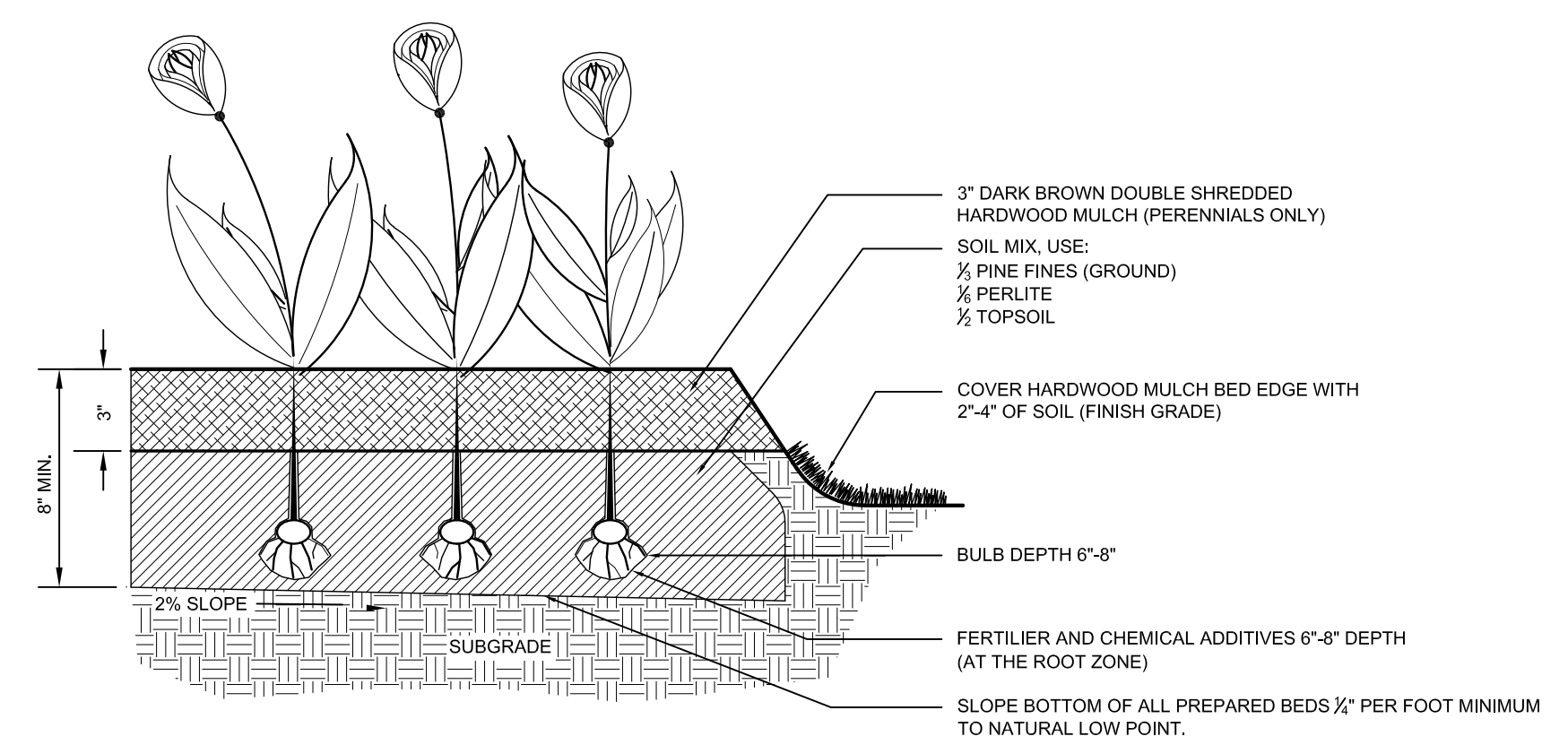
NOTES:
1. LAYOUT PLANTS IN PREPARED BED AS SHOWN.
2. SPACING AS SPECIFIED, PER SCHEDULE STAGGERED ROWS.



ROUND COVER PLANTING

PLAN AND SECTION

NTS



NOTE:
1. MIX IN BONE MEAL AT BOTTOM OF BULB WHEN PLANTED

PLANTING BED FOR ANNUALS AND PERENNIALS

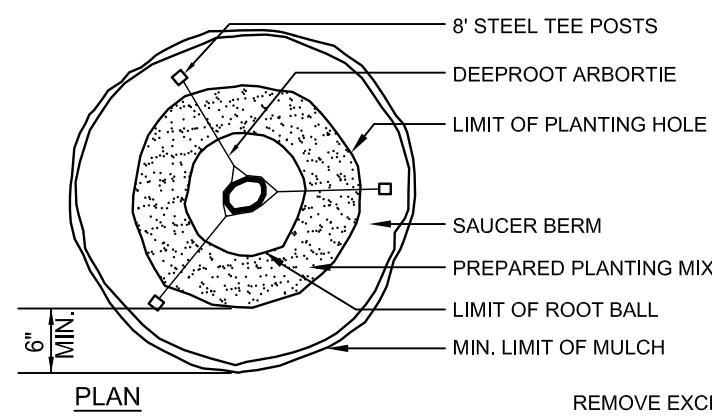
SECTION

NTS

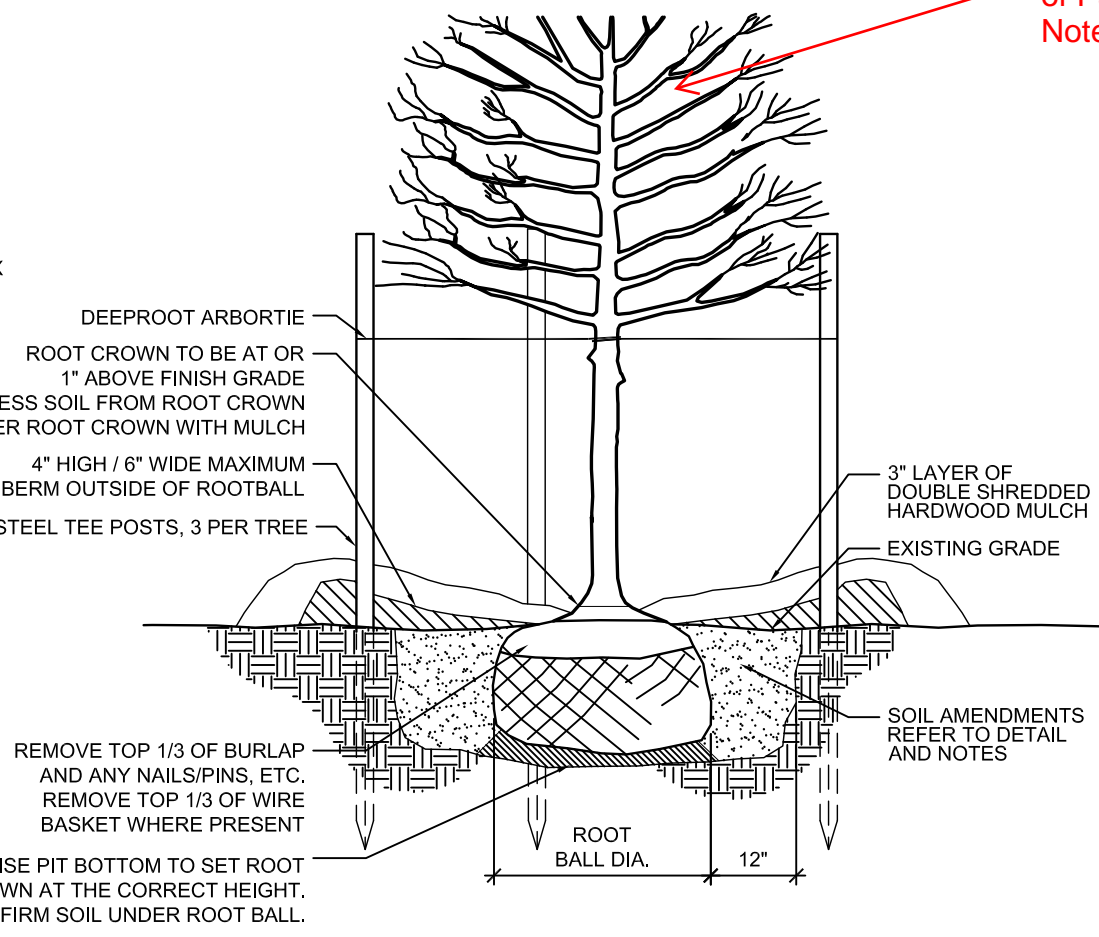
1 TRIANGULAR SPACING FOR SHRUBS & GROUND COVERS

08 OF 08 PLAN

TGC RESPONSE: TOWN OF PARKER PLANTING NOTES HAVE BEEN ADDED TO THE PLAN RESUBMITTAL

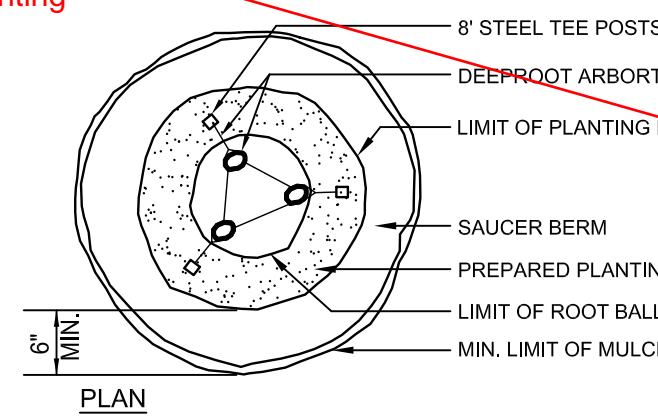


- NOTES:
- ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BURLAP (BAB) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
 - COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
 - INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
 - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
 - SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
 - ALL STAKING TO BE REMOVED AFTER ONE YEAR.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
 - RESEED UNMULCHED, DISTURBED AREAS.
 - DO NOT COVER ROOT CROWN.

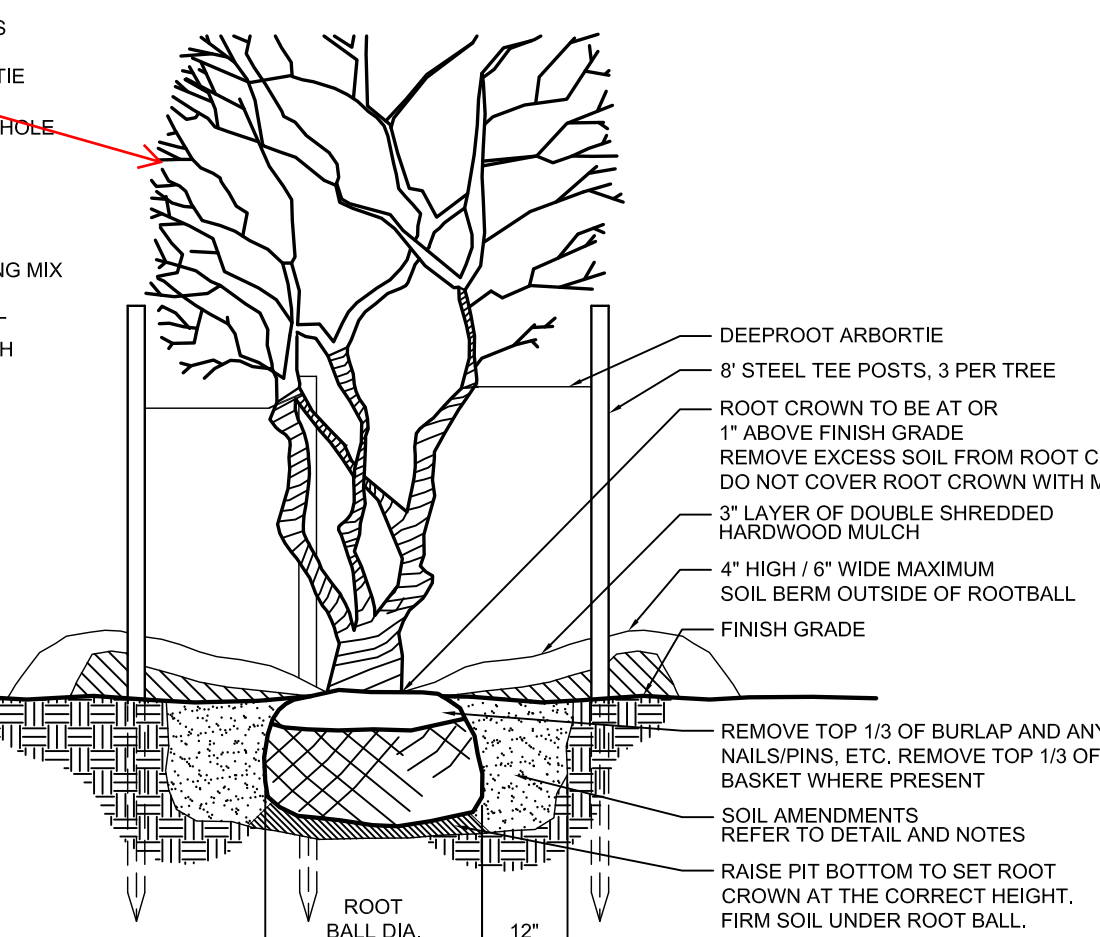


ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)

FOR EXAMPLE: CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
2"	12-14'	18'	24"	18"
3"	14-16'	24'	32"	21"



- NOTES:
- ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BURLAP (BAB) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
 - COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
 - INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
 - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
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 - ALL STAKING TO BE REMOVED AFTER ONE YEAR.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
 - RESEED UNMULCHED, DISTURBED AREAS.
 - DO NOT COVER ROOT CROWN.



5 MULTI-TRUNK TREE

08 OF 08 SECTION AND PLAN

NTS

6 SHRUB PLANTING BED

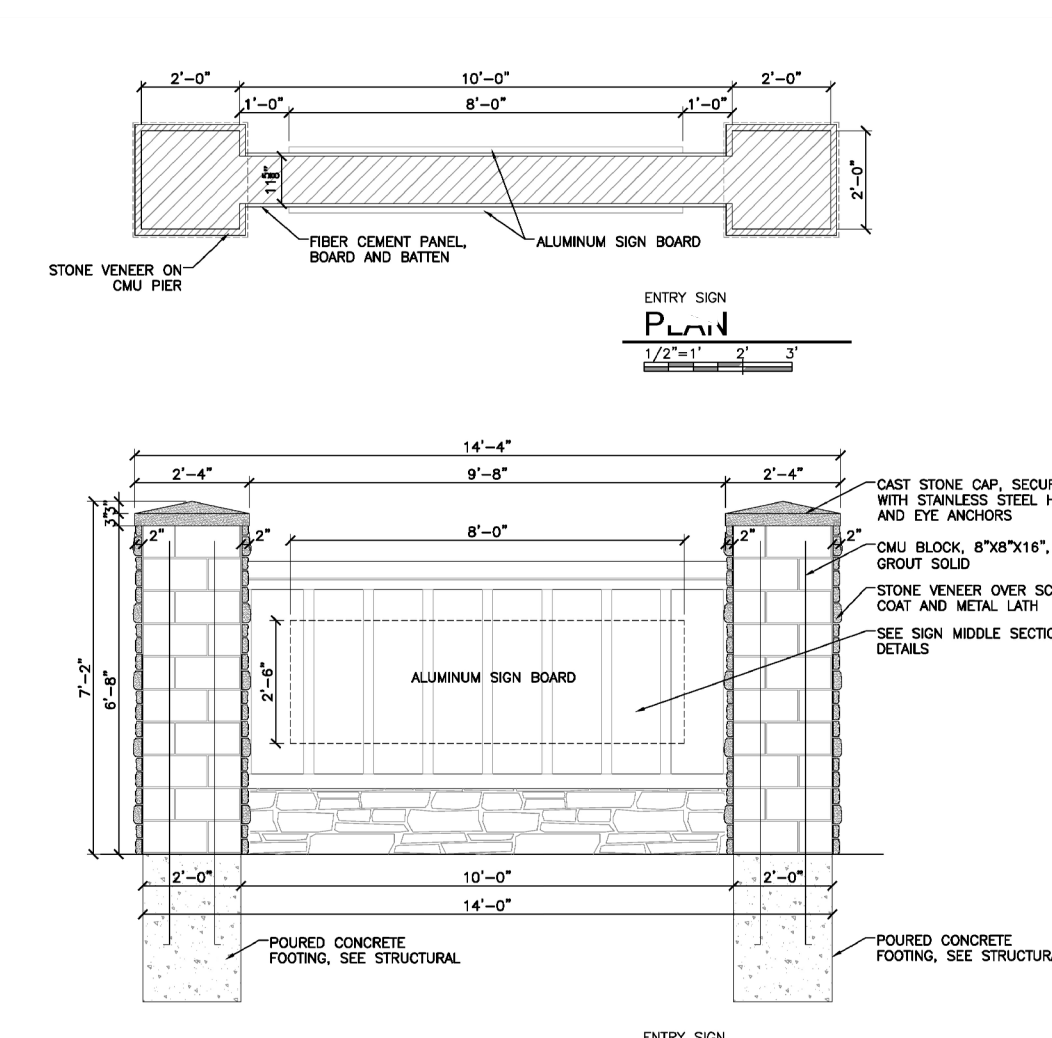
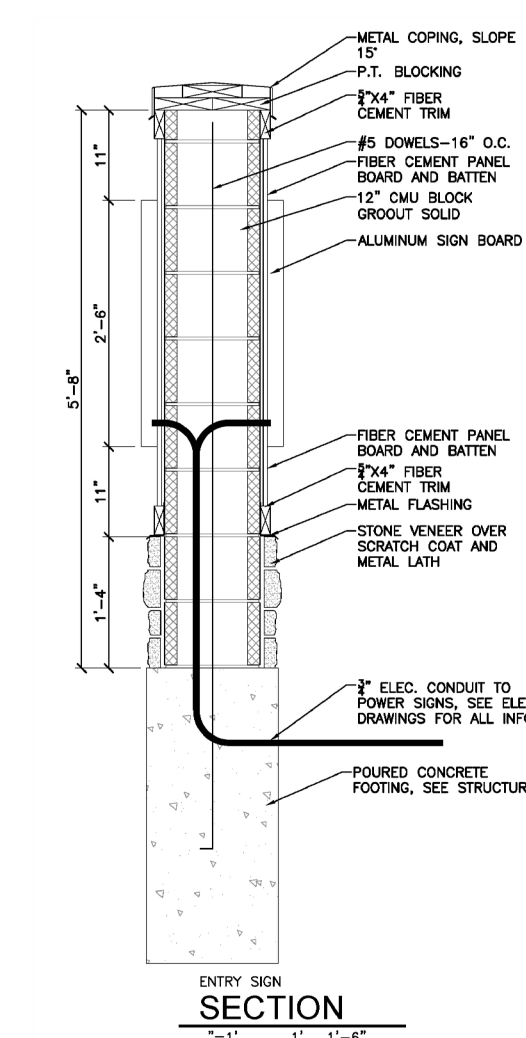
08 OF 08 PLAN AND SECTION

NTS

4 TREE PLANTING

08 OF 08 SECTION

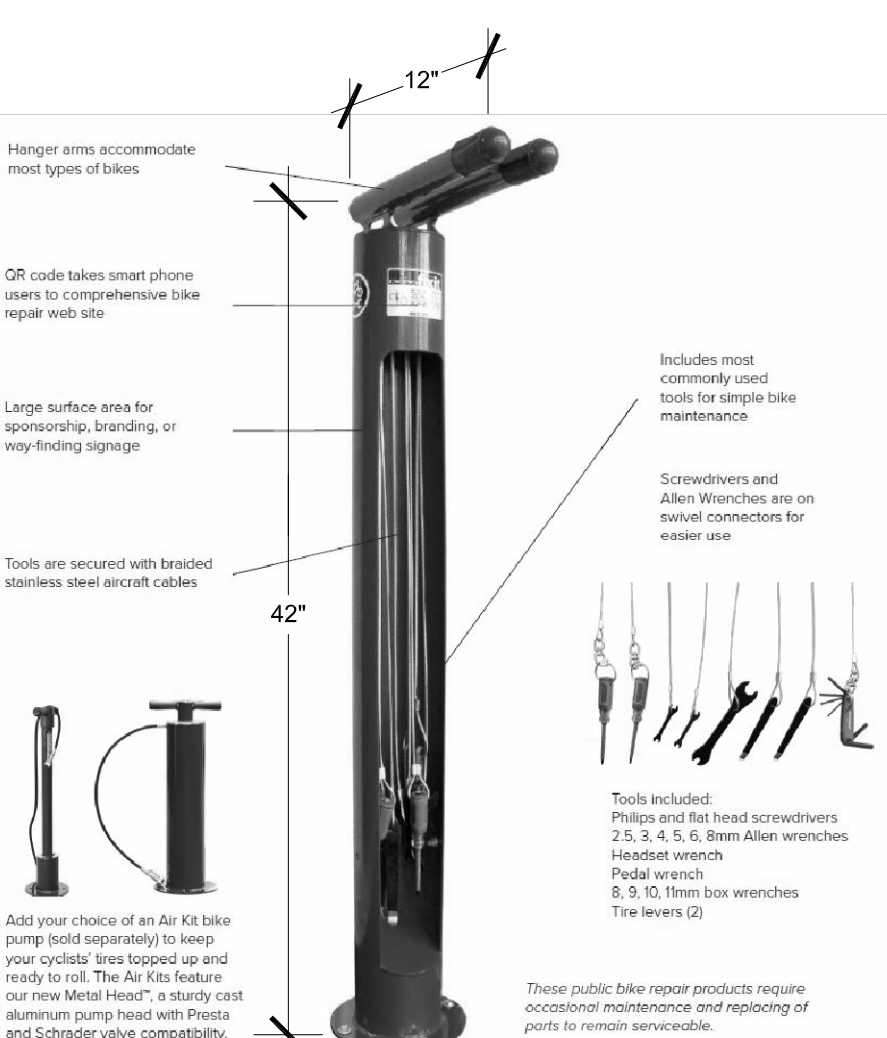
NTS



7 MONUMENT SIGN

08 OF 08 PRODUCT INFORMATION

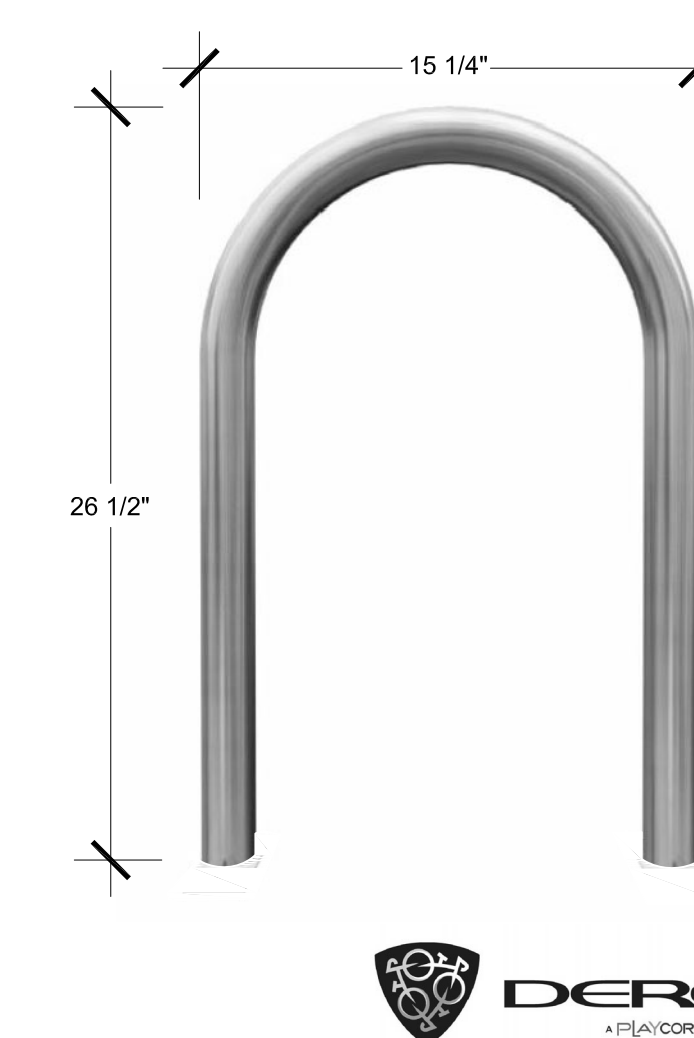
NTS



8 FIXIT STATION

08 OF 08 PRODUCT INFORMATION

NTS



9 BIKE RACK

08 OF 08 PRODUCT INFORMATION

NTS

NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

DESIGNED BY: NAS
DRAWN BY: NAS
DATE: 08/21/20

PARKER AND PINE MULTI-FAMILY
PARKER, CO
PRELIMINARY SITE PLAN
LANDSCAPE DETAILS

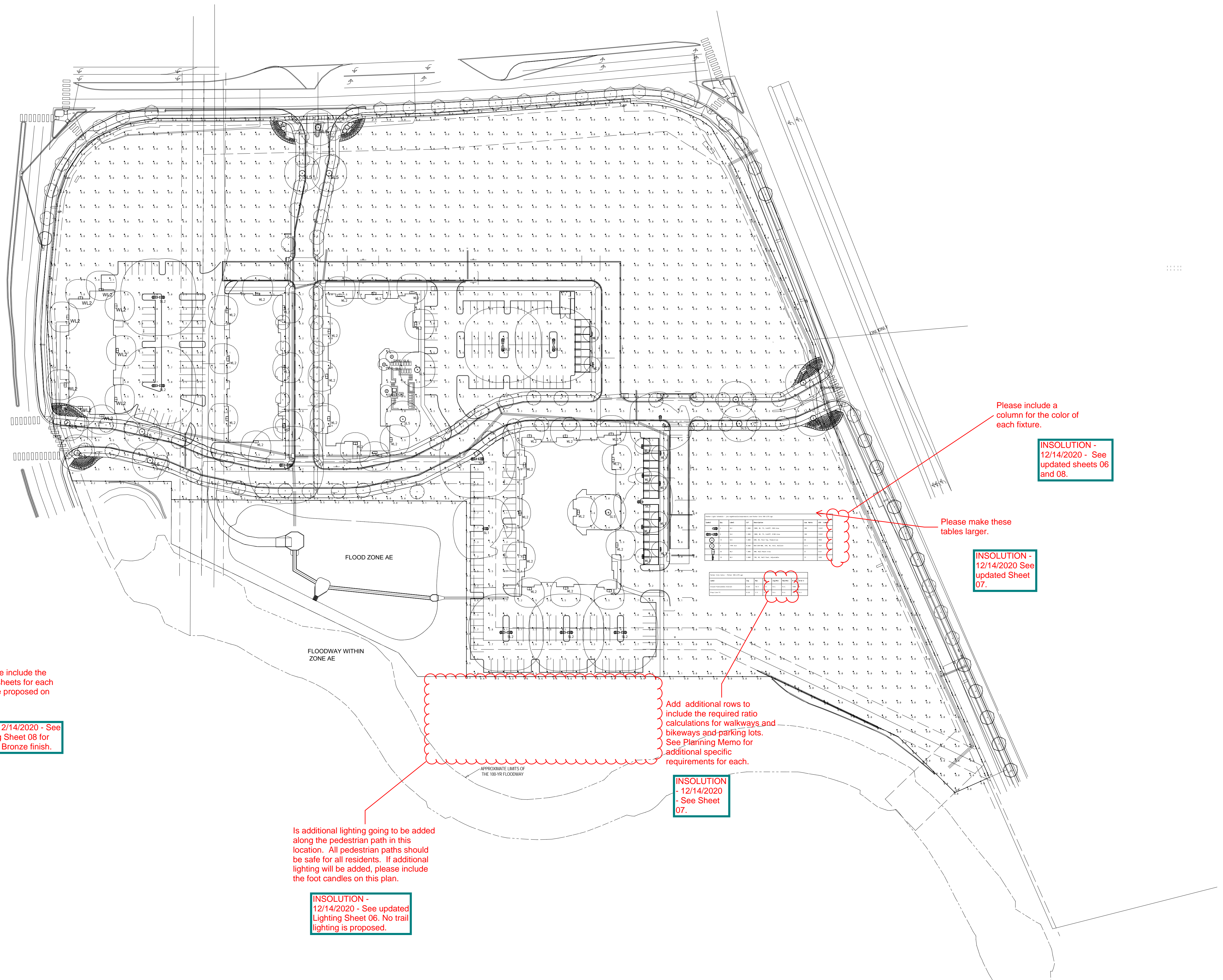
PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.

Nicholas Allen Smith
Registered Landscape Architect of the State of COLORADO
Registration Number: 1436

NOT FOR CONSTRUCTION

PROJECT NO. 096502001

DRAWING NAME
LANDSCAPE DETAILS



Parker & Pine Multi-Family Site Lighting Type SL1 Type SL2

Parker & Pine Multi-Family Site Lighting TYPE SL3

Parker & Pine Multi-Family Site Lighting TYPE WL2

Parker & Pine Multi-Family Site Lighting TYPE WL3

Parker & Pine Multi-Family Site Lighting TYPE SL6

Please include the cut sheets for each fixture proposed on site.

INSOLUTION - 12/14/2020 - See Updated Lighting Sheet 08 for spec sheets and Bronze finish.

Is additional lighting going to be added along the pedestrian path in this location. All pedestrian paths should be safe for all residents. If additional lighting will be added, please include the foot candles on this plan.

INSOLUTION - 12/14/2020 - See updated Lighting Sheet 06. No trail lighting is proposed.

Add additional rows to include the required ratio calculations for walkways and bikeways and parking lots. See Planning Memo for additional specific requirements for each.

INSOLUTION - 12/14/2020 - See Sheet 07.

Please make these tables larger.

INSOLUTION - 12/14/2020 See updated Sheet 07.

Please include a column for the color of each fixture.

INSOLUTION - 12/14/2020 - See updated sheets 06 and 08.

#	Date	Comments
Revisions		

Drawn By: jrago
 Checked By: jrago
 Date: 8/21/2020
 Scale:

Parker and Pine Multi-Family Site Lighting Plan

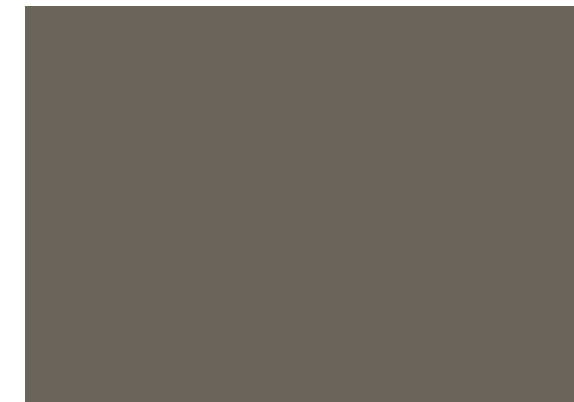
Please include height information for each building.

SB RESPONSE: Height information will be added to the elevations.

Materials



Asphalt Shingles



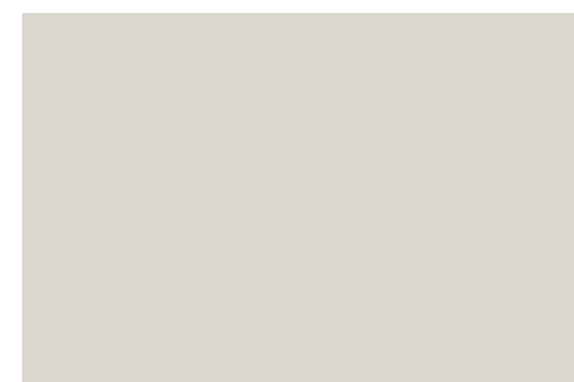
Fiber Cement Siding & Trim



Fiber Cement Siding & Trim



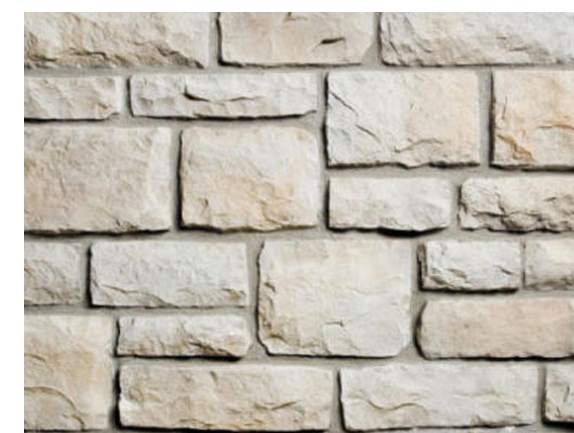
Fiber Cement Siding & Trim



Fiber Cement Siding & Trim



Fiber Cement Siding & Trim



Stone



West Elevation



North Elevation



South Elevation



East Elevation



East Elevation



North Elevation



South Elevation



West Elevation

SB RESPONSE: Building 2 elevations have been redesigned and a different color palette used. See revised elevations and responses in planning memo

In order to make this building feel different from the rest consider adding a different color, material, or roof form.

Please make these more visible. See Planning memo for additional info.

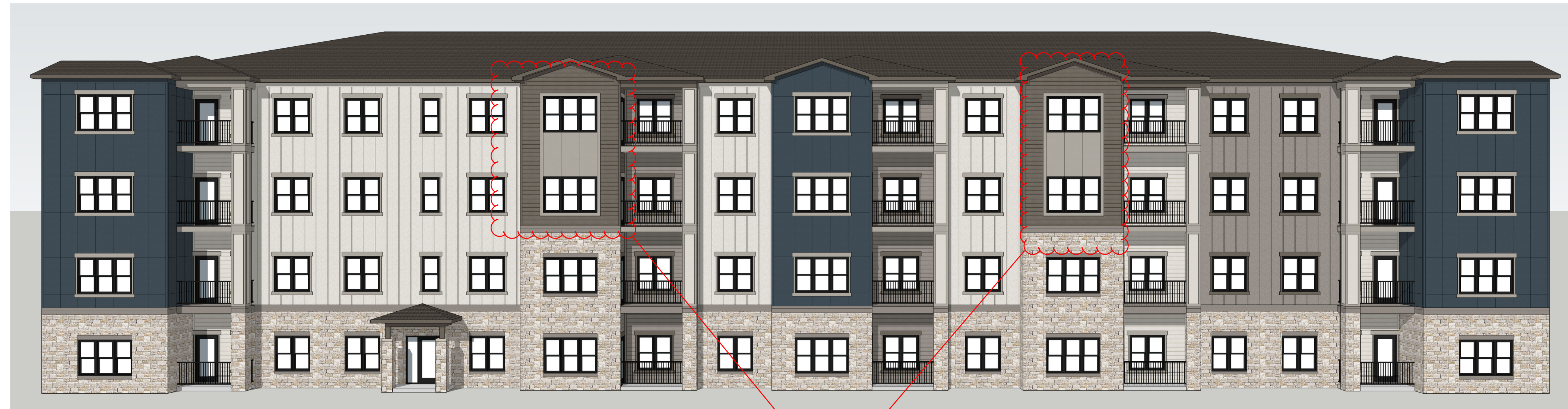
SB RESPONSE: Building 2 elevations have been redesigned and a different color palette used. See revised elevations and responses in planning memo

Consider changing up the side elevations to meet the different building requirement.

SB RESPONSE: Building 2 elevations have been redesigned and a different color palette used. See revised elevations and responses in planning memo

Could the peak of these roof forms be increased to change up this elevations?

SB RESPONSE: Building 2 elevations have been redesigned and a different color palette used. See revised elevations and responses in planning memo



West Elevation

According to the exterior building palettes section, stone should be included all the way to the roof.

SB RESPONSE: See revised elevations and response in planning memo.



North Elevation



South Elevation



East Elevation

Please include elevations for the following:

- detached garages
- any amenity structures
- trash enclosures
- bike racks

SB RESPONSE: Elevations have been included.



West Elevation

Please make these more visible.

SB RESPONSE: Building 4 has been redesigned. See revised elevations and responses in planning memo.



North Elevation



South Elevation



East Elevation

Please add this full set into the Site Plan package/set

TGC RESPONSE: FULL SET HAS BEEN ADDED TO THE SITE PLAN RESUBMITTAL.

TGC RESPONSE: THIS SHEET HAS BEEN REMOVED FROM THE SITE PLAN RESUBMITTAL BECAUSE THIS INFORMATION IS INCLUDED ON CIVIL'S COVER SHEET.

Please change this title to match the proposed title of the documents from the Site Plan redlines.

LANDSCAPE AND HARDSCAPE PACKAGE

PARKER AND PINE MULTI-FAMILY

CONSTRUCTION DOCUMENTS

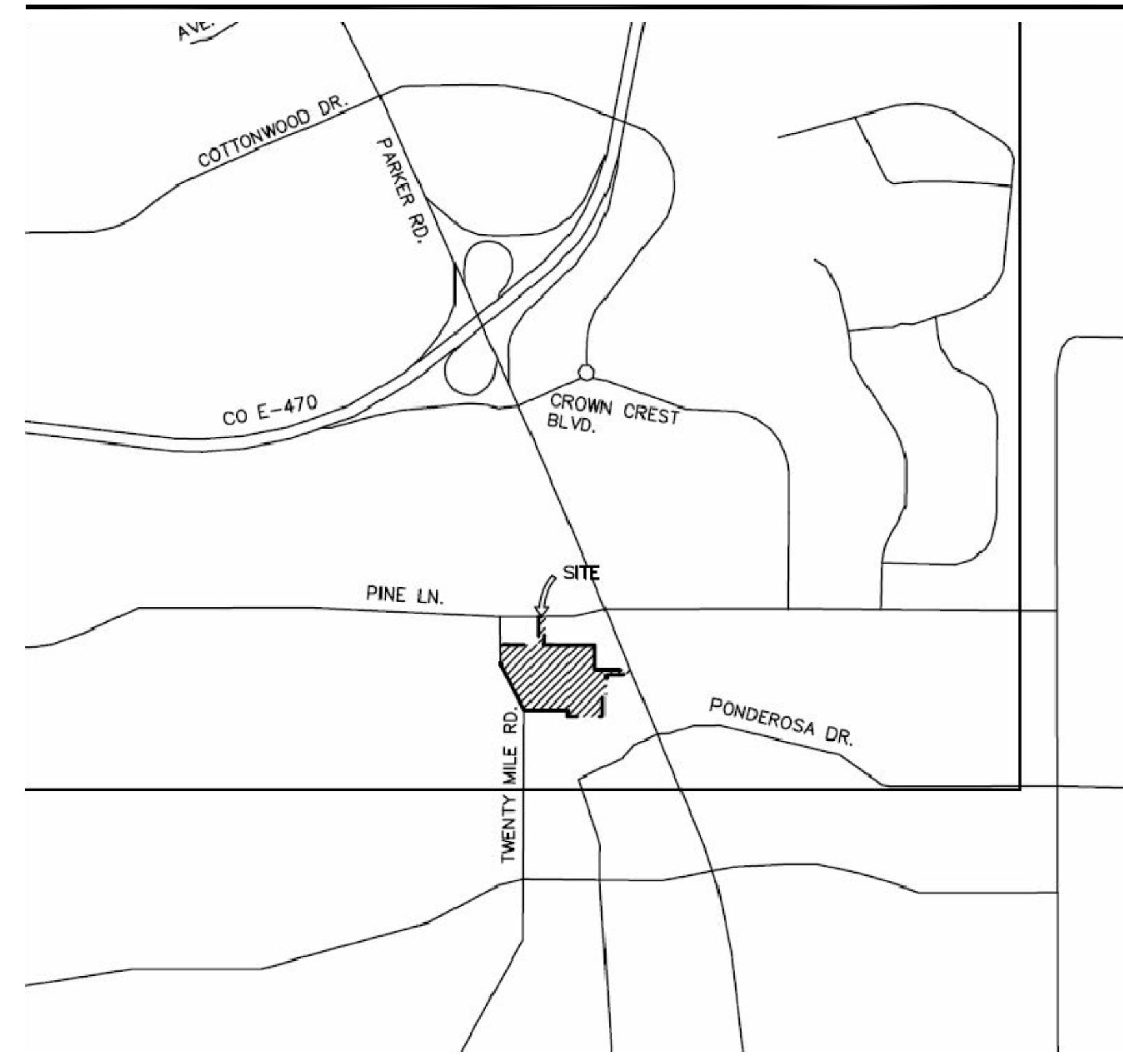
PARKER, COLORADO

DATE: 08.21.2020

SHEET INDEX

LANDSCAPE	
SHEET NUMBER	SHEET TITLE
--	COVER SHEET
L000	GENERAL NOTES & LEGEND
L001	OVERALL SITE PLAN
L100	MATERIALS PLAN
L101	MATERIALS PLAN
L102	MATERIALS PLAN
L103	MATERIALS PLAN
L400	SITE DETAILS
L401	SITE DETAILS
L402	SITE DETAILS
L403	SITE DETAILS
L600	PLANTING PLAN
L601	PLANTING PLAN
L602	PLANTING PLAN
L603	PLANTING PLAN
L604	PLANTING SCHEDULE, NOTES & TABULATIONS
L605	LANDSCAPE DETAILS
L606	LANDSCAPE DETAILS & NOTES

VICINITY MAP



SCALE: NTS
(NOT TO SCALE)

PROJECT TEAM

OWNER/DEVELOPER

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
317.886.7923

SENIOR DEVELOPMENT MANAGER

KARL STOUT
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
317.886.7926

LANDSCAPE ARCHITECT

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
765.748.9506
CONTACT NAME: NICK SMITH

INTERIOR DESIGNER

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
463.444.7030
CONTACT NAME: KATE SULLIVAN

ARCHITECT

SEEBREE ARCHITECTS, INC.
97 DOVER ST., SUITE 400
AVON, INDIANA 46123
317.272.7800
CONTACT NAME: DAWN LAYTON

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES
4582 S ULSTER ST., STE 1500
DENVER, CO 80237
303.228.2318
CONTACT NAME: DAN SKEEHAN

IRRIGATION

SETH HEIDMAN IRRIGATION DESIGN
DALLAS, TEXAS
972.816.5151

SURVEYOR

ENGINEERING SERVICE COMPANY
1300 S POTOMA ST., STE 126
AURORA, CO 80012
303.337.1393
CONTACT NAME: CHARLES BECKSTROM, PLS



NOT FOR CONSTRUCTION

These plans need to include detailed landscape design showing all trees, shrubs, ornamental grasses and perennials.

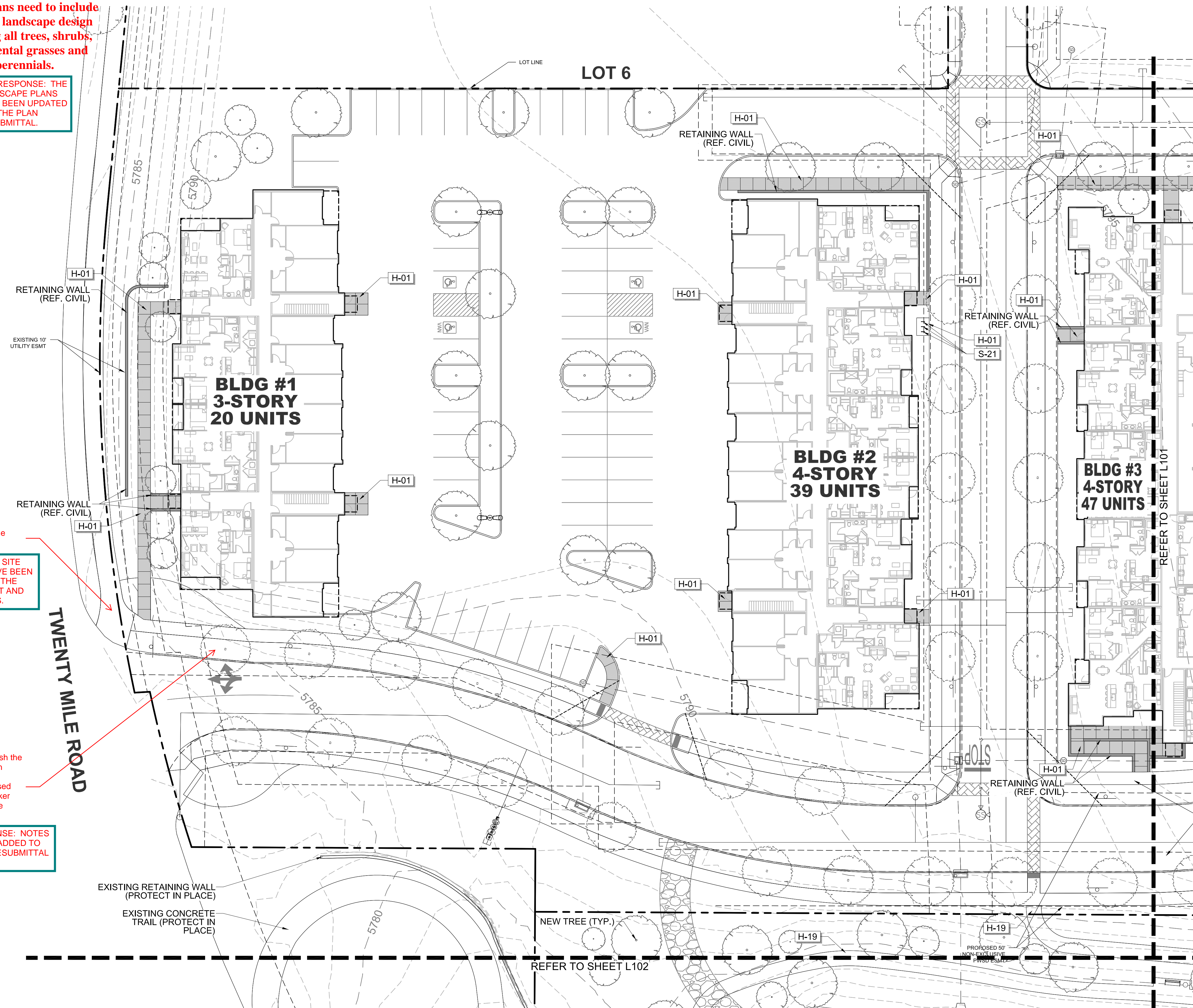
TGC RESPONSE: THE LANDSCAPE PLANS HAVE BEEN UPDATED FOR THE PLAN RESUBMITTAL.

Please add in the sight easement.

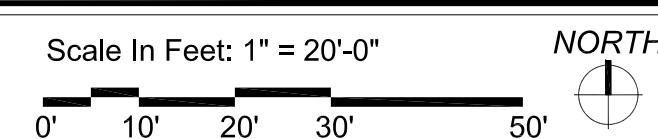
TGC RESPONSE: SITE EASEMENTS HAVE BEEN CALLED OUT ON THE SITE PLAN SHEET AND LANDSCAPE CDS.

Please distinguish the landscaping with proposed and existing. proposed should be a darker line type with the existing grayed.

TGC RESPONSE: NOTES HAVE BEEN ADDED TO THE PLAN RESUBMITTAL TO CLARIFY.



01 MATERIALS PLAN



REFERENCE NOTES SCHEDULE

SYMBOL	HARDSCAPE DESCRIPTION
H-01	CONCRETE PAVING - SIDEWALK
H-02	CONCRETE PAVING - POOL DECK
H-03	CONCRETE PAVING - DECORATIVE PAVERS
H-04	CONCRETE STEPS
H-05	METAL HANDRAIL
H-06	POOL, TO MEET ALL APPLICABLE ADA AND POOL CODES, 1,150 SQ. FT.
H-07	HOT TUB, AT GRADE, 9' X 9'
H-08	METAL POOL HANDRAIL
H-09	POOL COPING - CONCRETE TO MATCH POOL DECK
H-10	CABANAS, CEDAR WITH LOUVERED CEDAR SCREENS
H-11	OUTDOOR KITCHEN TO INCLUDE 2 GAS GRILLS, SINK AND UNDER COUNTER REFRIGERATOR, CMU WITH STONE VENEER TO MATCH BUILDING. (COORDINATE GAS, WATER AND ELECTRICAL WITH MEP AND CIVIL)
H-12	TUBE STEEL SHADE STRUCTURE WITH STANDING SEAM METAL ROOF (COORDINATE ELECTRICAL FOR LIGHTING WITH MEP)
H-13	FIRE TABLE - NATURAL GAS, BROWN JORDAN FIRES 12"-18" HT. (COORDINATE NATURAL GAS LINE WITH PLUMBING AND CIVIL)
H-14	6' HT. POOL FENCE, ORNAMENTAL ALUMINUM PICKET, BLACK
H-15	6' HT. X 42" WIDTH POOL FENCE GATE, TO MATCH POOL FENCE. ACCESS CONTROL. (COORDINATE WITH MEP)
H-16	4' HT. DOG PARK FENCE, ORNAMENTAL ALUMINUM PICKET, BLACK
H-17	4' HT. X 42" WIDTH GATE, TO MATCH DOG PARK FENCE.
H-18	POWER/USB PEDESTAL (SEE ELECTRICAL PLAN FOR CONDUIT) 7 TOTAL
H-19	DECOMPOSED GRANITE (COMPACTED)
H-20	METAL LANDSCAPE EDGING
H-21	MONUMENT SIGN (COORDINATE ELECTRICAL FOR LIGHTING WITH MEP)
SYMBOL	SITE FURNISHING DESCRIPTION
S-01	BENCH
S-02	CHAISE LOUNGE
S-03	UMBRELLA
S-04	4 TOP TABLE AND CHAIRS
S-05	COMMUNAL TABLE AND CHAIRS
S-06	HAMMOCK
S-08	OUTDOOR LOUNGE COUCH
S-09	OUTDOOR LOUNGE CHAIR
S-10	CORNHOLE
S-11	TRASH RECEPTACLE
S-12	COFFEE TABLE FOR JENGA
S-13	GIANT OUTDOOR JENGA
S-14	FITNESS STATIONS
S-15	SIDE TABLE
S-16	IN POOL CHAISE LOUNGE
S-17	PET WASTE STATION
S-18	PET DRINKING FOUNTAIN
S-19	DOG PARK PLAY STRUCTURES
S-20	BIKE FIX-IT STATION
S-21	BIKE RACKS

NOT FOR CONSTRUCTION

PROJECT #:	19-XX	
DRAWN BY:	NAS	
CONSTRUCTION DOCUMENTS ISSUE FOR CONSTRUCTION	08.21.2020	
REVISION SCHEDULE		
#	DATE	DESCRIPTION

PARKER AND PINE MULTI-FAMILY
 OVERALL SITE
 PARKER, COLORADO
 LANDSCAPE PLANS

MATERIALS PLAN



811
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