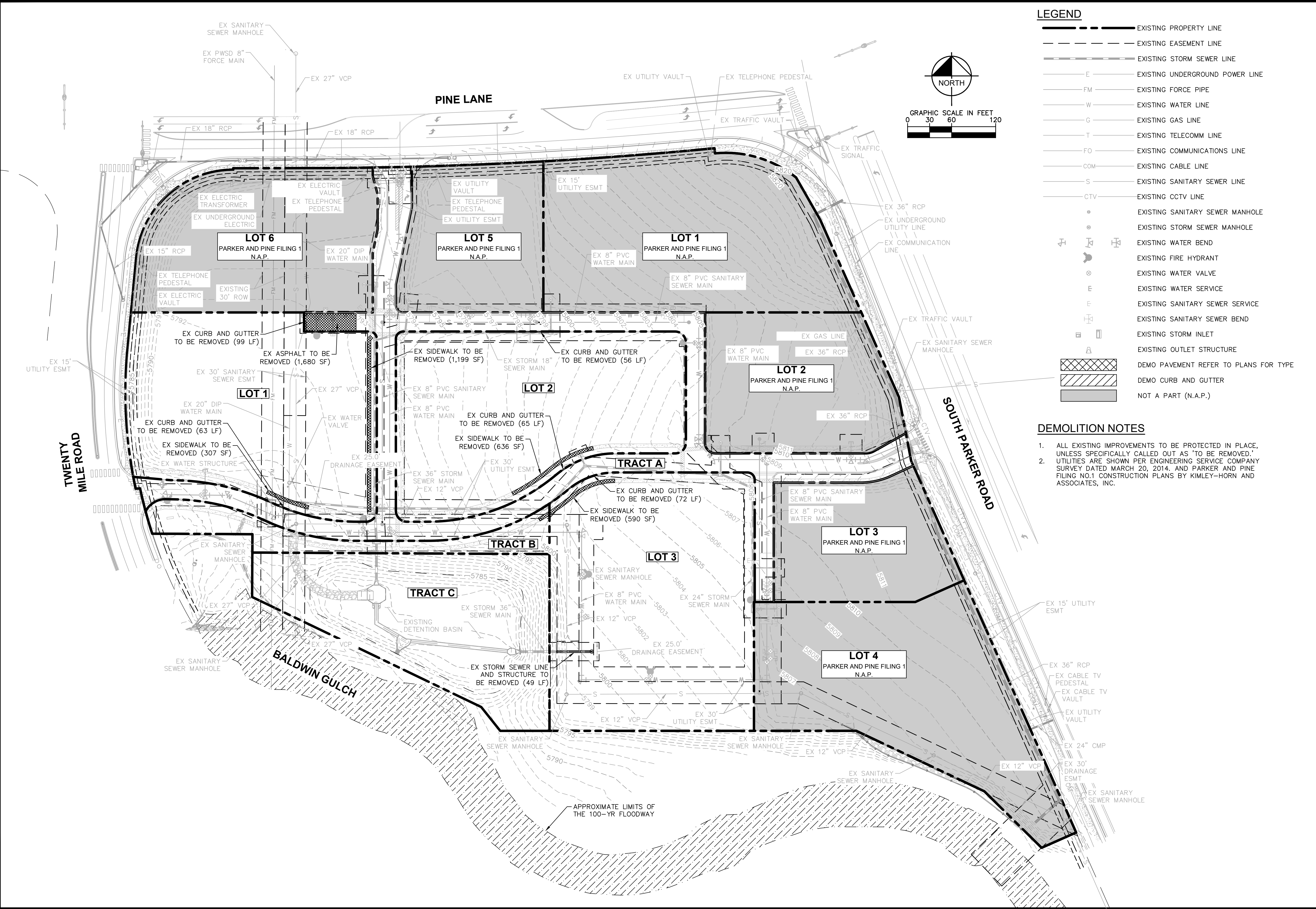


\\kimley-horn\pcorn\del\dev\c\1\096481002 - Parker & Pine ME\CAD\Drawings\Site\13\096481002PSP_DM.dwg Date: 2/16/2021 9:15 AM
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LEGEND

- — — — — EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- — — — — EXISTING STORM SEWER LINE
- — — — — EXISTING UNDERGROUND POWER LINE
- — — — — EXISTING FORCE PIPE
- — — — — EXISTING WATER LINE
- — — — — EXISTING GAS LINE
- — — — — EXISTING TELECOMM LINE
- — — — — EXISTING COMMUNICATIONS LINE
- — — — — EXISTING CABLE LINE
- — — — — EXISTING SANITARY SEWER LINE
- — — — — EXISTING CCTV LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- ⊕ EXISTING WATER BEND
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER SERVICE
- ⊕ EXISTING SANITARY SEWER SERVICE
- ⊕ EXISTING SANITARY SEWER BEND
- ⊕ EXISTING STORM INLET
- ⊕ EXISTING OUTLET STRUCTURE
- ▨ DEMO PAVEMENT REFER TO PLANS FOR TYPE
- ▨ DEMO CURB AND GUTTER
- ▨ NOT A PART (N.A.P.)

- DEMOLITION NOTES**
1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014. AND PARKER AND PINE FILING NO.1 CONSTRUCTION PLANS BY KIMLEY-HORN AND ASSOCIATES, INC.

NO.	REVISION	BY	DATE	APPR

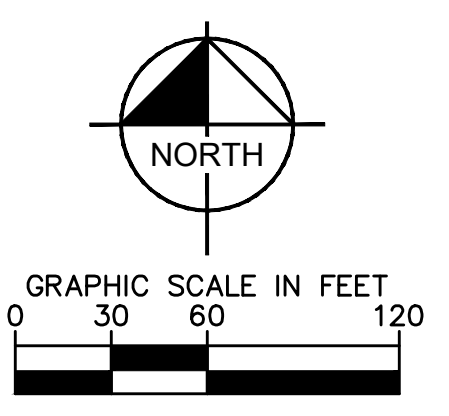
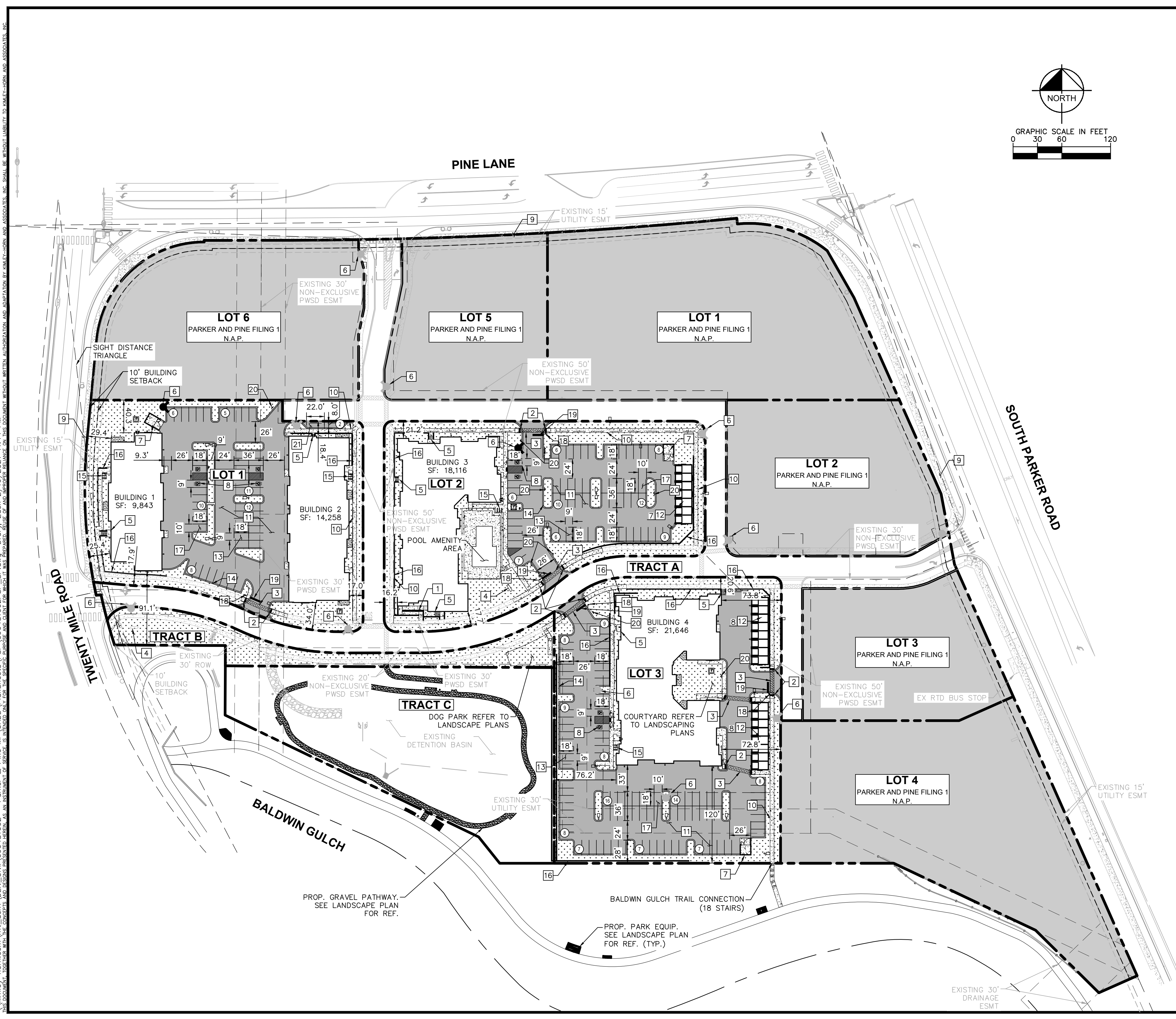
Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 02/16/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
EXISTING CONDITIONS AND DEMO PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION
Kimley»Horn
 Kimley-Horn and Associates, Inc.
 PROJECT NO.
 096481002
 DRAWING NAME
 096481002PSP_DM
02 OF 47

M:\projects\096481002_Parker & Pine\ME CAD\DWG\Site\Site\096481002PSP_SP.dwg, Date: 7/16/2021, 11:14 AM
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LEGEND

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)
	EXISTING COLORED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
 - 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
 - 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
 - 4 PROPOSED MONUMENT SIGN.
 - 5 PROPOSED PRIVATE STAIRWAY, WIDTH PER PLAN
 - 6 EXISTING/PROPOSED FIRE HYDRANT.
 - 7 PROPOSED TRASH ENCLOSURE.
 - 8 PROPOSED ADA PARKING STALLS.
 - 9 EXISTING 8' CONCRETE SIDEWALK.
 - 10 PROPOSED 5' CONCRETE SIDEWALK.
 - 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
 - 12 DETACHED GARAGE, PARKING COUNT PER PLAN.
 - 13 PROPOSED STANDARD 9'X18' PARKING STALL
 - 14 PROPOSED STANDARD CURB AND GUTTER
 - 15 PROPOSED 6 STALL BICYCLE PARKING
 - 16 PROPOSED RETAINING WALL
 - 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
 - 18 PROPOSED STOP SIGN R-1
 - 19 PROPOSED STOP BAR
 - 20 PROPOSED NO PARKING - FIRE LANE SIGN R8-31
 - 21 PROPOSED 8'X22' PARALLEL PARKING STALL

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

NO.	REVISION	BY	DATE	APPRO

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
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 DATE: 02/16/21

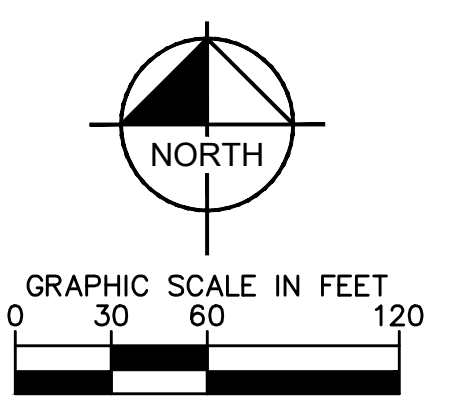
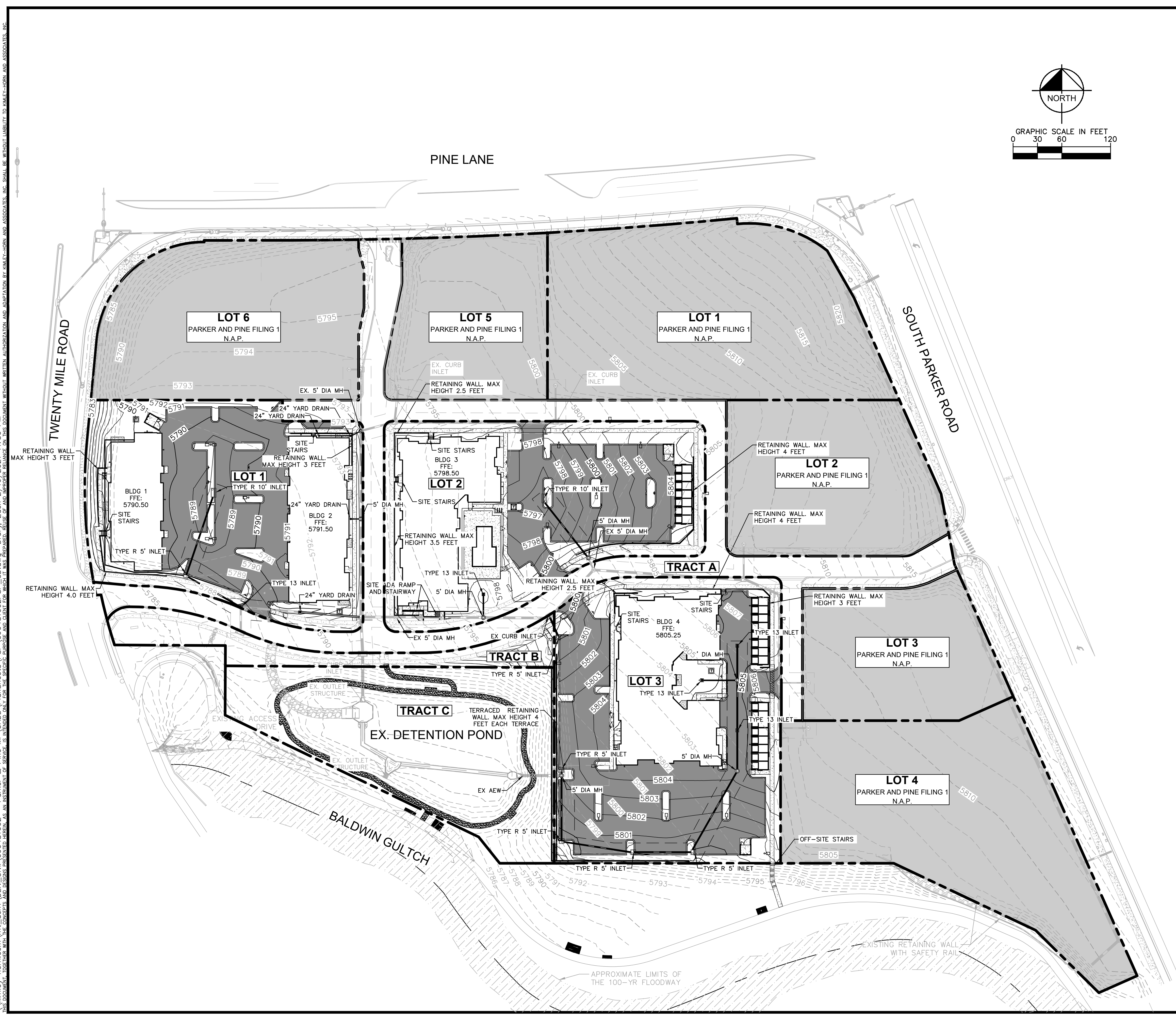
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL SITE PLAN

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002

DRAWING NAME
 096481002PSP_SP

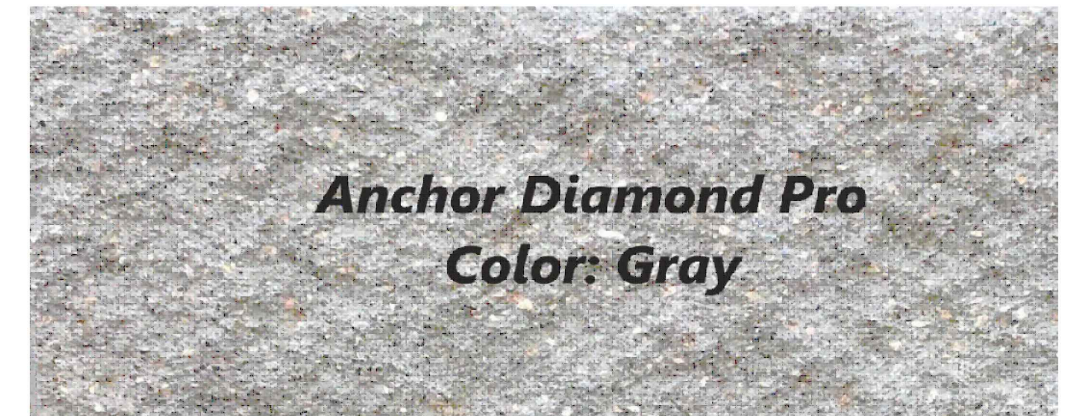
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LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)

BENCHMARK
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
 ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

- NOTE:**
- BUILDING ROOF DRAINS TO DISCHARGE ON GRADE.
 - SITE RETAINING WALLS TO BE GRAY SPLIT FACE CMU BLOCK BY ANCHOR DIAMOND PRO OR APPROVED EQUIVALENT. MATERIAL SHOW BELOW:



NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 02/16/21

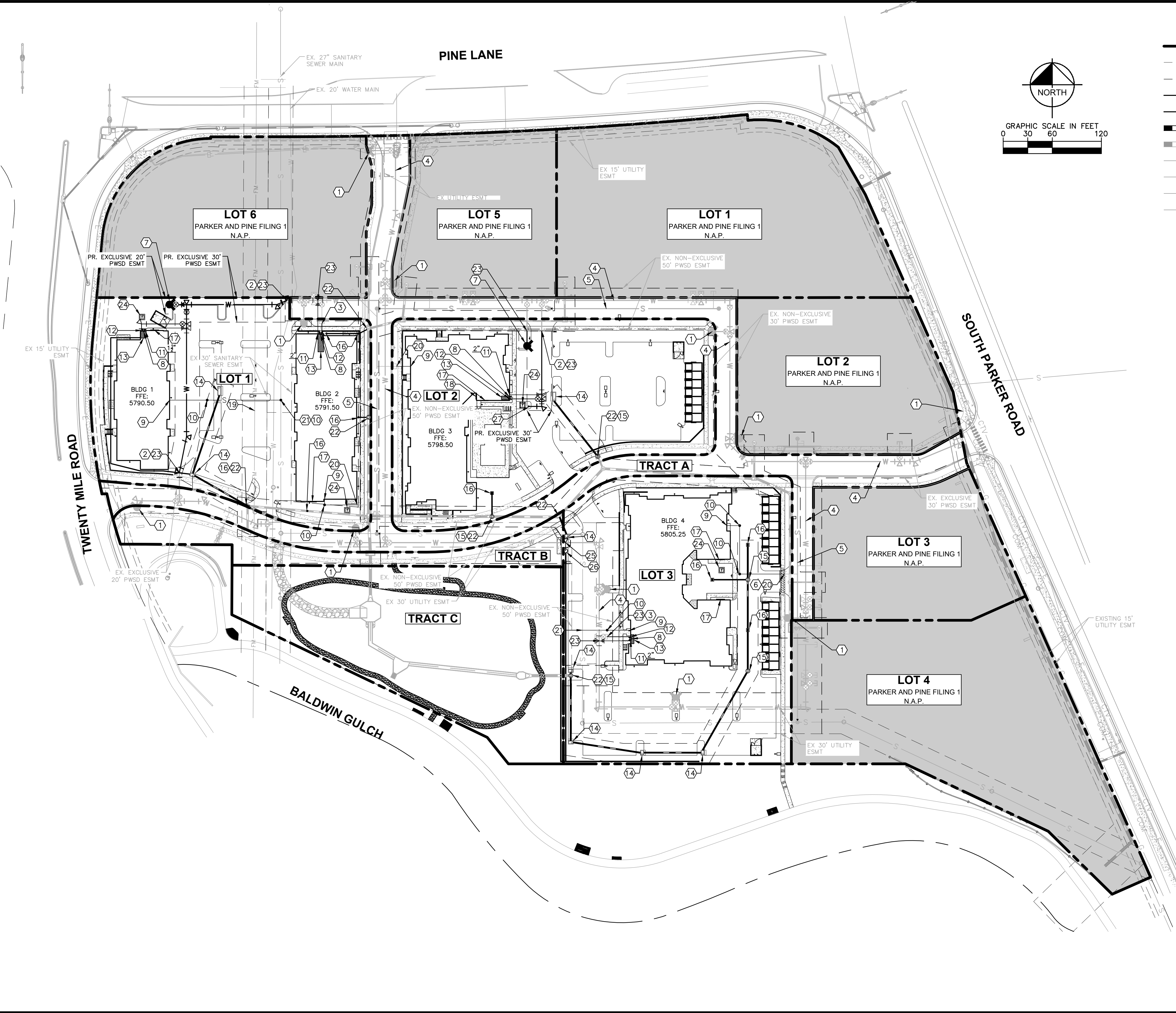
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL GRADING PLAN

PRELIMINARY
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Kimley»Horn
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PROJECT NO.
 096481002

DRAWING NAME
 096481002PSP_GD

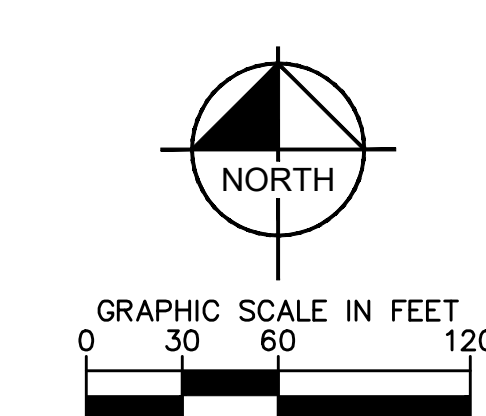
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UTILITY LEGEND

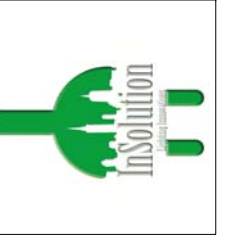
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAINAGE LINE
	EXISTING STORM DRAINAGE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING ELECTRIC LINE
	PROPOSED FIRE HYDRANT W/ BOLLARDS
	PROPOSED METER
	PROPOSED WATER VALVE
	PROPOSED TEE / BEND
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS
	NOT A PART (N.A.P.)

- ### SITE KEYNOTES
- ① EXISTING FIRE HYDRANT
 - ② EXISTING 8" STUB W/TEMP BLOW-OFF
 - ③ EXISTING 6" FIRE SERVICE W/TEMP BLOW-OFF
 - ④ EXISTING 8" WATER MAIN
 - ⑤ EXISTING 8" SEWER MAIN
 - ⑥ EXISTING 6" SEWER STUB
 - ⑦ PROPOSED FIRE HYDRANT WITH 6" GATE VALVE
 - ⑧ PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
 - ⑨ PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
 - ⑩ PROPOSED SANITARY SEWER CLEANOUT
 - ⑪ PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. WATER METER/TAP SIZE PER PLAN
 - ⑫ PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
 - ⑬ PROPOSED FIRE RISER ROOM
 - ⑭ PROPOSED CURB INLET
 - ⑮ PROPOSED STORM MANHOLE
 - ⑯ PROPOSED AREA INLET
 - ⑰ PROPOSED BUILDING ELECTRIC METER LOCATION
 - ⑱ PROPOSED BUILDING GAS METER LOCATION
 - ⑲ EXISTING PWS 8" FORCE MAIN
 - ⑳ CONNECT TO EXISTING SANITARY SEWER STUB
 - ㉑ CONNECT TO EXISTING SANITARY SEWER MAIN PER PWS STANDARDS.
 - ㉒ TIE INTO EXISTING STORM SEWER SYSTEM
 - ㉓ CONNECT TO EXISTING WATER MAIN PER PWS STANDARDS
 - ㉔ PROPOSED TRANSFORMER LOCATION
 - ㉕ PROPOSED 1.5" IRRIGATION TAP
 - ㉖ PROPOSED IRRIGATION METER PIT
 - ㉗ PROPOSED WATER MAIN BLOW OFF VALVE PER PWS STANDARDS

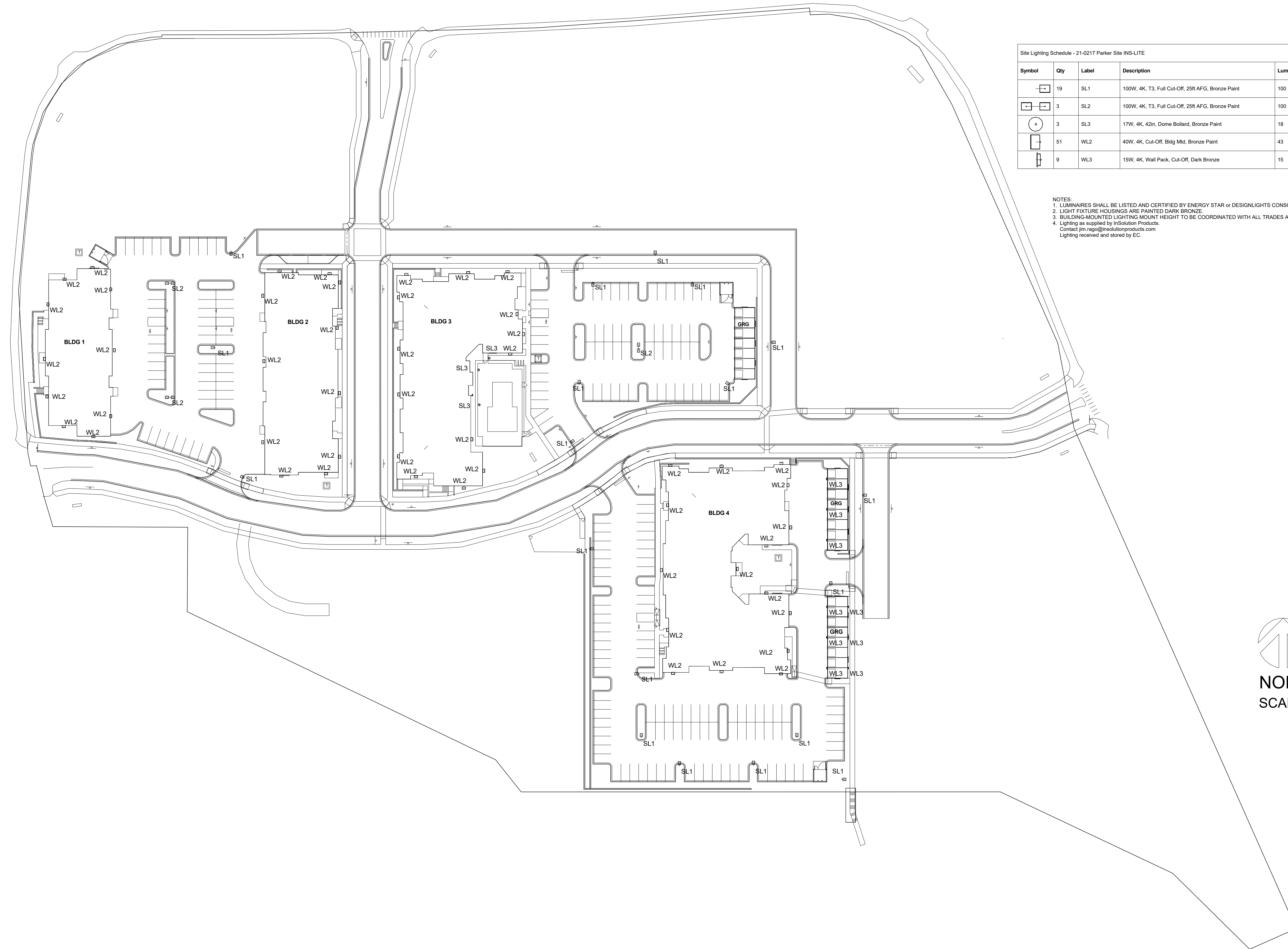


2020 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

PARKER AND PINE FILING NO. 2 LOTS 1-3 PARKER, CO MULTI-FAMILY SITE PLAN OVERALL UTILITY PLAN	DESIGNED BY: DLS DRAWN BY: JRK CHECKED BY: DLS DATE: 02/16/21
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley-Horn and Associates, Inc.	PROJECT NO. 096481002 DRAWING NAME 096481002PSP_UT
05 OF 47	NO. REVISION BY DATE APPR

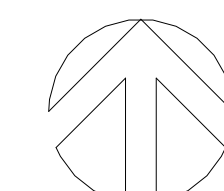


InSolution LLC
5157 E 64th St
Indianapolis, IN 46220



Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
	19	SL1	100W, 4K, T3, Full Cut-Off, 25ft AFG, Bronze Paint	100	11188	B2-U0-G2	25ft AFG
	3	SL2	100W, 4K, T3, Full Cut-Off, 25ft AFG, Bronze Paint	100	11188	B2-U0-G2	25ft AFG
	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229	B1-U3-G1	3.5ft AFG
	51	WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	15ft AFG
	9	WL3	15W, 4K, Wall Pack, Cut-Off, Dark Bronze	15	1699	B1-U1-G1	7ft AFG

NOTES:
 1. LUMINAIRES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.
 2. LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.
 3. BUILDING-MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.
 4. Lighting as supplied by InSolution Products.
 Contact: jim.irago@insolutionproducts.com
 Lighting received and stored by EC.

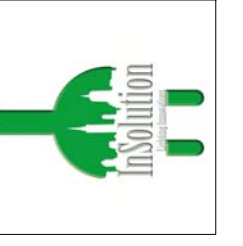


NORTH
SCALE: 1in = 50ft

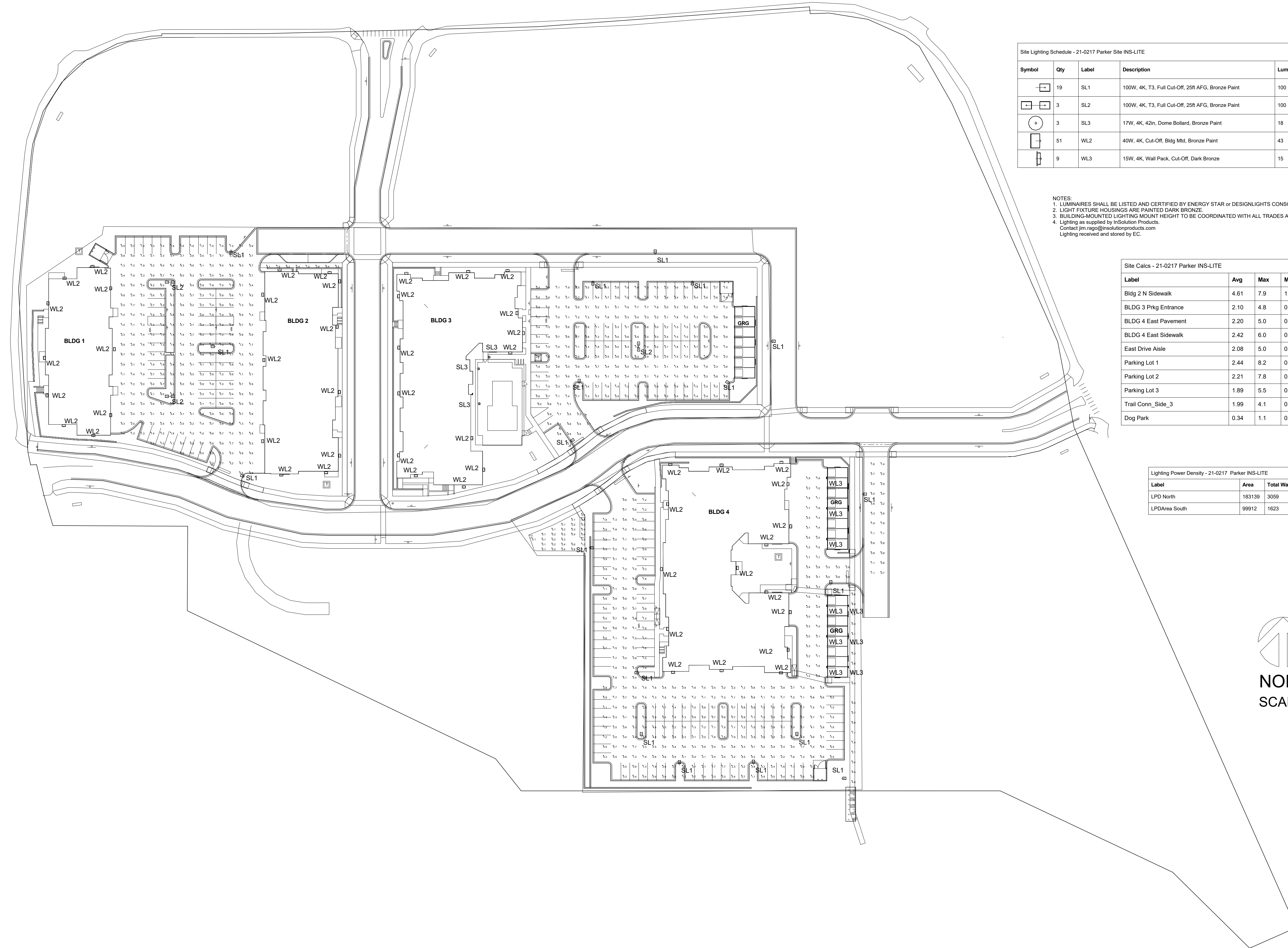
#	Date	Comments

Drawn By: jrago
Checked By: jrago
Date: 2/16/2021
Scale: 1in = 50ft

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY
 LIGHTING SITE PLAN



InSolution LLC
5157 E 64th St
Indianapolis, IN 46220



Site Lighting Schedule - 21-0217 Parker Site INS-LITE

Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
[Symbol]	19	SL1	100W, 4K, T3, Full Cut-Off, 25ft AFG, Bronze Paint	100	11188	B2-U0-G2	25ft AFG
[Symbol]	3	SL2	100W, 4K, T3, Full Cut-Off, 25ft AFG, Bronze Paint	100	11188	B2-U0-G2	25ft AFG
[Symbol]	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229	B1-U3-G1	3.5ft AFG
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[Symbol]	9	WL3	15W, 4K, Wall Pack, Cut-Off, Dark Bronze	15	1699	B1-U1-G1	7ft AFG

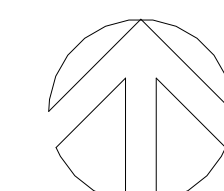
- NOTES:
- LUMINAIRES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.
 - LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.
 - BUILDING-MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.
 - Lighting as supplied by InSolution Products.
Contact: jim.rago@insolutionproducts.com
Lighting received and stored by EC.

Site Calcs - 21-0217 Parker INS-LITE

Label	Avg	Max	Min	Avg/Min	Max/Min	# Pts	Grid Z
Bldg 2 N Sidewalk	4.61	7.9	1.5	3.07	5.27	8	0
BLDG 3 Prkg Entrance	2.10	4.8	0.4	5.25	12.00	17	0
BLDG 4 East Pavement	2.20	5.0	0.8	2.75	6.25	48	0
BLDG 4 East Sidewalk	2.42	6.0	0.3	8.07	20.00	19	0
East Drive Aisle	2.08	5.0	0.7	2.97	7.14	24	0
Parking Lot 1	2.44	8.2	0.4	6.10	20.50	306	0
Parking Lot 2	2.21	7.8	0.3	7.37	26.00	240	0
Parking Lot 3	1.89	5.5	0.3	6.30	18.33	319	0
Trail Conn_Side_3	1.99	4.1	0.7	2.84	5.86	14	-4.355
Dog Park	0.34	1.1	0.1	3.40	11.00	30	0

Lighting Power Density - 21-0217 Parker INS-LITE

Label	Area	Total Watts	LPD
LPD North	183139	3059	0.017
LPD Area South	99912	1623	0.016



NORTH
SCALE: 1in = 50ft

Comments

Date

#

Revisions

Drawn By: jrago

Checked By: jrago

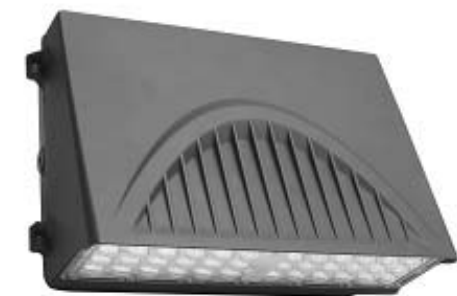
Date: 2/16/2021

Scale: 1in = 50ft

PARKER AND PINE FILING NO.2 LOTS 1-3
PARKER, CO

MULTI-FAMILY SITE PLAN
LIGHTING CALCULATIONS

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Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
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□	3	SL2	100W, 4K, T3, Full Cut-Off, 25R AFG, Bronze Paint	100	11188	B2-U3-G2	25R AFG
○	3	SL3	17W, 4K, 4Dx, Dome Bollar, Bronze Paint	18	1229	B1-U3-G1	3.5R AFG
□	51	WL2	40W, 4K, Cut-Off, Bigly Mtg, Bronze Paint	43	4981	B1-U3-G1	12R AFG
□	6	WL3	15W, 4K, Wall Pack, Cut-Off, Dark Bronze	15	1690	B1-U1-G1	7R AFG

NOTES:
 1. LUMINAIES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.
 2. LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.
 3. UNDIMMABLE MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.
 4. LIGHTING IS SUPPLIED BY INNOVATION PRODUCTS.
 Contact jim.jagg@innovationproducts.com
 Lighting provided and owned by IC.

Mpulse AREA LIGHT

A leading brand of performance, value and aesthetics, the MPulse Area Light is available in a wide range of lumens packages to address a variety of outdoor lighting needs. The Area Light can be combined with a 4.5' architectural grade LED luminaire to create a total lighting solution for commercial, municipal, retail, education, and hospitality applications. Custom color control optics distribute light through a non-polluted light source that creates uniform, non-glare illumination with minimal glare. The high-performance 150-watt luminaire delivers a minimum of 100 lumens per watt, providing significant energy savings while remaining durable in the field.

PERFORMANCE:

- Available in lumens packages ranging from 10,000lm to 38,400lm
- Calculated lumens maintenance factor of 0.90x (L90)
- 40,000-hour lifespan at 25°C
- 100-277V dimming available 347-480V options available
- 100W single replacement standard

OPTIONS:

- Available in Type H, Type H, Type H, and Type V optics

CONSTRUCTION:

- Die Cast Aluminum Housing
- Tempered Glass
- 1/2" NPT 3/4" standard

MOUNTING:

- Standard and, optional, swivel, and 2-3/8" spigot brackets
- Options available

ENVIRONMENT:

- UL94V-0 flame retardant
- IP67 for use in wet locations in US, standards and IP68 rated

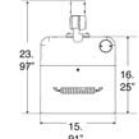
PHOTOMETRICS:

- All IES Files available


WARRANTY:

- 50-year standard warranty

100W



100W



100W-1000W also available for wall mount applications, see QWP-HS mounting

FACTORY DEFAULTS:

High Mount	30'
Low Mount	15'
Temp. Control	None
Color	None
Dimming	None

WALLMAX™ LARGE CUT OFF WPCL SERIES

FEATURES:

- 100-277V, 347V-480V available
- 0-10V dimming
- Color Selectable between 3000K, 4000K or 5000K

CONSTRUCTION:

- Die Cast Aluminum Housing with polycarbonate LED lens

WARRANTY:

- 50-year standard warranty

CONTROL OPTIONS:

- Photocontrol (347-480V)
- Dimmable motion sensor with photocontrol (requires RMRC 100 remote control to program)

INSTALLATION:

- 1/2" threaded conduit hole in the center of the back housing
- 1/2" threaded conduit hole, one on each side of the back housing and 2" on the top of the housing
- Ball in rear ledge ensure energy routing

PRODUCT DESCRIPTION:

The WallMax Large Cut Off is a full cut-off architectural wall mounted luminaire for commercial offices, schools and other public administrative buildings. It offers a wide range of colors and features including CCT selectability so the customer can choose between 3000K, 4000K and 5000K color temperatures.

ENVIRONMENT:

- UL94V-0 flame retardant
- IP67 for use in wet locations

PHOTOMETRICS:

- All IES Files available

WARRANTY:

- 50-year standard warranty

PATHMAX™ LED BOLLARDS CLASSIC SERIES DOME TOP

FEATURES:

- 100-277V dimming capability
- Dimming driver standard
- CIP 400
- 10 year warranty
- Up to 50,000-hour L70 lifetime, TM21 standards @ 25°C

CONSTRUCTION:

- Extruded Aluminum housing
- Clear Polycarbonate lens
- An optional QPC can be installed and centered 1/2" from the top of the bollard

ENVIRONMENT:

- CSA Group for wet locations
- IP67 rated outdoor fixture

INSTALLATION:

- Flush Mounting Base with Vertical Resistant Stripes
- Insulation kit with 4" Anchor Base included

WARRANTY:

- 50-year standard warranty

PRODUCT DESCRIPTION:

The round Classic LED Bollard is an economical and energy efficient choice for lighting walkways, plazas and other pedestrian areas in commercial and residential applications.

ENVIRONMENT:

- UL94V-0 flame retardant
- IP67 for use in wet locations

PHOTOMETRICS:

- All IES Files available

WARRANTY:

- 50-year standard warranty

WALLMAX™ THIN CUT OFF WP-AD SERIES

FEATURES:

- 100-277V dimming capability
- Dimming driver standard
- CIP 400
- 10 year warranty
- Up to 50,000-hour L70 lifetime, TM21 standards @ 25°C

CONSTRUCTION:

- Extruded Aluminum housing
- Clear Polycarbonate lens
- An optional QPC can be installed and centered 1/2" from the top of the bollard

ENVIRONMENT:

- UL94V-0 flame retardant
- IP67 for use in wet locations

INSTALLATION:

- Flush Mounting Base with Vertical Resistant Stripes
- Insulation kit with 4" Anchor Base included

WARRANTY:

- 50-year standard warranty

PRODUCT DESCRIPTION:

The round Classic LED Bollard is an economical and energy efficient choice for lighting walkways, plazas and other pedestrian areas in commercial and residential applications.

ENVIRONMENT:

- UL94V-0 flame retardant
- IP67 for use in wet locations

PHOTOMETRICS:

- All IES Files available

WARRANTY:

- 50-year standard warranty

PARKER AND PINE FILING NO. 2 LOTS 1-3
 MULTI-FAMILY SITE LIGHTING DETAILS
 PARKER, CO

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION

PROJECT NO.
 096481002

DRAWING NAME
 X096481002TB_SP

SHEET 8 of 47

InSolution LLC
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 South St
 Suite C
 Indianapolis, IN 46220
 317-272-4847
 jim.jagg@innovationproducts.com

Lighting Designed by jagg
 Lighting Drawn by jagg
 Lighting Checked by jagg
 Date: 02/15/2021