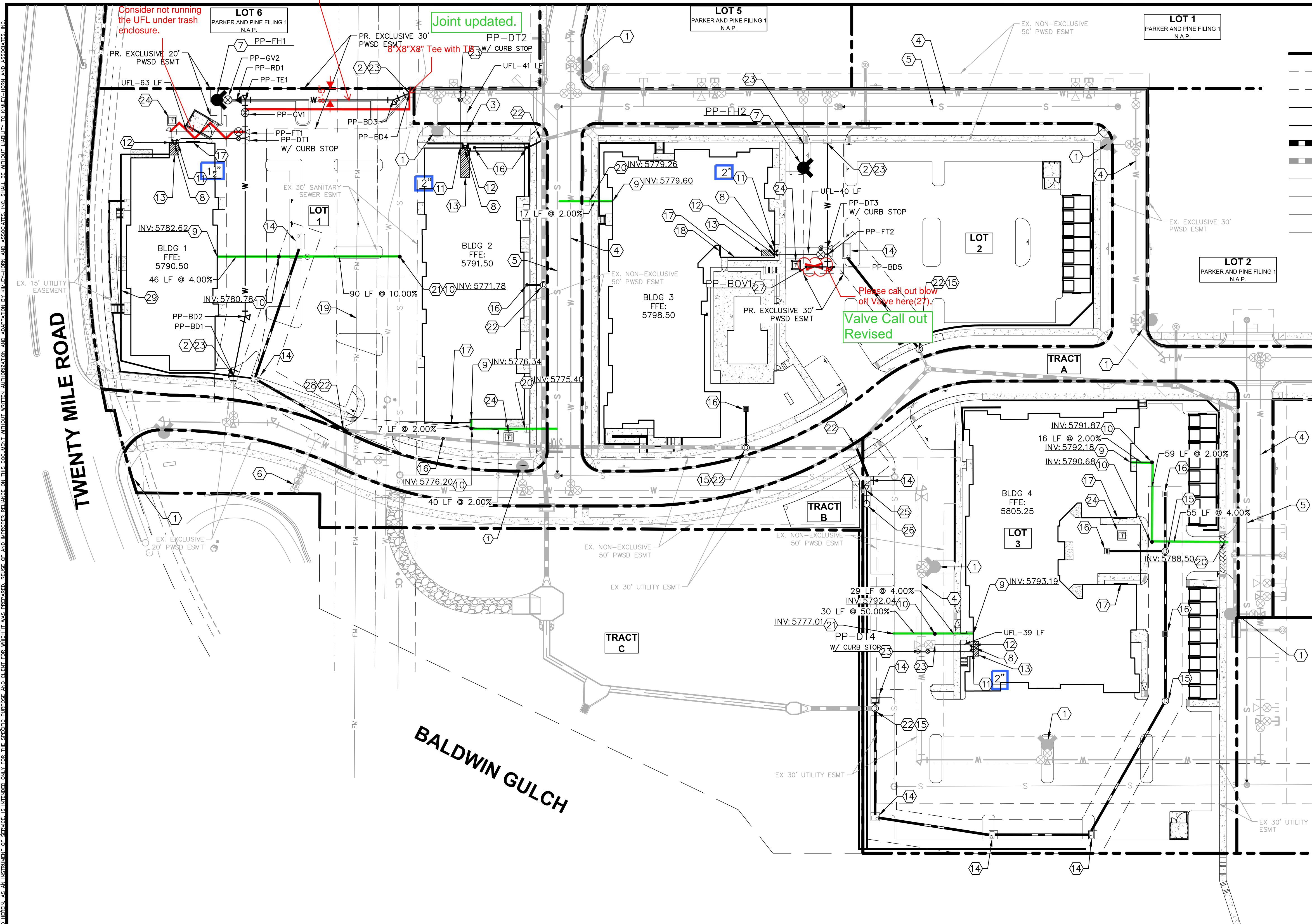


UFL to remain as shown due to fire code restriction of running under slab and location of fire hydrant and transformer.

Water main shifted south.
Shift 8" WM to the South

Kimley-Horn Responses



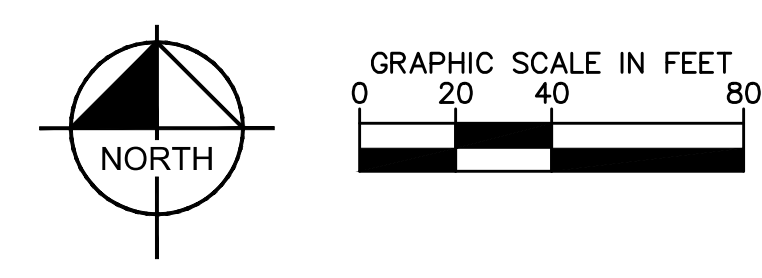
UTILITY LEGEND

---	EXISTING PROPERTY LINE
- - -	EXISTING EASEMENT
- - -	PROPOSED EASEMENT
S	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
---	PROPOSED STORM DRAINAGE LINE
---	EXISTING STORM DRAINAGE LINE
G	EXISTING GAS LINE
W	EXISTING WATER LINE
S	EXISTING SANITARY SEWER LINE
E	EXISTING ELECTRIC LINE
⊕	PROPOSED FIRE HYDRANT W/ BOLLARDS
⊕	PROPOSED WATER VALVE
⊕	PROPOSED TEE / BEND
○	EXISTING SANITARY SEWER MANHOLE

SITE KEYNOTES

- EXISTING FIRE HYDRANT
- EXISTING 8" STUB W/ TEMP BLOW-OFF
- EXISTING 6" FIRE SERVICE W/ TEMP BLOW-OFF
- EXISTING 8" WATER MAIN
- EXISTING 8" SEWER MAIN
- EXISTING 1.5" IRRIGATION METER
- PROPOSED FIRE HYDRANT WITH 6" GATE VALVE
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. WATER METER/TAP SIZE PER PLAN
- PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
- PROPOSED FIRE RISER ROOM
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED AREA INLET
- PROPOSED BUILDING ELECTRIC METER LOCATION
- PROPOSED BUILDING GAS METER LOCATION
- EXISTING PWS 8" FORCE MAIN
- CONNECT TO EXISTING SANITARY SEWER STUB
- CONNECT TO EXISTING SANITARY SEWER MAIN PER PWS STANDARDS.
- TIE INTO EXISTING STORM SEWER SYSTEM
- CONNECT TO EXISTING WATER MAIN PER PWS STANDARDS
- PROPOSED TRANSFORMER LOCATION
- PROPOSED 1.5" IRRIGATION TAP
- PROPOSED IRRIGATION METER PIT
- PROPOSED WATER MAIN BLOW OFF VALVE PER PWS STANDARDS
- PROPOSED VALLEY GUTTER INLET
- PROPOSED ROOF DRAIN

K:\DENVER\096481002 - Parker & Pine\CA\DD\Plan\Sheet\096481002_CD_UT.dwg, K:\DENVER\096481002 - Parker & Pine\CA\DD\Plan\Sheet\096481002_CD_UT.dwg, 10/18/2010, 10:57 AM. THIS DOCUMENT, INCLUDING ALL CONTENTS AND GEOMETRIES, IS PRESENTED HEREIN AS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PROJECT AND LOCATION FOR WHICH IT WAS PREPARED. NO LIABILITY IS ASSUMED BY KIMLEY-HORN AND ASSOCIATES, INC. FOR ANY OTHER USE OR FOR ANY DAMAGE TO ANY PROPERTY OR PERSONS ARISING FROM THE USE OF THIS DOCUMENT.



FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE _____ DATE _____

(NOTE - UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)



<p>2020 KIMLEY-HORN AND ASSOCIATES, INC. 4582 South Ulster Street, Suite 1500 Denver, Colorado 80237 (303) 228-2300</p>	<p>DESIGNED BY: DLS DRAWN BY: JRK CHECKED BY: DLS DATE: 02/16/21</p>
	<p>PARKER AND PINE FILING NO. 2 LOTS 1-3 PARKER, CO MULTI-FAMILY CONSTRUCTION DOCUMENTS OVERALL UTILITY PLAN</p>
	<p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p>
	<p>PROJECT NO. 096481002 DRAWING NAME 096481002CD_UT C7.2</p>