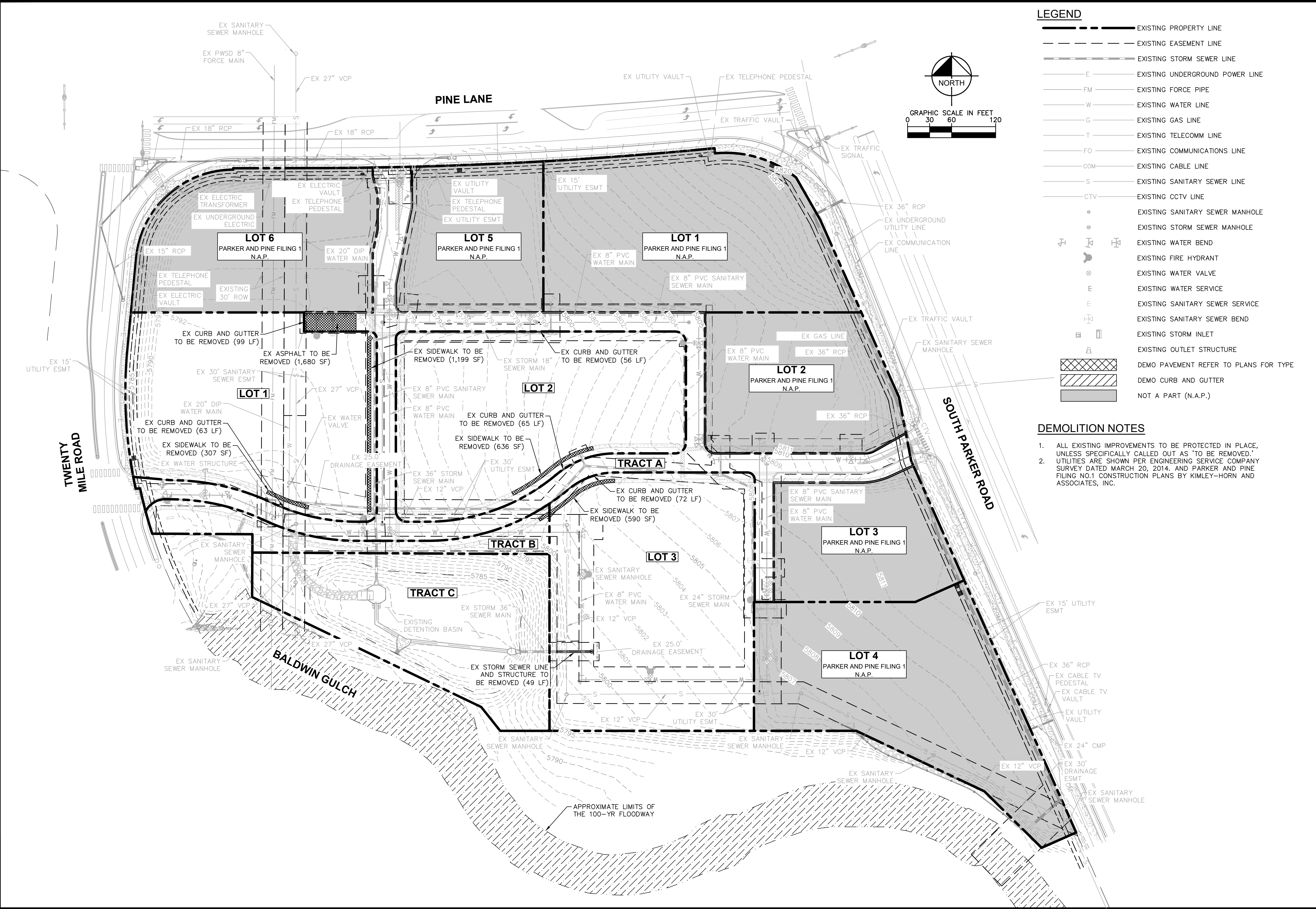


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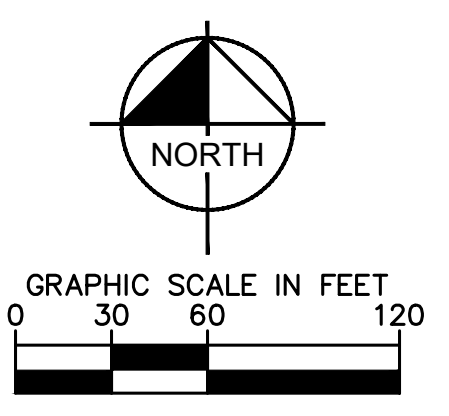


LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT LINE
- EXISTING STORM SEWER LINE
- EXISTING UNDERGROUND POWER LINE
- EXISTING FORCE PIPE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING TELECOMM LINE
- EXISTING COMMUNICATIONS LINE
- EXISTING CABLE LINE
- EXISTING SANITARY SEWER LINE
- EXISTING CCTV LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- ⊕ EXISTING WATER BEND
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER SERVICE
- ⊕ EXISTING SANITARY SEWER SERVICE
- ⊕ EXISTING SANITARY SEWER BEND
- ⊕ EXISTING STORM INLET
- ⊕ EXISTING OUTLET STRUCTURE
- ▨ DEMO PAVEMENT REFER TO PLANS FOR TYPE
- ▨ DEMO CURB AND GUTTER
- ▨ NOT A PART (N.A.P.)

DEMOLITION NOTES

1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014. AND PARKER AND PINE FILING NO.1 CONSTRUCTION PLANS BY KIMLEY-HORN AND ASSOCIATES, INC.



NO.	REVISION	BY	DATE	APPROV

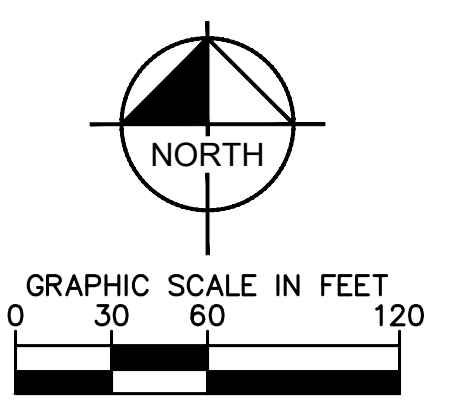
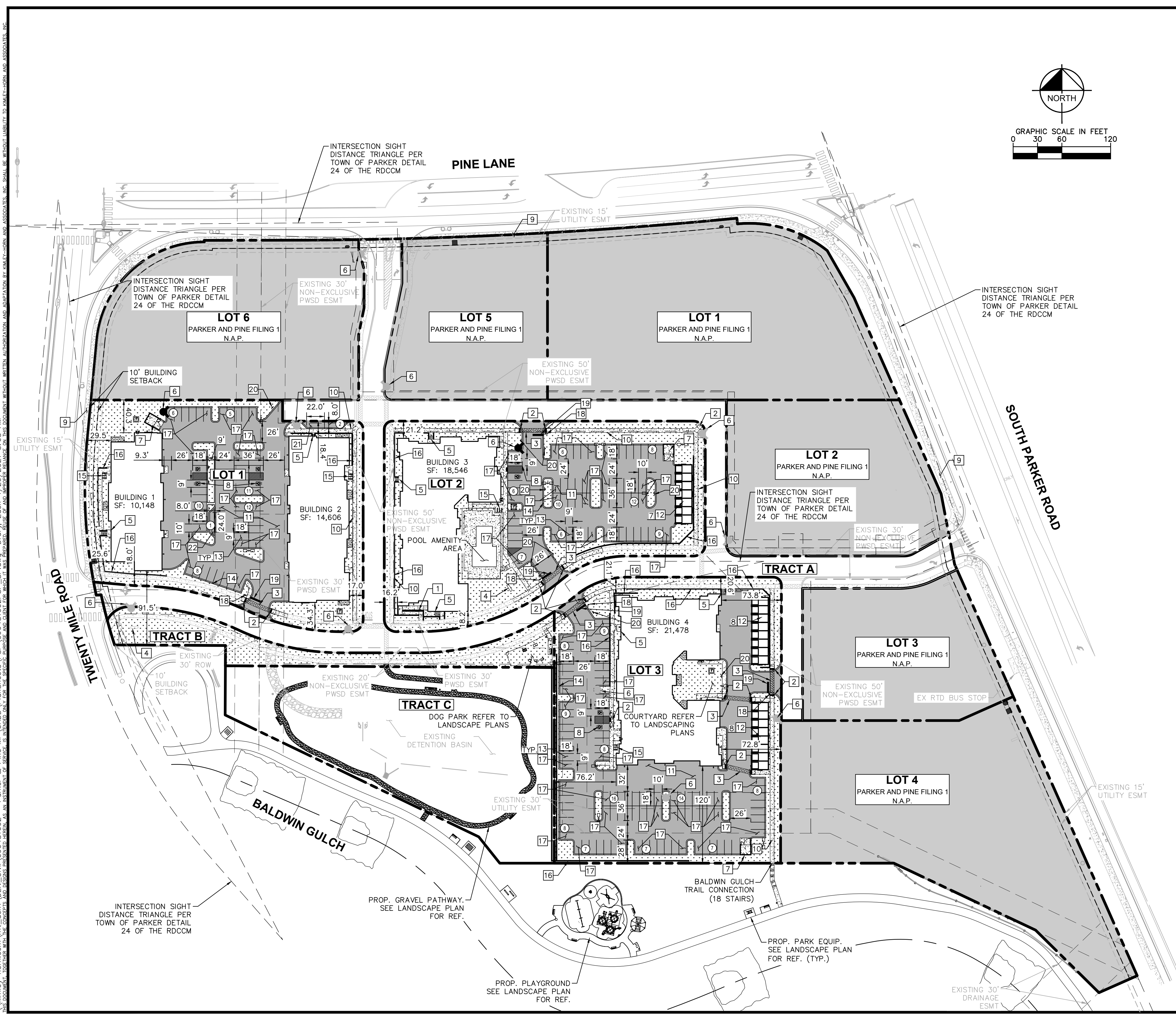
Kimley-Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 04/19/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
EXISTING CONDITIONS AND DEMO PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
Kimley-Horn
 Kimley-Horn and Associates, Inc.
 PROJECT NO.
 096481002
 DRAWING NAME
 096481002PSP_DM
02 OF 49

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LEGEND

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)
	EXISTING COLORED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
 - 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
 - 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
 - 4 PROPOSED MONUMENT SIGN.
 - 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
 - 6 EXISTING/PROPOSED FIRE HYDRANT.
 - 7 PROPOSED TRASH ENCLOSURE.
 - 8 PROPOSED ADA PARKING STALLS.
 - 9 EXISTING 8' CONCRETE SIDEWALK.
 - 10 PROPOSED 5' CONCRETE SIDEWALK.
 - 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
 - 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
 - 13 PROPOSED STANDARD 9'X18' PARKING STALL
 - 14 PROPOSED STANDARD CURB AND GUTTER
 - 15 PROPOSED 6 STALL BICYCLE PARKING
 - 16 PROPOSED RETAINING WALL
 - 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
 - 18 PROPOSED STOP SIGN R-1
 - 19 PROPOSED STOP BAR
 - 20 PROPOSED NO PARKING - FIRE LANE SIGN R8-31
 - 21 PROPOSED 8'X22' PARALLEL PARKING STALL
 - 22 PROPOSED 8'X24' PARALLEL PARKING STALL

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

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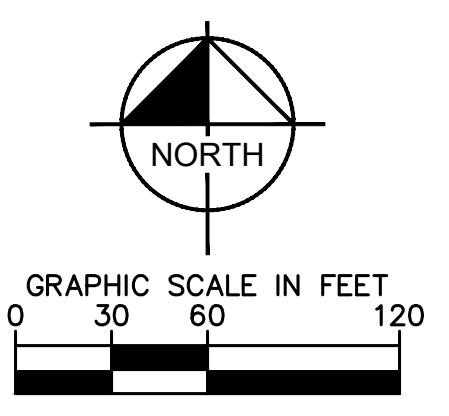
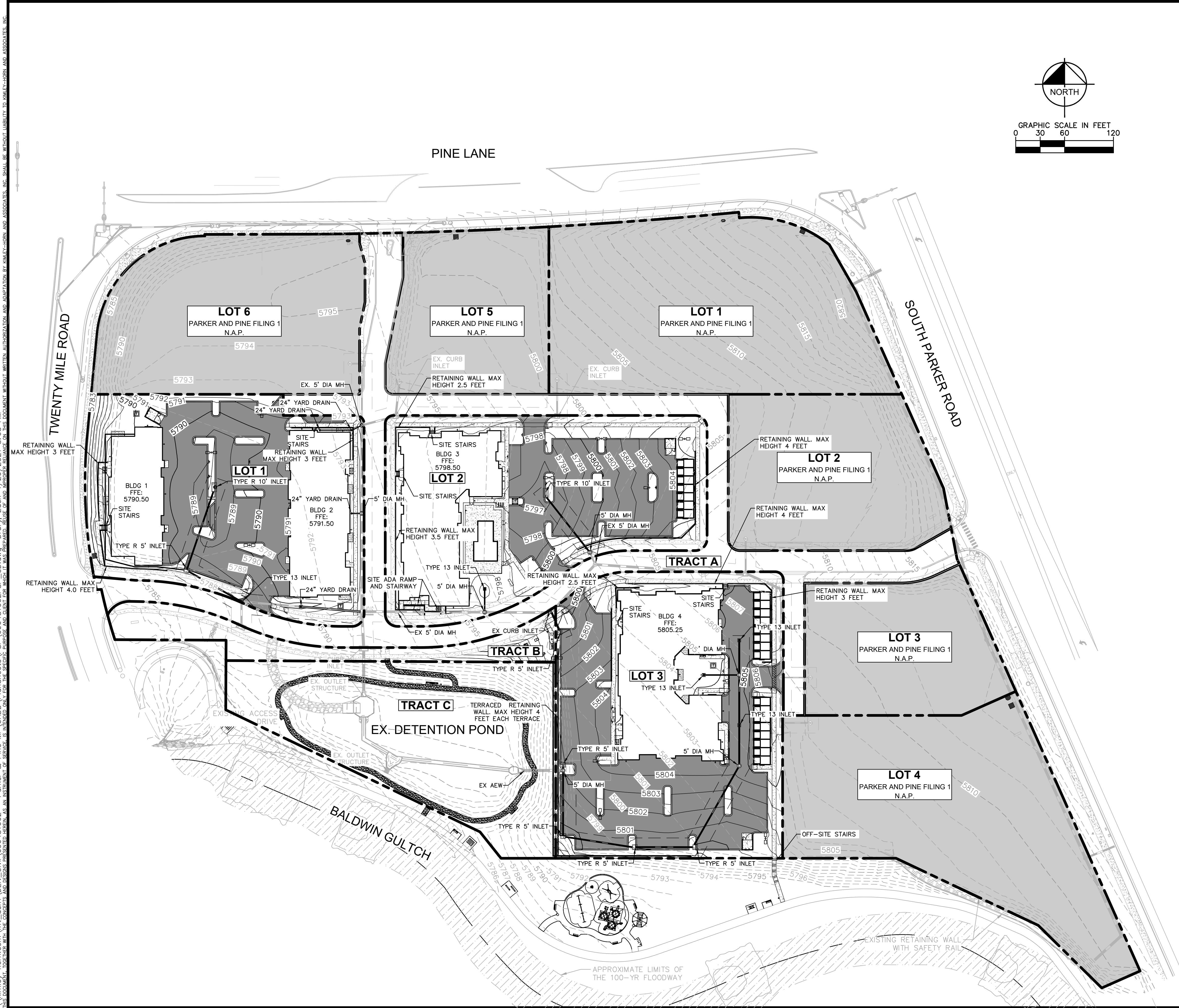
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL SITE PLAN

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002

DRAWING NAME
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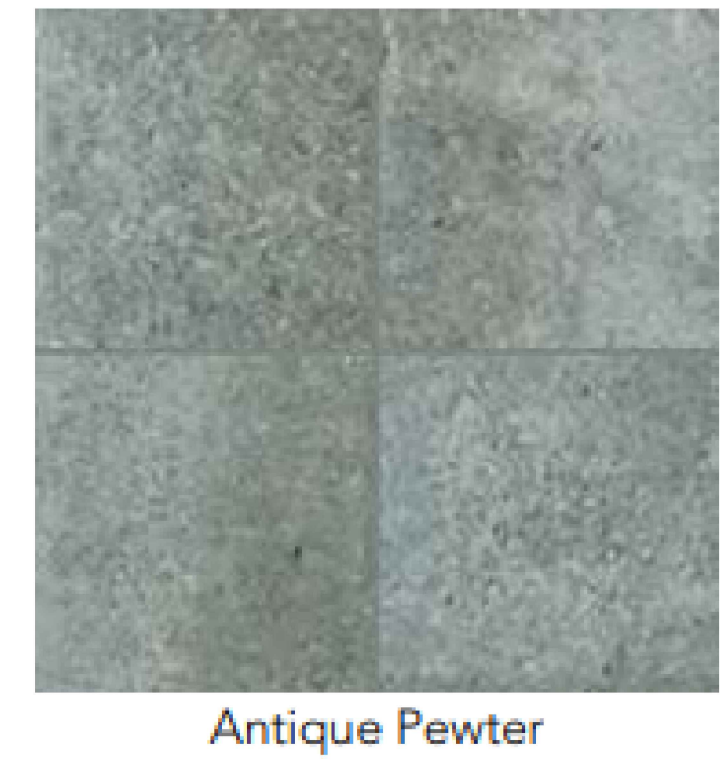


LEGEND

	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)

BENCHMARK
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
 ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

- NOTE:**
- BUILDING ROOF DRAINS TO DISCHARGE ON GRADE.
 - SITE RETAINING WALLS TO BE ANTIQUE PEWTER SPLIT FACE CMU BLOCK BY KEystone OR APPROVED EQUIVALENT. MATERIAL SHOW BELOW:



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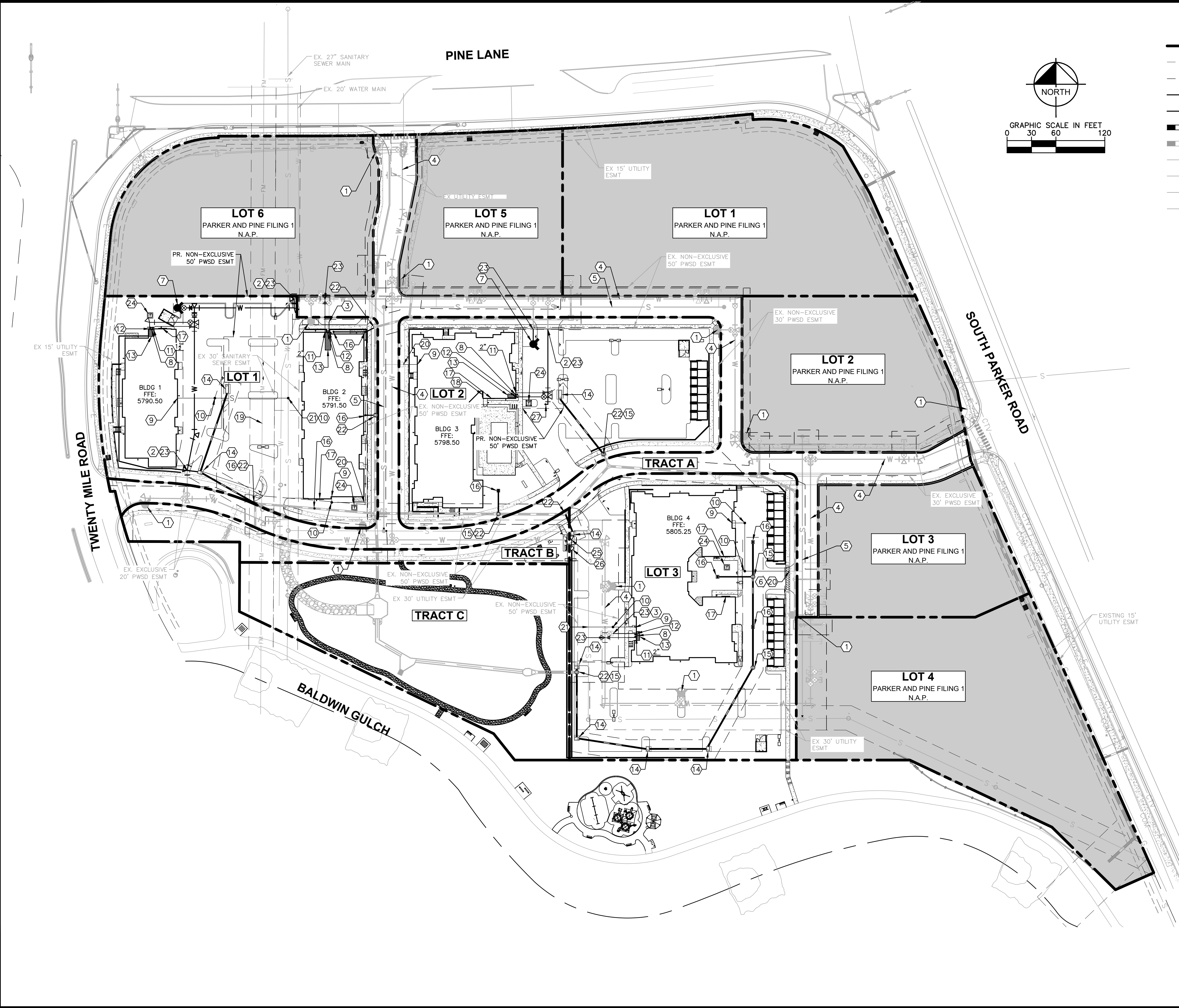
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 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL GRADING PLAN

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PROJECT NO.
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UTILITY LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- - - PROPOSED EASEMENT
- S --- PROPOSED SANITARY SEWER LINE
- W --- PROPOSED WATER LINE
- PROPOSED STORM DRAINAGE LINE
- EXISTING STORM DRAINAGE LINE
- G --- EXISTING GAS LINE
- W --- EXISTING WATER LINE
- S --- EXISTING SANITARY SEWER LINE
- E --- EXISTING ELECTRIC LINE
- ☼ PROPOSED FIRE HYDRANT W/ BOLLARDS
- ☒ PROPOSED METER
- ⊕ PROPOSED WATER VALVE
- ⊕ ⊕ PROPOSED TEE / BEND
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS
- NOT A PART (N.A.P.)

SITE KEYNOTES

- 1 EXISTING FIRE HYDRANT
- 2 EXISTING 8" STUB W/TEMP BLOW-OFF
- 3 EXISTING 6" FIRE SERVICE W/TEMP BLOW-OFF
- 4 EXISTING 8" WATER MAIN
- 5 EXISTING 8" SEWER MAIN
- 6 EXISTING 6" SEWER STUB
- 7 PROPOSED FIRE HYDRANT WITH 6" GATE VALVE
- 8 PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- 9 PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
- 10 PROPOSED SANITARY SEWER CLEANOUT
- 11 PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. WATER METER/TAP SIZE PER PLAN
- 12 PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
- 13 PROPOSED FIRE RISER ROOM
- 14 PROPOSED CURB INLET
- 15 PROPOSED STORM MANHOLE
- 16 PROPOSED AREA INLET
- 17 PROPOSED BUILDING ELECTRIC METER LOCATION
- 18 PROPOSED BUILDING GAS METER LOCATION
- 19 EXISTING PWS 8" FORCE MAIN
- 20 CONNECT TO EXISTING SANITARY SEWER STUB
- 21 CONNECT TO EXISTING SANITARY SEWER MAIN PER PWS STANDARDS.
- 22 TIE INTO EXISTING STORM SEWER SYSTEM
- 23 CONNECT TO EXISTING WATER MAIN PER PWS STANDARDS
- 24 PROPOSED TRANSFORMER LOCATION
- 25 PROPOSED 1.5" IRRIGATION TAP
- 26 PROPOSED IRRIGATION METER PIT
- 27 PROPOSED WATER MAIN BLOW OFF VALVE PER PWS STANDARDS

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<p>PROJECT NO. 096481002</p> <p>DRAWING NAME 096481002PSP_UT</p>	
<p>05 OF 49</p>	