

KHA RESPONSE, TYP.  
05/27/21

# PARKER AND PINE FILING NO. 2 LOTS 1-3 MULTI-FAMILY SITE PLAN

LOTS 1-3 AND TRACTS A-C, PARKER AND PINE FILING 2  
SITUATED IN THE SE 1/4 OF SECTION 9 AND THE SW 1/4 OF SECTION 10, T.6S., R.66W. OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

NO.	REVISION	BY	DATE

**Kimley»Horn**  
2020 KIMLEY-HORN AND ASSOCIATES, INC.  
4582 South Ulster Street, Suite 1500  
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS  
DRAWN BY: JRK  
CHECKED BY: DLS  
DATE: 04/19/21

PARKER AND PINE FILING NO. 2 LOTS 1-3  
PARKER, CO  
MULTI-FAMILY SITE PLAN  
COVER SHEET

PRELIMINARY  
FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION  
**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

PROJECT NO.  
096481002

DRAWING NAME  
096481002PSP\_CV

01 OF 49

### LEGAL DESCRIPTION

LOTS 1-3 AND TRACTS A-C, PARKER AND PINE FILING 2, SITUATED IN THE SOUTHEAST 1/4 OF SECTION 9 AND THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO.

### BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

### BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N00°17'51"E AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO. 1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

### FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

### SITE DATA TABLES

PARCEL	LOT/TRACT GROSS AREA (AC)	LOT/TRACT GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 MAX)	ANTICIPATED USE	PARKING		MAX. BUILDING HEIGHT	PROP. BUILDING HEIGHT	OPEN SPACE/PARKS (0.0139 AC PER UNIT)		RESIDENTIAL UNITS PROPOSED
						REQUIRED	PROVIDED			REQUIRED (AC)	PROVIDED (AC)	
LOT 1	1.91	83,189	24,754	0.30	MULTI-FAMILY			60'	46'/54'	0.82	0.00	59
LOT 2	1.90	82,932	18,546	0.22	MULTI-FAMILY	281	285	60'	57'	0.67	0.14	48
LOT 3	2.22	96,878	21,478	0.22	MULTI-FAMILY			60'	56'	0.88	0.07	63
TRACT A	1.59	69,434	N/A	N/A	ROADWAY	N/A	N/A	N/A	N/A	N/A	0.00	N/A
TRACT B	0.39	17,103	N/A	N/A	LANDSCAPE	N/A	N/A	N/A	N/A	N/A	0.04	N/A
TRACT C	1.47	64,000	N/A	N/A	DETENTION	N/A	N/A	N/A	N/A	N/A	1.15	N/A
<b>TOTAL</b>	<b>9.49</b>	<b>413,536</b>	<b>64,778</b>	<b>0.16</b>		<b>281</b>	<b>285</b>					<b>170</b>
TOTAL INCLUDING BALDWIN GULCH:										2.36	2.36	

NOTES:  
\* MAXIMUM 3-STORIES ADJACENT TO TWENTY MILE ROAD  
\*\* OPEN SPACE/PARKS TOTAL PROVIDED ONLY REFLECTS IMPROVEMENTS WITHIN THE PROPERTY. PER DISCUSSIONS WITH TOWN STAFF, ADDITIONAL OPEN SPACE/PARKS AREA IS PROVIDED ALONG BALDWIN GULCH AND COUNTS TOWARDS THE OPEN SPACE/PARKS REQUIREMENTS FOR THE SUBJECT PROPERTY. REFER TO LANDSCAPE PLANS FOR OPEN SPACE/PARKS AREA BREAKDOWN EXHIBIT.

	1 BEDROOM	2 BEDROOM	3 BEDROOM	TOTAL UNITS	REQUIRED GUESTS PARKING	REQUIRED RESIDENT PARKING	REQUIRED TOTAL PARKING
BUILDING 1	6	14	0	20	5	27	32
BUILDING 2	8	31	0	39	10	55	65
BUILDING 3	16	22	10	48	12	69	81
BUILDING 4	28	21	14	63	16	88	104
<b>TOTAL</b>	<b>58</b>	<b>88</b>	<b>24</b>	<b>170</b>	<b>43</b>	<b>238</b>	<b>281</b>
REQUIRED PARKING RATIO (STALLS/UNIT)	1						

Based on the site plan there are only 64 surface spaces.

AS DISCUSSED ON 05/25/21 THE STALL COUNT FOR LOT 1 IS 55 WITH THE ADDITION OF THE 3RD PARALLEL PARKING STALL NEAR THE CENTER OF THE LOT.

	SURFACE	ATTACHED GARAGE	DETACHED GARAGE	PARKING	RESIDENT PARKING	PARKING
LOT 1	55	27	0	82	82	97
LOT 2	64	0	7	71	69	81
LOT 3	101	15	16	132	88	104
<b>TOTAL</b>	<b>220</b>	<b>42</b>	<b>23</b>	<b>285</b>	<b>238</b>	<b>281</b>

Please include a table that breaks the site down into building area, parking lot area, landscape area, etc.

A TABLE HAS BEEN ADDED TO THE COVER SHEET THAT BREAKS DOWN THE SITE INTO BUILDING AREA, PARKING LOT AREA, DRIVE ISLE AREA, HARDSCAPE AREA, AND LANDSCAPE AREA



VICINITY MAP  
1"=2,000'

### CONTACTS:

**DEVELOPER:**  
THE GARRETT COMPANIES  
1051 GREENWOOD SPRINGS BLVD. SUITE 107  
GREENWOOD, IN 46143  
TEL: (317) 886-7926  
CONTACT: KARL STOUT

**ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
4582 SOUTH ULSTER STREET, SUITE 1500  
DENVER, CO 80237  
TEL: (303) 228-2318  
CONTACT: DAN SKEEHAN

**LANDSCAPE ARCHITECT:**  
THE GARRETT COMPANIES  
1051 GREENWOOD SPRINGS BLVD. SUITE 107  
GREENWOOD, IN 46143  
TEL: (463) 444-7039  
CONTACT: NICK SMITH

**TELEPHONE:**  
CENTURYLINK  
1801 CALIFORNIA STREET, SUITE 240  
DENVER, CO 80202  
CONTACT: IZZY MILLER  
EMAIL: IZZY.MILLER@CENTURYLINK.COM

**GAS SERVICE:**  
XCEL ENERGY  
1800 LARIMER STREET  
DENVER, CO 80202  
CONTACT: RON JOHNSON  
EMAIL: RON.H.JOHNSON@XCELENERGY.COM

**TOWN OF PARKER:**  
TOWN OF PARKER  
20120 EAST MAIN STREET  
PARKER, CO 80138-7334  
TEL: (303) 805-3199  
CONTACT: STACEY NERGER

**ELECTRICAL SERVICE:**  
IREA  
5496 US HWY 85  
SEDALIA, CO 80135  
TEL: (303) 688-7431  
CONTACT: AMANDA STEINER

**ARCHITECT:**  
SEBREE ARCHITECTS, INC.  
97 DOVER ST. SUITE 400  
AVON, IN 46123  
TEL: 317-272-7800 EXT. 224  
CONTACT: DAWN LAYTON

**SURVEYOR:**  
ENGINEERING SERVICE COMPANY  
1300 SOUTH POTOMAC ST. SUITE 126  
AURORA, CO 80012  
TEL: 303-337-1393  
CONTACT: JOHN PERRY

**TELEVISION:**  
COMCAST  
1601 MILE HIGH STADIUM CIRCLE  
DENVER, CO 80204  
CONTACT: DEAN FLENTHROPE  
EMAIL: DEAN\_FLENTHROPE@CABLE.COMCAST.COM

**WATER/SANITARY SEWER:**  
PARKER WATER AND SANITATION DISTRICT  
18100 E. WOODMAN ROAD  
PARKER, CO 80134  
TEL: 303-841-4627  
CONTACT: DRAYTON SANDERSON

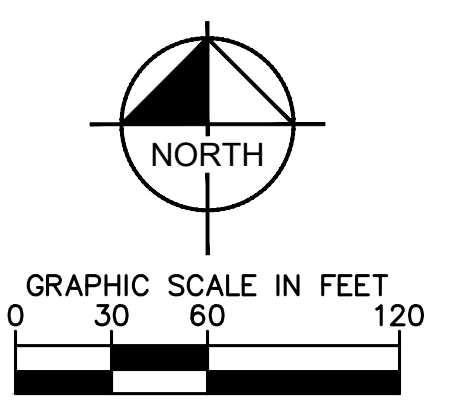
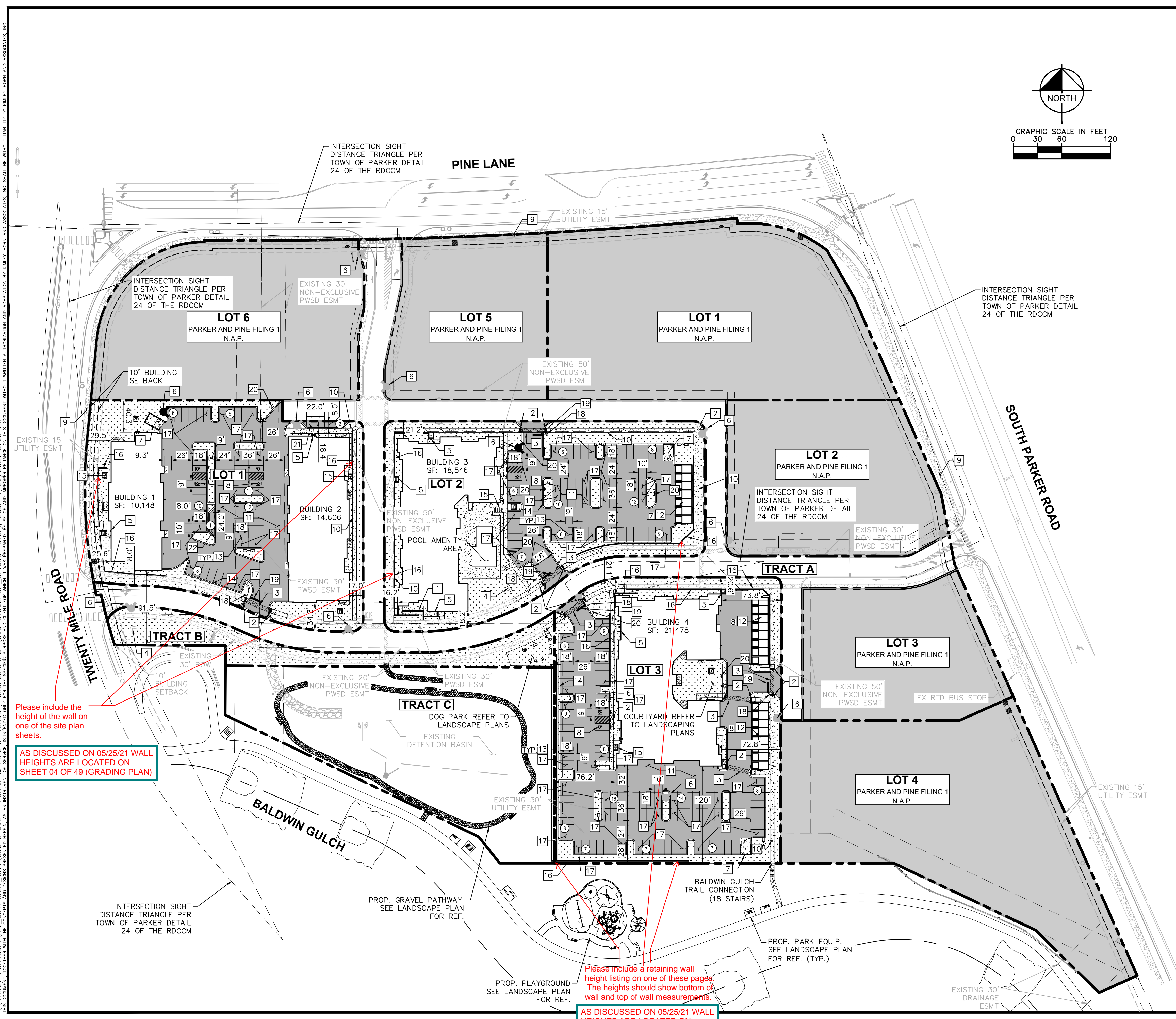
**FIRE DEPARTMENT:**  
SOUTH METRO FIRE RESCUE AUTHORITY  
9195 E. MINERAL AVE.  
CENTENNIAL, CO 80112  
TEL: (720) 989-2244  
CONTACT: CHIP KERKHOVE

**TOWN OF PARKER PLAN REVIEW:**  
20120 E. MAIN STREET  
PARKER, CO 80138  
TEL: (303) 805-3174  
CONTACT: BRYCE MATTHEWS

### SHEET INDEX

01 OF 49	COVER SHEET	17 OF 49	MATERIALS PLAN	33 OF 49	IRRIGATION PLAN
02 OF 49	EXISTING CONDITIONS AND DEMOLITION PLAN	18 OF 49	SITE DETAILS	34 OF 49	IRRIGATION PLAN
03 OF 49	SITE PLAN	19 OF 49	SITE DETAILS	35 OF 49	IRRIGATION DETAILS
04 OF 49	UTILITY PLAN	20 OF 49	SITE DETAILS	36 OF 49	IRRIGATION NOTES AND LEGEND
05 OF 49	GRADING PLAN	21 OF 49	SITE DETAILS	37 OF 49	BUILDING 1 COLORED ELEVATIONS
06 OF 49	SITE LIGHTING PLAN	22 OF 49	PLANTING PLAN	38 OF 49	BUILDING 1 COLORED ELEVATIONS
07 OF 49	SITE LIGHTING CALCS	23 OF 49	PLANTING PLAN	39 OF 49	BUILDING 2 COLORED ELEVATIONS
08 OF 49	SITE LIGHTING DETAILS	24 OF 49	PLANTING PLAN	40 OF 49	BUILDING 2 COLORED ELEVATIONS
09 OF 49	GENERAL NOTES AND LEGEND	25 OF 49	PLANTING PLAN	41 OF 49	BUILDING 3 COLORED ELEVATIONS
10 OF 49	OVERALL PLAN	26 OF 49	PLANTING PLAN	42 OF 49	BUILDING 3 COLORED ELEVATIONS
11 OF 49	OPEN SPACE EXHIBIT	27 OF 49	PLANTING SCHEDULE, NOTES & TABULATIONS	43 OF 49	BUILDING 4 COLORED ELEVATIONS
12 OF 49	AMENITY PLAN	28 OF 49	PARKING LOT ISLAND LANDSCAPING EXHIBIT	44 OF 49	BUILDING 4 COLORED ELEVATIONS
13 OF 49	MATERIALS PLAN	29 OF 49	LANDSCAPE DETAILS	45 OF 49	ACCESSORY STRUCTURES COLORED ELEVATIONS
14 OF 49	MATERIALS PLAN	30 OF 49	LANDSCAPE DETAILS	46 OF 49	SITE COLORED ELEVATIONS
15 OF 49	MATERIALS PLAN	31 OF 49	IRRIGATION PLAN	47 OF 49	SITE COLORED ELEVATIONS
16 OF 49	MATERIALS PLAN	32 OF 49	IRRIGATION PLAN	48 OF 49	SITE COLORED ELEVATIONS
				49 OF 49	SITE COLORED ELEVATIONS

M:\Projects\096481002\_Parker & Pine\ME CAD\DWG\Site\Site\096481002PSP.SP.dwg - Parker & Pine ME CAD\DWG\Site\Site\096481002PSP.SP.dwg - Date: 4/17/2021 8:08 AM  
 THIS DOCUMENT, TOGETHER WITH THE CONCEPT AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE PROJECT, LOCATION AND PURPOSE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT, LOCATION OR PURPOSE WITHOUT THE WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



**LEGEND**

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)
	EXISTING COLORED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
  - 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
  - 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
  - 4 PROPOSED MONUMENT SIGN.
  - 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
  - 6 EXISTING/PROPOSED FIRE HYDRANT.
  - 7 PROPOSED TRASH ENCLOSURE.
  - 8 PROPOSED ADA PARKING STALLS.
  - 9 EXISTING 8' CONCRETE SIDEWALK.
  - 10 PROPOSED 5' CONCRETE SIDEWALK.
  - 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
  - 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
  - 13 PROPOSED STANDARD 9'X18' PARKING STALL
  - 14 PROPOSED STANDARD CURB AND GUTTER
  - 15 PROPOSED 6 STALL BICYCLE PARKING
  - 16 PROPOSED RETAINING WALL
  - 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
  - 18 PROPOSED STOP SIGN R-1
  - 19 PROPOSED STOP BAR
  - 20 PROPOSED NO PARKING - FIRE LANE SIGN R8-31
  - 21 PROPOSED 8'X22' PARALLEL PARKING STALL
  - 22 PROPOSED 8'X24' PARALLEL PARKING STALL

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
  2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
  3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

Please include the height of the wall on one of the site plan sheets.

AS DISCUSSED ON 05/25/21 WALL HEIGHTS ARE LOCATED ON SHEET 04 OF 49 (GRADING PLAN)

Please include a retaining wall height listing on one of these pages. The heights should show bottom of wall and top of wall measurements.

AS DISCUSSED ON 05/25/21 WALL HEIGHTS ARE LOCATED ON SHEET 04 OF 49 (GRADING PLAN)

**Kimley»Horn**  
 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

NO.	REVISION	BY	DATE

PARKER AND PINE FILING NO. 2 LOTS 1-3  
 PARKER, CO  
 MULTI-FAMILY SITE PLAN  
**OVERALL SITE PLAN**

**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION  
**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

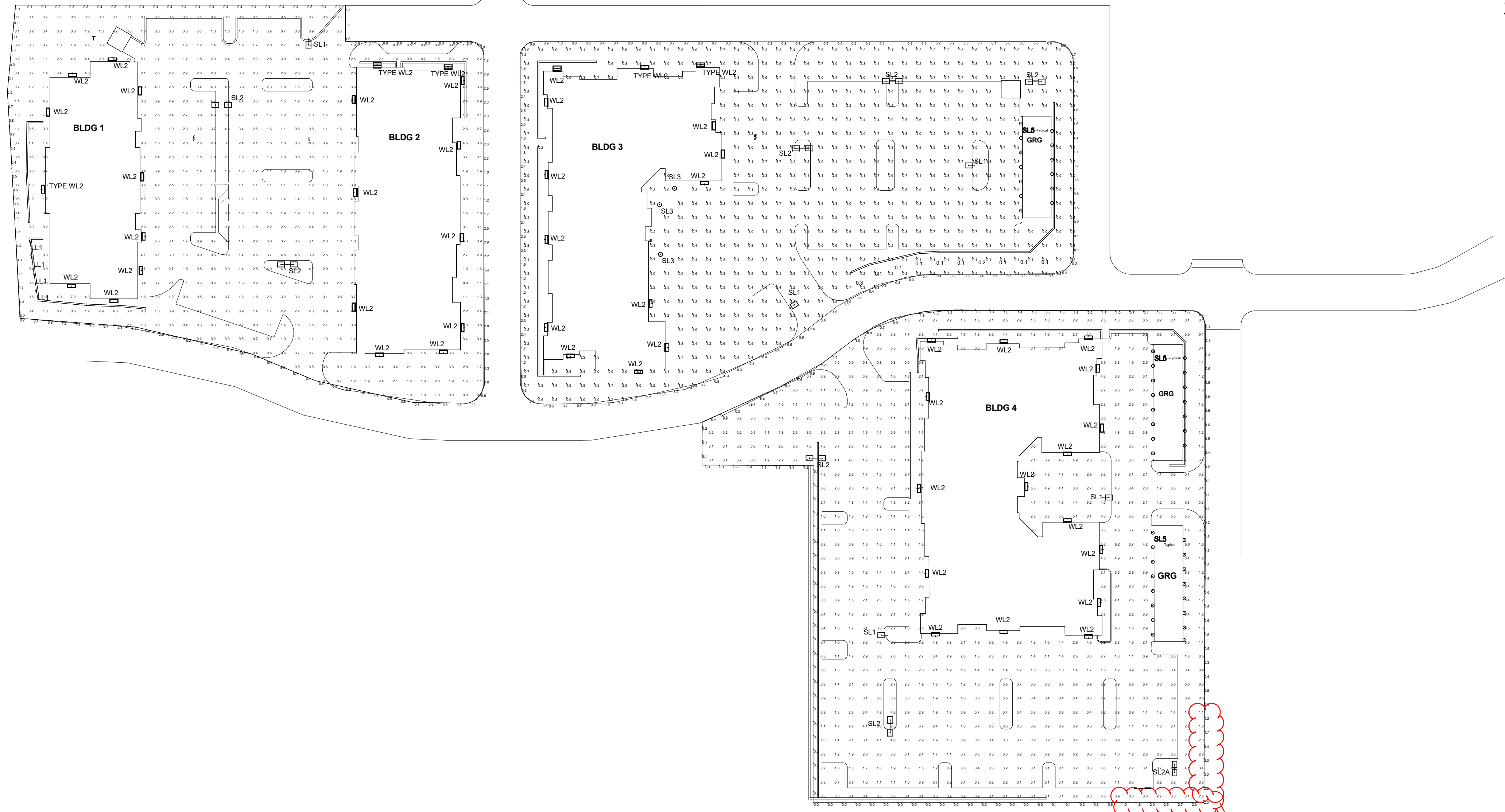
PROJECT NO.  
 096481002  
 DRAWING NAME  
 096481002PSP\_SP

03 OF 49



Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
[Symbol]	4	LL1	9W, 3K, 120V, Recess in Retaining Wall, Pld Bk	8.18	372	B0-U3-G1	1.5
[Symbol]	5	SL1	100W, 4K, T3, Full Cut-Off, 1 Head on Embedded FBGL	100	11188	B2-U0-G2	25
[Symbol]	7	SL2	100W, 4K, T3, Full Cut-Off, 2 Heads on Embedded FBGL	100	11188	B2-U0-G2	25
[Symbol]	1	SL2A	100W, 4K, Area Cut-Off, T4, 2 Heads on Embedded FBGL	100	11544	B2-U0-G2	25
[Symbol]	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229	B1-U3-G1	3.5
[Symbol]	44	SL5	15W, 3K, Wet, Surface, Disk, White	15	1025	B1-U3-G1	8
[Symbol]	46	WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	20
[Symbol]	5	TYPE WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	

- NOTES:  
 1. LUMINAIRES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.  
 2. LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.  
 3. BUILDING-MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.  
 4. Lighting as supplied by InSolution LED Products.  
 Contact jim.rago@insolutionproducts.com  
 Lighting received and stored by EC.



SITE ILLUMINANCE		
MINIMUM	MAXIMUM	AVERAGE
0.1	7.8	1.73

SITE UNIFORMITY RATIOS		
RESIDENTIAL AREA	AVG:MIN	MAX:MIN
DRIVEWAYS	4:01	11:01
WALKWAYS	2:01	3:01
PARKING	5:01	6:01

The maximum ratio for this is 4:1. Please adjust lights to meet the maximum ratio.

Light fixture adjustments and associated uniformity ratios have been updated. See Sheets 6 and 7 of 49.

The maximum luminance at the property line (excluding along streets) is 1 foot candle. Please adjust the light fixture to reduce the amount of light at the property line.

Light fixture adjustments and associated uniformity ratios have been updated. See Sheet 7 of 49.

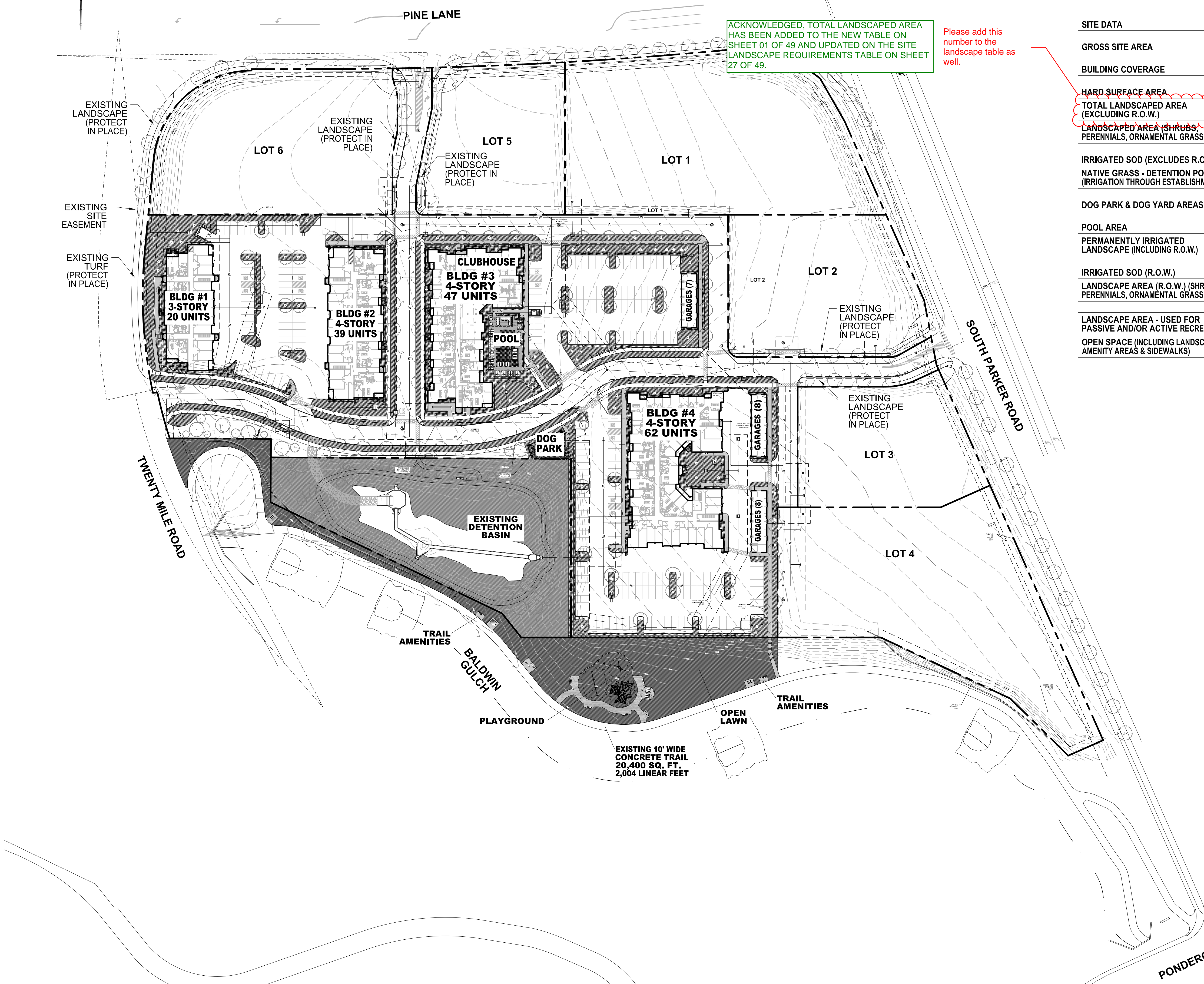
FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION



#	Date	Comments
	04/19/2021	Lighting Responses to Staff Comments 03

Drawn By: jrago  
 Checked By: jrago  
 04/19/2021  
 Scale: 1in = 60ft

THE GARRETT CO. RESPONSE TYP.  
05/27/21



ACKNOWLEDGED, TOTAL LANDSCAPED AREA HAS BEEN ADDED TO THE NEW TABLE ON SHEET 01 OF 49 AND UPDATED ON THE SITE LANDSCAPE REQUIREMENTS TABLE ON SHEET 27 OF 49.

Please add this number to the landscape table as well.

SITE DATA TABLE						
SITE DATA	ACTUAL SF	MIN. AREA SF REQUIRED	% REQUIRED	% MAX.	% PROVIDED	CY COMPOST REQ'D @ 3/1000 SF
GROSS SITE AREA	413,536	N/A	N/A	N/A	100%	N/A
BUILDING COVERAGE	63,863	N/A	N/A	N/A	15.5%	N/A
HARD SURFACE AREA	220,405	N/A	N/A	N/A	38.0%	N/A
TOTAL LANDSCAPED AREA (EXCLUDING R.O.W.)	192,377	N/A	N/A	N/A	46.5%	SEE BELOW
LANDSCAPED AREA (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	16,836	N/A	N/A	N/A	N/A	SEE BELOW
IRRIGATED SOD (EXCLUDES R.O.W.)	31,408	N/A	N/A	N/A	8.1%	N/A
NATIVE GRASS - DETENTION POND (IRRIGATION THROUGH ESTABLISHMENT)	69,855	N/A	N/A	N/A	N/A	175
DOG PARK & DOG YARD AREAS	2,432	N/A	N/A	N/A	.6%	N/A
POOL AREA	6,364	N/A	N/A	N/A	1.6%	N/A
PERMANENTLY IRRIGATED LANDSCAPE (INCLUDING R.O.W.)	53,682	N/A	N/A	N/A	N/A	161
IRRIGATED SOD (R.O.W.)	1,660	N/A	N/A	N/A	N/A	N/A
LANDSCAPE AREA (R.O.W.) (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL CY OF COMPOST: 325						
LANDSCAPE AREA - USED FOR PASSIVE AND/OR ACTIVE RECREATION	115,426	115,426	60% OF TOTAL LANDSCAPE AREA	N/A	60%	N/A
OPEN SPACE (INCLUDING LANDSCAPE, AMENITY AREAS & SIDEWALKS)	76,951	76,951	40%	N/A	40%	N/A

**OPEN SPACE EXHIBIT LEGEND:**

- IRRIGATED SOD: (EXCLUDES ROW) 33,781 SQ. FT.
- LANDSCAPED AREA: (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES) 16,836 SQ. FT.
- NATIVE GRASS: (DETENTION BASIN TEMP-IRRIGATED) 69,855 SQ. FT.
- POOL AREA: 3,561 SQ. FT.
- DOG PARK & DOG YARD AREAS 2,432 SQ. FT.
- SIDEWALKS & TRAILS: 16,366 SQ. FT.
- OFF-SITE AMENITIES: (LANDSCAPE, SITE FURNISHINGS AND TRAIL IMPROVEMENTS) (PARK) 41,933 SQ. FT.

**ACTIVE & PASSIVE AMENITIES:**

**ON-SITE:** 1,150 SQ. FT. POOL, 81 SQ. FT. HOT TUB, TWO NATURAL GAS GRILLS, NATURAL GAS FIRE FEATURE, 1,600 SQ. FT. FENCE DOG PARK, 1,000 LINEAR FEET DECOMPOSED GRANITE WALKING TRAIL WITH ONE BENCH, ONCE PET WASTE STATION AND ONE TRASH RECEPTACLE.

**OFF-SITE:** SIX BENCHES, FOUR EXERCISE STATIONS, TWO PET WASTE STATIONS, TWO TRASH RECEPTACLES, PLAYGROUND AND SMALL SHELTER LOCATED ADJACENT TO EXISTING BALDWIN GULCH CONCRETE TRAIL. SECTIONS OF THE TRAIL IN NEED OF REPAIR WILL ALSO BE REPLACED AS PART OF THIS PROJECT.

NO.	REVISION	BY	DATE	APPR.

**THE GARRETT COMPANIES**  
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

DESIGNED BY: NAS  
DRAWN BY: NAS  
CHECKED BY: TGC  
DATE: 04/19/21

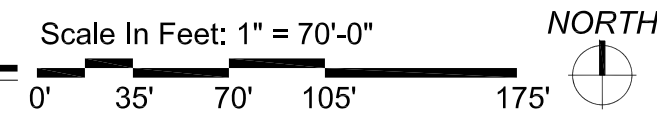
PARKER AND PINE FILING NO. 2 LOTS 1-3  
PARKER, CO  
MULTI-FAMILY SITE PLAN  
OPEN SPACE EXHIBIT

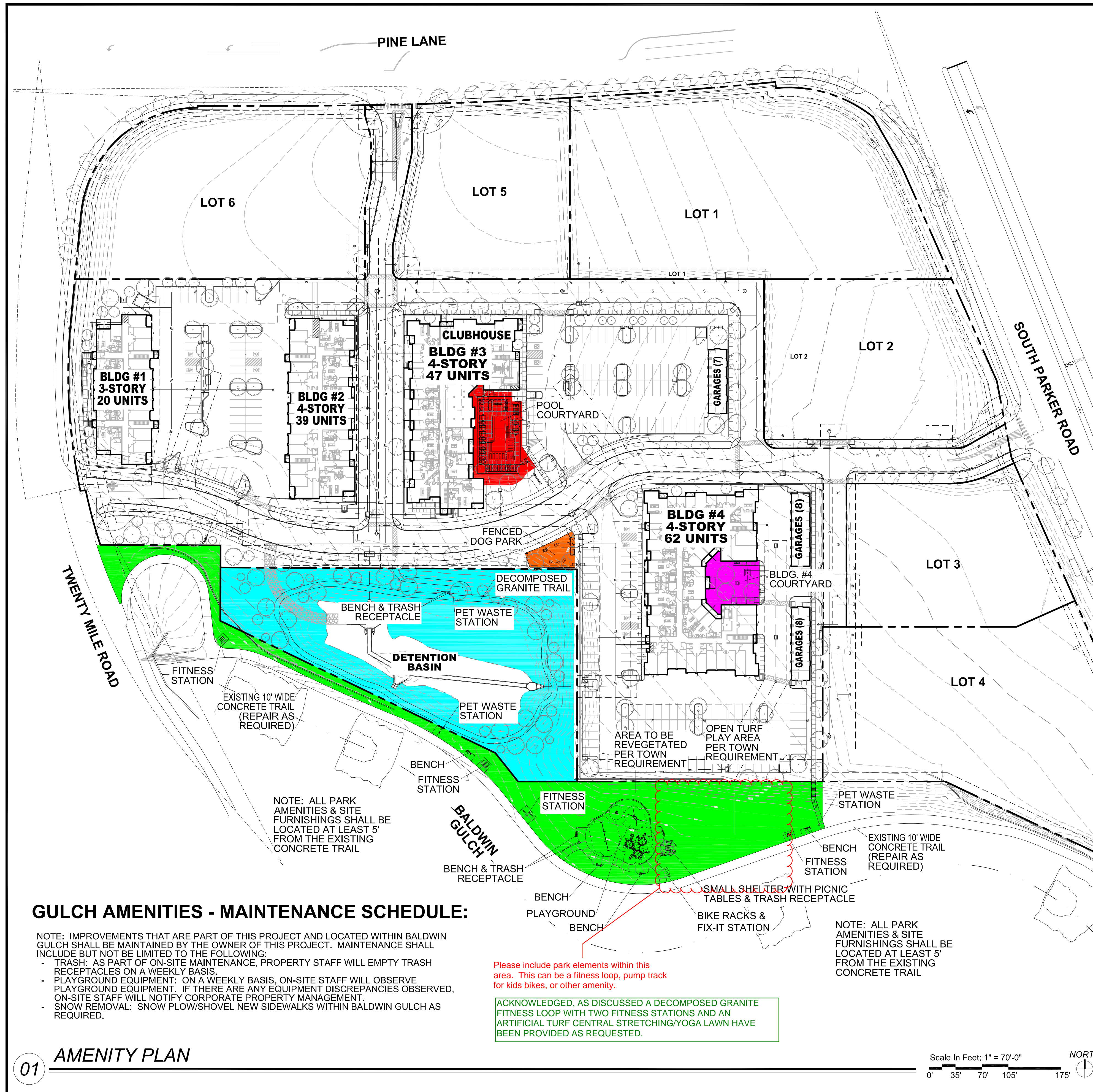
PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.  
Nicholas Allen Smith  
Registered Landscape Architect of the State of COLORADO  
Registration Number: 1436

**NOT FOR CONSTRUCTION**

PROJECT NO. 096481002

**01 OPEN SPACE, LANDSCAPING & PARKS EXHIBIT**





REQUIRED IMPROVED PARK LAND PER TOWN CODE SECTION 13.07.140c(2)		
7.5 ACRES OF DEVELOPED PARK LAND PER 1,000 POPULATION BASED ON AN OCCUPANCY FACTOR OF 1.85 PERSONS PER HOUSEHOLD FOR MULTI-FAMILY DEVELOPMENT.		
170 DU's x 314.5 POPULATION	314.5/1,000 = 0.3145	0.3145 x 7.5 = 2.36 ACRES REQ.

**AMENITY DESCRIPTIONS & AREAS:**

<b>POOL:</b>	POOL (1,150 SQ. FT.), HOT TUB (81 SQ. FT.), 4 CABANAS, SHADE STRUCTURE.	AREA: 6,035 SQ. FT.
<b>COURTYARD</b>	OUTDOOR KITCHEN WITH 2 NATURAL GAS GRILLS & SINK, FIRE FEATURE, SITE FURNISHINGS, 6 POWER/USB PEDESTALS, POOL ENCLOSURE FENCE & LANDSCAPING	
<b>BUILDING #4:</b>	SITE FURNISHINGS INCLUDING HAMMOCK, TABLE FOR GAMES AND OUTDOOR GAMES INCLUDING CORNHOLE, GIANT JENGA & LANDSCAPING	AREA: 3,140 SQ. FT.
<b>FENCED DOG:</b>	1,600 SQ. FT. FENCED DOG PARK WITH A BENCH, PET WASTE STATION, PET DRINKING FOUNTAIN, DOG PLAY STRUCTURES, POWER/USB PEDESTAL & LANDSCAPING	AREA: 1,600 SQ. FT.
<b>DETENTION:</b>	1,000 LINEAR FEET DECOMPOSED GRANITE WALKING TRAIL, 3 BENCHES, TRASH RECEPTACLE, PET WASTE STATION & LANDSCAPING	AREA: 50,095 SQ. FT.
<b>BALDWIN:</b>	IMPROVEMENTS TO EXISTING 10' WIDE CONCRETE TRAIL, TRAILHEAD, 3 BENCHES, 3 TRASH RECEPTACLES, 2 PET WASTE STATIONS, 4 FITNESS STATIONS, PLAYGROUND WITH SEATING, PICNIC SHELTER AND 2 PICNIC TABLES	AREA: 41,933 SQ. FT.
<b>GULCH</b>		
<b>TOTAL AREA:</b>		<b>102,803 SQ. FT. (2.36 ACRES)</b>

**REQUIRED AMENITIES FOR ALL PARKS (PER SECTION 2, PARAGRAPH 13.07.140(c)(10a) OF PARKS DEDICATIONS ORDINANCE NO. 3.231.3)**

- (a) REQUIRED AMENITIES FOR ALL PARKS. THE FOLLOWING AMENITIES ARE REQUIRED FOR ALL PARKS REGARDLESS OF THE OPTIONAL AMENITIES SELECTED FROM SUBPARAGRAPH b. BELOW.
- LANDSCAPING SHALL BE PROVIDED FOR ALL IMPERVIOUS AREAS NOT USED FOR OTHER AMENITIES.
  - TABLES AND SEATING SHALL BE PROVIDED, SUCH AS BENCHES, CHAIRS, PICNIC TABLES, AND ADA SEATING.
  - INTERNAL ACCESS PATHWAYS SHALL BE PROVIDED TO AND BETWEEN PARK AMENITIES, PARKING AREAS, AND THE PERIMETER.
  - OPEN TURF PLAY AREAS SHALL BE PROVIDED.
  - UNIVERSAL AND INCLUSIVE PLAY ELEMENTS SHALL BE PROVIDED TO ACCOMMODATE ALL AGES AND ABILITIES.
  - DOG WASTE STATIONS SHALL BE PROVIDED AT ALL SEATING AREAS WITH A MINIMUM OF THREE (3) PER PARK.
  - TRASH RECEPTACLES SHALL BE PROVIDED AT ALL SEATING AREAS WITH A MINIMUM OF THREE (3) PER PARK.
  - ALL NEIGHBORHOOD PARKS SHALL PROVIDE A SMALL SHELTER SERVING A CAPACITY OF BETWEEN FIVE (5) AND TEN (10) USERS.

**OPTIONS FOR PARKS AND OPEN SPACE AMENITIES (PER SCHEDULE 13.07.140A OF PARKS DEDICATIONS ORDINANCE NO. 3.231.3)**

	NEIGHBORHOOD-SERVING PARK
<b>CATEGORY 1 - GATHERING SPACES &amp; SELF-DIRECTED GROUP ACTIVITIES</b>	PICK 1
<b>GATHERING &amp; SOCIAL SPACES</b>	
SEATING AND TABLES	X - REQUIRED
SHELTER, SMALL (5-10 USERS)	X - REQUIRED
<b>OUTDOOR SPECIALIZED</b>	
ACTIVITY HUBS (CORNHOLE & JENGA)	X
DOG OFF-LEASH AREA (FENCED)	X
<b>CATEGORY 2 - ACTIVE USES</b>	PICK 2, BUT ONLY 1 MAY BE FROM PATHS, TRAILS
<b>PATHS, TRAILS AND TRAILHEADS</b>	PICK 1 PER ACRE
GREENWAY CONNECTION OR TRAILHEAD	X
SOFT-SURFACE JOGGING/HIKING TRAIL	X
<b>PLAY SPACE AND EQUIPMENT</b>	
PLAYGROUND, SMALL-SCALE	X
<b>SPORTS AND FITNESS</b>	
OUTDOOR FITNESS EQUIPMENT	X
<b>CATEGORY 3 - SUPPORT AMENITIES</b>	PICK 1 PER ACRE
<b>SUPPORT AMENITIES</b>	
BARBECUES, SINGLE OR DUAL	X
BIKE RACK AND REPAIR STATION	X
DOG WASTE STATION	X - 3 REQUIRED
TRASH RECEPTACLES	X - 3 REQUIRED
<b>CATEGORY 4 - SPECIALIZED FACILITIES</b>	OPTIONAL
<b>AQUATICS AND WATER ACCESS</b>	
SWIMMING POOL	X

**GULCH AMENITIES - MAINTENANCE SCHEDULE:**

- NOTE: IMPROVEMENTS THAT ARE PART OF THIS PROJECT AND LOCATED WITHIN BALDWIN GULCH SHALL BE MAINTAINED BY THE OWNER OF THIS PROJECT. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- TRASH: AS PART OF ON-SITE MAINTENANCE, PROPERTY STAFF WILL EMPTY TRASH RECEPTACLES ON A WEEKLY BASIS.
  - PLAYGROUND EQUIPMENT: ON A WEEKLY BASIS, ON-SITE STAFF WILL OBSERVE PLAYGROUND EQUIPMENT. IF THERE ARE ANY EQUIPMENT DISCREPANCIES OBSERVED, ON-SITE STAFF WILL NOTIFY CORPORATE PROPERTY MANAGEMENT.
  - SNOW REMOVAL: SNOW PLOW/SHOVEL NEW SIDEWALKS WITHIN BALDWIN GULCH AS REQUIRED.

Please include park elements within this area. This can be a fitness loop, pump track for kids bikes, or other amenity.

ACKNOWLEDGED, AS DISCUSSED A DECOMPOSED GRANITE FITNESS LOOP WITH TWO FITNESS STATIONS AND AN ARTIFICIAL TURF CENTRAL STRETCHING/YOGA LAWN HAVE BEEN PROVIDED AS REQUESTED.

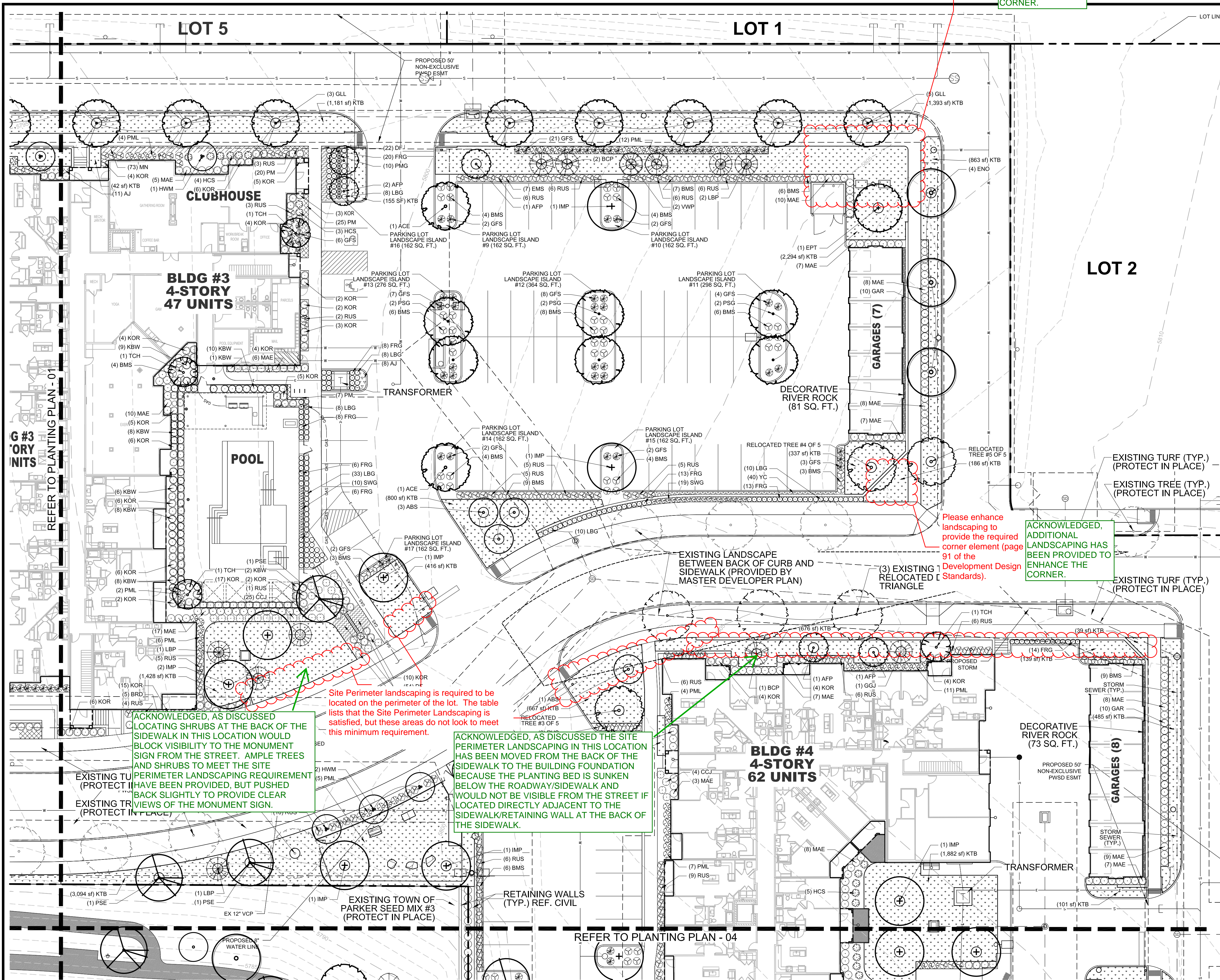
NOTE: ALL PARK AMENITIES & SITE FURNISHINGS SHALL BE LOCATED AT LEAST 5' FROM THE EXISTING CONCRETE TRAIL

THE GARRETT COMPANIES  
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923  
 DESIGNED BY: NAS  
 DRAWN BY: NAS  
 CHECKED BY: TGC  
 DATE: 04/19/21  
 PARKER AND PINE FILING NO. 2 LOTS 1-3  
 PARKER, CO  
 MULTI-FAMILY SITE PLAN  
 AMENITY PLAN  
 PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.  
 Nicholas Allen Smith  
 Registered Landscape Architect of the State of COLORADO  
 Registration Number: 1436  
 NOT FOR CONSTRUCTION  
 PROJECT NO. 096481002  
 12 OF 49



ACKNOWLEDGED, ADDITIONAL LANDSCAPING HAS BEEN PROVIDED TO ENHANCE THE CORNER.

Please provide additional landscaping for enhanced corners.



### PLANTING LEGEND

SYMBOL TAG COMMON NAME BOTANIC NAME

DECIDUOUS CANOPY TREES			
	ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
	PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
	ENO	ENGLISH OAK	QUERCUS ROBUR
	EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
	GLL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'

ORNAMENTAL TREES			
	HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
	ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA 'AUTUMN BRILLANCE'
	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
	AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'

EVERGREEN/CONIFEROUS TREES			
	VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
	LBP	LIMBER PINE	PINUS FLEXILIS
	BCP	BRISTLECONE PINE	PINUS ARISTATA
	GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'

DECIDUOUS & EVERGREEN SHRUBS			
	CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'
	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
	KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
	GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
	PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
	KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
	MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'
	GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'

LOW/SPREADING SHRUBS			
	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
	BRO	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
	HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENALTI 'HANCOCK'

PERENNIALS			
	DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
	PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
	YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
	BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
	AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
	MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'

ORNAMENTAL GRASSES			
	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'
	SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER'
	LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM

TURF GRASSES			
	KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND

SEED MIXES			
	SM3	TOWN OF PARKER SEED MIX #3	LOW-GROWTH MIX

DECOMPOSED GRANITE, DECORATIVE RIVER ROCK AND HARDWOOD MULCH			
	DOG	DOG YARDS & TRAIL AT DETENTION BASIN	
	GC	GROUND COVER BEHIND GARAGES	
	MUL	IN ALL SHRUB PLANTING BEDS PER PLAN	

NOTE: REFERENCE SHEET 27 FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.



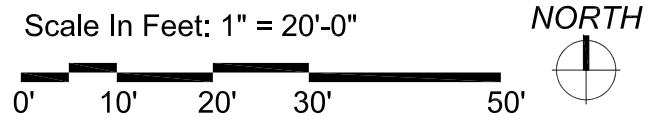
DESIGNED BY: NAS  
CHECKED BY: TGC  
DATE: 04/19/21

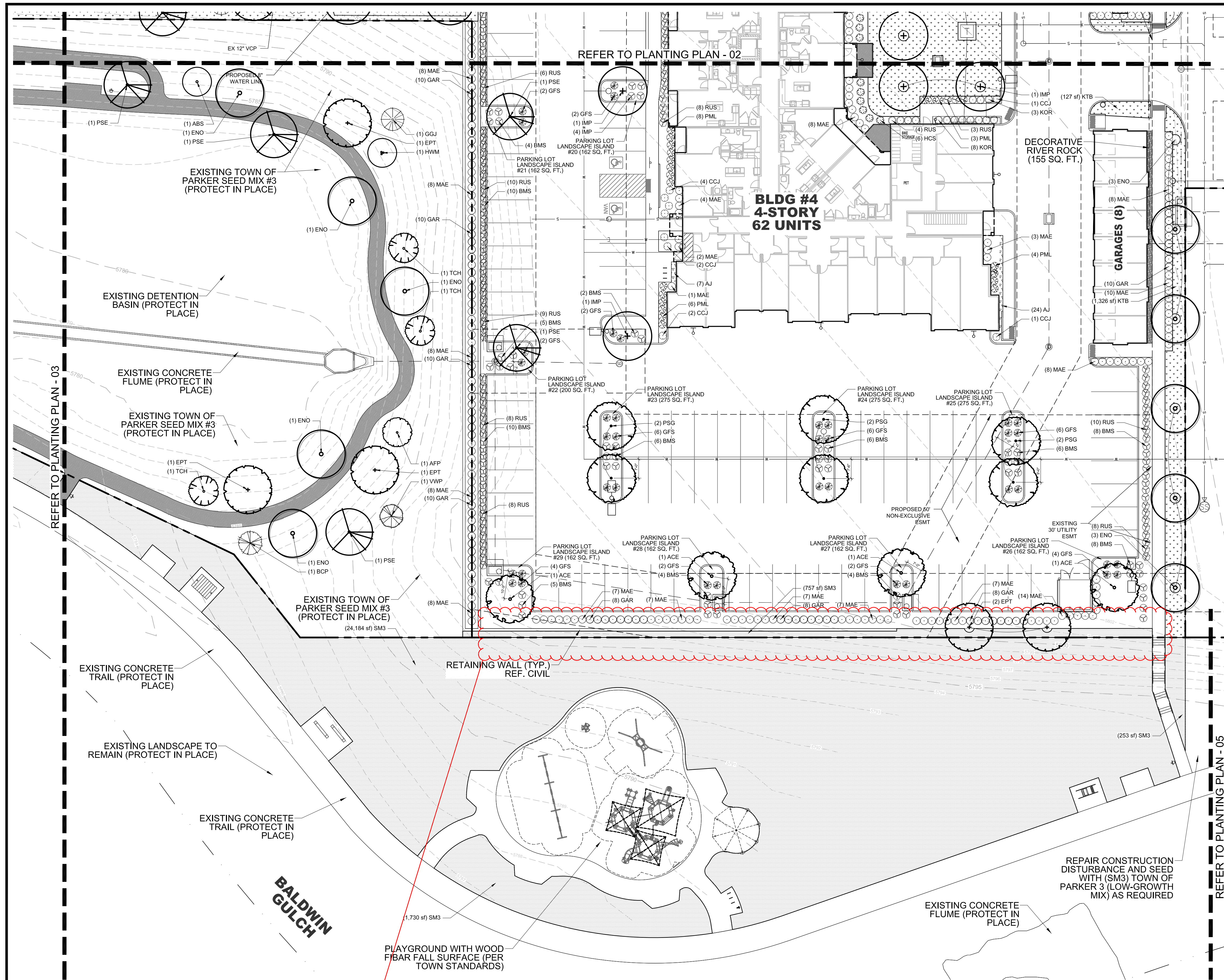
PARKER AND PINE FILING NO. 2 LOTS 1-3  
PARKER, CO  
MULTI-FAMILY SITE PLAN  
PLANTING PLAN

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.  
Nicholas Allen Smith  
Registered Landscape Architect of the State of COLORADO  
Registration Number: 1436  
**NOT FOR CONSTRUCTION**  
PROJECT NO. 096481002

01 PLANTING PLAN - 02

NOTE: CANOPY TREES SHALL MAINTAIN 7' FROM SUBSURFACE UTILITIES. FIELD VERIFY PRIOR TO INSTALLATION





**PLANTING LEGEND**

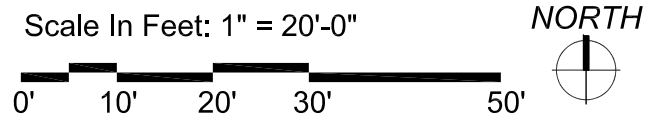
SYMBOL	TAG	COMMON NAME	BOTANIC NAME
<b>DECIDUOUS CANOPY TREES</b>			
	ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
	PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
	ENO	ENGLISH OAK	QUERCUS ROBUR
	EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
	GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'
<b>ORNAMENTAL TREES</b>			
	HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
	ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'
	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
	AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'
<b>EVERGREEN/CONIFEROUS TREES</b>			
	VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
	LBP	LIMBER PINE	PINUS FLEXILIS
	BCP	BRISTLECONE PINE	PINUS ARISTATA
	GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'
<b>DECIDUOUS &amp; EVERGREEN SHRUBS</b>			
	CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGI 'ATROPURPUREA'
	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
	KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
	GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
	PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
	KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
	MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'
	GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'
<b>LOW/SPREADING SHRUBS</b>			
	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
	BRD	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
	HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUULTII 'HANCOCK'
<b>PERENNIALS</b>			
	DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
	PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
	YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
	BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
	AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
	MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'
<b>ORNAMENTAL GRASSES</b>			
	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'
	SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER'
	LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM
<b>TURF GRASSES</b>			
	KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND
<b>SEED MIXES</b>			
	SM3	TOWN OF PARKER SEED MIX #3	LOW-GROWTH MIX
<b>DECOMPOSED GRANITE, DECORATIVE RIVER ROCK AND HARDWOOD MULCH</b>			
	DECOMPOSED GRANITE   DOG YARDS & TRAIL AT DETENTION BASIN		
	DECORATIVE RIVER ROCK   GROUNDCOVER BEHIND GARAGES		
	HARDWOOD MULCH   IN ALL SHRUB PLANTING BEDS PER PLAN		

**01 PLANTING PLAN - 04**

ACKNOWLEDGED, LANDSCAPING IN THIS LOCATION HAS BEEN ENHANCED. SHRUBS AND GRASSES ADJACENT TO THE PARKING HAS BEEN ARRANGED IN A "V" SHAPE AS REQUESTED. A ROW OF ORNAMENTAL GRASSES HAS BEEN ADDED TO THE BASE OF THE RETAINING WALL AS REQUESTED.

As stated in previous comments, the Town has agreed to reduce the buffer requirement at this location in return for enhanced landscaping. All that has changed is landscaping has been removed. Please enhance this landscaping. This can be accomplished by planting shrubs and grasses in "V" shapes to create adequate landscaping and adding a row of ornamental grasses at the base of the retaining wall.

NOTE: CANOPY TREES SHALL MAINTAIN 7' FROM SUBSURFACE UTILITIES. FIELD VERIFY PRIOR TO INSTALLATION



NOTE: REFERENCE SHEET 27 FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.

PARKER AND PINE FILING NO. 2 LOTS 1-3  
 PARKER, CO  
 MULTI-FAMILY SITE PLAN  
 PLANTING PLAN

THE GARRETT COMPANIES  
 1051 GREENWOOD SPRINGS  
 BLD. GREENWOOD, IN 46143 317-866-7923

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.  
 Nicholas Allen Smith  
 Registered Landscape Architect of the State of COLORADO  
 Registration Number: 1436  
**NOT FOR CONSTRUCTION**  
 PROJECT NO. 096481002

DESIGNED BY: NAS  
 DRAWN BY: NAS  
 CHECKED BY: TGC  
 DATE: 04/19/21

NO. REVISION BY DATE

APPR

25 OF 49

# PLANTING SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME	SIZE	HEIGHT (FEET)	WIDTH (FEET)	HYDROZONE	NOTES	%
<b>DECIDUOUS CANOPY TREES</b>										
	ACE	10	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2-1/2" CAL.	50	30	M-H	BALLED & BURLAPPED	10
	PSG	22	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	21
	ENO	17	ENGLISH OAK	QUERCUS ROBUR	2-1/2" CAL.	45	30	M-H	BALLED & BURLAPPED	17
	EPT	12	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'	2-1/2" CAL.	50	30	M-H	BALLED & BURLAPPED	12
	IMP	13	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'	2-1/2" CAL.	35	30	M-H	BALLED & BURLAPPED	13
	PSE	15	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	15
	GLL	12	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	12
SUBTOTAL		101								
<b>ORNAMENTAL TREES</b>										
	HWM	13	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	2" CAL.	20	15	M	BALLED & BURLAPPED	25
	ABS	9	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'	2" CAL.	20	20	M	B & B, SINGLE TRUNK	19
	TCH	14	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'	2" CAL.	15	15	M	BALLED & BURLAPPED	27
	AFP	15	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	2" CAL.	20	15	M	BALLED & BURLAPPED	29
SUBTOTAL		51								
<b>EVERGREEN/CONIFEROUS TREES</b>										
	VWP	6	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'	6' HT.	15	10	L-M	BALLED & BURLAPPED	24
	LBP	5	LIMBER PINE	PINUS FLEXILIS	6' HT.	35	15	L-M	BALLED & BURLAPPED	20
	BCP	7	BRISTLECONE PINE	PINUS ARISTATA	6' HT.	20	15	L-M	BALLED & BURLAPPED	28
	GGJ	7	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	6' HT.	20	15	L-M	BALLED & BURLAPPED	28
SUBTOTAL		25								
<b>DECIDUOUS SHRUBS</b>										
	BMS	261	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
	RUS	298	RUSSIAN SAGE	PEROVSKIA ATRIPPLICIFOLIA	5 GAL.	4	4	L-M	MATCHING, CONTAINER FULL	
	KOR	209	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	GFS	181	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	PML	149	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	KBW	51	KOREAN BOXWOOD	BUXUS 'KOREAN'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	MAE	360	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	GAR	115	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'	5 GAL.	5	4	M	MATCHING, CONTAINER FULL	
SUBTOTAL		1,624								
<b>LOW/SPREADING SHRUBS</b>										
	CCJ	56	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	3 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	BRD	25	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	3 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	HCS	20	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUTII 'HANCOCK'	3 GAL.	3	5	L-M	MATCHING, CONTAINER FULL	
SUBTOTAL		101								
<b>PERENNIALS (TRIANGULAR SPACING)</b>										
	DF	76	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS.	1	2	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	PM	66	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS.	1.5	1.5	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	YC	38	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA	4 IN. POTS.	2	2	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	BE	28	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	4 IN. POTS.	2	2	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	AJ	49	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS.	2	1.5	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	MN	154	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS.	2	2	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
SUBTOTAL		411								
<b>ORNAMENTAL GRASSES</b>										
	PMG	10	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.	4	3	L-M	MATCHING	
	SWG	29	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL.	5	3	L-M	MATCHING	
	FRG	115	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M	MATCHING	
	LBG	102	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL.	3	3	L-M	MATCHING	
SUBTOTAL		256								
<b>TURF GRASSES</b>										
	KTB	29,911 SQ. FT.	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT BLENDED HYBRID TURF GRASS	SOD	N/A	N/A	M	SOLID SOD	
<b>SEED MIXES</b>										
	SM3	34,748 SQ. FT.	TOWN OF PARKER SEED MIX #3	LOW-GROWTH SEED MIX PER CITY STANDARDS	HYDROMULCH	N/A	N/A	M	WITH TERATAK III TACKIFIER	
<b>DECOMPOSED GRANITE, DECORATIVE RIVER ROCK AND HARDWOOD MULCH</b>										
	81 CY	DECOMPOSED GRANITE	3/8- DECOMPOSED GRANITE, LOCALLY SOURCED	3/8-	N/A	N/A	N/A	N/A	4" COMPACTED DEPTH WITH FILTER FABRIC	
	2 CY	DECORATIVE RIVER ROCK	1-3" DECORATIVE RIVER ROCK, LOCALLY SOURCED	1"-3"	N/A	N/A	N/A	N/A	2" SETTLED DEPTH WITH FILTER FABRIC	
	176 CY	HARDWOOD MULCH	IN ALL SHRUB PLANTING BEDS & TREE RINGS	MULCH	N/A	N/A	N/A	N/A	2" SETTLED THICKNESS	

NOTE: QUANTITIES LISTED ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY QUANTITIES PER PLANS AND BRING AND DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.  
 NOTE: ALL SHRUB, PERENNIAL AND ORNAMENTAL GRASS PLANTING BEDS TO INCLUDE HARDWOOD MULCH PER PLANTING DETAILS.  
 NOTE: LANDSCAPE IDENTIFIED AS EXISTING, INSTALLED BY OTHERS WILL BE INSTALLED BY THE MASTER DEVELOPER.

ACKNOWLEDGED, THE OVERALL LANDSCAPE/OPEN SPACE QUANTITY FOR IRRIGATED SOD LISTED ON SHEET 11 OF 49 HAS BEEN UPDATED. PLEASE NOTE THAT A SMALL PORTION (50 SQ. FT.) OF THE IRRIGATED SOD IS LOCATED IN THE CITY RIGHT-OF-WAY (R.O.W.), SO THESE NUMBERS WILL NOT MATCH.

This number does not match the number on the overall landscape/open spaced listed on page 11. Please correct.

ACKNOWLEDGED, THE TOTAL PARKING LOT AREA HAS BEEN ADDED TO THE TABLE.

The total parking lot area is needed to determine if this is satisfied. 10% of the total parking area shall be landscaped.

ACKNOWLEDGED, AS DISCUSSED THE TREES IN QUESTION HAVE BEEN REMOVED BY THE MASTER DEVELOPER AND NO LONGER SHOW UP ON THESE PLANS.

Are these trees shown on the landscape plans?

Please see the Planning Memo as relocated trees will actually cost half the cost of the tree.

ACKNOWLEDGED, AS DISCUSSED THE TREES IN QUESTION HAVE BEEN REMOVED BY THE MASTER DEVELOPER AND NO LONGER SHOW UP ON THESE PLANS.

## TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES:

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS' ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY. ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G., FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION.
- IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET. IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPED AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO THE ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

## LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- OWNER'S REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL AFTER CITY INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 2" DEPTH SHREDDED HARDWOOD MULCH. CONTRACTOR SHALL PROVIDE 1 GALLON BAG SAMPLE OF MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLE. ALL PERENNIAL AND ANNUAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARD AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SHRUB BEDS TO BE IRRIGATION WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE IS TO BE DEVELOPED AND LIMITED TO CHECKING, ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLACEMENTS MULCH, FERTILIZING; PRUNING; AND WEEDING.
- SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
- ALL EXISTING TREES, SHRUBS, GRASS, ROCKS, FENCE ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE CESARE, INC. PROJECT NO. 16.174, AUGUST 17, 2016 #11 SURFACE DRAINAGE: C) WATERING WITHIN 5 FEET OF THE STRUCTURE SHOULD BE ELIMINATED. D) IF LAWN EDGING IS USED AROUND THE EXTERIOR OF THE STRUCTURE, IT SHOULD BE PERFORATED TO PREVENT PONDING OF SURFACE WATER IN THE VICINITY OF THE BACKFILL SOILS. F) IF A SPRINKLER SYSTEM IS INSTALLED, THE SPRINKLER HEADS SHOULD BE PLACED SO THAT THE SPRAY FROM THE HEADS, UNDER FULL PRESSURES, DOES NOT FALL WITHIN 5 FEET OF FOUNDATION WALLS.

## 13.06.070 LANDSCAPE REGULATIONS

<b>SITE LANDSCAPE REQUIREMENTS:</b>	TOTAL SITE AREA: 413,536 SQ. FT. x 45% = 186,091 / 1,500 = 124 x 5 = 620
ONE (1) TREE AND FIVE (5) SHRUBS SHALL BE PLANTED FOR EACH ONE THOUSAND FIVE HUNDRED (1,500) SQUARE FEET OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING	SITE TREES REQUIRED: 124 SITE TREES PROVIDED: 124 SITE SHRUBS REQUIRED: 620 SITE SHRUBS PROVIDED: 620

<b>STREETSCAPE LANDSCAPING REQUIREMENTS:</b>	TWENTY MILE RD TREES REQUIRED: 7 TREES PROVIDED: 0 (SITE DIS. TRIANGLE ISSUE)
ONE (1) DECIDUOUS SHADE TREE SHALL BE SPACED THIRTY-FIVE (35) LINEAL FEET ON CENTER AND SHALL BE BETWEEN 2.5 AND 3 INCH CALIPER.	*RD BETWEEN BLDG. #3 & #4 TREES REQUIRED: 37 TREES PROVIDED: 27 *RD NORTH OF BLDG. #2 & #3 TREES REQUIRED: 12 TREES PROVIDED: 11 *RD EAST OF BLDG #3 TREES REQUIRED: 12 TREES PROVIDED: 11 (PAR. PARKING) *RD EAST OF BLDG #4 TREES REQUIRED: 5 TREES PROVIDED: 5

<b>PARKING LOT PERIMETER LANDSCAPING REQUIREMENTS:</b>	PARKING LOT BETWEEN BLDG #3 & #4: TREES REQUIRED: 12 TREES PROVIDED: 12 PARKING LOT EAST OF BLDG #3: TREES REQUIRED: 12 TREES PROVIDED: 12 PARKING LOT WEST OF BLDG #3: TREES REQUIRED: 12 TREES PROVIDED: 12 PARKING LOT SOUTH OF BLDG #3: BUFFERING PROVIDED: TREES AND SHRUBS
--	---

<b>PARKING LOT INTERIOR LANDSCAPING REQUIREMENTS:</b>	TOTAL AREA LANDSCAPE ISLANDS : 6,480 SQ. FT. LANDSCAPE ISLANDS SHALL BE AT LEAST 162 SQ. FT. 1 TREE AND 5 SHRUBS SHALL BE PLANTED FOR EACH INCREMENT OF 162 SQ. FT. AND 1 SHRUB IS REQ. FOR EACH ADDITIONAL 15 SQ. FT.
	TREES REQUIRED: 40 TREES PROVIDED: 40 SHRUBS REQUIRED: 247 SHRUBS PROVIDED: 247 NOTE: SEE SHEET 28 OF 49 FOR PARKING LOT ISLAND LANDSCAPING EXHIBIT

<b>SITE PERIMETER LANDSCAPING REQUIREMENTS:</b>	WEST OF BLDG #1: TREES REQ. 5 TREES PROV. 5 SHRUBS REQ. 21 SHRUBS PROV. 21 SOUTH OF BLDG #2: TREES REQ. 3 TREES PROV. 3 SHRUBS REQ. 15 SHRUBS PROV. 15 SOUTH OF BLDG #3: TREES REQ. 4 TREES PROV. 4 SHRUBS REQ. 20 SHRUBS PROV. 20 NORTH OF BLDG #4: TREES REQ. 4 TREES PROV. 4 SHRUBS REQ. 20 SHRUBS PROV. 20
---	---

TYPE OF TREE	LEGEND	CRITERIA FOR REMOVAL	CONDITION	CALIPER	MITIGATION TREES REQUIRED
NO EXISTING TREES WILL BE REMOVED DURING CONSTRUCTION. 5 OF 37 EXISTING TREES WILL BE RELOCATED TO ACCOMMODATE STORM SEWER AND SITE VISIBILITY TRIANGLE. REFERENCE PLANTING PLANS FOR TREE RELOCATION.					

NO.	REVISION	BY	DATE	APPR.

**THE GARRETT COMPANIES**  
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46043 317-866-7923

DESIGNED BY: NAS  
 DRAWN BY: NAS  
 CHECKED BY: TGC  
 DATE: 04/19/21

ACKNOWLEDGED, THE CODE HAS BEEN REMOVED AND THE AMOUNT OF TOTAL LANDSCAPING PROPOSED HAS BEEN ADDED AS REQUESTED.

ACKNOWLEDGED, EXISTING TREES INSTALLED BY THE MASTER DEVELOPER HAVE BEEN REMOVED FROM THE TABLE AS REQUESTED.

ACKNOWLEDGED, PARKING LOT PERIMETER LANDSCAPING REQUIREMENTS AND CALCULATIONS TABLE HAS BEEN REMOVED FROM THE PLANS AS REQUESTED.

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.  
 Nicholas Allen Smith  
 Registered Landscape Architect of the State of COLORADO  
 Registration Number: 1436

ACKNOWLEDGED, THE LINEAR FOOTAGE FOR EACH SITE PERIMETER HAS BEEN ADDED TO THE TABLE.