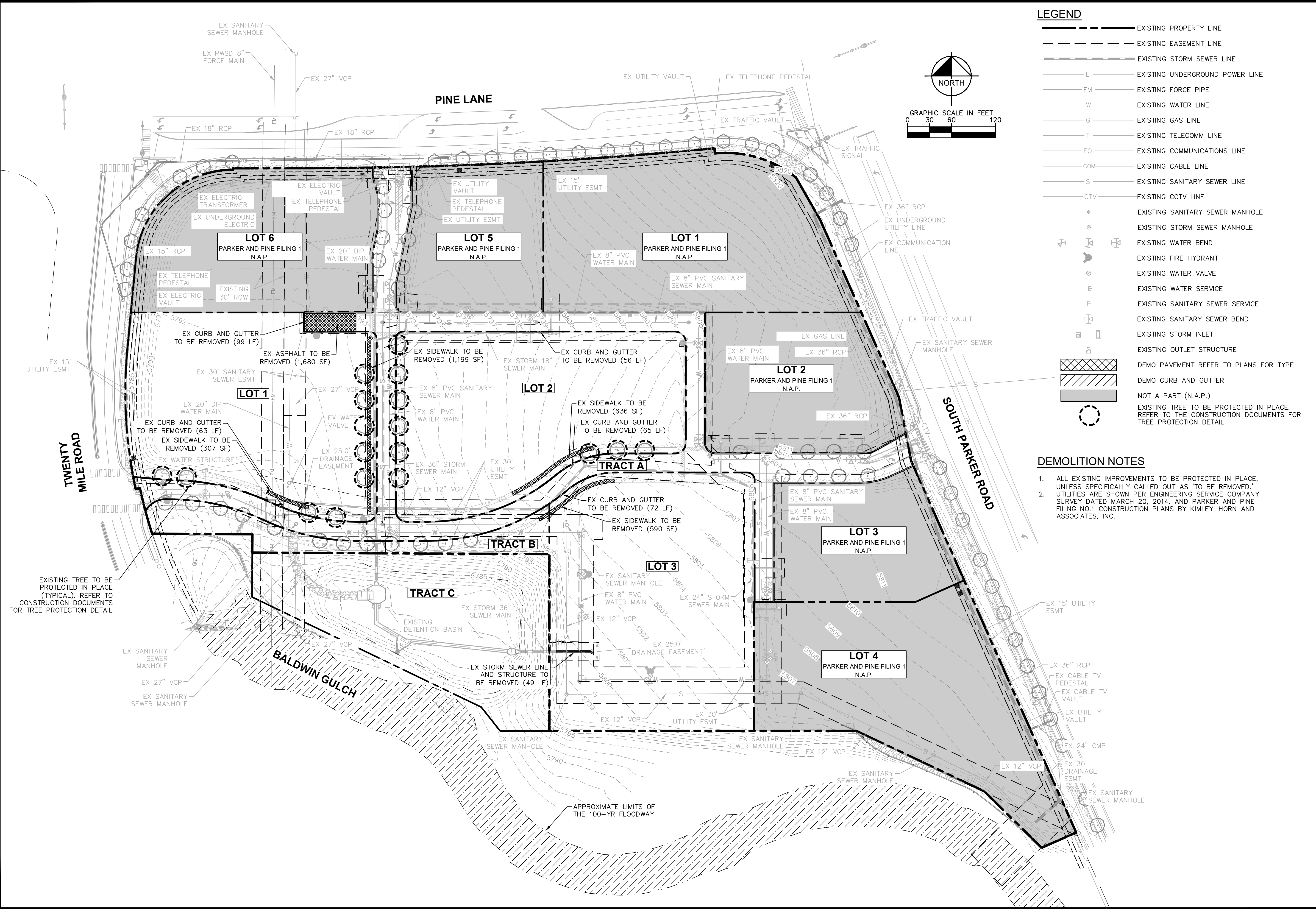


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LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT LINE
- EXISTING STORM SEWER LINE
- EXISTING UNDERGROUND POWER LINE
- EXISTING FORCE PIPE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING TELECOMM LINE
- EXISTING COMMUNICATIONS LINE
- EXISTING CABLE LINE
- EXISTING SANITARY SEWER LINE
- EXISTING CCTV LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- ⊕ EXISTING WATER BEND
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER SERVICE
- ⊕ EXISTING SANITARY SEWER SERVICE
- ⊕ EXISTING SANITARY SEWER BEND
- ⊕ EXISTING STORM INLET
- ⊕ EXISTING OUTLET STRUCTURE
- ▨ DEMO PAVEMENT REFER TO PLANS FOR TYPE
- ▨ DEMO CURB AND GUTTER
- NOT A PART (N.A.P.)
- EXISTING TREE TO BE PROTECTED IN PLACE. REFER TO THE CONSTRUCTION DOCUMENTS FOR TREE PROTECTION DETAIL.

- ### DEMOLITION NOTES
1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014, AND PARKER AND PINE FILING NO.1 CONSTRUCTION PLANS BY KIMLEY-HORN AND ASSOCIATES, INC.

NO.	REVISION	BY	DATE	APPR

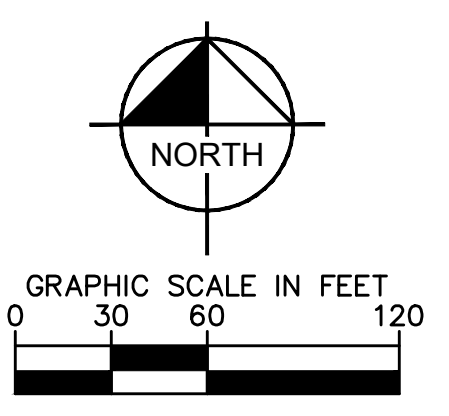
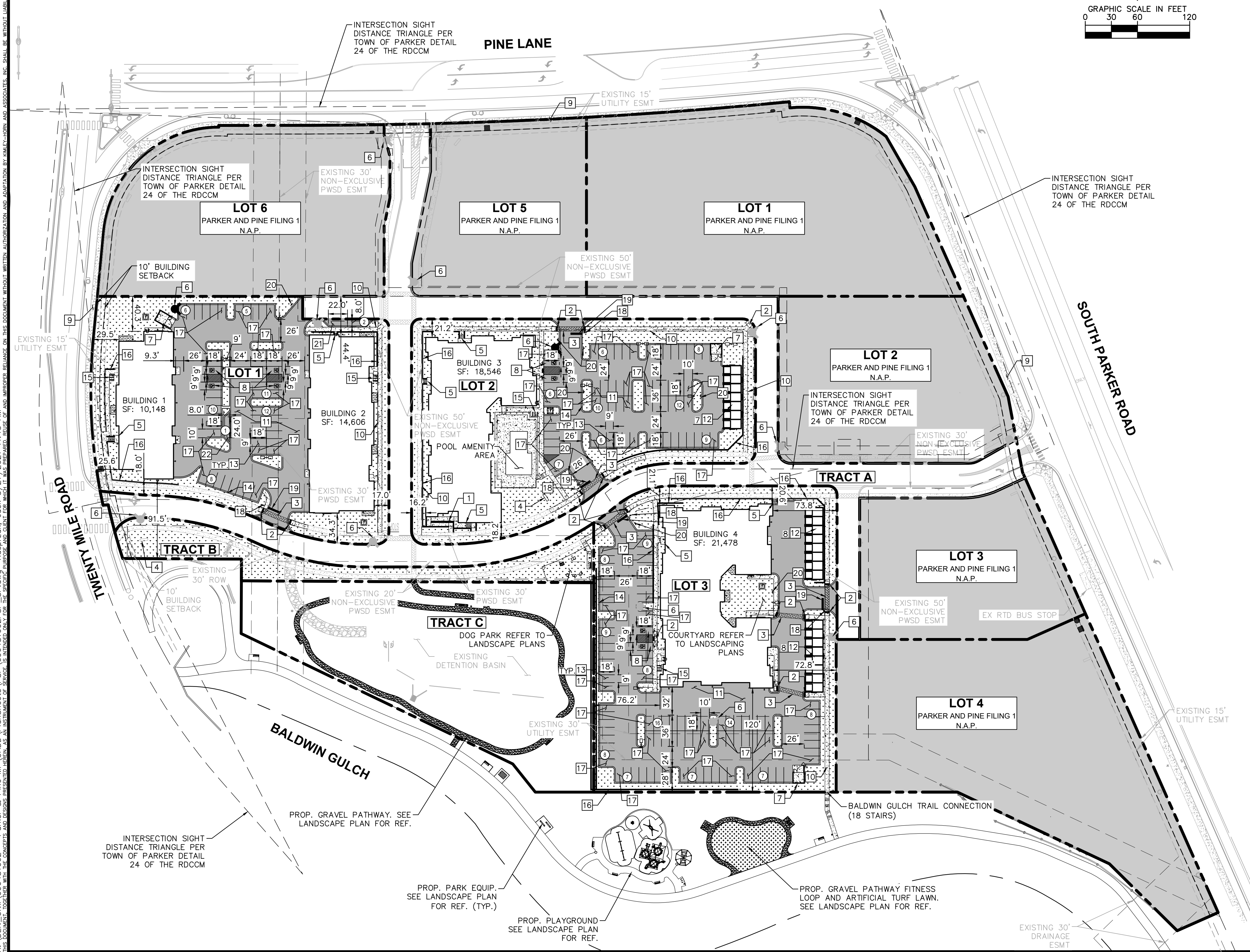
Kimley»Horn
 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 05/27/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 EXISTING CONDITIONS AND DEMO PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
Kimley»Horn
 Kimley-Horn and Associates, Inc.
 PROJECT NO.
 096481002
 DRAWING NAME
 096481002PSP_DM
02 OF 49

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LEGEND

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	FIRE DEPARTMENT CONNECTION
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)
	EXISTING COLORED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
 - 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
 - 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
 - 4 PROPOSED MONUMENT SIGN.
 - 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
 - 6 EXISTING/PROPOSED FIRE HYDRANT.
 - 7 PROPOSED TRASH ENCLOSURE.
 - 8 PROPOSED ADA PARKING STALLS.
 - 9 EXISTING 8' CONCRETE SIDEWALK.
 - 10 PROPOSED 5' CONCRETE SIDEWALK.
 - 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
 - 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
 - 13 PROPOSED STANDARD 9'X18' PARKING STALL
 - 14 PROPOSED STANDARD CURB AND GUTTER
 - 15 PROPOSED 6 STALL BICYCLE PARKING
 - 16 PROPOSED RETAINING WALL
 - 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
 - 18 PROPOSED STOP SIGN R-1
 - 19 PROPOSED STOP BAR
 - 20 PROPOSED NO PARKING - FIRE LANE SIGN R8-31
 - 21 PROPOSED 8'X22' PARALLEL PARKING STALL
 - 22 PROPOSED 8'X24' PARALLEL PARKING STALL

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 05/27/21

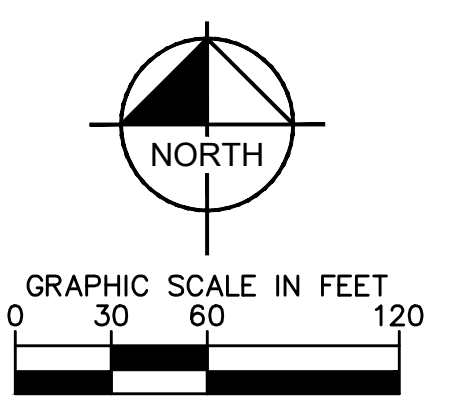
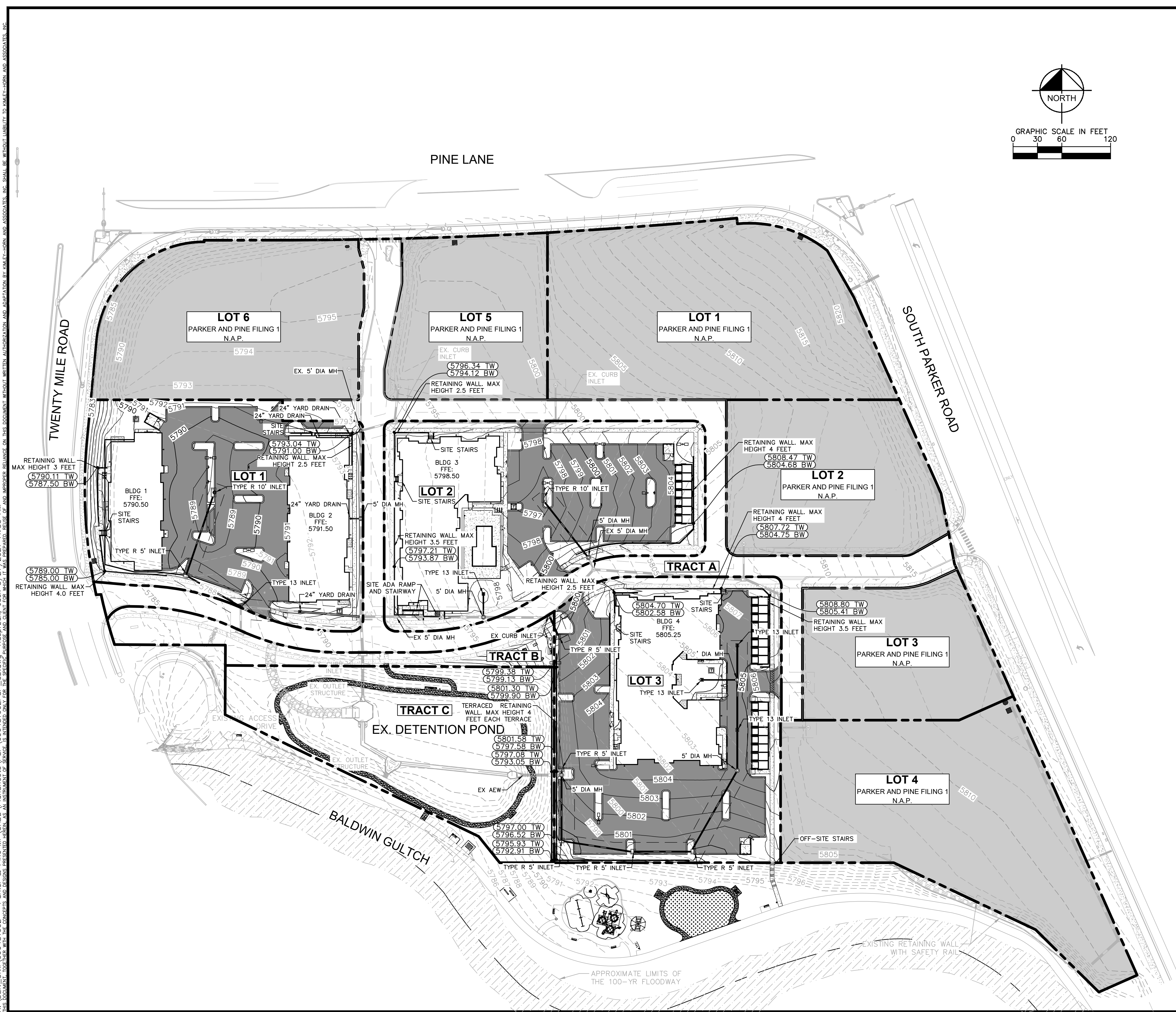
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL SITE PLAN

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002

DRAWING NAME
 096481002PSP_SP

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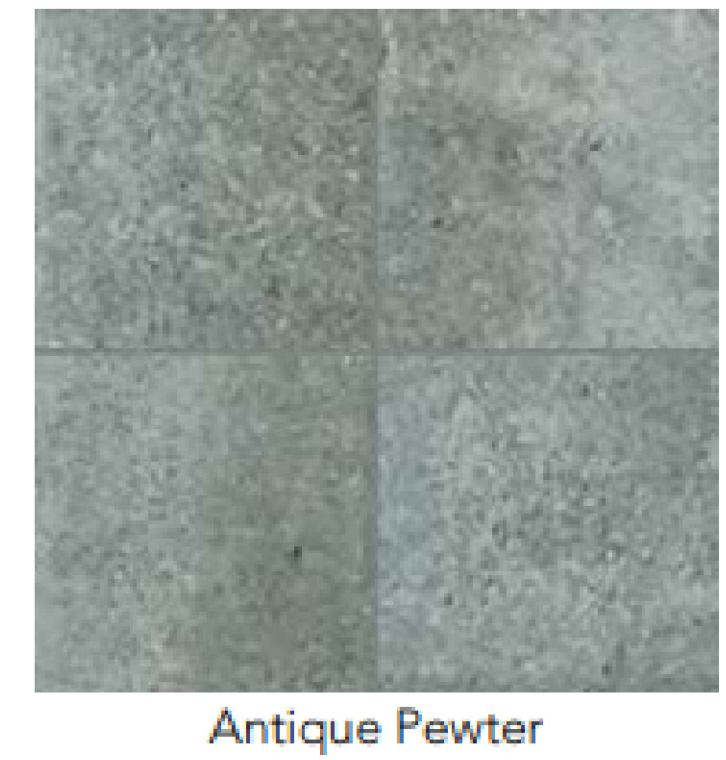


LEGEND

	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)

BENCHMARK
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
 ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

- NOTE:**
- BUILDING ROOF DRAINS TO DISCHARGE ON GRADE.
 - SITE RETAINING WALLS TO BE ANTIQUE PEWTER SPLIT FACE CMU BLOCK BY KEYSTONE OR APPROVED EQUIVALENT. MATERIAL SHOW BELOW:



NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

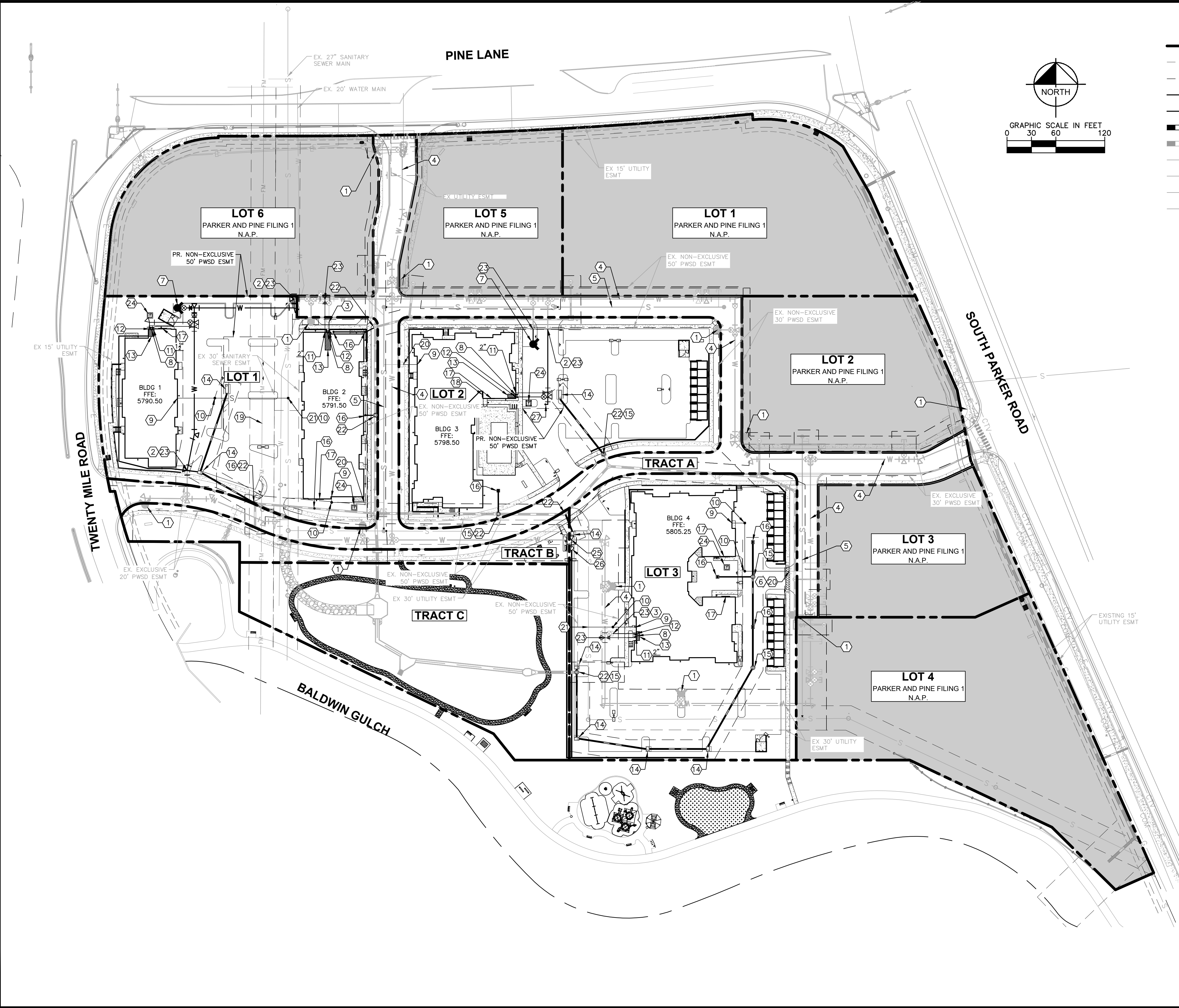
DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 05/27/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL GRADING PLAN

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002
 DRAWING NAME
 096481002PSP_GD

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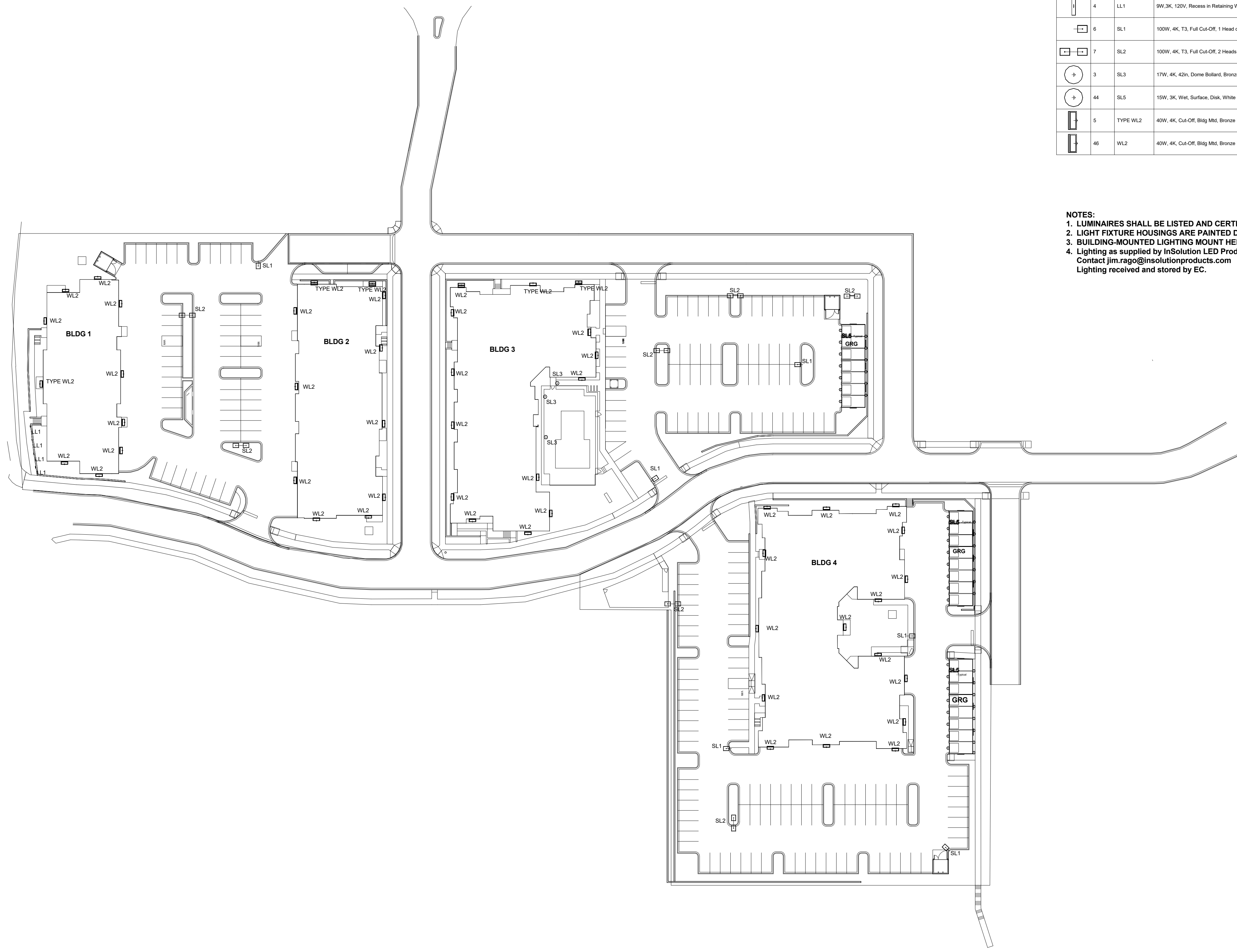


UTILITY LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAINAGE LINE
	EXISTING STORM DRAINAGE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING ELECTRIC LINE
	PROPOSED FIRE HYDRANT W/ BOLLARDS
	PROPOSED METER
	PROPOSED WATER VALVE
	PROPOSED TEE / BEND
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS
	NOT A PART (N.A.P.)

- ### SITE KEYNOTES
- ① EXISTING FIRE HYDRANT
 - ② EXISTING 8" STUB W/TEMP BLOW-OFF
 - ③ EXISTING 6" FIRE SERVICE W/TEMP BLOW-OFF
 - ④ EXISTING 8" WATER MAIN
 - ⑤ EXISTING 8" SEWER MAIN
 - ⑥ EXISTING 6" SEWER STUB
 - ⑦ PROPOSED FIRE HYDRANT WITH 6" GATE VALVE
 - ⑧ PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
 - ⑨ PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
 - ⑩ PROPOSED SANITARY SEWER CLEANOUT
 - ⑪ PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. WATER METER/TAP SIZE PER PLAN
 - ⑫ PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
 - ⑬ PROPOSED FIRE RISER ROOM
 - ⑭ PROPOSED CURB INLET
 - ⑮ PROPOSED STORM MANHOLE
 - ⑯ PROPOSED AREA INLET
 - ⑰ PROPOSED BUILDING ELECTRIC METER LOCATION
 - ⑱ PROPOSED BUILDING GAS METER LOCATION
 - ⑲ EXISTING PWS 8" FORCE MAIN
 - ⑳ CONNECT TO EXISTING SANITARY SEWER STUB
 - ㉑ CONNECT TO EXISTING SANITARY SEWER MAIN PER PWS STANDARDS.
 - ㉒ TIE INTO EXISTING STORM SEWER SYSTEM
 - ㉓ CONNECT TO EXISTING WATER MAIN PER PWS STANDARDS
 - ㉔ PROPOSED TRANSFORMER LOCATION
 - ㉕ PROPOSED 1.5" IRRIGATION TAP
 - ㉖ PROPOSED IRRIGATION METER PIT
 - ㉗ PROPOSED WATER MAIN BLOW OFF VALVE PER PWS STANDARDS

<p>2021 KIMLEY-HORN AND ASSOCIATES, INC. 4582 South Ulster Street, Suite 1500 Denver, Colorado 80237 (303) 228-2300</p>	<p>DESIGNED BY: DLS DRAWN BY: JRK CHECKED BY: DLS DATE: 05/27/21</p>
<p>PARKER AND PINE FILING NO. 2 LOTS 1-3 PARKER, CO MULTI-FAMILY SITE PLAN OVERALL UTILITY PLAN</p>	<p>NO. REVISION BY DATE</p>
<p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p>Kimley-Horn and Associates, Inc.</p>	
<p>PROJECT NO. 096481002</p>	
<p>DRAWING NAME 096481002PSP_UT</p>	
<p>05 OF 49</p>	



Site Lighting Schedule - 21-0525 Parker Site INS-LITE

Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
LL1	4	LL1	9W, 3K, 120V, Recess in Retaining Wall, Ptd Bk	8.18	372	B0-U3-G1	1.5
SL1	6	SL1	100W, 4K, T3, Full Cut-Off, 1 Head on Embedded FBGL	100	11188	B2-U0-G2	25
SL2	7	SL2	100W, 4K, T3, Full Cut-Off, 2 Heads on Embedded FBGL	100	11188	B2-U0-G2	25
SL3	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229	B1-U3-G1	3.5
SL5	44	SL5	15W, 3K, Wet, Surface, Disk, White	15	1025	B1-U2-G1	8
TYPE WL2	5	TYPE WL2	40W, 4K, Cut-Off, Bldg Mtg, Bronze Paint	43	4991	B1-U0-G1	20
WL2	46	WL2	40W, 4K, Cut-Off, Bldg Mtg, Bronze Paint	43	4991	B1-U0-G1	20

- NOTES:**
- LUMINAIRES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.
 - LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.
 - BUILDING-MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.
 - Lighting as supplied by InSolution LED Products.
Contact jim.rago@insolutionproducts.com
Lighting received and stored by EC.



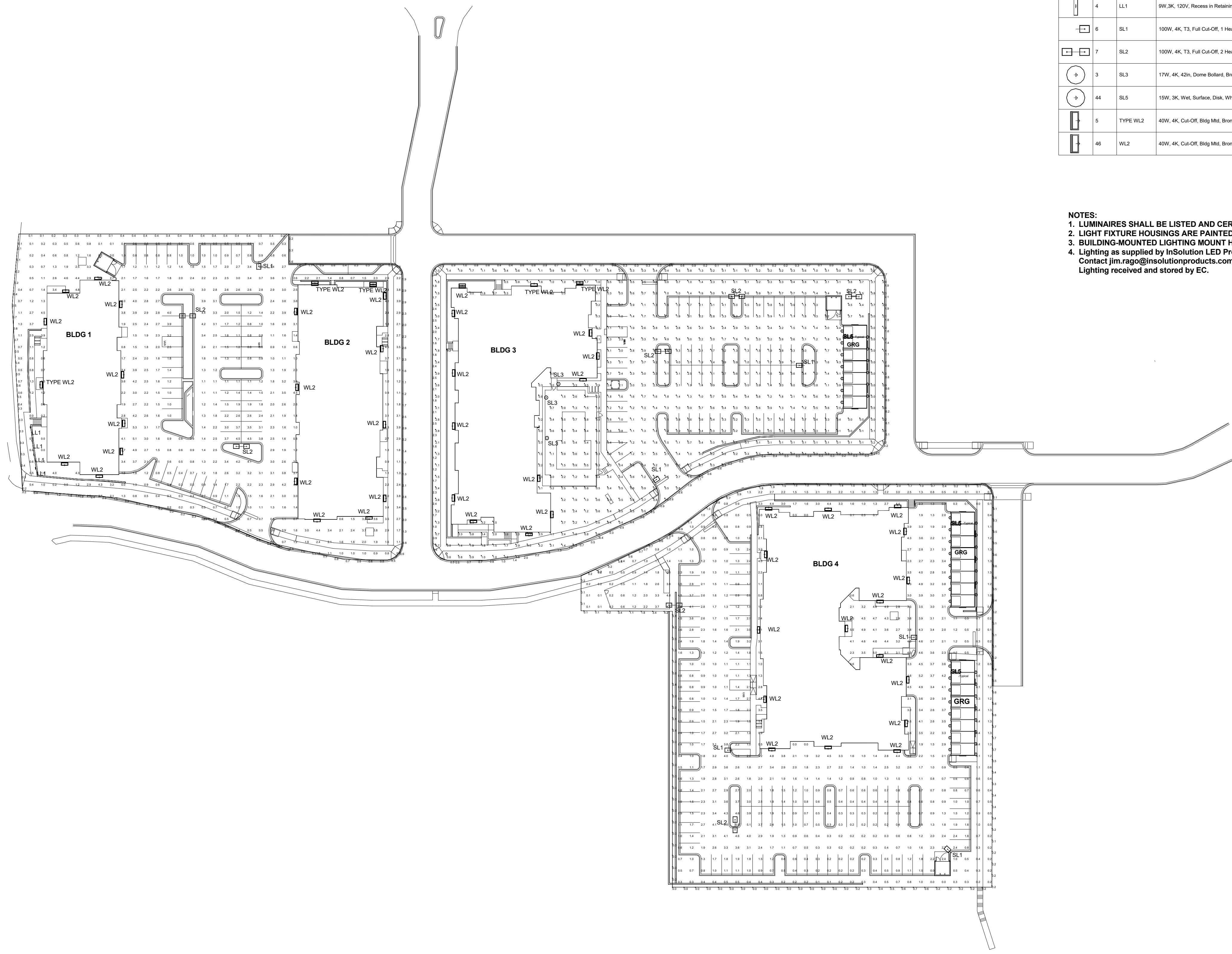
InSolution LLC
5157 E 64th St
Indianapolis, IN 46220
jim.rago@insolutionproducts.com

#	Date	Comments
	04/19/2021	Lighting Responses to Staff Comments 03
	05/28/2021	Lighting Responses to Staff Comments 04

Drawn By:	Checked By:	Date
irago	irago	04/19/2021

Scale: 1in = 50ft

PARKER AND PINE FILING NO.2
LOTS 1-3 PARKER, CO
SITE LIGHTING PLAN



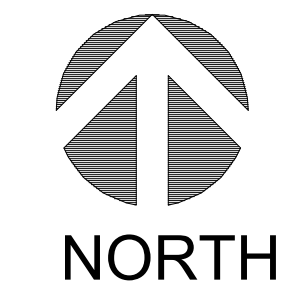
Site Lighting Schedule - 21-0525 Parker Site INS-LITE

Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
[Symbol]	4	LL1	9W, 3K, 120V, Recess in Retaining Wall, Ptd Bk	8.18	372	B0-U3-G1	1.5
[Symbol]	6	SL1	100W, 4K, T3, Full Cut-Off, 1 Head on Embedded FBGL	100	11188	B2-U0-G2	25
[Symbol]	7	SL2	100W, 4K, T3, Full Cut-Off, 2 Heads on Embedded FBGL	100	11188	B2-U0-G2	25
[Symbol]	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229	B1-U3-G1	3.5
[Symbol]	44	SL5	15W, 3K, Wet Surface, Disk, White	15	1025	B1-U2-G1	8
[Symbol]	5	TYPE WL2	40W, 4K, Cut-Off, Bldg Mtg, Bronze Paint	43	4991	B1-U0-G1	20
[Symbol]	46	WL2	40W, 4K, Cut-Off, Bldg Mtg, Bronze Paint	43	4991	B1-U0-G1	20

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 - Lighting as supplied by InSolution LED Products.
Contact jim.rago@insolutionproducts.com
Lighting received and stored by EC.

SITE ILLUMINANCE		
MINIMUM	MAXIMUM	AVERAGE
0.1	7.8	1.73

SITE UNIFORMITY RATIOS		
RESIDENTIAL AREA	AVG:MIN	MAX:MIN
DRIVEWAYS	4:1	11:1
WALKWAYS	2:1	3:1
PARKING	4:1	6:1



InSolution LLC
5157 E 64th St
Indianapolis, IN 46220
jim.rago@insolutionproducts.com

Date	Comments
04/19/2021	Lighting Responses to Staff Comments 03
05/28/2021	Lighting Responses to Staff Comments 04

#	Revisions

Drawn By: jrago
Checked By: jrago
04/19/2021

Scale: 1in = 50ft

PARKER AND PINE FILING NO.2
LOTS 1-3 PARKER, CO
SITE LIGHTING CALCULATIONS

