

I, DANIEL L. SKEEHAN, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SITE IMPROVEMENTS WERE OBSERVED AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND OPINION, THE SITE IMPROVEMENTS WERE CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED CONSTRUCTION DRAWINGS.

I, DANIEL L. SKEEHAN, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SITE IMPROVEMENTS WERE OBSERVED AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND OPINION, THE SITE IMPROVEMENTS WERE CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED CONSTRUCTION DRAWINGS.



DANIEL L. SKEEHAN 46391 7/26/2023
 PE LICENSE NO. DATE

PARKER AND PINE FILING NO. 2 LOTS 1-3 MULTI-FAMILY CONSTRUCTION DOCUMENTS

LOTS 1-3 AND TRACTS A-C, PARKER AND PINE FILING NO. 2
 SITUATED IN THE SE 1/4 OF SECTION 9 AND THE SW 1/4 OF
 SECTION 10, T.6S., R.66W. OF THE 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS,
 STATE OF COLORADO

UTILITY AS-BUILTS (STORMWATER, SANITARY, WATER)

I, ADAM R. ZETTMLOYER, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS AS-BUILT SURVEY OF PARKER AND PINE REPRESENTS AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAWS OF THE STATE OF COLORADO UNDER MY DIRECT SUPERVISION ON 5/5/23, 5/13/23, AND 6/21/23 IN THE STATE OF COLORADO.



ADAM R. ZETTMLOYER 38570 7/25/2023
 PLS LICENSE NO. DATE

CONTACTS:

DEVELOPER:
 THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD. SUITE 101
 GREENWOOD, IN 46143
 TEL: (317) 886-7926
 CONTACT: KARL STOUT

ARCHITECT:
 SEBREE ARCHITECTS, INC.
 97 DOVER ST. SUITE 400
 AVON, IN 46123
 TEL: 317-272-7800 EXT. 224
 CONTACT: DAWN LAYTON

ELECTRICAL SERVICE
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 5486 US HWY 85
 SEDALIA, CO 80135
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 DENVER, CO 80237
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 CONTACT: DAN SKEEHAN

SURVEYOR
 ENGINEERING SERVICE COMPANY
 1300 SOUTH POTOMAC ST. SUITE 126
 AURORA, CO 80012
 TEL: 303-337-1393
 CONTACT: JOHN PERRY, PLS

TOWN OF PARKER
 TOWN OF PARKER
 20120 EAST MAINSTREET
 PARKER, CO 80138-7334
 TEL: (303) 805-3199
 CONTACT: STACEY NERGER

LANDSCAPE ARCHITECT
 THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD. SUITE 101
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 CONTACT: NICK SMITH

TELEVISION
 COMCAST
 1601 MILE HIGH STADIUM CIRCLE
 DENVER, CO 80204
 CONTACT: DEAN FLENTHROPE
 EMAIL: DEAN_FLENTHROPE@CABLE.COMCAST.COM

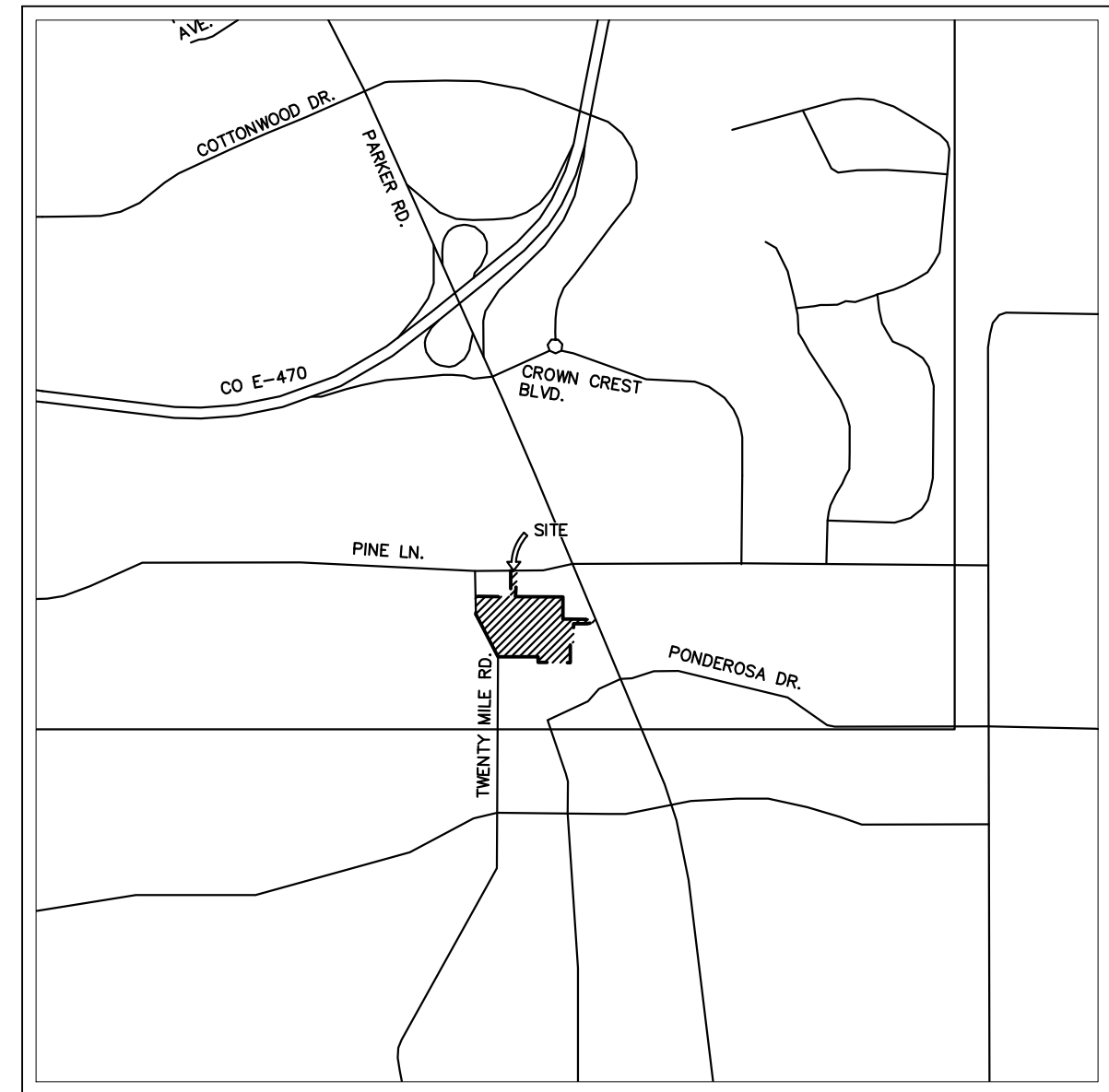
FIRE DEPARTMENT
 SOUTH METRO FIRE RESCUE AUTHORITY
 9195 E. MINERAL AVE.
 CENTENNIAL, CO 80112
 TEL: (720) 989-2244
 CONTACT: CHIP KERKHOVE

TELEPHONE
 CENTURYLINK
 1801 CALIFORNIA STREET, SUITE 240
 DENVER, CO 80202
 CONTACT: IZZY MILLER
 EMAIL: IZZY.MILLER@CENTURYLINK.COM

WATER/SANITARY SEWER
 PARKER WATER AND SANITATION DISTRICT
 18100 E. WOODMAN ROAD
 PARKER, CO 80134
 TEL: 303-841-4627
 CONTACT: DRAYTON SANDERSON

TOWN OF PARKER PLAN REVIEW
 20120 E. MAINSTREET
 PARKER, CO 80138
 TEL: (303) 805-3174
 CONTACT: BRYCE MATTHEWS

GAS SERVICE
 XCEL ENERGY
 1800 LARIMER STREET
 DENVER, CO 80202
 CONTACT: RON JOHNSON
 EMAIL: RON.H.JOHNSON@XCELENERGY.COM



VICINITY MAP
1" = 2,000'

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C3.2	CBMP DETAILS
C3.3	CBMP DETAILS
C3.4	CBMP DETAILS
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C5.1	DETAILED GRADING PLAN
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C7.4	WATER PLAN AND PROFILE
C7.5	UTILITY DETAILS
C7.6	UTILITY DETAILS
C7.7	UTILITY DETAILS
C7.8	UTILITY DETAILS

(INCLUDED IN ASBUILTS)

(INCLUDED IN ASBUILTS)

(INCLUDED IN ASBUILTS)

LEGAL DESCRIPTION

LOTS 1-3 AND TRACTS A-C, PARKER AND PINE FILING NO. 2,
 SITUATED IN THE SOUTHEAST 1/4 OF SECTION 9 AND THE
 SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66
 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS,
 STATE OF COLORADO.

BENCHMARK


DOUGLAS CONTROL MONUMENT #1.095035, A 3 1/2" ALUMINUM
 CAP.
 ELEVATION = 5906.34 FEET (NAVD 1988), AS PUBLISHED BY
 DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF
 THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66
 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N00°17'51"E AS
 REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO. 1
 AND BOUND BY THE MONUMENTS SHOWN HEREON.

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

 09/07/2021
 Town of Parker, Director of Engineering Date

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS
 PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP,
 COMMUNITY PANEL NUMBER 08035C0067G AND DATED MARCH 16,
 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD
 AREA.

SIGHT DISTANCE CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED
 PARKER AND PINE MULTI-FAMILY PROJECT IS DESIGNED WITH
 ADEQUATE CORNER SIGHT DISTANCE FOR ALL INTERSECTIONS AND
 THE PEDESTRIAN CROSSING LOCATIONS. CONSIDERATION OF
 LANDSCAPING IMPACTS TO THE CORNER SIGHT DISTANCE AT BOTH
 INITIAL, AND MATURE GROWTH HAS BEEN REVIEWED. THE MINIMUM
 CORNER SIGHT DISTANCE IS IN COMPLIANCE WITH AASHTO POLICY
 ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS.

ENGINEER'S STATEMENT

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE
 PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH
 ALL APPLICABLE TOWN OF PARKER STANDARDS AND STATUTES,
 RESPECTIVELY; AND THAT I AM FULLY RESPONSIBLE FOR THE
 ACCURACY OF ALL DESIGN, REVISIONS, AND RECORD CONDITIONS
 THAT I HAVE NOTED ON THESE PLANS.


 DANIEL L. SKEEHAN, P.E.
 CO REGISTERED PROFESSIONAL NO. 46391
 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 S. ULSTER STREET, SUITE 1500
 DENVER, CO 80237
 TEL: (303) 228-2318

NO.	REVISION	BY	DATE

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

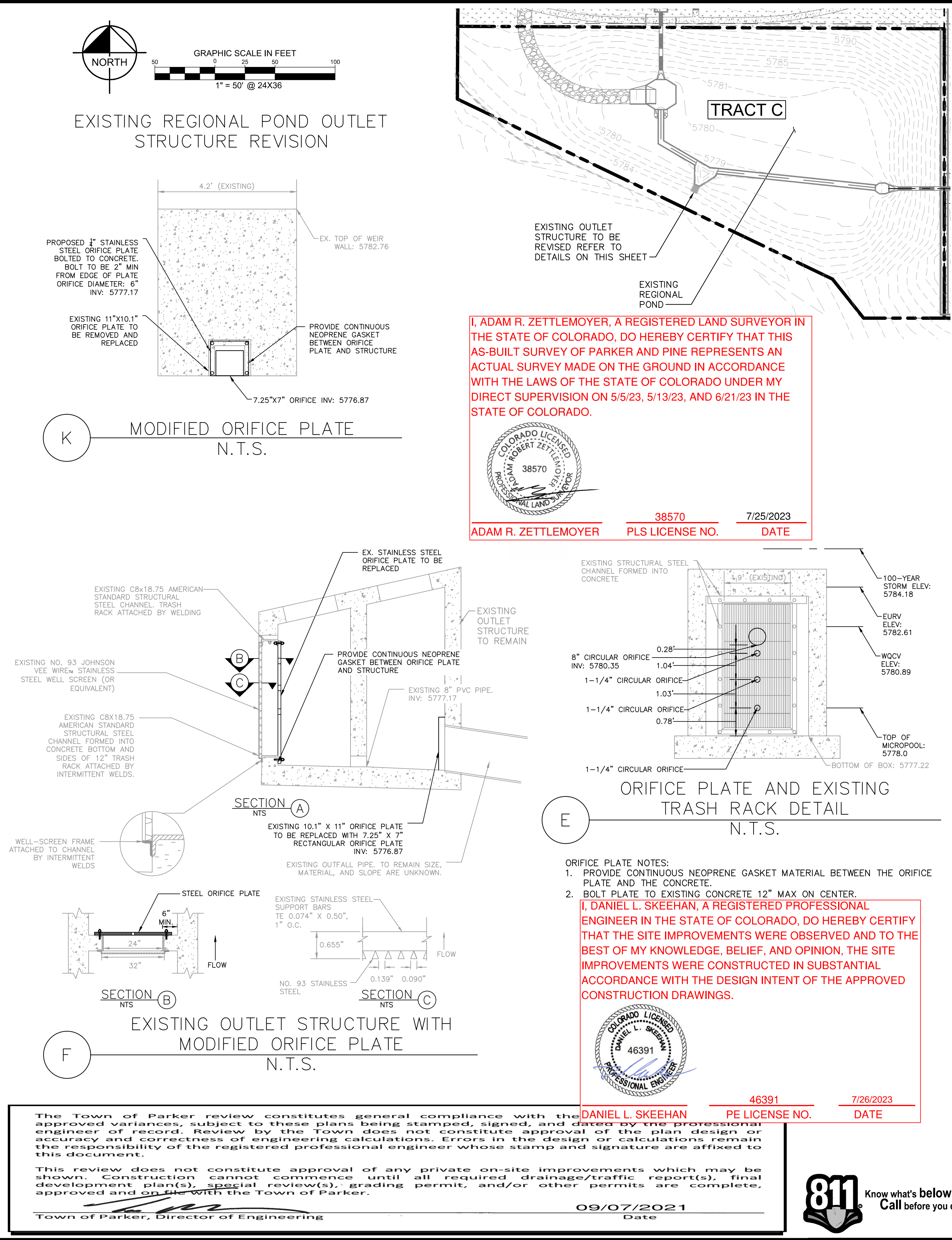
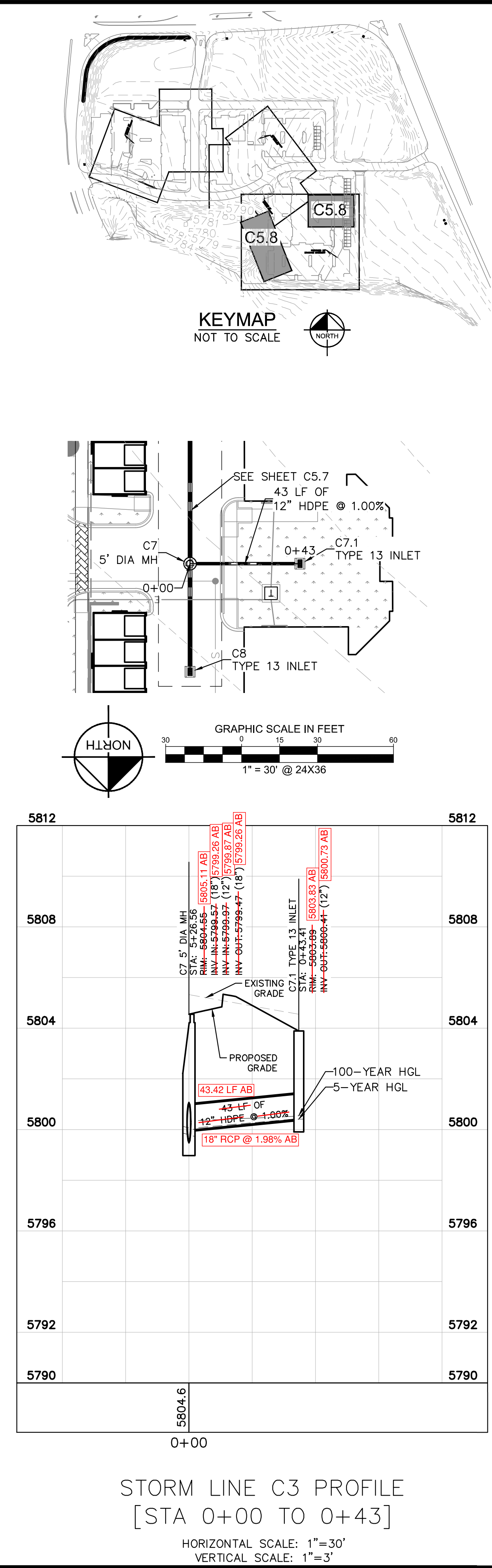
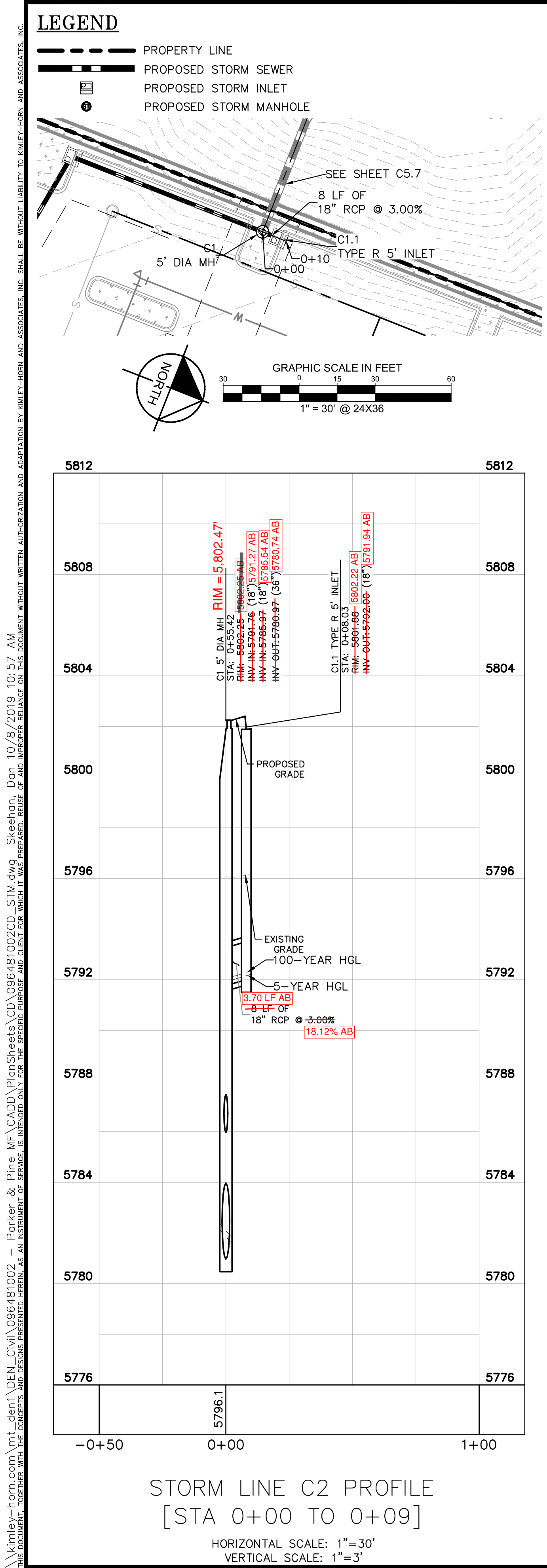
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 COVER SHEET



PROJECT NO.
 096481002
 DRAWING NAME
 096481002CD_CD

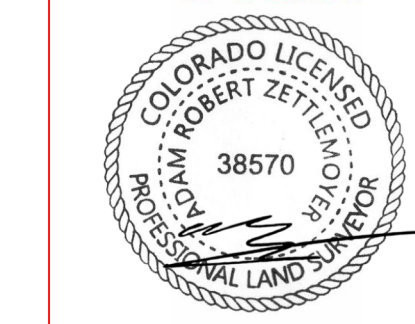


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I, ADAM R. ZETZLEMOYER, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS AS-BUILT SURVEY OF PARKER AND PINE REPRESENTS AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAWS OF THE STATE OF COLORADO UNDER MY DIRECT SUPERVISION ON 5/5/23, 5/13/23, AND 6/21/23 IN THE STATE OF COLORADO.

ADAM R. ZETZLEMOYER 38570 7/25/2023
PLS LICENSE NO. DATE



Kimley»Horn
2020 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

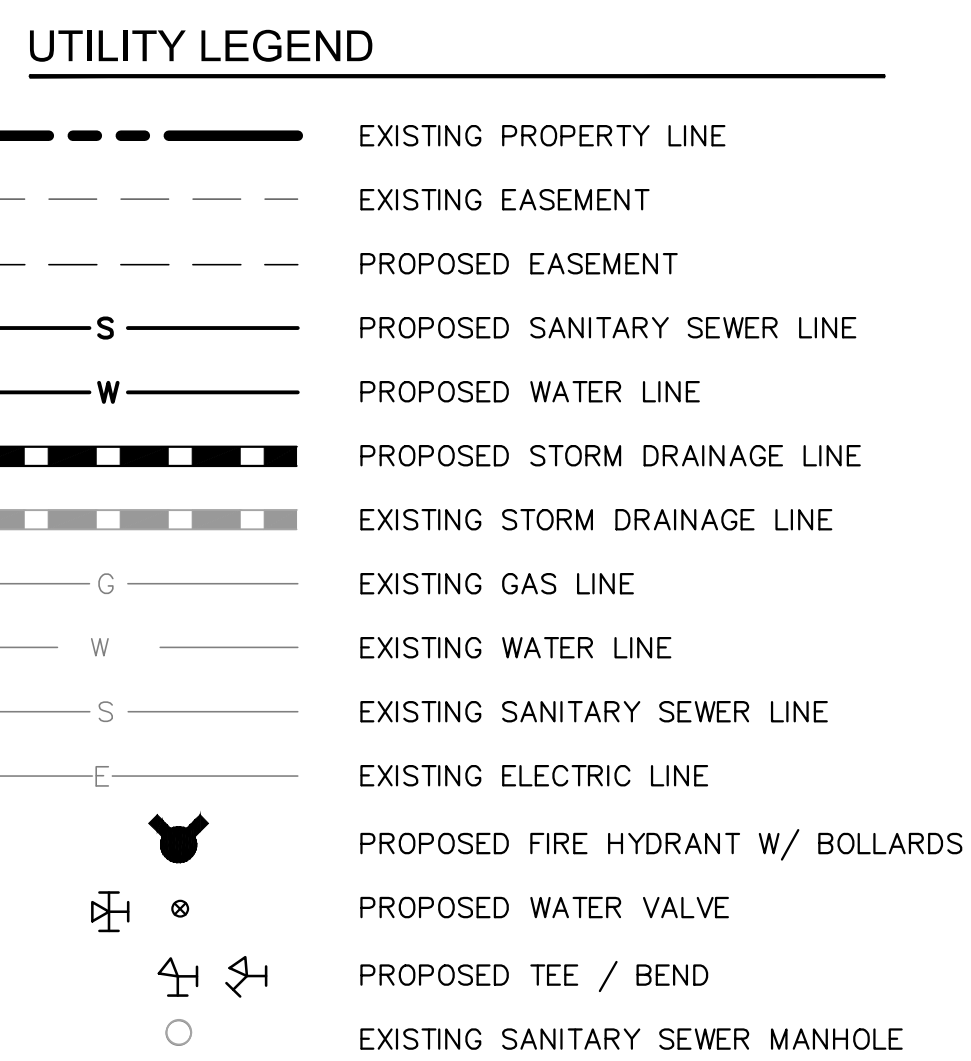
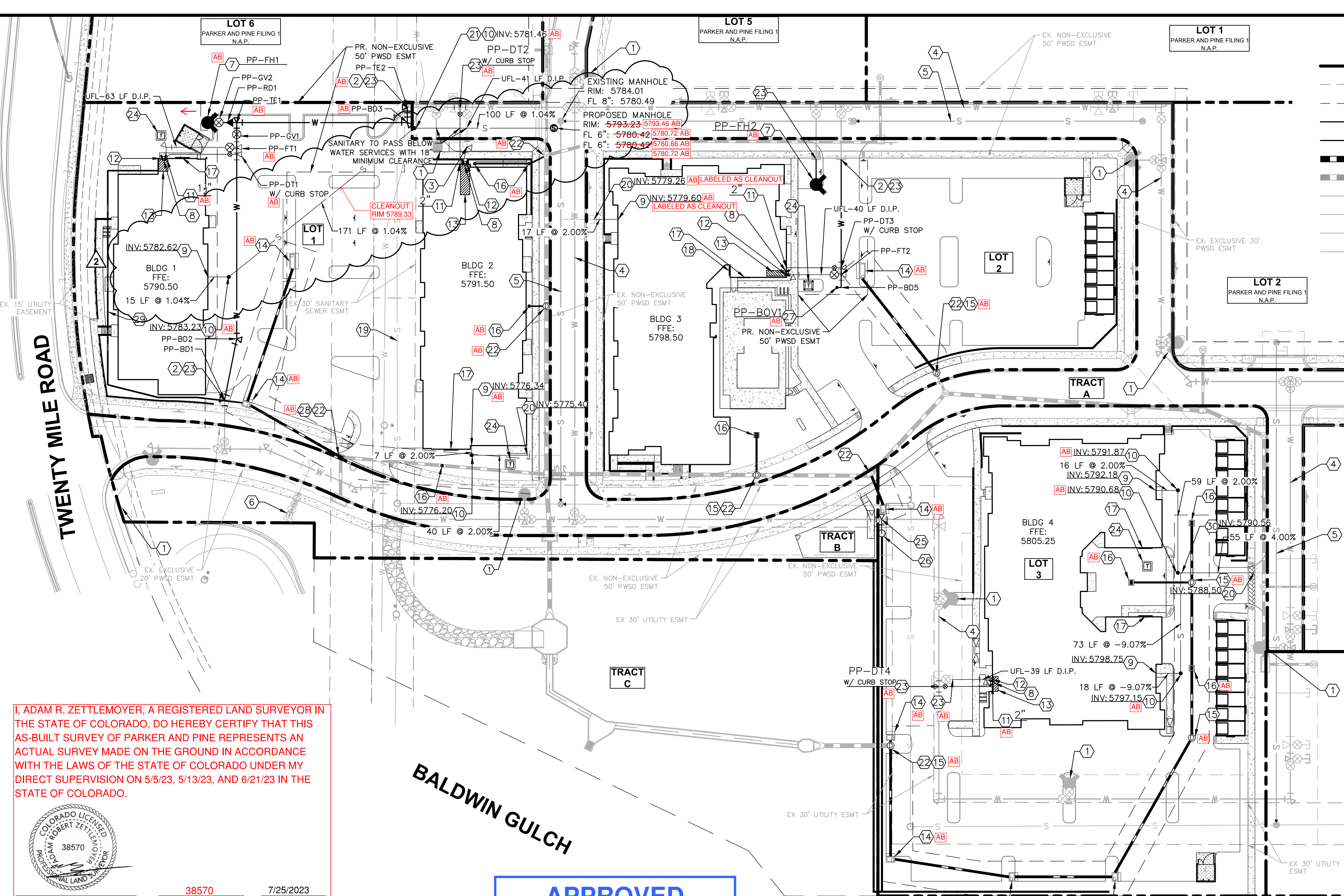
DESIGNED BY: DLS
DRAWN BY: JRK
CHECKED BY: DLS
DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY CONSTRUCTION DOCUMENTS
STORM - D PLAN & PROFILE AND OUTLET STRUCTURE REVISION

PROJECT NO. 096481002
DRAWING NAME 096481002CD_STM
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NO. REVISION BY DATE

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 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PROJECT AND SITE FOR WHICH IT WAS PREPARED. REUSE OF ANY PORTION OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



- ### SITE KEYNOTES
- 1 EXISTING FIRE HYDRANT
 - 2 EXISTING 8" STUB W/TEMP BLOW-OFF
 - 3 EXISTING 6" FIRE SERVICE W/TEMP BLOW-OFF
 - 4 EXISTING 8" WATER MAIN
 - 5 EXISTING 8" SEWER MAIN
 - 6 EXISTING 1.5" IRRIGATION METER
 - 7 PROPOSED FIRE HYDRANT WITH 6" GATE VALVE (D.I.P.)
 - 8 PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
 - 9 PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
 - 10 PROPOSED SANITARY SEWER CLEANOUT
 - 11 PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. WATER METER/TAP SIZE PER PLAN
 - 12 PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
 - 13 PROPOSED FIRE RISER ROOM
 - 14 PROPOSED CURB INLET
 - 15 PROPOSED STORM MANHOLE
 - 16 PROPOSED AREA INLET
 - 17 PROPOSED BUILDING ELECTRIC METER LOCATION
 - 18 PROPOSED BUILDING GAS METER LOCATION
 - 19 EXISTING PWSO 8" FORCE MAIN
 - 20 CONNECT TO EXISTING SANITARY SEWER STUB
 - 21 CONNECT TO EXISTING SANITARY SEWER MAIN PER PWSO STANDARDS.
 - 22 TIE INTO EXISTING STORM SEWER SYSTEM
 - 23 CONNECT TO EXISTING WATER MAIN PER PWSO STANDARDS
 - 24 PROPOSED TRANSFORMER LOCATION
 - 25 PROPOSED 1.5" IRRIGATION TAP
 - 26 PROPOSED IRRIGATION METER PIT
 - 27 PROPOSED WATER MAIN BLOW OFF VALVE PER PWSO STANDARDS
 - 28 PROPOSED VALLEY GUTTER INLET
 - 29 PROPOSED ROOF DRAIN
 - 30 PROPOSED 6" SANITARY SEWER WYE CONNECTION

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ADAM R. ZETZLEMOYER 38570 7/25/2023
 PLS LICENSE NO. DATE

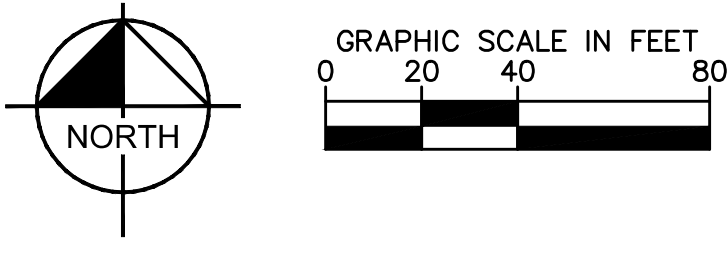
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DANIEL L. SKEEHAN 46391 7/26/2023
 PE LICENSE NO. DATE

APPROVED
 Mar 22 2022
**PARKER WATER AND
 SANITATION DISTRICT**

Robert Ramon



FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE _____ DATE _____

(NOTE - UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)



NO.	REVISION	BY	DATE	APPR.
1	SANITARY REVISION	JK	01.18.22	DS
2	SANITARY REVISION 2	MN	03.11.22	DS

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 OVERALL UTILITY PLAN

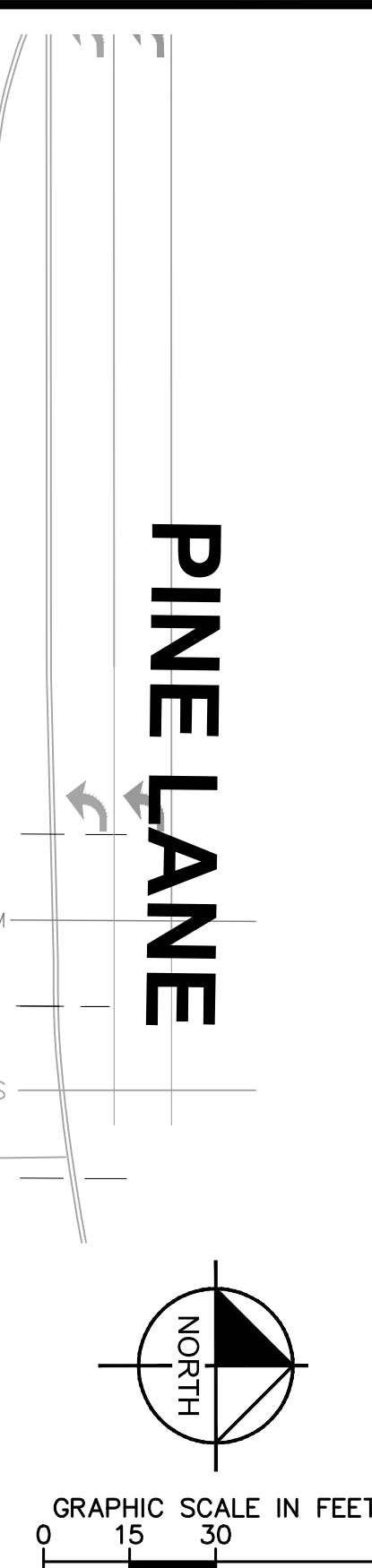
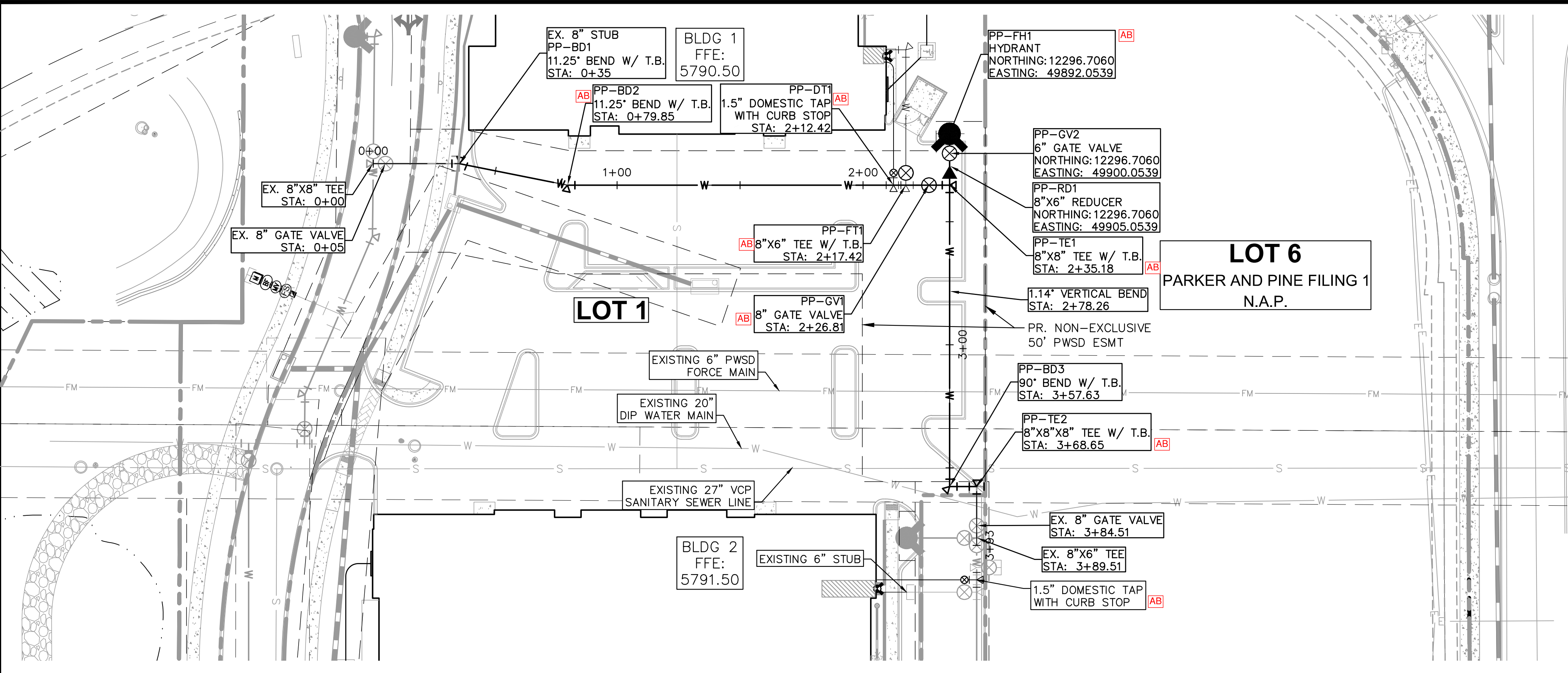


PROJECT NO.
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DRAWING NAME
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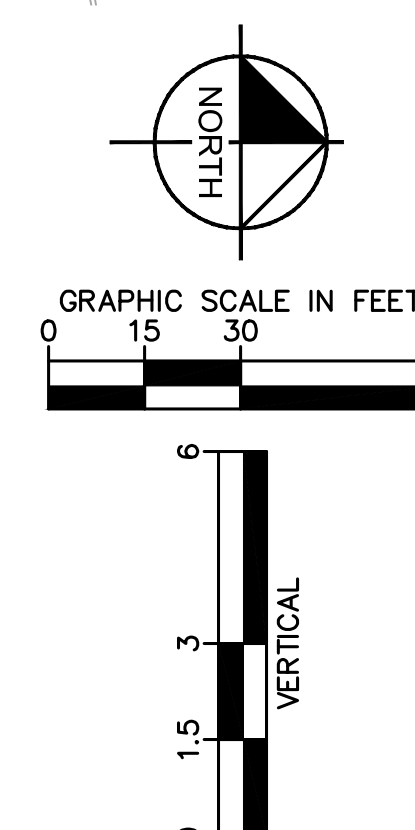
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- LEGEND**
- PROPERTY LINE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED STORM LINE

- WATER NOTES**
- CONTRACTOR TO POTHOLE EXISTING UTILITY LINES AT WATER LINE CROSSING AREAS PRIOR TO CONSTRUCTION.
 - WATER LINE CONNECTION ELEVATION TO EXISTING WATER MAINS IS APPROXIMATE. CONTRACTOR TO POTHOLE AND VERIFY TIE IN ELEVATION PRIOR TO CONSTRUCTION OF WATER MAIN.
 - CONTRACTOR TO MEET THE INSTALLATION REQUIREMENTS BY THE PARKER WATER AND SANITATION DISTRICT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 - 24 UNIT BUILDINGS (BUILDINGS 1-7) SHALL PROVIDE INTERNAL BACKFLOW PREVENTER AND EXTERNAL 2" DOMESTIC METER.
 - 36 UNIT (BUILDING 8) SHALL PROVIDE INTERNAL BACK FLOW PREVENTERS AND 1-1/2" DOMESTIC METER.
 - VERTICAL BENDS AND DEFLECTIONS MAYBE UTILIZED TO PROVIDE VERTICAL CHANGES IN ACCORDANCE WITH PWSD STANDARDS AS NEEDED.
 - AT ALL POTABLE WATER MAIN AND SANITARY SEWER CROSSINGS WHERE THE PROPOSED SANITARY SEWER LINE LIES ABOVE THE PROPOSED WATER MAIN OR WITHIN 18" BELOW THE WATER MAIN, A CONCRETE ENCASEMENT IS TO BE PROVIDED ALONG THE SANITARY SEWER PIPE FOR 10 FT ON EITHER SIDE OF THE CROSSING. CONCRETE ENCASEMENT TO BE PROVIDED PER THE PWSD SECTION 9.3.2.
 - AT ALL STORM SEWER AND SANITARY SEWER CROSSINGS WHERE THE PROPOSED SANITARY SEWER LINE LIES ABOVE THE PROPOSED STORM SEWER OR WITHIN 18" BELOW THE STORM SEWER, A CONCRETE ENCASEMENT IS TO BE PROVIDED ALONG THE SANITARY SEWER PIPE FOR 10 FT ON EITHER SIDE OF THE CROSSING. CONCRETE ENCASEMENT TO BE PROVIDED PER THE PWSD SECTION 9.3.2.
 - ALL WATER LINES SHALL BE INSTALLED AT LEAST 4.5 FEET BELOW THE OFFICIAL STREET GRADE AND IN ALL OTHER PLACES AT LEAST 4.5 FEET BELOW THE SURFACE OF THE GROUND.
 - ALL FIRE HYDRANT AND UNDERGROUND FIRE LINES ARE TO BE DUCTILE IRON PIPE PER PWSD STANDARD SPECIFICATIONS AND DETAILS.



I, ADAM R. ZETZLEMOYER, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS AS-BUILT SURVEY OF PARKER AND PINE REPRESENTS AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAWS OF THE STATE OF COLORADO UNDER MY DIRECT SUPERVISION ON 5/5/23, 5/13/23, AND 6/21/23 IN THE STATE OF COLORADO.

ADAM R. ZETZLEMOYER 38570 7/25/2023
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DANIEL L. SKEEHAN 46391 7/26/2023
 PE LICENSE NO. DATE

APPROVED
 Sep 01 2021
PARKER WATER AND SANITATION DISTRICT

NO.	REVISION	BY	DATE

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
WATER PLAN AND PROFILE

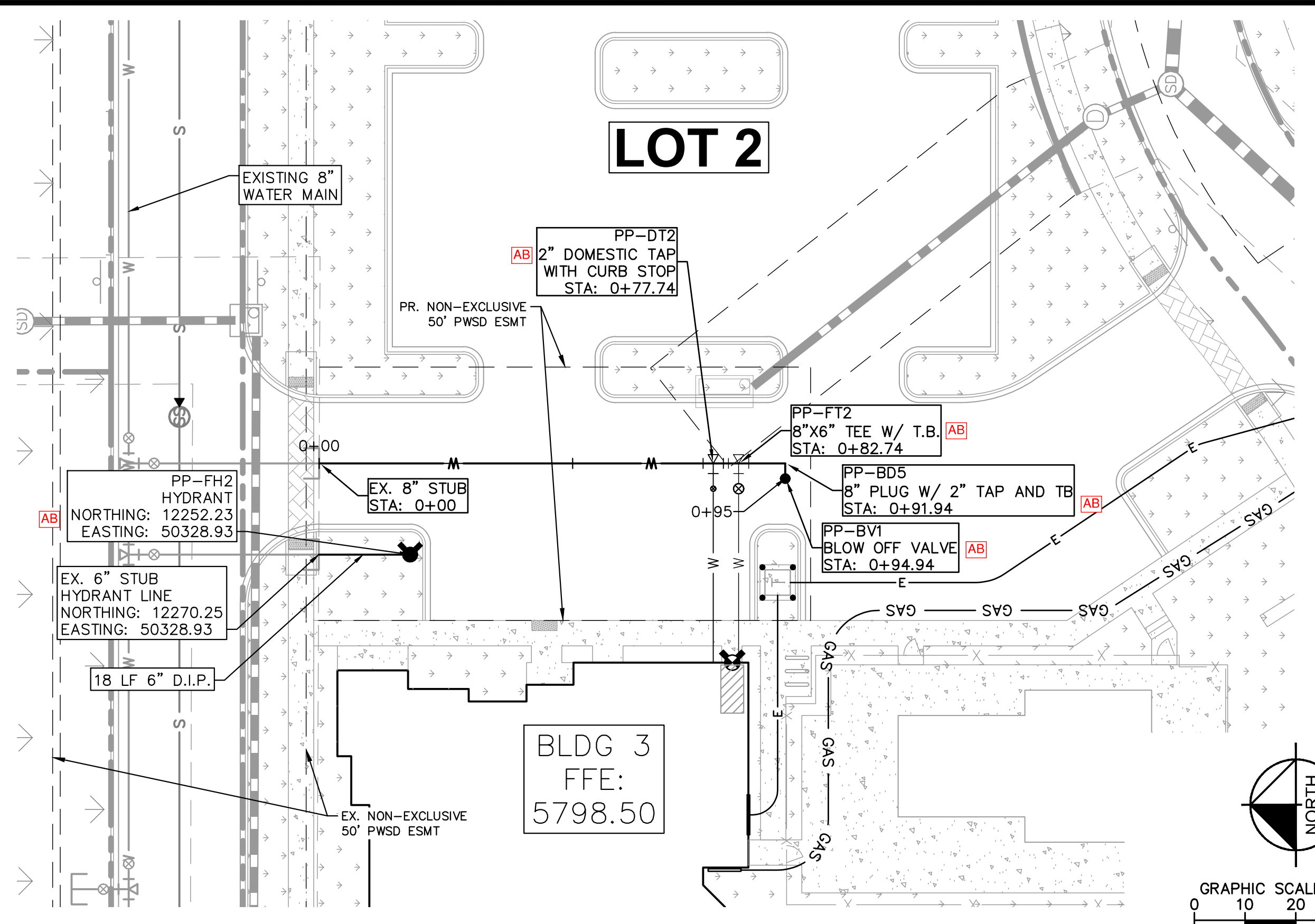
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 096481002

DRAWING NAME
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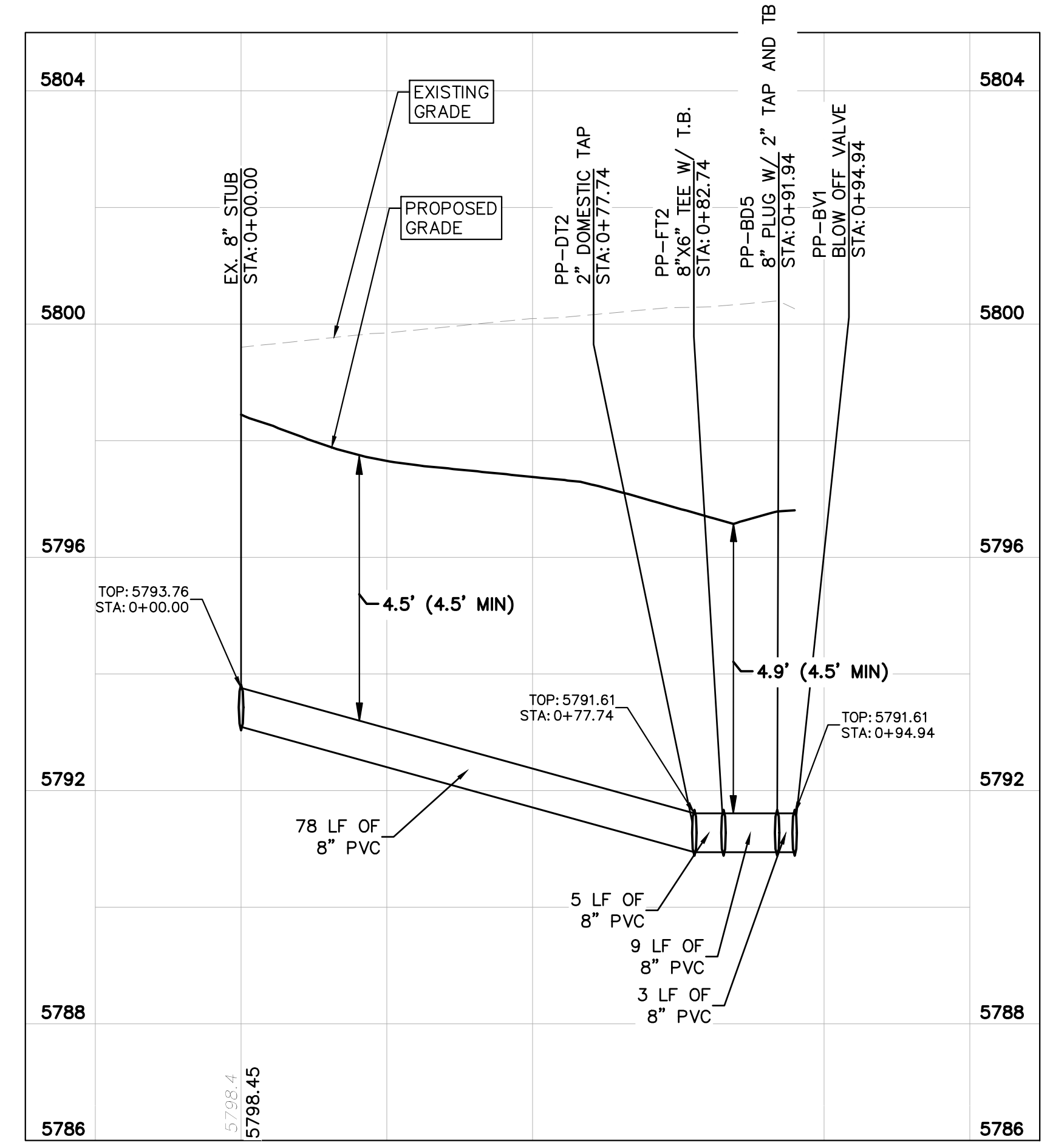


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- LEGEND**
- PROPERTY LINE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER
 - PROPOSED WATER LINE
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 - AT ALL STORM SEWER AND SANITARY SEWER CROSSINGS WHERE THE PROPOSED SANITARY SEWER LINE LIES ABOVE THE PROPOSED STORM SEWER OR WITHIN 18" BELOW THE STORM SEWER, A CONCRETE ENCASEMENT IS TO BE PROVIDED ALONG THE SANITARY SEWER PIPE FOR 10 FT ON EITHER SIDE OF THE CROSSING. CONCRETE ENCASEMENT TO BE PROVIDED PER THE PWSD SECTION 9.3.2.
 - ALL WATER LINES SHALL BE INSTALLED AT LEAST 4.5 FEET BELOW THE OFFICIAL STREET GRADE AND IN ALL OTHER PLACES AT LEAST 4.5 FEET BELOW THE SURFACE OF THE GROUND.
 - ALL FIRE HYDRANT AND UNDERGROUND FIRE LINES ARE TO BE DUCTILE IRON PIPE PER PWSD STANDARD SPECIFICATIONS AND DETAILS.



APPROVED
 Sep 01 2021
**PARKER WATER AND
 SANITATION DISTRICT**

I, ADAM R. ZETTMLOYER, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS AS-BUILT SURVEY OF PARKER AND PINE REPRESENTS AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAWS OF THE STATE OF COLORADO UNDER MY DIRECT SUPERVISION ON 5/5/23, 5/13/23, AND 6/21/23 IN THE STATE OF COLORADO.

ADAM R. ZETTMLOYER 38570 7/25/2023
 PLS LICENSE NO. DATE

I, DANIEL L. SKEEHAN, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SITE IMPROVEMENTS WERE OBSERVED AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND OPINION, THE SITE IMPROVEMENTS WERE CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED CONSTRUCTION DRAWINGS.

DANIEL L. SKEEHAN 46391 7/26/2023
 PE LICENSE NO. DATE

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
WATER PLAN AND PROFILE

PROJECT NO.
 096481002
 DRAWING NAME
 096481002CD_WT

C7.4