



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Dan Skeehan, Kimley Horn
FROM: Stacey Nerger, Senior Planner
DATE: November 9, 2020
SUBJECT: Parker and Pine Filing No. 2 Lots 1 – 3 – Site Plan
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: snerger@parkeronline.org
PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

General Comments

- 1. Please reference the redlines for additional comments/clarification.**

Comment Addressed: Yes No

Response:

- 2. Please change the title on all pages to be the legal description (once the proposed Replat is recorded). See redlines for wording.**

Comment Addressed: Yes No

Response:

- 3. Please add the setbacks from all roadways (internal and public) to page 3 of the Site Plan set.**

Comment Addressed: Yes No

Response:

- 4. Please add the heights of each building to the elevations page. This should include the elevations of all sides of the building.**

Comment Addressed: Yes No

Response:

- 5. Per the Town of Parker Multiple-Family Design Standards the proposed multiple-family development is required to meet the Double-Aspect/Corridor Block layout. There are several criteria for placement of buildings and orientation. Below are several criteria that are outlined within these standards:**

- a. "Parking lots, garages, and service shall be located in the interior of the block, an adequate distance away from the rear of buildings."
- b. "Double-aspect and corridor buildings (where units face both front and back) shall select one side of the building and designate it as the front. Building fronts shall orient to the perimeter of blocks."
- c. "In the case that multiple-family buildings are sited adjacent to public open space, the buildings shall front the open space."

Please evaluate the layout of buildings 3 and 4. These building may need to be shifted on the

property to meet the intent of these standards. I have included an option for moving these buildings to create the block and meet the intent of the open space orientation. This is only a recommendation. We can talk through this in more detail.

Comment Addressed: Yes No

Response:

- 6. Per the Town of Parker Multiple-Family Design Standards, Multiple-Family structures are required to be setback minimum distances to allow for adequate buffering and landscaping. Below are the different setback/buffering requirements to be satisfied:**
- a. "Multiple-family buildings shall front arterials and shall have a minimum 25-foot landscape buffer from the right-of-way (ROW) (see Figure 2.30)."**
 - b. "Multiple-family buildings shall front internal streets and shall have a minimum of 20 feet landscape buffer from the right-of-way between the private and public realm."**
 - c. "Multiple-family buildings adjacent to the rear of commercial buildings shall have a 25-foot landscape buffer from the rear property line of the commercial building (see Figure 2.36)."**
 - d. "A landscape buffer of a minimum of 20 feet shall be provided where multiple-family parcels abut a public open space."**

Please ensure that the above standards are satisfied for each building.

Comment Addressed: Yes No

Response:

- 7. Per the Town of Parker Multiple-Family Design Standards, "Retaining walls shall be limited to 4 feet in height and made of stone or split face masonry material that matches or is complimentary to the architecture of the buildings." In addition, "Where multiple retaining walls are required they shall be terraced with a minimum width of 5 feet of live landscaping and a maximum of 6 inches of sloped vertical elevation change on the terrace area between the walls. Refer to LDO Section 13.10.100 for specific requirements. (See Figure 2.54)." Please revise the retaining wall layout to ensure no wall exceeds 4 feet in height. In addition, please include an image of the retaining walls to be reviewed.**

Comment Addressed: Yes No

Response:

Parking

- 1. Please include additional information on page 1 for the breakdown of parking required and provided on each lot. This should include surface parking spaces, attached garage spaces and detached garage spaces. Each property should meet the minimum parking requirements for the units to be constructed on that property. If the minimums are not satisfied, please explain. Parking for building one should not be located on Lot 3.**

Comment Addressed: Yes No

Response:

- 2. Please include bicycle parking (bike racks) at the main entrance to all buildings. Please add one to building 1. If changes are made to the bike racks, please remember to update the elevations/images of the bike racks along with material and color.**

Comment Addressed: Yes No

Response:

Landscaping

- 1. Please add the full set of landscape plans into the Site Plan set.**

Comment Addressed: Yes No

Response:

- 2. Please provide a table that breaks down the required open space/landscaping requirements. An example could look like the following:**

SITE DATA TABLE						
Site Data	Actual SF	Min Area SF Required	% Required	% Max	% Provided	CY Compost Req'd @ 3/1000 SF
Gross Site Area:	481,991	N.A.	N.A.	N.A.	100%	N.A.
Building Coverage:	106,683	N.A.	N.A.	N.A.	22%	N.A.
Hard Surface Area:	193,494	N.A.	N.A.	N.A.	40%	N.A.
Total Landscaped Area (Excluding R.O.W.)	181,814	168,697	35%	N.A.	38%	See below
Landscaped Area (Shrubs, Perennials, Ornamental Grasses)	104,985	N.A.	N.A.	N.A.	N.A.	See below
Irrigated Sod (Excluding R.O.W.)	16,864	N.A.	N.A.	N.A.	9%	See below
Native Grass - Detention & Channel (temp-Irrigated)	57,458					143
Playground area	2,507	N.A.	N.A.	N.A.	N.A.	N.A.
Pool Area	6,364	N.A.	N.A.	N.A.	N.A.	N.A.
Permanently Irrigated Landscape (Including R.O.W.)	134,239	N.A.	N.A.	N.A.	N.A.	403
Irrigated Sod (R.O.W.)	7,059	N.A.	N.A.	N.A.		
Landscaped Area (R.O.W.) (Shrubs, Perennials, Ornamental Grasses)	5,331	N.A.	N.A.	N.A.	N.A.	N.A.
TOTAL CY OF COMPOST:						546

You should include the proposed landscaping areas along with the pool, dog park, and any other amenities included on the site. If you do not meet the minimum 45%, we had discussed including the amenities along the Trail. I will need to see an exhibit that outlines which areas you are including in your numbers. The entire trail cannot count.

Comment Addressed: Yes No

Response:

3. Please expand the required and provided landscape table to be more explanatory. Stating the minimum requirements or met does not demonstrate how. Please include more information. A table similar to below would be sufficient:

LANDSCAPE REQUIREMENTS																		
Description	Parking Lot SF	Min. 10% SF Landscaped	Min. 35% SF Landscaped	Square Foot Landscaped	Trees Required 1/1500 SF	Trees Required 1 per 162 SF	Linear Feet	1 Tree per 40 LF	Mitigation Trees Req'd	Trees Provided	Shrubs Required 5/1500 SF	Shrubs Required 5/40 LF	Shrubs Required Qty of Islands X 5+ (SF-Qty of Islands X 162)/15	Shrubs Provided	Ten (10) shrubs substituted for one (1)	Ornamental Grasses Provided	Perennials Provided	
ROW (J Morgan Blvd)	N.A.	N.A.	N.A.	12,390	N.A.	N.A.	483	12	0	13	N.A.	N.A.	N.A.	196		40	95	
Streetscape (Ironstone Way Private Drive)	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	314	8	0	7	N.A.	N.A.	N.A.	75		44	34	
Parking lot interior Islands	106,389	10,639	N.A.	11,275	N.A.	38	N.A.	N.A.	0	38	N.A.	N.A.	515	515	0	0	0	
Min. Site Stds* Site Perimeter (South)	N.A.	N.A.	168,697	170,539	112	N.A.	N.A.	N.A.	0	83	562	N.A.	N.A.	1,773	121	545	574	
Remove Ex. Tree									4									
TOTAL TREES REQUIRED:										166								
SUBTOTAL TREES PROVIDED											134							
ADDITIONAL TREE PROVIDED BY SHRUB & ORNAMENTAL GRASS SUBSTITUTION											121							
TOTAL TREES PROVIDED											255							
TOTAL SHRUBS REQUIRED:												1,077						
TOTAL SHRUBS PROVIDED:													2,484					
Detention & Drainage Easement SF =				57,458	38	Trees are required but cannot be planted in Detention 100 yr areas or the Drainage Easement												

Comment Addressed: Yes No

Response:

- 4. The Town has agreed to allow a portion of the detention pond tract be used to meet the minimum open space/landscaping requirement. Please include an exhibit for which portions of this tract are included within the open space/landscaping calculation.**

Comment Addressed: Yes No

Response:

- 5. In addition, the detention pond tract area to be counted was only permitted if the area was activated. Please see the redlines for additional amenities that could be added to activate this space.**

Comment Addressed: Yes No

Response:

- 6. Per Section 13.06.070 l. (3) a. of the Parker Land Development Ordinance states that 60% of the total landscaped area must be used for passive and/or active recreation. The remaining 40% of the landscaped area can be used to fulfill other landscaping requirements. Please add a table identifying the landscaping that will be used for active and/or passive recreation and the landscaping that will be used for other.**

Comment Addressed: Yes No

Response:

- 7. Per Section 13.06.070 n. Parking lot perimeter landscaping is required for all parking areas that contain 5 or more parking spaces. Parking lots adjacent to a public or private roadway shall provide a buffer a minimum of 10 feet in width measured from the back of the sidewalk or curb, whichever is greater. In addition, this area is required to be planted with trees, shrubs and ornamental grasses to shield headlights from going onto the adjacent roadways. Please provide distances in all areas to demonstrate that this requirement is satisfied along with a detailed plan showing the numbers and types of additional landscaping to be installed.**

Comment Addressed: Yes No

Response:

- 8. Per Section 13.06.070 o. Parking lot interior landscaping (landscape islands) is required for all multi-family development requiring more than 20 parking spaces. A minimum of 10% of the parking lot area shall be provided as parking lot interior landscaping to include 1 tree and 5 shrubs per 162 square feet. Please provide a table stating the amount of parking lot interior landscaping with the number of trees and shrubs.**

Comment Addressed: Yes No

Response:

- 9. Please add a note to the landscape plans for the type of ground cover (rock, mulch) that will be added to the landscaped areas in the landscape islands, in front of the buildings, etc.**

Comment Addressed: Yes No

Response:

- 10. Please add the Town of Parker Standard Planting Notes as outlined within the Construction Specifications and Design Considerations for Parks, Trails and Streetscape on pages 10 - 13.**

Comment Addressed: Yes No

Response:

- 11. Please verify the numbers listed within the landscape requirement table to ensure the numbers listed as provided are correct.**

Comment Addressed: Yes No

Response:

- 12. Per the Town of Parker Multiple-Family Design Standards, "Private parking lots abutting public open space and trails shall not be allowed unless they are 25 feet from the property edge and screened by a minimum 3-foot tall landscape hedge or masonry wall matching the character of**

the adjacent architecture. An exception may be per-mitted by the Planning Director if the proposed private parking lot provides public parking spaces. In this case, the public parking spaces may be allowed within the 25-foot buffer zone."

Comment Addressed: Yes No

Response:

13. Please provide an irrigation plan. This needs to be reviewed by the Parker Water and Sanitation District.

Comment Addressed: Yes No

Response:

Lighting

1. Please include the color of each luminaire within the lighting table. The color should be consistent throughout the site.

Comment Addressed: Yes No

Response:

**2. Please include a uniformity ratio table as required within section 13.10.140. Per Section 13.10.140 of the Parker Land Development Ordinance the following ratios are required:
Walkways: Average to Minimum Luminance ration shall be 3:1 and the Maximum to Minimum Luminance Ratio shall be 6:1.
Parking Lots: Average to Minimum Luminance ration shall be 4:1 and the Maximum to Minimum Luminance Ratio shall be 6:1.**

Comment Addressed: Yes No

Response:

3. Please include cut sheets for each light fixture.

Comment Addressed: Yes No

Response:

Building Elevations

1. Please include the height measurements for each building to demonstrate that the proposed structures are under the allowed height limit.

Comment Addressed: Yes No

Response:

4. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Accessory Buildings/Structures “Minimize the visibility of Functional Buildings through appropriate siting in the center of blocks. b. If Functional Buildings are visible from streets or open spaces and are not obscured by other multiple-family buildings, they shall be screened by adequate landscaping, walls, or fencing, according to the standards in 2.4.9.A Screening.” Please ensure that there is adequate landscaping to meet the intent of this standard for all garage structures located on the exterior of the blocks.

Comment Addressed: Yes No

Response:

5. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Amenity Buildings; “Design Amenity Buildings that have high-quality building elements to connect to the public realm and create an approachable, human scale.” Please ensure any amenity buildings, pool house, clubhouse, recreational buildings, meet the same materials and intent as the rest of the buildings.

Comment Addressed: Yes No

Response:

6. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Building Design Variety; You are required to have a minimum of two (2) different design variations (buildings) for the development. There is not enough design variation to differentiate buildings 1 – 3 from each other.

Comment Addressed: Yes No

Response:

- 7. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Building Design Variety; “For developments with more than two buildings, buildings sited next to one another in the same orientation must have different Elevation Design Variations.” Although you are only required to have two separate design variations, buildings 1 – 3 are located next to each other. Please change building 2 to meet the minimum intent of this section.**

Comment Addressed: Yes No

Response:

- 8. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Building Form and Massing; “Building proportions shall have a distinguishable top, middle, and base.” Or the building can be broken down vertically with vertical plane breaks the widths a maximum of 4 units or 90 feet, whichever is less. The buildings are closer to a vertical massing, but please evaluate the maximum width allowed for breaks.**

Comment Addressed: Yes No

Response:

- 9. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Building Composition; “A. Bays**

Standards:

- 1. Bays must be expressed on front and side elevations by doing two of the following:**

- a. Ensuring that centerlines of openings are stacked vertically and visibly express load-bearing members in between openings;
- b. Breaking the horizontal or vertical massing up with a recess, projection, or a change of plane to break the roof form or add forward-facing gables; or
- c. Designing building elements (porches, balconies, dormers, or others) in clear vertical alignment.”

Please ensure that each building has two of the above. One is satisfied on all buildings, but there needs to be two.

Comment Addressed: Yes No

Response:

10. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Openings/Fenestration; “Ground Floor transparency should be a minimum of 25%, measured as a percentage of glazing in the base of the building. Upper floor transparency should be a minimum of 15%...” Please provide a breakdown of each building and how this is satisfied.

Comment Addressed: Yes No

Response:

11. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Building Form and Massing; “The main entrance of every building shall be articulated architecturally, with the addition of Building Elements (see Page 2 – 58) Inventory of Building Elements.” Please articulate the entrances to all buildings to meet this standard.

Comment Addressed: Yes No

Response:

12. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Building Form and Massing; “For Walk-up Multiple-Family Buildings (Single and Double-Aspect), Corridor Buildings, Liner and Texas Wrap Buildings, entry shall be required every 70 feet at a maximum.” Please include a distance between each entrance to ensure this standard is satisfied.

Comment Addressed: Yes No

Response:

13. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Exterior Building Palettes; “Upper floors are encouraged to be built in masonry as a primary material. Select bays or corner features may be appropriate to be constructed in masonry (natural stone or brick with mortar) for the entire height of the building, depending on the building design.” Please redlines for additional locations for stone.

Comment Addressed: Yes No

Response:

14. Please submit a materials board for review with this application.

Comment Addressed: Yes No

Response:

15. All mechanical equipment is required to be screened from view. Please ensure that all mechanical equipment will be screened from view by either a wall or landscaping.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Fire Life Safety
- IREA
- Parker Water and Sanitation
- Town of Parker – Civil (Construction Plans)
- Town of Parker – Civil (Drainage Report)
- Town of Parker – Civil (Site Plan)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Stormwater (Drainage Report)
- Town of Parker – Environmental (Construction Plans)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date

PARKER AND PINE MULTI-FAMILY SITE PLAN

Please change the title on all pages to the following:
Parker and Pine Filing No. 2 Lots 1 - 3
Multi-Family Site Plan

PARKER AND PINE FILING 2

A REPLAT OF TRACT A, PARKER AND PINE FILING 1 AND TRACT C, PARKER AUTO PLAZA FILING NO. 1 SITUATED IN THE SE 1/4 OF SECTION 9 AND THE SW 1/4 OF SECTION 10, T.6S., R.66W. OF THE 6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Update the legal description to the legal for the property after the current Replat is recorded. The Replat is required to be recorded prior to approval of this Site Plan.

LEGAL DESCRIPTION

TRACT C, PARKER AUTO PLAZA FILING NO. 1 AND TRACT A, PARKER AND PINE FILING 1, SITUATED IN THE SOUTHEAST 1/4 OF SECTION 9 AND THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N00°17'51"E AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO. 1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SITE DATA TABLE

PARCEL	LOT/TRACT GROSS AREA (AC)	LOT/TRACT GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 MAX)	ANTICIPATED USE	PARKING		MAX. BUILDING HEIGHT	MIN. BUILDING SETBACKS (FT)	LOT WIDTH (FT)	
						REQUIRED	PROVIDED			REQUIRED	PROVIDED
LOT 1	1.91	83,189	24,101	0.29	MULTI-FAMILY			60*	10'	120	206
LOT 2	1.90	82,932	18,116	0.22	MULTI-FAMILY	281	283	60'	10'	120	166
LOT 3	2.22	96,878	21,646	0.22	MULTI-FAMILY			60'	10'	120	279
TRACT A	1.59	69,434	N/A	N/A	ROADWAY	N/A	N/A	N/A	N/A	N/A	N/A
TRACT B	0.39	17,103	N/A	N/A	LANDSCAPE	N/A	N/A	N/A	N/A	N/A	N/A
TRACT C	1.47	64,000	N/A	N/A	DETENTION	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL	9.49	413,536	63,863	0.15		281	283				

NOTES: *MAXIMUM 3-STORIES ADJACENT TO TWENTY MILE ROAD

	DWELLING UNIT PARKING COUNT MATRIX			
	1 BEDROOM	2 BEDROOM	3 BEDROOM	TOTAL
BUILDING 1	6	14	0	20
BUILDING 2	8	31	0	39
BUILDING 3	16	22	10	48
BUILDING 4	28	21	14	63
REQUIRED PARKING RATIO (STALLS/UNIT)	1	1.5	2	0.25
REQUIRED PARKING STALLS	58	132	48	238

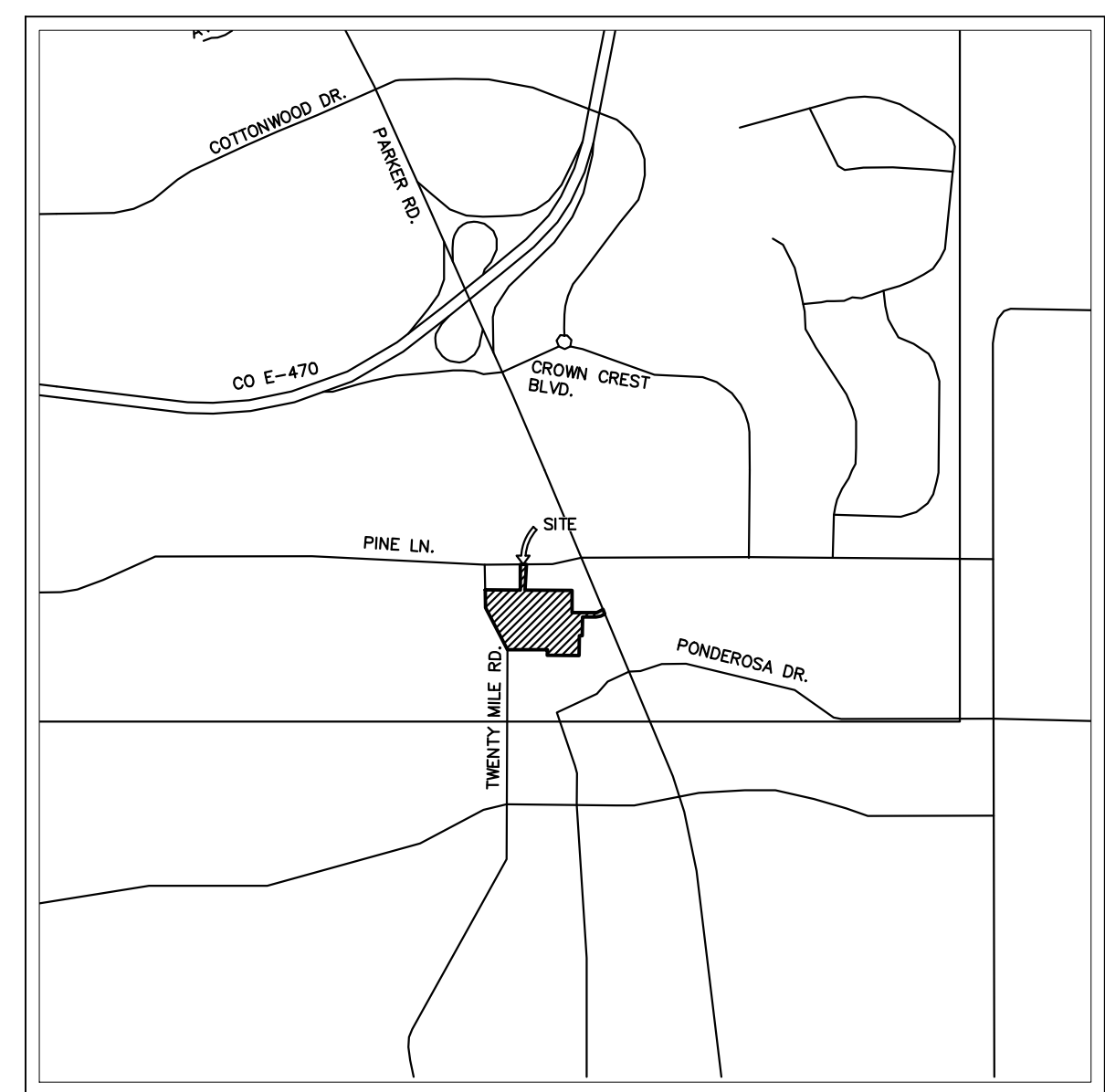
After Building 4 - Please add a row for totals.

Please include a section for what is being provided, surface, attached garage and detached garage. If each lot does not meet the minimum parking requirements for the buildings, please explain why?

For setbacks either include the proposed from all public and internal streets or remove.

Also include proposed.

This information can be removed as the lot widths will be determined at the time of Replat and not Site Plan. This should be replaced with landscaping/open space requirements and Parks requirements.



VICINITY MAP
1"=2,000'

SHEET INDEX

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11 OF 13	ARCHITECTURAL ELEVATIONS
12 OF 13	ARCHITECTURAL ELEVATIONS
13 OF 13	ARCHITECTURAL ELEVATIONS

This information is not needed on the Site Plan set. This will be required on the Civil CD's.

CONTACTS:

DEVELOPER:
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD. SUITE 107
GREENWOOD, IN 46143
TEL: (317) 886-7926
CONTACT: KARL STOUT

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2318
CONTACT: DAN SKEEHAN

LANDSCAPE ARCHITECT:
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD. SUITE 107
GREENWOOD, IN 46143
TEL: (463) 444-7039
CONTACT: NICK SMITH

TELEPHONE:
CENTURYLINK
1801 CALIFORNIA STREET, SUITE 240
DENVER, CO 80202
CONTACT: IZZY MILLER
EMAIL: IZZY.MILLER@CENTURYLINK.COM

GAS SERVICE:
XCEL ENERGY
1800 LARIMER STREET
DENVER, CO 80202
CONTACT: RON JOHNSON
EMAIL: RON.H.JOHNSON@XCELENERGY.COM

TOWN OF PARKER:
TOWN OF PARKER
20120 EAST MAINSTREET
PARKER, CO 80138-7334
TEL: (303) 805-3199
CONTACT: STACEY NERGER

ELECTRICAL SERVICE:
IREA
5496 US HWY 85
SEDALIA, CO 80135
TEL: (303) 688-7431
CONTACT: AMANDA STEINER

ARCHITECT:
SEBREE ARCHITECTS, INC.
97 DOVER ST. SUITE 400
AVON, IN 46123
TEL: 317-272-7800 EXT. 224
CONTACT: DAWN LAYTON

SURVEYOR:
ENGINEERING SERVICE COMPANY
1300 SOUTH POTOMAC ST. SUITE 126
AURORA, CO 80012
TEL: 303-337-1393
CONTACT: CHARLES BECKSTROM, PLS

TELEVISION:
COMCAST
1601 MILE HIGH STADIUM CIRCLE
DENVER, CO 80204
CONTACT: DEAN FLENTHOPE
EMAIL: DEAN_FLENTHOPE@CABLE.COMCAST.COM

WATER/SANITARY SEWER:
PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN ROAD
PARKER, CO 80134
TEL: 303-841-4627
CONTACT: ABBY HILDEBRANDT

FIRE DEPARTMENT:
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

TOWN OF PARKER PLAN REVIEW:
20120 E. MAINSTREET
PARKER, CO 80138
TEL: (303) 805-3174
CONTACT: BRYCE MATTHEWS

FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE DATE

(NOTE - UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)

NO.	REVISION	BY	DATE

Kimley-Horn
2020 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
DRAWN BY: JRK
CHECKED BY: DLS
DATE: 08/25/20

PARKER AND PINE MULTI-FAMILY
PARKER, CO
SITE PLAN
COVER SHEET

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley-Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096481002

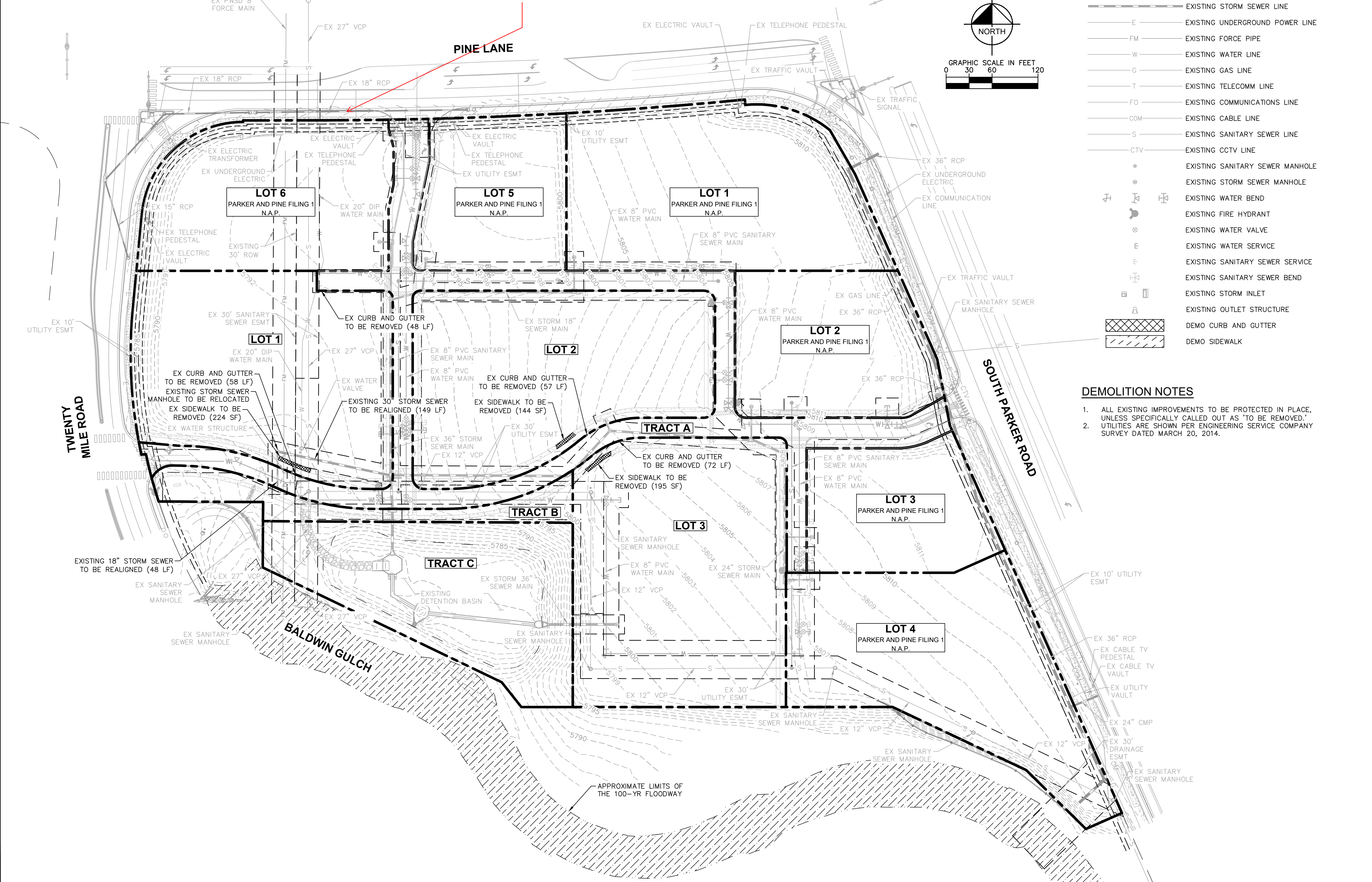
DRAWING NAME
096481002PSP_CV

01 OF 13

K:\DENV_Civil\096481002_Parker & Pine_MF_Card_Plan_Sheets\096481002PSP_CV.dwg - K:\DENV_Civil\096481002_Parker & Pine_MF_Card_Plan_Sheets\096481002PSP_CV.dwg - 10/18/2016 10:57 AM - THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE PROJECT, PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. RELEASE OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

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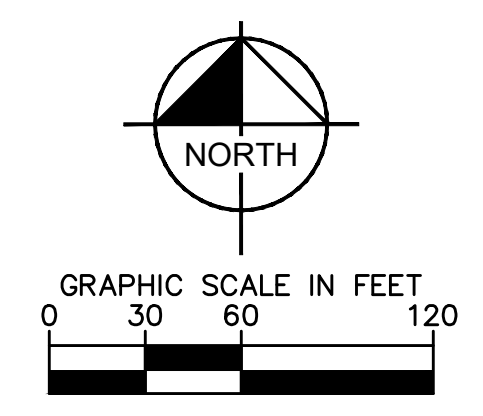
Please show only what is proposed to be built on as part of this Site Plan. Including all of the commercial lots makes this hard to read.



LEGEND

- — — — — EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- — — — — EXISTING STORM SEWER LINE
- — — — — EXISTING UNDERGROUND POWER LINE
- — — — — EXISTING FORCE PIPE
- — — — — EXISTING WATER LINE
- — — — — EXISTING GAS LINE
- — — — — EXISTING TELECOMM LINE
- — — — — EXISTING COMMUNICATIONS LINE
- — — — — EXISTING CABLE LINE
- — — — — EXISTING SANITARY SEWER LINE
- — — — — EXISTING CCTV LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- ⊕ EXISTING WATER BEND
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER SERVICE
- ⊕ EXISTING SANITARY SEWER SERVICE
- ⊕ EXISTING SANITARY SEWER BEND
- ⊕ EXISTING STORM INLET
- ⊕ EXISTING OUTLET STRUCTURE
- ▨ DEMO CURB AND GUTTER
- ▨ DEMO SIDEWALK

- DEMOLITION NOTES**
1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.



NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/25/20

PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
 EXISTING CONDITIONS AND DEMO PLAN

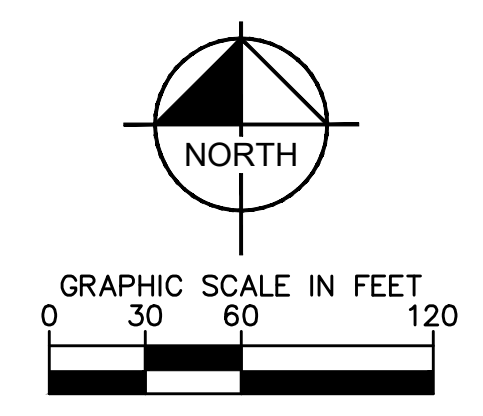
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PROJECT NO.
096481002

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096481002PSP_DM

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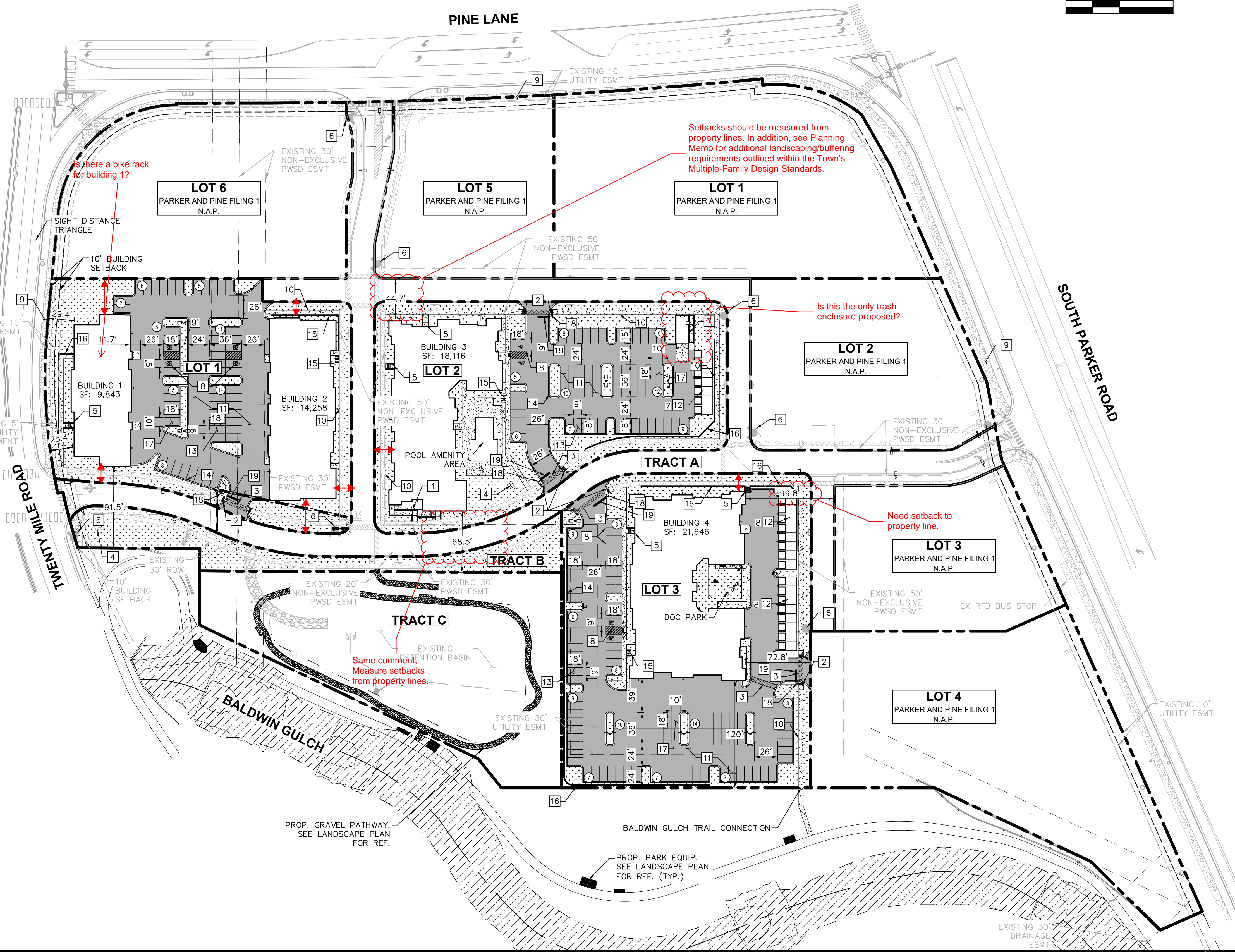
Please add setback information for these places. Setbacks should be measured from property lines.
In addition, see Planning Memo for additional landscaping/buffering requirements outlined within the Town's Multiple-Family Design Standards.



LEGEND	
	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	COLORED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
 - PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
 - PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
 - PROPOSED MONUMENT SIGN.
 - PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
 - EXISTING FIRE HYDRANT.
 - PROPOSED TRASH ENCLOSURE.
 - PROPOSED ADA PARKING STALLS.
 - EXISTING 8' CONCRETE SIDEWALK.
 - PROPOSED 5' CONCRETE SIDEWALK.
 - PROPOSED STANDARD DUTY ASPHALT PAVING.
 - DETACHED GARAGE. PARKING COUNT PER PLAN.
 - PROPOSED STANDARD 9'X18' PARKING STALL
 - PROPOSED STANDARD CURB AND GUTTER
 - PROPOSED 6 STALL BICYCLE PARKING
 - PROPOSED RETAINING WALL
 - PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
 - PROPOSED STOP SIGN R-1
 - PROPOSED STOP BAR

- NOTES:**
- ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 - LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.



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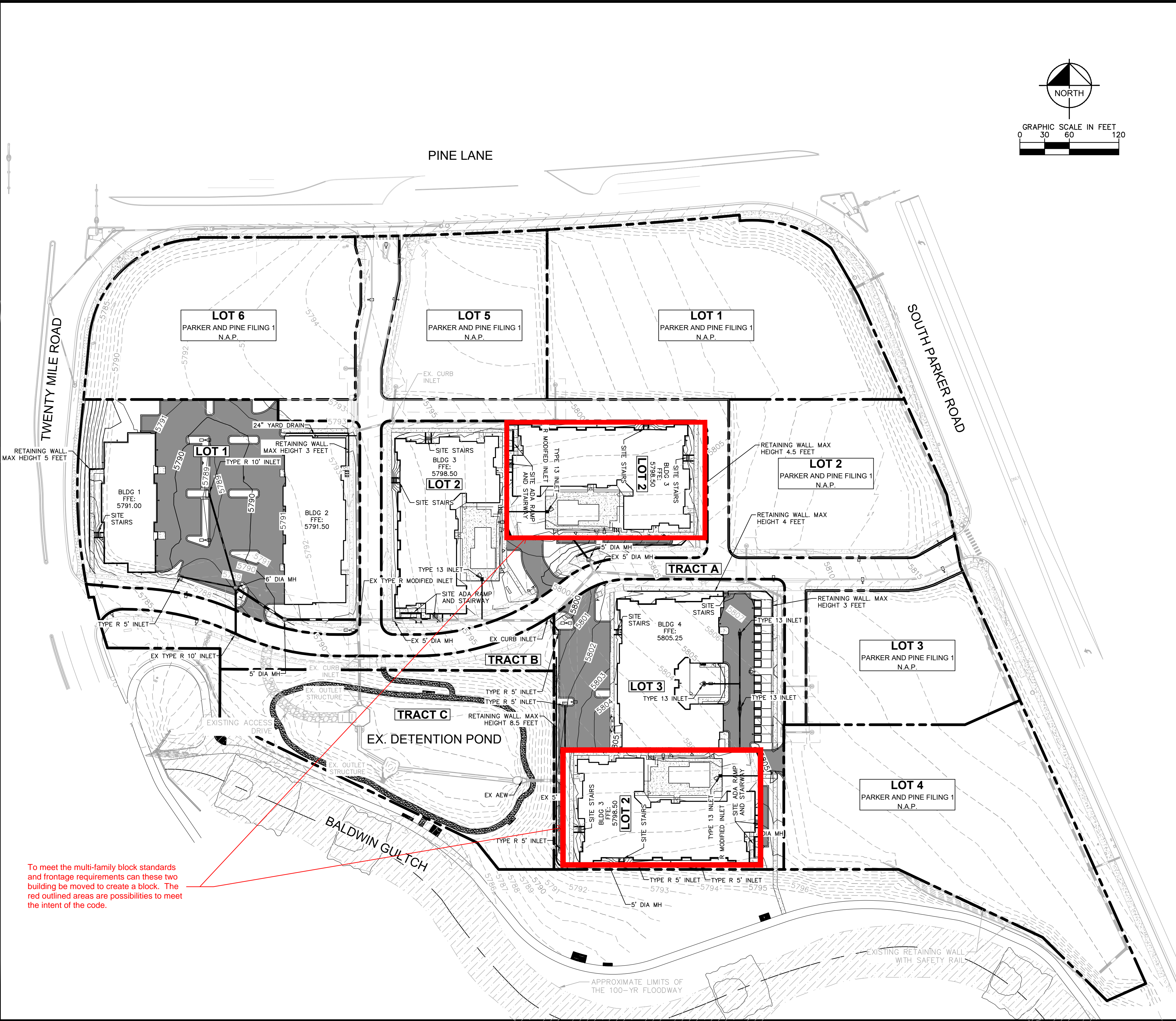
PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
OVERALL SITE PLAN

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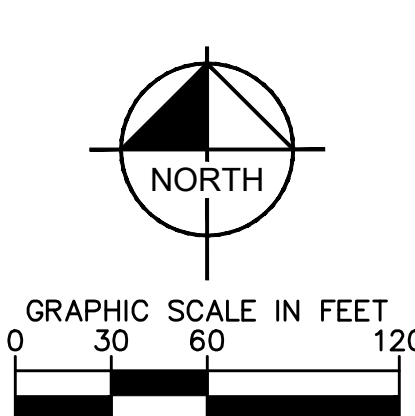
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To meet the multi-family block standards and frontage requirements can these two building be moved to create a block. The red outlined areas are possibilities to meet the intent of the code.



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET

BENCHMARK
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
 ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

NOTE:
 1. BUILDING ROOF DRAINS TO DISCHARGE ON GRADE.

NO.	REVISION	BY	DATE	APPR

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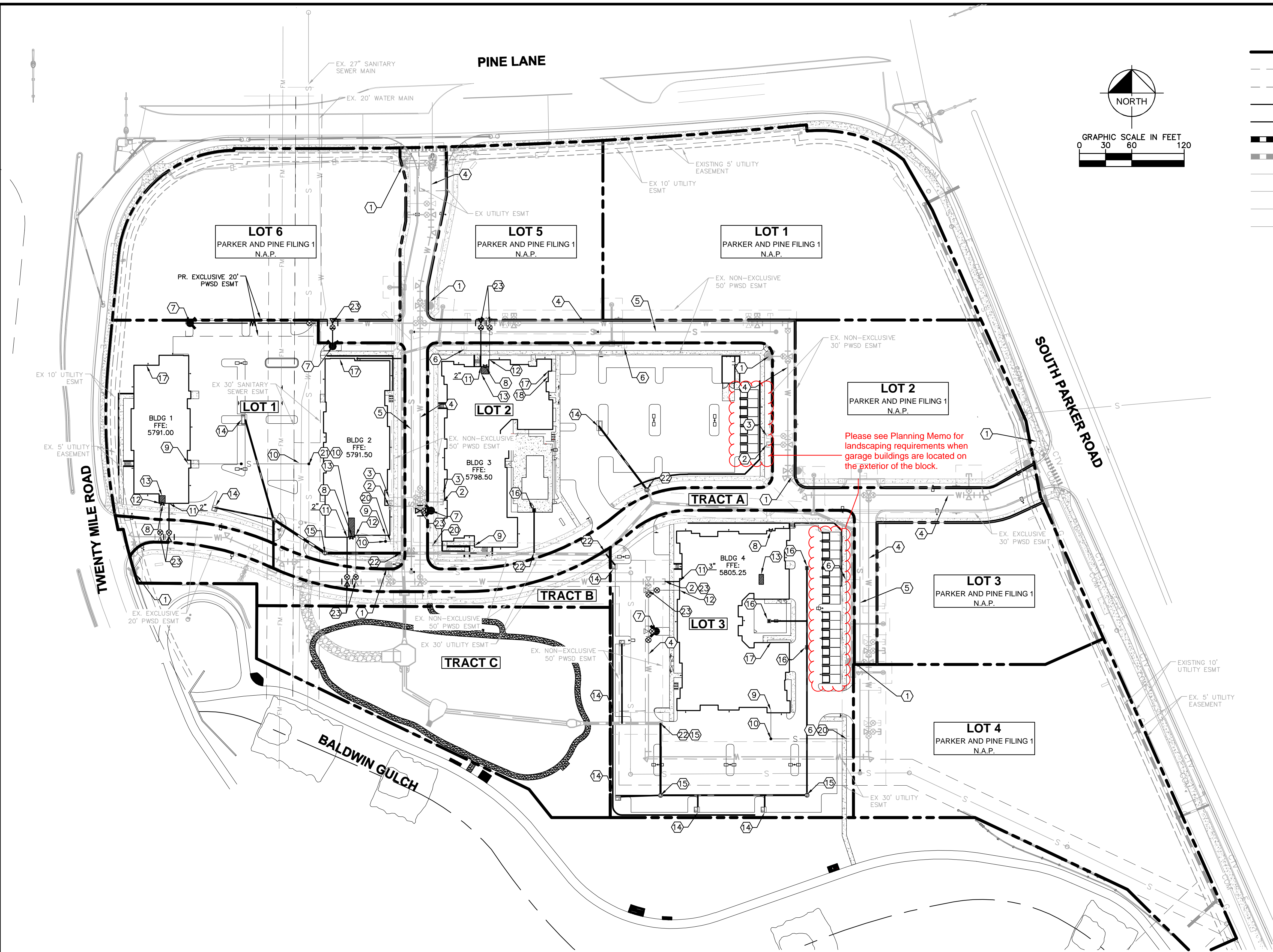
PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
 OVERALL GRADING PLAN

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PROJECT NO.
 096481002

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 096481002PSP_GD

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UTILITY LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- S --- PROPOSED SANITARY SEWER LINE
- W --- PROPOSED WATER LINE
- PROPOSED STORM DRAINAGE LINE
- EXISTING STORM DRAINAGE LINE
- G --- EXISTING GAS LINE
- W --- EXISTING WATER LINE
- S --- EXISTING SANITARY SEWER LINE
- E --- EXISTING ELECTRIC LINE
- ⊕ PROPOSED FIRE HYDRANT W/ BOLLARDS
- ⊗ PROPOSED METER
- ⊕ ⊖ PROPOSED WATER VALVE
- ⊕ ⊖ PROPOSED TEE / BEND
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS

SITE KEYNOTES

- ① EXISTING FIRE HYDRANT
- ② EXISTING 8" STUB W/TEMP BLOW-OFF
- ③ EXISTING 6" FIRE SERVICE W/TEMP BLOW-OFF
- ④ EXISTING 8" WATER MAIN
- ⑤ EXISTING 8" SEWER MAIN
- ⑥ EXISTING 6" SEWER STUB
- ⑦ PROPOSED FIRE HYDRANT WITH 6" GATE VALVE
- ⑧ PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- ⑨ PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
- ⑩ PROPOSED SANITARY SEWER CLEANOUT
- ⑪ PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. SIZE PER PLAN
- ⑫ PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
- ⑬ PROPOSED FIRE RISER ROOM
- ⑭ PROPOSED CURB INLET
- ⑮ PROPOSED STORM MANHOLE
- ⑯ PROPOSED AREA INLET
- ⑰ PROPOSED BUILDING ELECTRIC METER LOCATION
- ⑱ PROPOSED BUILDING GAS METER LOCATION
- ⑲ EXISTING PWS 8" FORCE MAIN
- ⑳ CONNECT TO EXISTING SANITARY SEWER STUB
- ㉑ CONNECT TO EXISTING SANITARY SEWER MAIN PER PWS STANDARDS.
- ㉒ TIE INTO EXISTING STORM SEWER SYSTEM
- ㉓ CONNECT TO EXISTING WATER MAIN PER PWS STANDARDS

Please see Planning Memo for landscaping requirements when garage buildings are located on the exterior of the block.

FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE _____ DATE _____

(NOTE - UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn

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 4582 South Ute Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

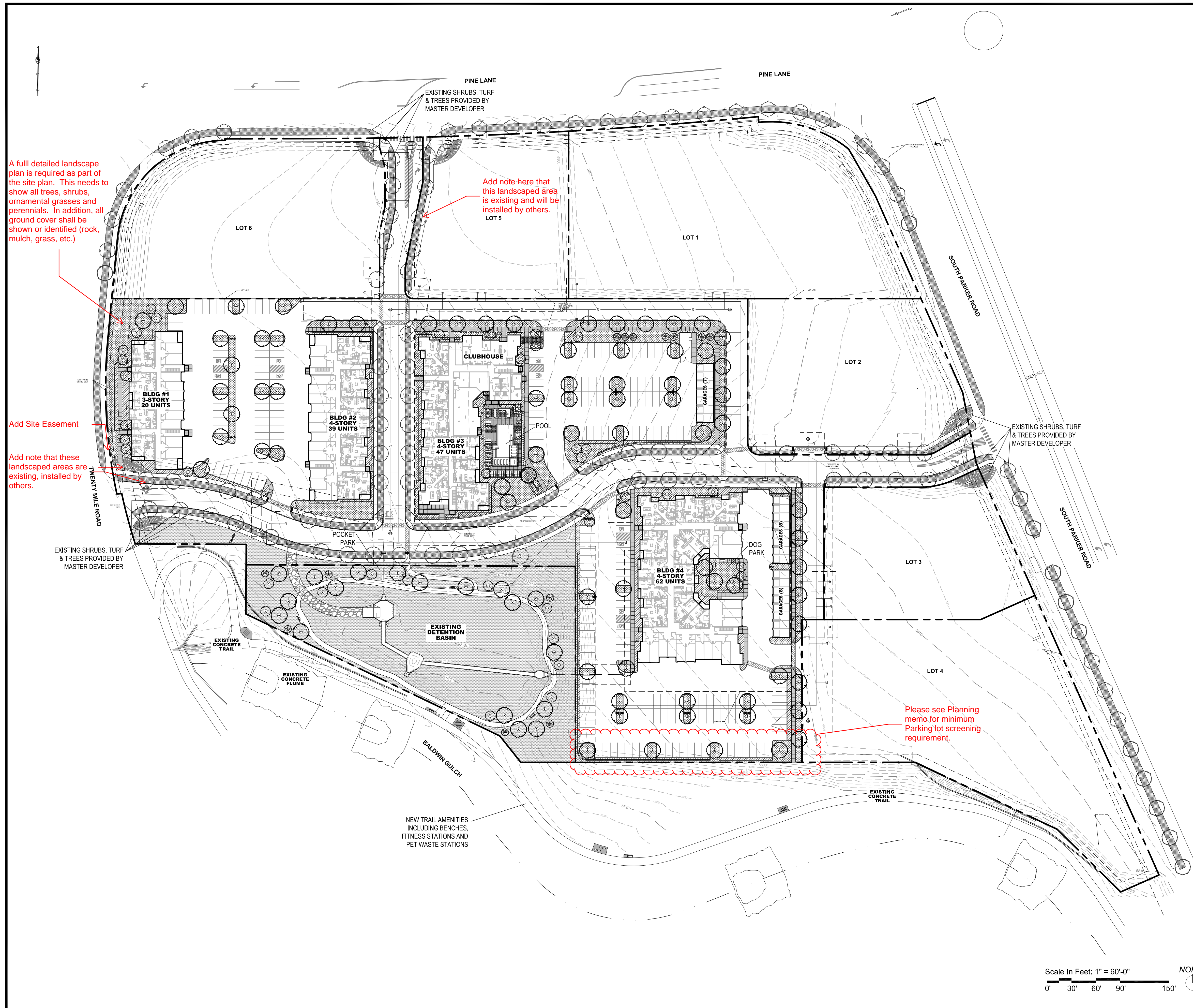
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 CHECKED BY: DLS
 DATE: 08/25/20

PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 SITE PLAN
 OVERALL UTILITY PLAN


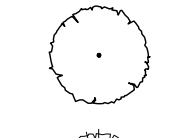


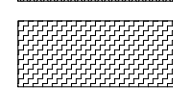




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Kimley»Horn
 Kimley-Horn and Associates, Inc.
 PROJECT NO.
 096481002

DRAWING NAME
 096481002PSP_UT



LANDSCAPE PLAN LEGEND:

-  - DECIDUOUS CANOPY TREES
-  - ORNAMENTAL TREES
-  - EVERGREEN TREES
-  - DECIDUOUS SHRUBS
-  - LOW/SPREADING SHRUBS
-  - PERENNIALS
-  - ORNAMENTAL GRASSES
-  - KEN-TEX BLUEGRASS SOD (HIGH WATER USE)
-  - EXISTING KEN-TEX BLUEGRASS SOD & TOWN OF PARKER SEED MIX 3

REFERENCE SHEET 07 OF 08 FOR COMPLETE PLANT SCHEDULE, TABULATIONS & NOTES.
 REFERENCE SHEET 08 OF 08 FOR LANDSCAPE DETAILS.

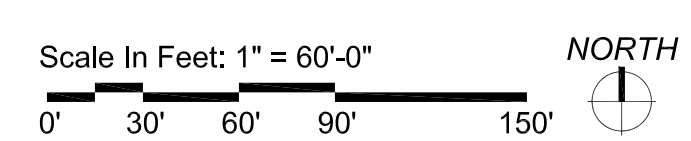
A full detailed landscape plan is required as part of the site plan. This needs to show all trees, shrubs, ornamental grasses and perennials. In addition, all ground cover shall be shown or identified (rock, mulch, grass, etc.)

Add Site Easement

Add note that these landscaped areas are existing, installed by others.

Add note here that this landscaped area is existing and will be installed by others.

Please see Planning memo for minimum Parking lot screening requirement.



NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS
 BLD. GREENWOOD, IN 46143 317-866-7923



DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 08/21/20

PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 PRELIMINARY SITE PLAN
 LANDSCAPE PLAN

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436

NOT FOR CONSTRUCTION

PROJECT NO. 096502001

DRAWING NAME LANDSCAPE PLAN



PLANT SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME	SIZE	HEIGHT	WIDTH	HYDROZONE	NOTES	%
DECIDUOUS CANOPY TREES										
CTA	13		CATALPA	CATALPA SPECIOSA	2" CAL.	45	30	M-H	BALLED & BURLAPPED	9.2
HAC	13		HACKBERRY	CELTIS OCCIDENTALIS	2" CAL.	50	45	M-H	BALLED & BURLAPPED	9.2
PSG	13		PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	9.2
IMP	13		IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'	2" CAL.	35	30	M-H	BALLED & BURLAPPED	9.2
KCT	13		KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CAL.	50	45	M-H	BALLED & BURLAPPED	9.2
EPT	13		EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'	2" CAL.	50	30	M-H	BALLED & BURLAPPED	9.2
ENO	13		ENGLISH OAK	QUERCUS ROBUR	2" CAL.	45	30	M-H	BALLED & BURLAPPED	9.2
RED	13		REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	9.2
GSP	13		GREENSPIRE LITTLELEAF LINDEN	TILIA CORDATA 'GREENSPIRE'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	9.2
ACE	13		ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2" CAL.	50	30	M-H	BALLED & BURLAPPED	9.2
PSE	11		PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	2" CAL.	40	30	M-H	BALLED & BURLAPPED	8
SUBTOTAL		141								

ORNAMENTAL TREES										
HWM	10		HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	2" CAL.	20	15	M	BALLED & BURLAPPED	26
ABS	10		AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'	2" CAL.	20	20	M	B & B, SINGLE TRUNK	26
TCH	10		THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'	2" CAL.	15	15	M	BALLED & BURLAPPED	26
JLI	9		ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT' TM	2" CAL.	20	15	M	BALLED & BURLAPPED	22
SUBTOTAL		39								

EVERGREEN TREES										
VVP	4		VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'	6' HT.	15	10	L-M	BALLED & BURLAPPED	30
LBP	4		LIMBER PINE	PINUS FLEXILIS	6' HT.	35	15	L-M	BALLED & BURLAPPED	30
BCP	1		BRISTLECONE PINE	PINUS ARISTATA	6' HT.	20	15	L-M	BALLED & BURLAPPED	30
GGJ	4		GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	6' HT.	15	6	L-M	BALLED & BURLAPPED	10
SUBTOTAL		13								

DECIDUOUS SHRUBS										
CPB			REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL.	2	3	L-M	MATCHING, CONTAINER FULL	
BMS			BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
RUS			RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	4	4	L-M	MATCHING, CONTAINER FULL	
WSC			WESTERN SAND SHERRY	PRUNUS BESSEYI	5 GAL.	5	5	L-M	MATCHING, CONTAINER FULL	
CSR			CAREFREE SUNSHINE ROSE	ROSA 'CAREFREE SUNSHINE ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
KOR			KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
NMP			NEW MEXICO PRIVET	FORESTIERA NEOMEXICANA	5 GAL.	12	8	M	MATCHING, CONTAINER FULL	
GFS			'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
PML			MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
KBW			KOREAN BOXWOOD	BUXUS 'KOREAN'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
YTD			YELLOWTWIN DOGWOOD	CORNUS SERICEA 'FLAVIRAMEA'	5 GAL.	6	6	M	MATCHING, CONTAINER FULL	
MAE			MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
KDD			KELSEY DWARF DOGWOOD	CORNUS SERICEA 'KELSEY'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
KSV			KOREAN SPICE VIBURNUM	VIBURNUM CARLESII	5 GAL.	6	6	M-H	MATCHING, CONTAINER FULL	
SUBTOTAL		500								

LOW/SPREADING SHRUBS										
BHJ			BAR HARBOR JUNIPER	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	5 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
PWJ			PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	5 GAL.	1	8	L-M	MATCHING, CONTAINER FULL	
CCJ			CALAGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	5 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
BRD			BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
ARJ			ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	5 GAL.	2	6	L-M	MATCHING, CONTAINER FULL	
PBC			CREeping WESTERN SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	5 GAL.	2	5	L-M	MATCHING, CONTAINER FULL	
HCS			HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	5 GAL.	3	5	L-M	MATCHING, CONTAINER FULL	
NBJ			NEW BLUE JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA 'NEW BLUE'	5 GAL.	4	7	L-M	MATCHING, CONTAINER FULL	
SUBTOTAL		250								

PERENNIALS										
DF			DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS.	1	2	L-M	18" O.C., CONTAINER FULL	
PM			PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS.	1.5	1.5	M	18" O.C., CONTAINER FULL	
YC			YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA	4 IN. POTS.	2	2	M	18" O.C., CONTAINER FULL	
BE			BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	4 IN. POTS.	2	2	L-M	18" O.C., CONTAINER FULL	
AJ			AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS.	2	1.5	M	18" O.C., CONTAINER FULL	
MN			MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS.	2	2	M	18" O.C., CONTAINER FULL	
SUBTOTAL		500								

ORNAMENTAL GRASSES										
BBG			BIG BLUESTEM GRASS	ANDROPOGON GERARDII	1 GAL.	6	3	L-M	MATCHING	
GAG			BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL.	4	3	L-M	MATCHING	
PMG			PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.	4	3	L-M	MATCHING	
SWG			SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL.	5	3	L-M	MATCHING	
FRG			FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M	MATCHING	
LBG			LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL.	3	3	L-M	MATCHING	
BLA			BLONDE AMBITION GRASS	BOUTELOUA GRACILIS	1 GAL.	2	2	L-M	MATCHING	
PDG			PRAIRIE DROPSEED GRASS	SPOROBOLUS HETEROLEPIS	1 GAL.	3	3	L-M	MATCHING	
SUBTOTAL		250								

- KEN-TEX BLUEGRASS SOD (HIGH WATER USE)	SUBTOTAL	33,523 SQ. FT.
- EXISTING KEN-TEX BLUEGRASS SOD & TOWN OF PARKER SEED MIX 3	SUBTOTAL	62,992 SQ. FT.

NOTE: A PORTION OF STREET TREES, SHRUBS AND TURF SHALL BE INSTALLED BY MASTER DEVELOPER PREVIOUS TO THIS PROJECT

This table needs to be broken down further to demonstrate that the minimum requirements have been satisfied. See Planning memo for an example. You should also add required park space and provided. Which can be broken down to show pool, dog park, etc.

Please include the quantities for each species. They should all equal the table as well as the totals.

If any shrubs, ornamental grasses or trees will be substituted for other plantings, please add a note to describe.

Change this note to state: landscaping identified as existing, installed by others will be installed by the master developer.

TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES:

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS' ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY. ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G., FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION.
- IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET. IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPED AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO THE ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

LANDSCAPE NOTES:

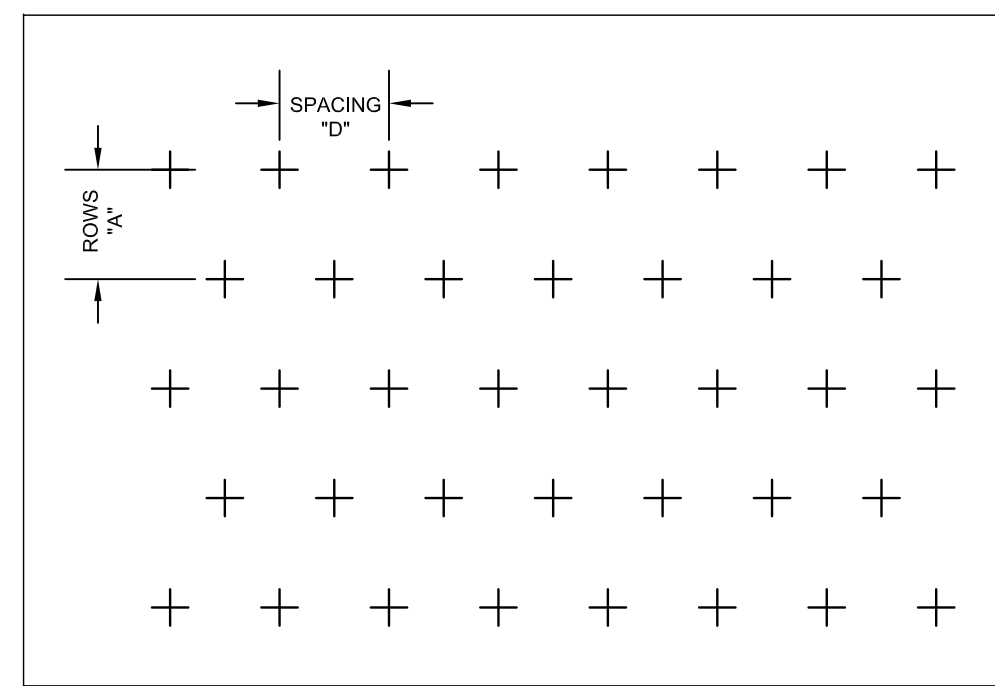
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY. OWNER'S REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL AFTER CITY INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 2" DEPTH SHREDDED HARDWOOD MULCH. CONTRACTOR SHALL PROVIDE 1 GALLON BAG SAMPLE OF MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL. PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLE. ALL PERENNIAL AND ANNUAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARD AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SHRUB BEDS TO BE IRRIGATION WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASEMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER, AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH, FERTILIZING, PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.
- SINGLE TRUNK TREES WITHIN THE 50' TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
- ALL EXISTING TREES, SHRUBS, GRASS, ROCKS, FENCE ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE CESARE, INC. PROJECT NO. 16.174, AUGUST 17, 2016 #11 SURFACE DRAINAGE; C) WATERING WITHIN 5 FEET OF THE STRUCTURE SHOULD BE ELIMINATED. D) IF LAWN EDGING IS USED AROUND THE EXTERIOR OF THE STRUCTURE, IT SHOULD BE PERFORATED TO PREVENT PONDING OF SURFACE WATER IN THE VICINITY OF THE BACKFILL SOILS. F) IF A SPRINKLER SYSTEM IS INSTALLED, THE SPRINKLER HEADS SHOULD BE PLACED SO THAT THE SPRAY FROM THE HEADS, UNDER FULL PRESSURES, DOES NOT FALL WITHIN 5 FEET OF FOUNDATION WALLS.

SITE DATA TABLE					
ZONING:	PROPOSED USE: MULTI-FAMILY				
	TOTAL/ACTUAL SF	MIN. NUMBER/ AREA SF REQUIRED	% OR # REQUIRED	% OR # PROVIDED	
GROSS SITE AREA:	413,536 SF	N.A.	N.A.	100%	
BUILDING COVERAGE:	68,635 SF	N.A.	N.A.	17%	
HARD SURFACE AREA:	214,433 SF	N.A.	N.A.	51%	
TOTAL LANDSCAPED AREA (EXCLUDING R.O.W.):	130,468 SF	N.A.	N.A.	32%	
LANDSCAPED AREA:	130,468 SF			32%	
(SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	14,628 SF	N.A.	N.A.	4%	
EXISTING GRASS	62,992 SF	N.A.	N.A.	15%	
NEW PERMANENTLY IRRIGATED GRASS	33,523 SF	N.A.	N.A.	13%	
TREES:	192				
STREET TREES:	60	N.A.	N.A.	N.A.	
PARKING LOT INTERIOR LANDSCAPING:	A MIN. OF 10% OF PARKING LOT AREA ALLOCATED TO LANDSCAPE ISLANDS				
SITE PERIMETER LANDSCAPE REQ.:	1 TREE AND 5 SHRUBS FOR EACH 30 LF OF EDGE				
LANDSCAPE REQUIREMENTS:					
ONE (1) TREE AND (5) SHRUBS SHALL BE PLANTED FOR EACH ONE THOUSAND FIVE HUNDRED (1,500) SQUARE FEET OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING.	TREES (288,000 SQ. FT.)	N.A.	192	N.A.	192
	SHRUBS (288,000 SQ. FT.)	N.A.	960	N.A.	960

EXISTING TREES					
TYPE OF TREE	LEGEND	CRITERIA FOR REMOVAL	CONDITION	CALIPER	MITIGATION TREES REQUIRED
THERE ARE NO EXISTING TREES ON SITE					

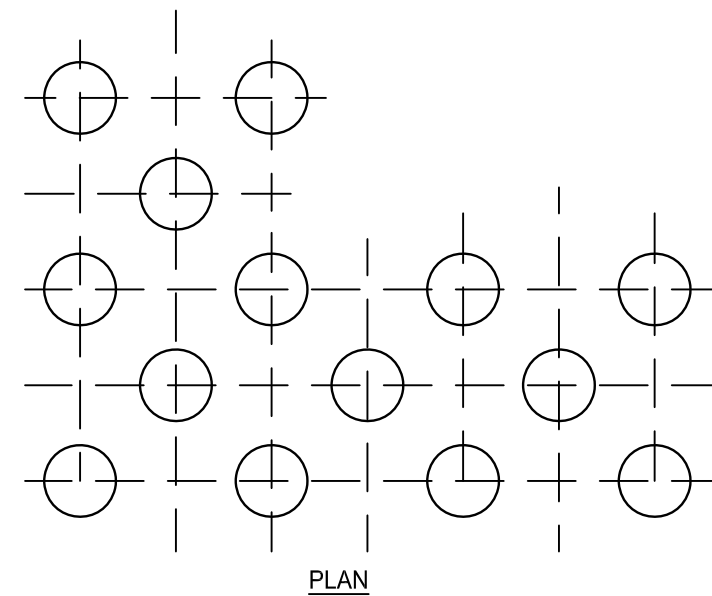
Where is this number coming from?
811 Know what's below. Call before you dig.

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46043 317-866-7923
 DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 08/21/20
 PARKER AND PINE MULTI-FAMILY PARKER, CO PRELIMINARY SITE PLAN PLANT PALETTE & NOTES
 PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436
NOT FOR CONSTRUCTION
 PROJECT NO. 096502001
 DRAWING NAME PLANT PALETTE & NOTES
07 OF 13

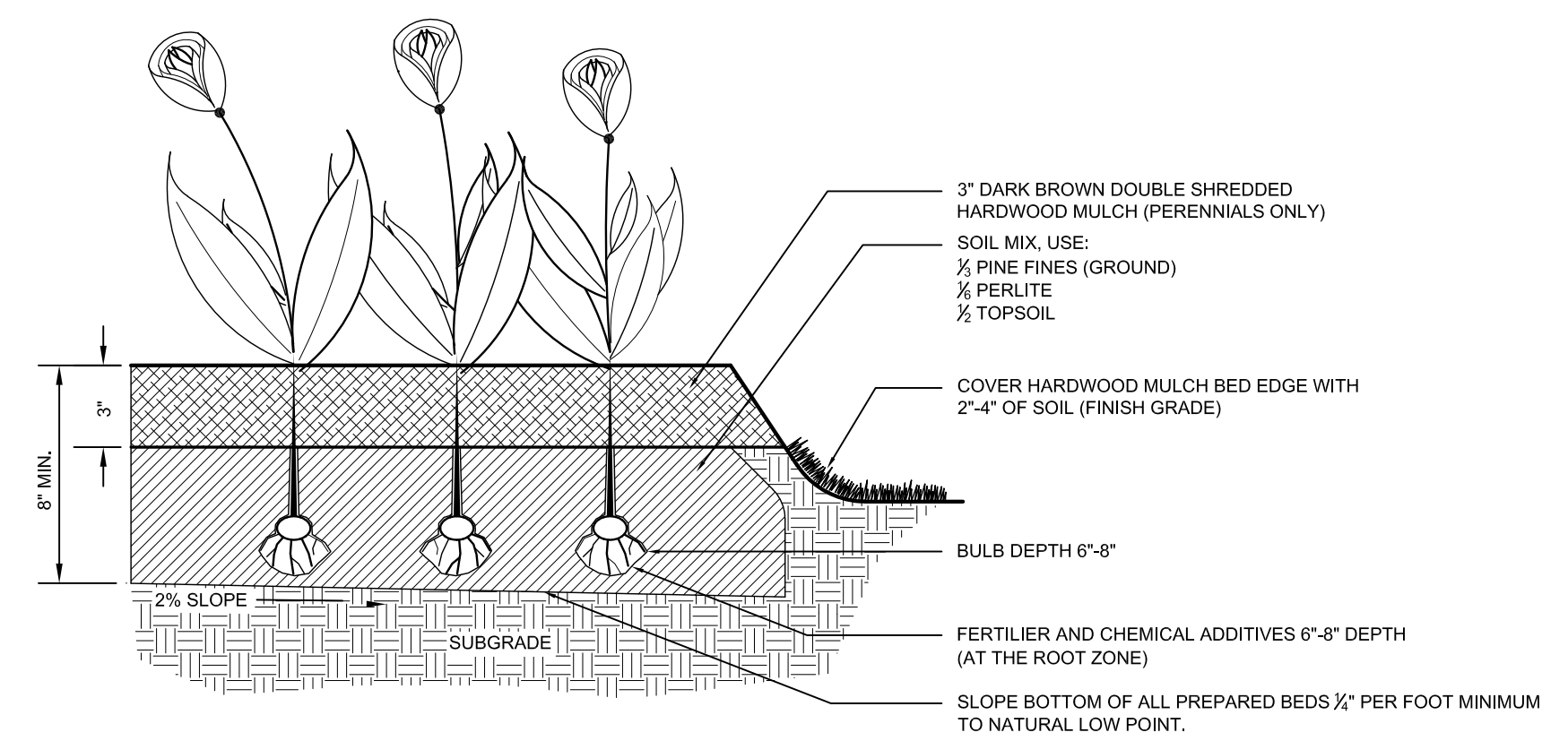
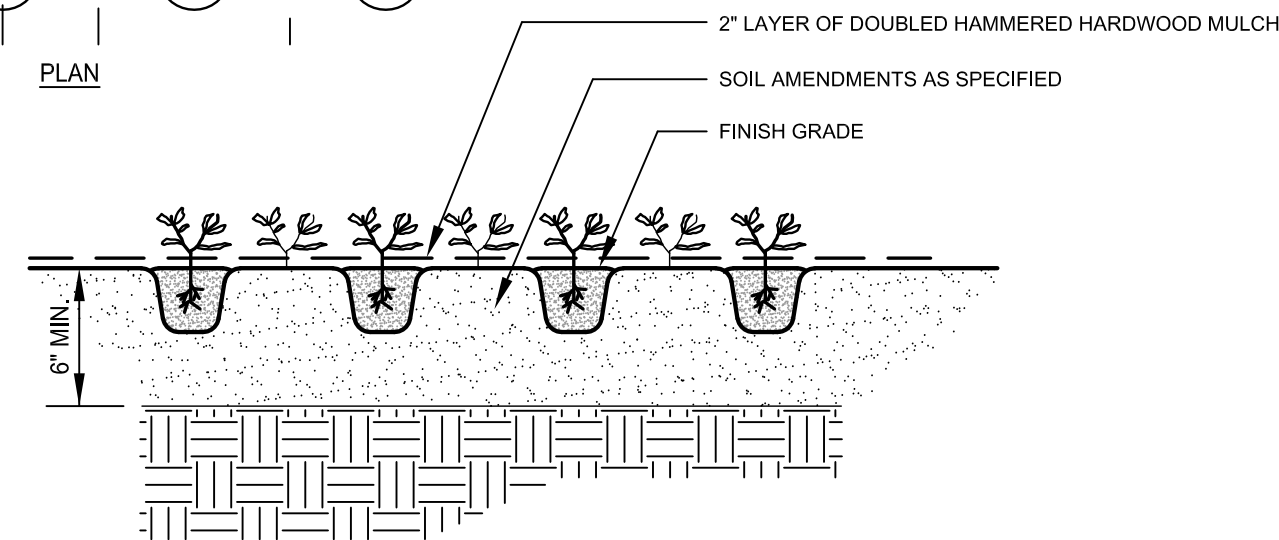


PLANT SPACING CHART

SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5 3/16" O.C.	4.81
8" O.C.	6 15/16" O.C.	2.60
10" O.C.	8 2/3" O.C.	1.66
12" O.C.	10 3/8" O.C.	1.15
15" O.C.	13" O.C.	0.73
18" O.C.	15 9/16" O.C.	0.51
24" O.C.	20 13/16" O.C.	0.29



- NOTES:
 1. LAYOUT PLANTS IN PREPARED BED AS SHOWN.
 2. SPACING AS SPECIFIED, PER SCHEDULE STAGGERED ROWS.



- NOTE:
 1. MIX IN BONE MEAL AT BOTTOM OF BULB WHEN PLANTED

1 TRIANGULAR SPACING FOR SHRUBS & GROUND COVERS

08 OF 08 PLAN

NTS

2 GROUND COVER PLANTING

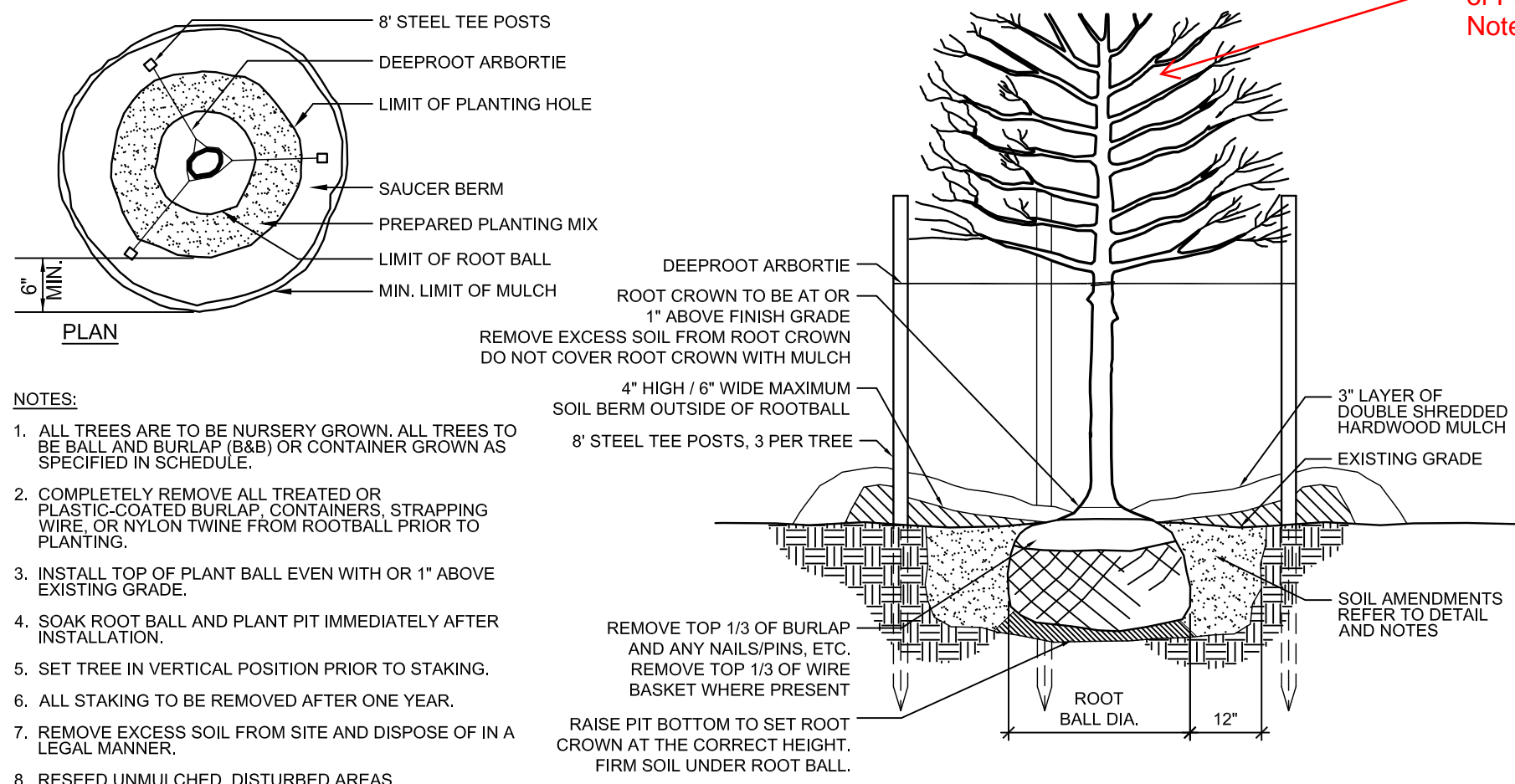
08 OF 08 PLAN AND SECTION

NTS

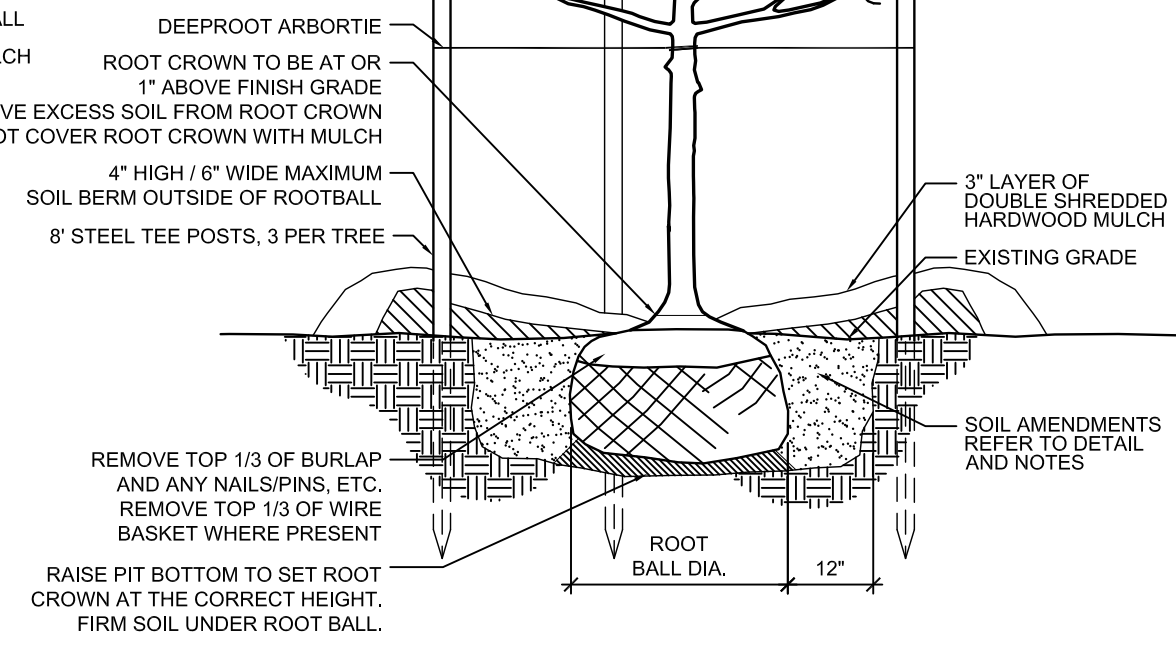
3 PLANTING BED FOR ANNUALS AND PERENNIALS

08 OF 08 SECTION

NTS

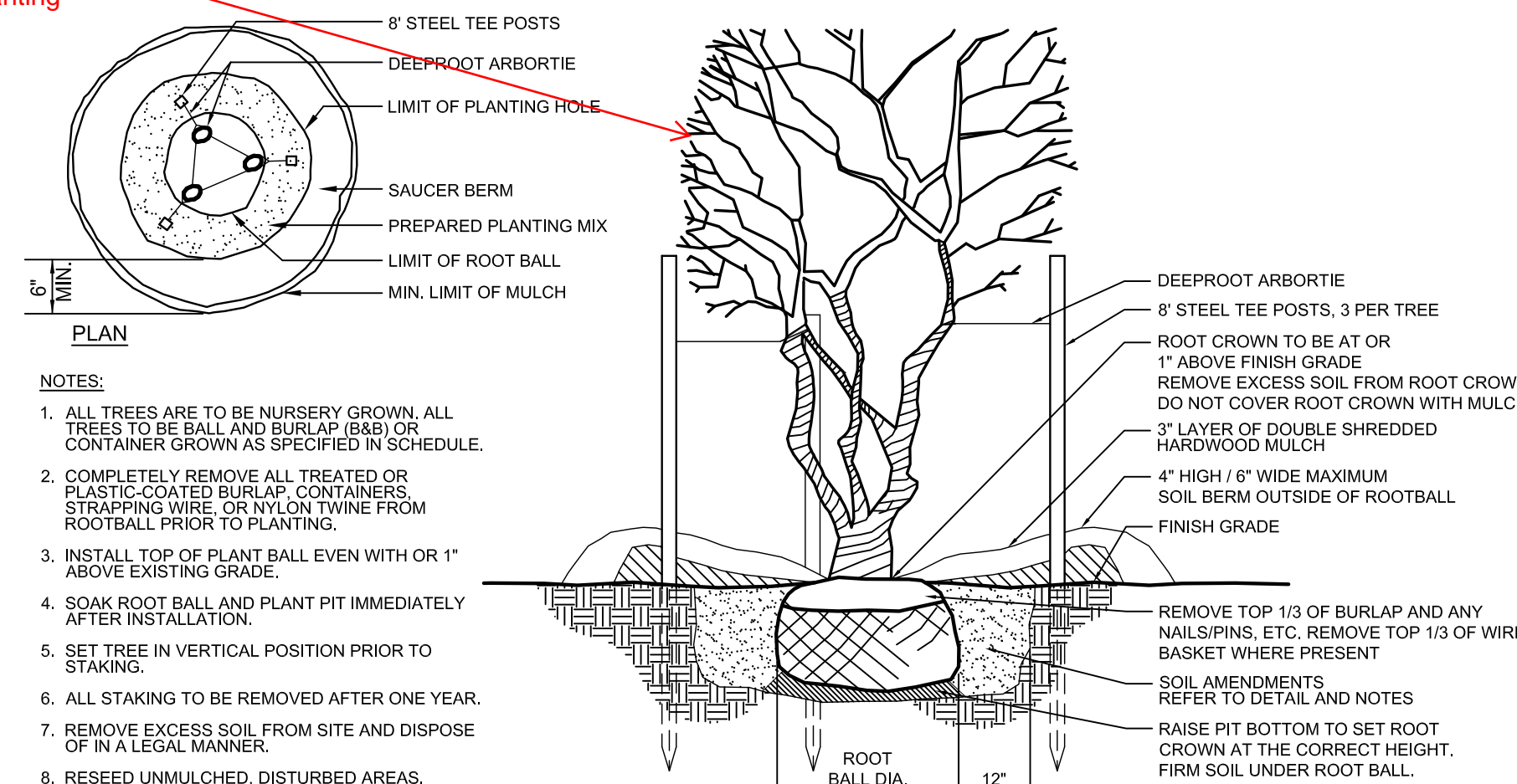


- NOTES:
 1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BURLAP (BAB) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
 2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
 3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
 4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
 5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
 6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.
 7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
 8. RESEED UNMULCHED, DISTURBED AREAS.
 9. DO NOT COVER ROOT CROWN.

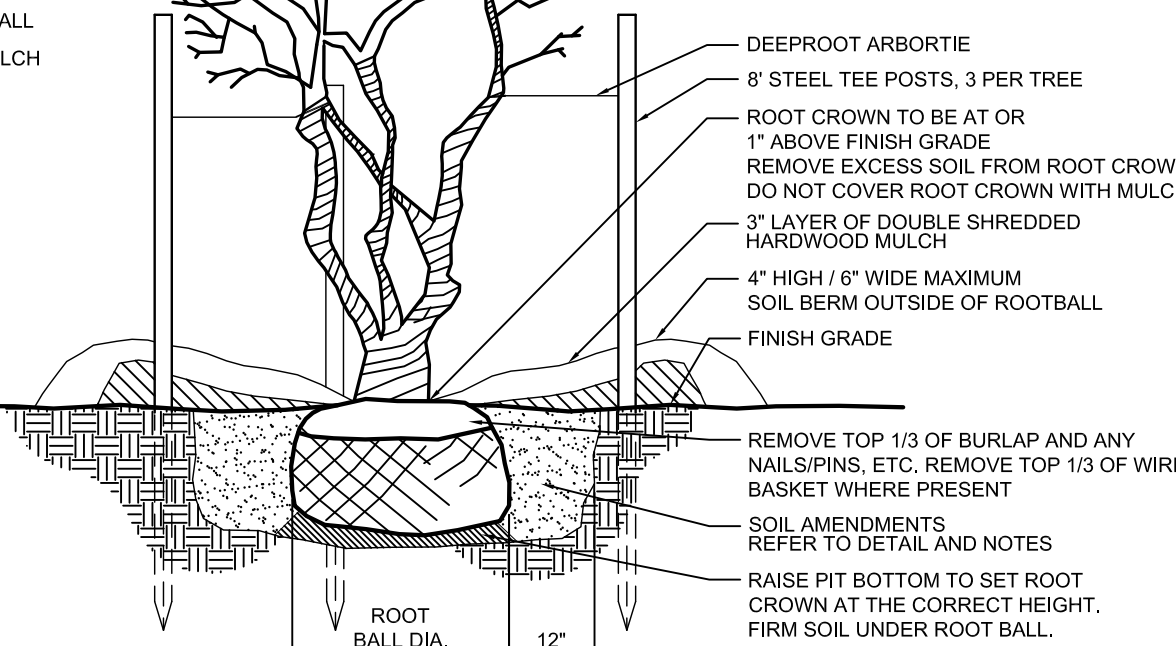


ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)

FOR EXAMPLE: CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
2"	12-14'	18'	24"	18"
3"	14-16'	24'	32"	21"

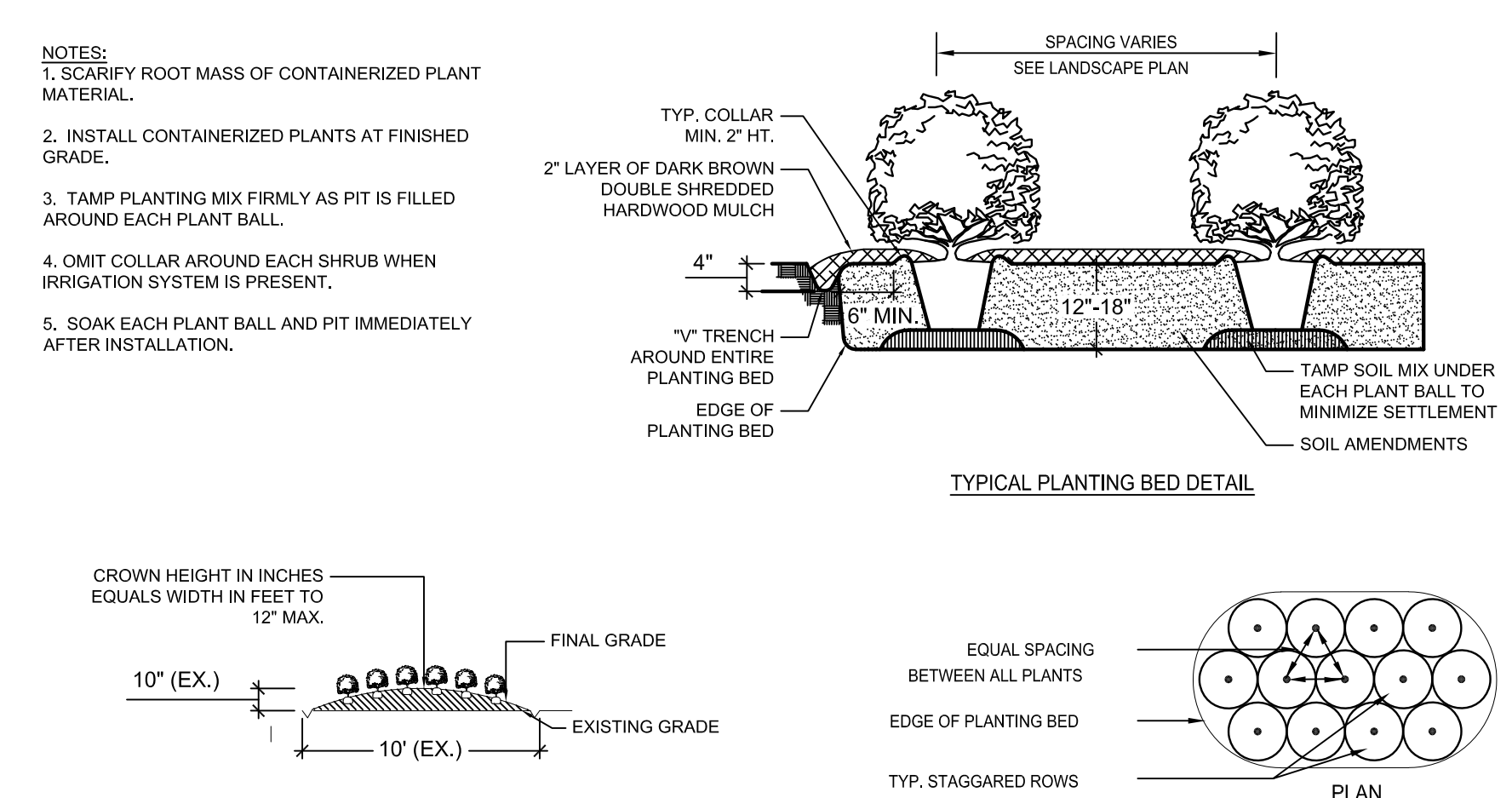


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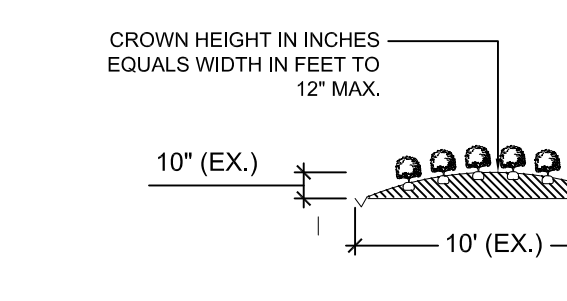


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2"	12-14'	18'	24"	18"
3"	14-16'	24'	32"	21"



- NOTES:
 1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
 2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
 3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
 4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
 5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



4 TREE PLANTING

08 OF 08 SECTION

NTS

5 MULTI-TRUNK TREE

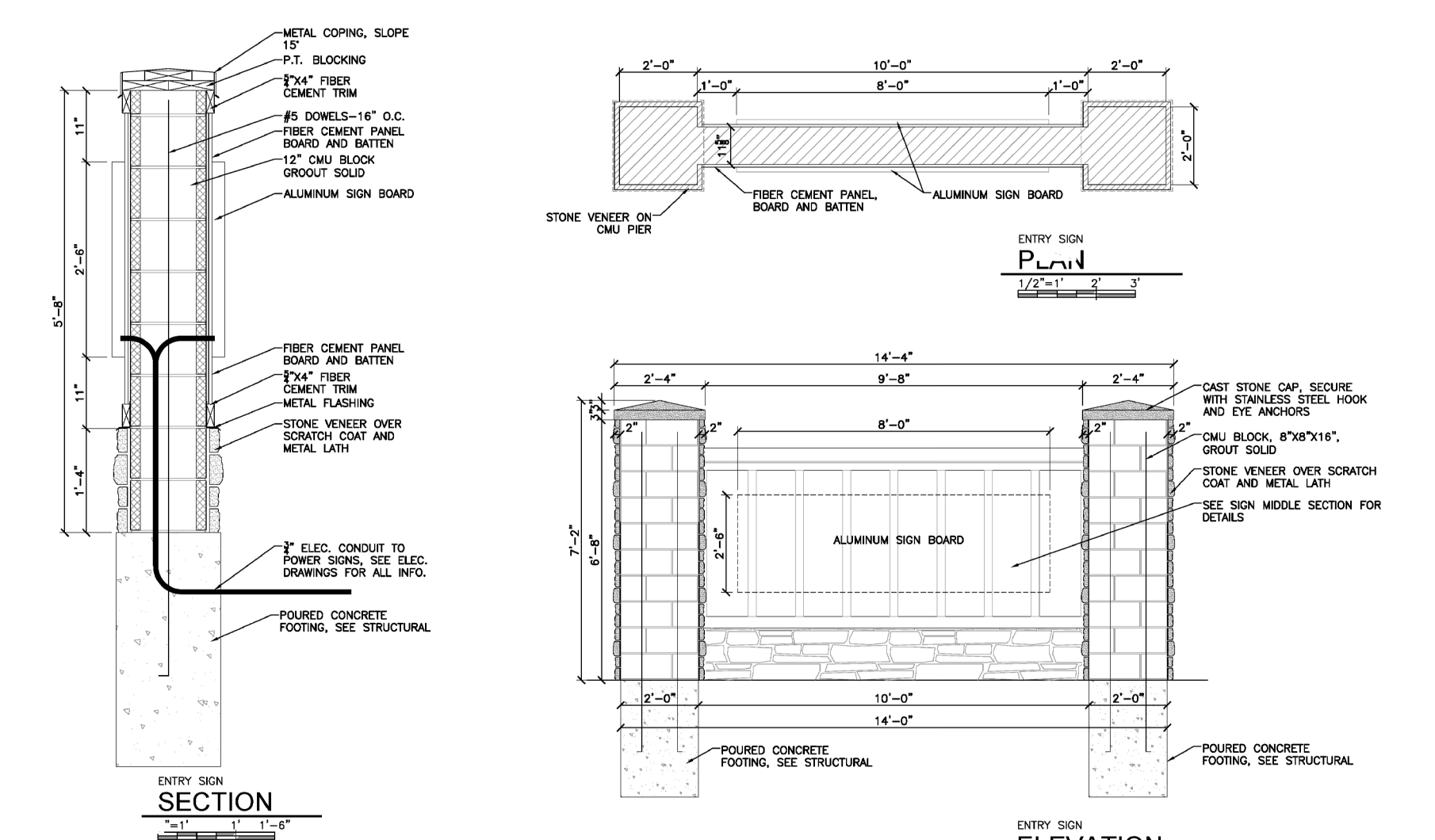
08 OF 08 SECTION AND PLAN

NTS

6 SHRUB PLANTING BED

08 OF 08 PLAN AND SECTION

NTS



7 MONUMENT SIGN

08 OF 08 PRODUCT INFORMATION

NTS



8 FIXIT STATION

08 OF 08 PRODUCT INFORMATION

NTS



9 BIKE RACK

08 OF 08 PRODUCT INFORMATION

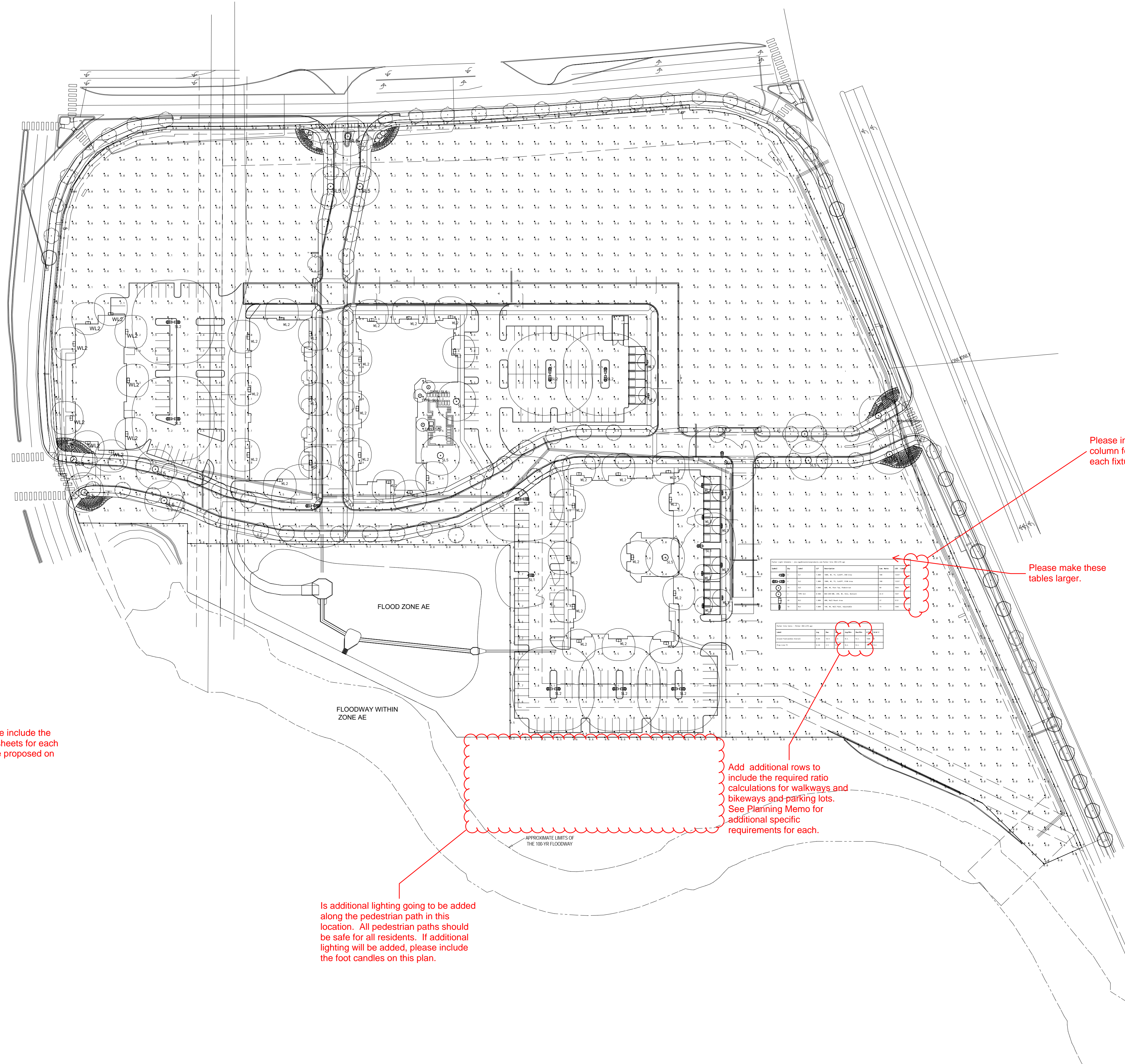
NTS

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

DESIGNED BY: NAS
 DRAWN BY: NAS
 DATE: 08/21/20

PARKER AND PINE MULTI-FAMILY
 PARKER, CO
 PRELIMINARY SITE PLAN
 LANDSCAPE DETAILS

NOT FOR CONSTRUCTION
 PROJECT NO. 096502001
 DRAWING NAME LANDSCAPE DETAILS
 08 OF 13



Parker & Pine Multi-Family Site Lighting Type SL1 Type SL2

Parker & Pine Multi-Family Site Lighting TYPE SL3



Parker & Pine Multi-Family Site Lighting TYPE WL2

Parker & Pine Multi-Family Site Lighting TYPE WL3



Parker & Pine Multi-Family Site Lighting TYPE SL6



Please include the cut sheets for each fixture proposed on site.

Please include a column for the color of each fixture.

Please make these tables larger.

Add additional rows to include the required ratio calculations for walkways and bikeways and parking lots. See Planning Memo for additional specific requirements for each.

Is additional lighting going to be added along the pedestrian path in this location. All pedestrian paths should be safe for all residents. If additional lighting will be added, please include the foot candles on this plan.

#	Date	Comments
Revisions		

Drawn By: Jrago
 Checked By: Jrago
 Date: 8/21/2020
 Scale:

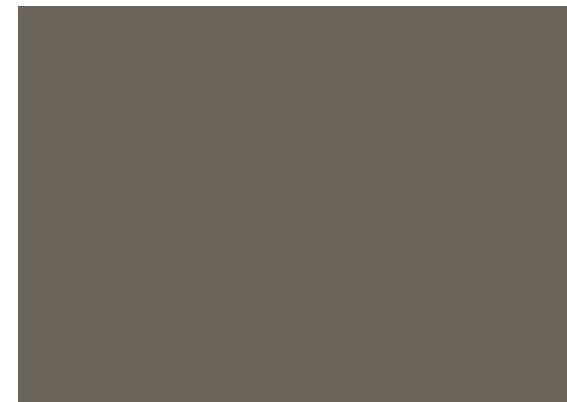
Parker and Pine Multi-Family Site Lighting Plan

Please include height information for each building.

Materials



Asphalt Shingles



Fiber Cement Siding & Trim



Fiber Cement Siding & Trim



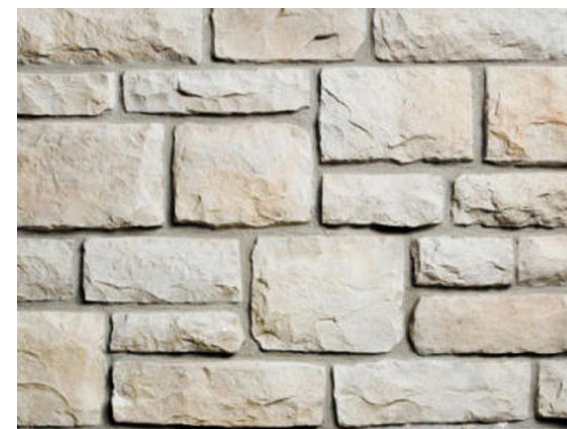
Fiber Cement Siding & Trim



Fiber Cement Siding & Trim



Fiber Cement Siding & Trim



Stone



West Elevation



North Elevation



South Elevation



East Elevation



East Elevation



North Elevation



South Elevation

Please make these more visible. See Planning memo for additional info.

Consider changing up the side elevations to meet the different building requirement.

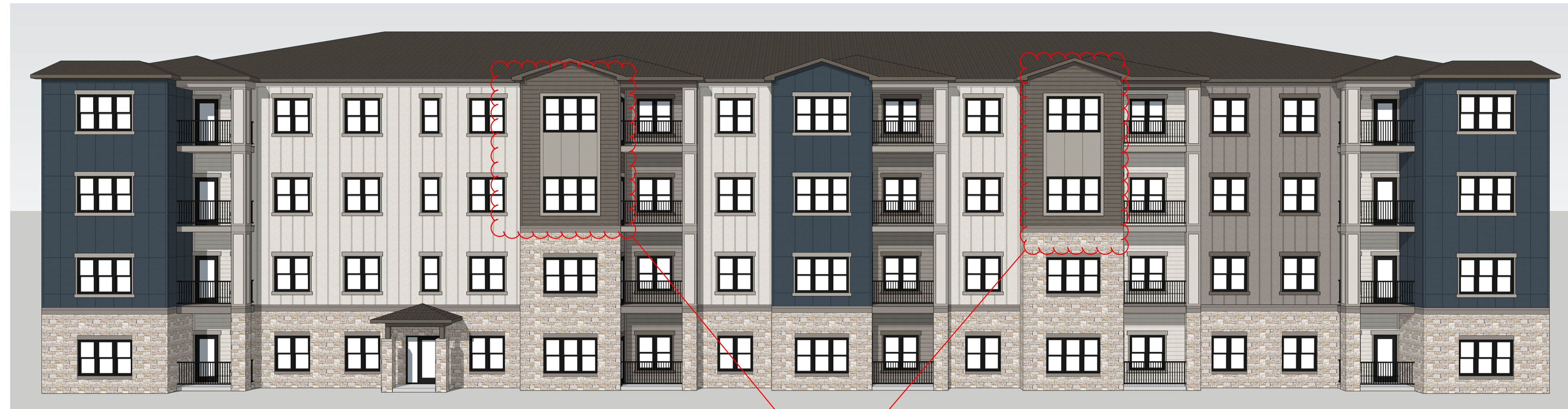
Could the peak of these roof forms be increased to change up this elevations?

In order to make this building feel different from the rest consider adding a different color, material, or roof form.



West Elevation

Building II Colored Elevations
 Parker & Pine Multi-Family - Parker, Colorado
 August 28, 2020



West Elevation

According to the exterior building palettes section, stone should be included all the way to the roof.



North Elevation



South Elevation



East Elevation

Please include elevations for the following:

- detached garages
- any amenity structures
- trash enclosures
- bike racks



West Elevation

Please make these more visible.



North Elevation



South Elevation



East Elevation

Please add this full set into the Site Plan package/set

LANDSCAPE AND HARDSCAPE PACKAGE

PARKER AND PINE MULTI-FAMILY

CONSTRUCTION DOCUMENTS

PARKER, COLORADO

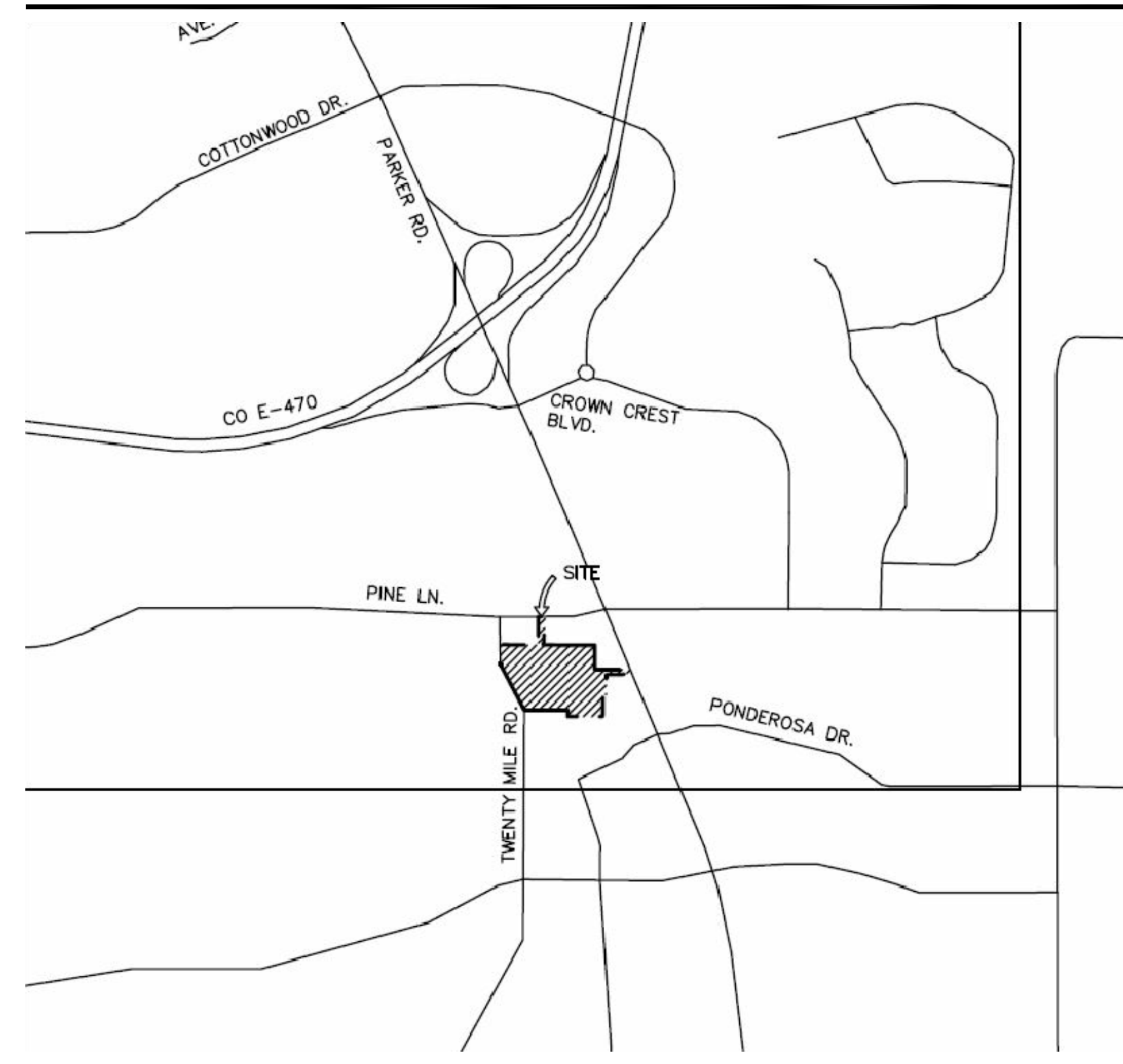
DATE: 08.21.2020

Please change this title to match the proposed title of the documents from the Site Plan redlines.

SHEET INDEX

LANDSCAPE	
SHEET NUMBER	SHEET TITLE
--	COVER SHEET
L000	GENERAL NOTES & LEGEND
L001	OVERALL SITE PLAN
L100	MATERIALS PLAN
L101	MATERIALS PLAN
L102	MATERIALS PLAN
L103	MATERIALS PLAN
L400	SITE DETAILS
L401	SITE DETAILS
L402	SITE DETAILS
L403	SITE DETAILS
L600	PLANTING PLAN
L601	PLANTING PLAN
L602	PLANTING PLAN
L603	PLANTING PLAN
L604	PLANTING SCHEDULE, NOTES & TABULATIONS
L605	LANDSCAPE DETAILS
L606	LANDSCAPE DETAILS & NOTES

VICINITY MAP



SCALE: NTS
(NOT TO SCALE)

PROJECT TEAM

OWNER/DEVELOPER

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
317.886.7923

LANDSCAPE ARCHITECT

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
765.748.9506
CONTACT NAME: NICK SMITH

ARCHITECT

SEEBREE ARCHITECTS, INC.
97 DOVER ST., SUITE 400
AVON, INDIANA 46123
317.272.7800
CONTACT NAME: DAWN LAYTON

IRRIGATION

SETH HEIDMAN IRRIGATION DESIGN
DALLAS, TEXAS
972.816.5151

SENIOR DEVELOPMENT MANAGER

KARL STOUT
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
317.886.7926

INTERIOR DESIGNER

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD
GREENWOOD, INDIANA 46143
463.444.7030
CONTACT NAME: KATE SULLIVAN

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES
4582 S ULSTER ST., STE 1500
DENVER, CO 80237
303.228.2318
CONTACT NAME: DAN SKEEHAN

SURVEYOR

ENGINEERING SERVICE COMPANY
1300 S POTOMA ST., STE 126
AURORA, CO 80012
303.337.1393
CONTACT NAME: CHARLES BECKSTROM, PLS

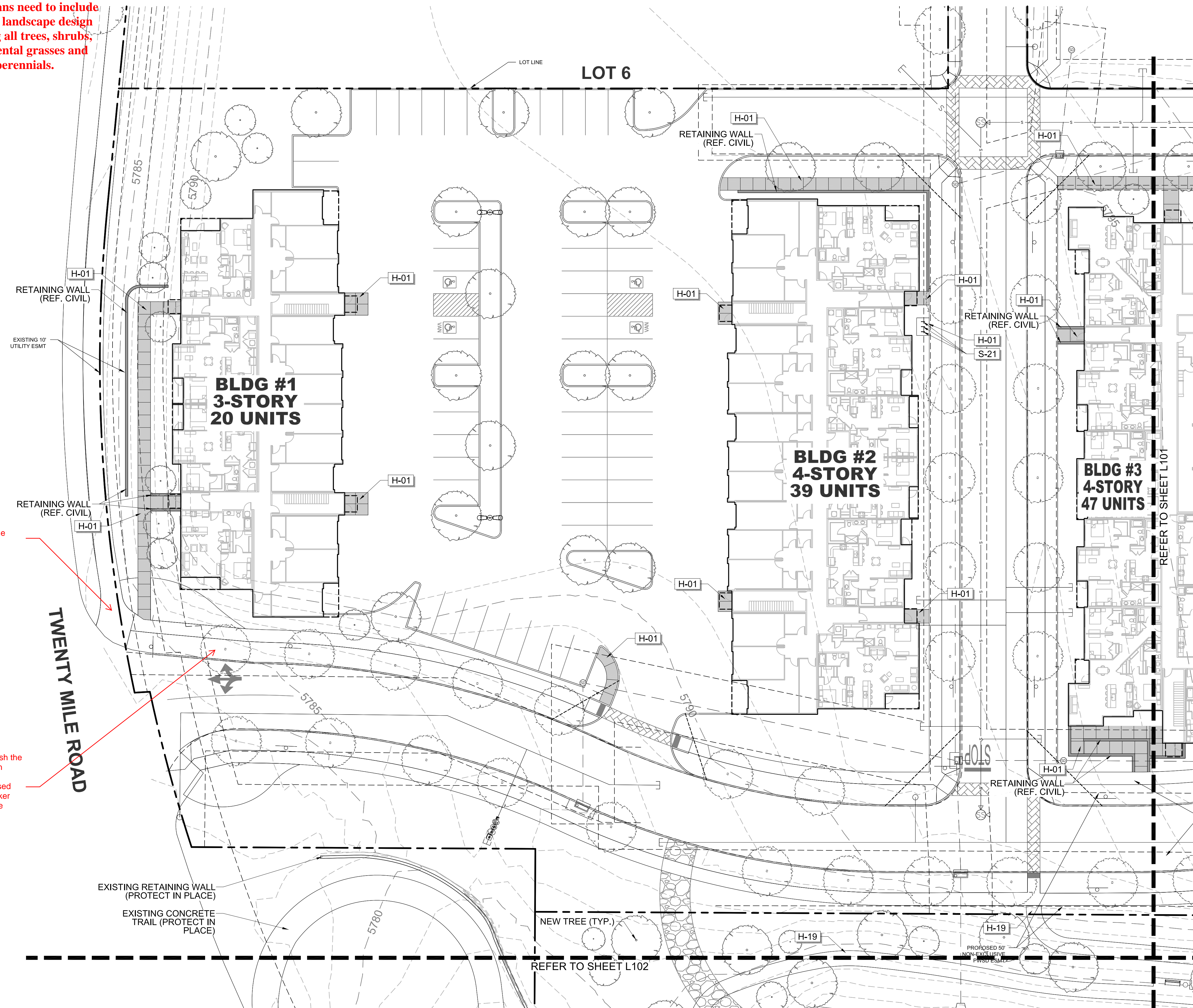


NOT FOR CONSTRUCTION

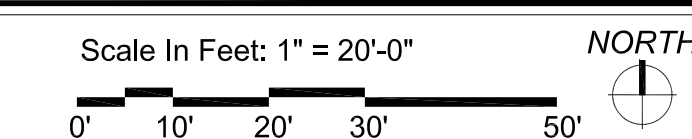
These plans need to include detailed landscape design showing all trees, shrubs, ornamental grasses and perennials.

Please add in the sight easement.

Please distinguish the landscaping with proposed and existing. proposed should be a darker line type with the existing grayed.



01 MATERIALS PLAN



REFERENCE NOTES SCHEDULE

SYMBOL	HARDSCAPE DESCRIPTION
H-01	CONCRETE PAVING - SIDEWALK
H-02	CONCRETE PAVING - POOL DECK
H-03	CONCRETE PAVING - DECORATIVE PAVERS
H-04	CONCRETE STEPS
H-05	METAL HANDRAIL
H-06	POOL, TO MEET ALL APPLICABLE ADA AND POOL CODES, 1,150 SQ. FT.
H-07	HOT TUB, AT GRADE, 9' X 9'
H-08	METAL POOL HANDRAIL
H-09	POOL COPING - CONCRETE TO MATCH POOL DECK
H-10	CABANAS, CEDAR WITH LOUVERED CEDAR SCREENS
H-11	OUTDOOR KITCHEN TO INCLUDE 2 GAS GRILLS, SINK AND UNDER COUNTER REFRIGERATOR, CMU WITH STONE VENEER TO MATCH BUILDING. (COORDINATE GAS, WATER AND ELECTRICAL WITH MEP AND CIVIL)
H-12	TUBE STEEL SHADE STRUCTURE WITH STANDING SEAM METAL ROOF (COORDINATE ELECTRICAL FOR LIGHTING WITH MEP)
H-13	FIRE TABLE - NATURAL GAS, BROWN JORDAN FIRES 12"-18" HT. (COORDINATE NATURAL GAS LINE WITH PLUMBING AND CIVIL)
H-14	6' HT. POOL FENCE, ORNAMENTAL ALUMINUM PICKET, BLACK
H-15	6' HT. X 42" WIDTH POOL FENCE GATE, TO MATCH POOL FENCE. ACCESS CONTROL. (COORDINATE WITH MEP)
H-16	4' HT. DOG PARK FENCE, ORNAMENTAL ALUMINUM PICKET, BLACK
H-17	4' HT. X 42" WIDTH GATE, TO MATCH DOG PARK FENCE.
H-18	POWER/USB PEDESTAL (SEE ELECTRICAL PLAN FOR CONDUIT) 7 TOTAL
H-19	DECOMPOSED GRANITE (COMPACTED)
H-20	METAL LANDSCAPE EDGING
H-21	MONUMENT SIGN (COORDINATE ELECTRICAL FOR LIGHTING WITH MEP)
SYMBOL	SITE FURNISHING DESCRIPTION
S-01	BENCH
S-02	CHAISE LOUNGE
S-03	UMBRELLA
S-04	4 TOP TABLE AND CHAIRS
S-05	COMMUNAL TABLE AND CHAIRS
S-06	HAMMOCK
S-08	OUTDOOR LOUNGE COUCH
S-09	OUTDOOR LOUNGE CHAIR
S-10	CORNHOLE
S-11	TRASH RECEPTACLE
S-12	COFFEE TABLE FOR JENGA
S-13	GIANT OUTDOOR JENGA
S-14	FITNESS STATIONS
S-15	SIDE TABLE
S-16	IN POOL CHAISE LOUNGE
S-17	PET WASTE STATION
S-18	PET DRINKING FOUNTAIN
S-19	DOG PARK PLAY STRUCTURES
S-20	BIKE FIX-IT STATION
S-21	BIKE RACKS

NOT FOR CONSTRUCTION

PROJECT #:	19-XX	
DRAWN BY:	NAS	
CONSTRUCTION DOCUMENTS ISSUE FOR CONSTRUCTION	08.21.2020	
REVISION SCHEDULE		
#	DATE	DESCRIPTION

PARKER AND PINE MULTI-FAMILY
 OVERALL SITE
 PARKER, COLORADO
 LANDSCAPE PLANS

MATERIALS PLAN



811
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