



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Dan Skeehan, Kimley Horn
FROM: Stacey Nerger, Senior Planner
DATE: January 18, 2021
SUBJECT: Parker and Pine Filing No. 2 Lots 1 – 3 – Site Plan
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger

EMAIL: snerger@parkeronline.org

PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

General Comments

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No

Response:

2. Please add the heights of each building to the elevations page. This should include the elevations of all sides of the building.

Comment Addressed: Yes No

Response:

3. Per the Town of Parker Multiple-Family Design Standards, “Retaining walls shall be limited to 4 feet in height and made of stone or split face masonry material that matches or is complimentary to the architecture of the buildings.” In addition, “Where multiple retaining walls are required they shall be terraced with a minimum width of 5 feet of live landscaping and a maximum of 6 inches of sloped vertical elevation change on the terrace area between the walls. Refer to LDO Section 13.10.100 for specific requirements. (See Figure 2.54).”

Please include a page within the Site Plan package that includes the location of the retaining walls with the heights listed.

In addition, please include an image showing the materials proposed to be used of the retaining walls.

Comment Addressed: Yes No

Response:

Parking

1. Currently, your site plan shows that the first two buildings (lot 1) are short parking spaces by approximately 16 spaces. These spaces are made up on Lot 3 which is a decent walk from buildings 1 and 2. This creates a problem as residents will look for closer parking spaces than parking on Lot 3. Lot 1 residents most likely will end up using the commercial lot to the north (future day care) for parking which is not allowed without a shared parking agreement. If a shared parking agreement cannot be reached, additional parking spaces will need to be added to Lot 1.

Comment Addressed: Yes No

Response:

2. Currently, your site plan shows that the third building (lot 2) is also short by approximately 12 spaces. These spaces are made up on Lot 3 which are located on the southern end of Lot 3 making this also a decent walk from Lot 2. This creates a problem as residents will look for closer parking spaces than parking on Lot 3. Lot 2 residents will not have a lot of other options for parking as the commercial lots adjacent will be minimal provided their intended uses. Additional parking spaces should be evaluated.

Comment Addressed: Yes No

Response:

3. Currently, you are proposing 6 bicycle parking spaces per building. This should be sufficient for buildings 1 and 2, but additional racks/spaces should be added to buildings 3 and 4 as these building are larger and include additional amenities for the development.

Comment Addressed: Yes No

Response:

Landscaping

1. Please expand the required and provided landscape table to be more explanatory. Stating the minimum requirements or met does not demonstrate how. Please include more information. This table needs to include the different types of required landscaping (overall landscaping, site perimeter, parking lot perimeter and parking lot interior) A table similar to below would be sufficient:

LANDSCAPE REQUIREMENTS																	
Description	Parking Lot SF	Min. 10% SF Landscaped	Min. 35% SF Landscaped	Square Foot Landscaped	Trees Required 1/1500 SF	Trees Required 1 per 162 SF	Linear Feet	1 Tree per 40 LF	Mitigation Trees Req'd	Trees Provided	Shrubs Required 5/1500 SF	Shrubs Required 5/40 LF	Shrubs Required Qty of Islands X 5+ (SF-Qty of Islands X 162)/15	Shrubs Provided	Ten (10) shrubs substituted for one (1)	Ornamental Grasses Provided	Perennials Provided
ROW (J Morgan Blvd)	N.A.	N.A.	N.A.	12,390	N.A.	N.A.	483	12	0	13	N.A.	N.A.	N.A.	196		40	95
Streetscape (Ironstone Way Private Drive)	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	314	8	0	7	N.A.	N.A.	N.A.	75		44	34
Parking lot interior Islands	106,389	10,639	N.A.	11,275	N.A.	38	N.A.	N.A.	0	38	N.A.	N.A.	515	515	0	0	0
Min. Site Stds*	N.A.	N.A.	168,697	170,539	112	N.A.	N.A.	N.A.	0	83	562	N.A.	N.A.	1,773	121	545	574
Site Perimeter (South)	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	586	15	0	20	N.A.	73	N.A.	149		0	
Remove Ex. Tree									4								
TOTAL TREES REQUIRED:										166							
SUBTOTAL TREES PROVIDED										134							
ADDITIONAL TREE PROVIDED BY SHRUB & ORNAMENTAL GRASS SUBSTITUTION										121							
TOTAL TREES PROVIDED										255							
TOTAL SHRUBS REQUIRED:											1,077						
TOTAL SHRUBS PROVIDED:												2,484					
Detention & Drainage Easement SF =				57,458	38	Trees are required but cannot be planted in Detention 100 yr areas or the Drainage Easement											

Comment Addressed: Yes No

Response:

2. Per Section 13.06.070 l. Minimum site landscaping standards for Multiple-family developments is required as follows: No multiple-family development shall allocate less than forty-five percent (45%) of the developed area for landscaping, except for development in the Historic Center and Pikes Peak Center, which are subject to the provisions contained within the Greater Downtown District standards and guidelines. Development within the Town Center and Twenty Mile Center may count public plazas in the calculation. In all required landscaped areas, except within public rights-of-way and residential roadway buffers, one (1) tree and five (5) shrubs shall be planted for each one thousand five hundred (1,500) square feet of lot area not covered by a building or required parking.

Please include in your landscaping table how the overall landscaping provided on site meets the minimum 45% requirement. In addition, please include the required and provided trees and shrubs to meet the minimum requirements of the code. (This 45% does not include the streetscape landscaping provided along Twenty Mile Road and the required parking lot interior landscaping).

Comment Addressed: Yes No

Response:

3. Per Section 13.06.070 m. Streetscape landscaping is required along all public and private roads to create a uniform street landscape character. 1 tree is required per 40 linear feet of roadway. Please see redlines for where streetscape should be provided. If streetscape will be provided as part of the overall site development associated with the MDP, please change the line type (grayed back) and add a note that this landscaping is not a part of this Site Plan. Any streetscape being provided as part of this site plan, will need to be broken down in the provided landscape table.

Comment Addressed: Yes No

Response:

4. Per Section 13.06.070 o. Parking lot perimeter landscaping is required for all parking areas that contain 5 or more parking spaces. Parking lots adjacent to a public or private roadway shall provide a buffer a minimum of 10 feet in width measured from the back of the sidewalk or curb, whichever is greater. In addition, this area is required to be planted with trees, shrubs and ornamental grasses to shield headlights from going onto the adjacent roadways. Please provide distances in all areas to demonstrate that this requirement is satisfied along with a detailed plan

showing the numbers and types of additional landscaping to be installed. Please see redlines as it looks like there are several areas where this is not satisfied. We can possibly take the 10-foot measurement from the curb, but additional shrubs and ornamental grasses should be added to meet the intent of the code in all areas.

Comment Addressed: Yes No

Response:

- 5. Per Section 13.06.070 o. Parking lot perimeter landscaping where parking lots are adjacent to other parking lots (north side of Lot 1) the follow standards apply: Parking lots adjacent to parking lots. Parking lots adjoining another parking lot shall provide a buffer a minimum of eight (8) feet. This standard may be reduced or waived as approved during the site plan review process when a shared parking agreement is proposed, in accordance with Section 13.06.050 above.**

Comment Addressed: Yes No

Response:

- 6. Per Section 13.06.070 p. Parking lot interior landscaping (landscape islands) is required for all multi-family development requiring more than 20 parking spaces. A minimum of 10% of the parking lot area shall be provided as parking lot interior landscaping to include 1 tree and 5 shrubs per 162 square feet. Please provide a table stating the amount of parking lot interior landscaping with the number of trees and shrubs. Your landscape table has the wrong calculation of trees and shrubs required. Please correct. In addition, your landscape table shows that there are more shrubs than what is required, yet your landscape plans do not show any shrubs located within the islands. Please show the shrubs within the landscape islands.**

Comment Addressed: Yes No

Response:

- 7. Per Section 13.06.070 p. Parking lot interior landscaping (landscape islands). Traditional turf grasses are prohibited for use on any interior parking lot landscaping. Please remove the turf grass from the islands and add landscape rock.**

Comment Addressed: Yes No

Response:

8. Per Section 13.06.070 q. Site perimeter landscaping requirements are required for all multi-family development as outlined below:

<i>Proposed</i>	<i>Shares Property Line Boundary With:</i>	<i>Minimum Amount of Site Perimeter Trees and Landscaping*</i>
Commercial, public, institutional and civic	Existing nonresidential use	1 tree and 5 shrubs for each 40 lineal feet of edge
	Existing residential or public open space use	1 tree and 5 shrubs for each 25 lineal feet of edge
Industrial	Existing nonresidential use	1 tree and 5 shrubs for each 40 lineal feet of edge
	Existing residential or public open space use	1 tree and 5 shrubs for each 25 lineal feet of edge
Multiple-family	Existing nonresidential use	1 tree and 5 shrubs for each 30 lineal feet of edge
	Existing residential or public open space use	1 tree and 5 shrubs for each 40 lineal feet of edge

Please add additional shrubs and trees to meet the minimum requirements outlined above for all property lines.

Comment Addressed: Yes No

Response:

9. Per the Town of Parker Multiple-Family Design Standards, “Private parking lots abutting public open space and trails shall not be allowed unless they are 25 feet from the property edge and screened by a minimum 3-foot tall landscape hedge or masonry wall matching the character of the adjacent architecture. An exception may be permitted by the Planning Director if the proposed private parking lot provides public parking spaces. In this case, the public parking spaces may be allowed within the 25-foot buffer zone.” Additional landscaping is required along the southern property line with Lot 3. Please revise to meet this minimum requirement.

Comment Addressed: Yes No

Response:

4. Per the Town of Parker Multiple-Family Design Standards, Multiple-Family structures are required to be setback minimum distances to allow for adequate buffering and landscaping. Below are the different setback/buffering requirements to be satisfied:

- a. “Multiple-family buildings shall front arterials and shall have a minimum 25-foot landscape buffer from the right-of-way (ROW) (see Figure 2.30).”
- b. “Multiple-family buildings shall front internal streets and shall have a minimum of 15 feet landscape buffer from the right-of-way between the private and public realm.”
- c. “Multiple-family buildings adjacent to the rear of commercial buildings shall have a 25-foot landscape buffer from the rear property line of the commercial building (see Figure 2.36).”
- d. “A landscape buffer of a minimum of 20 feet shall be provided where multiple-family parcels abut a public open space.”

Please see redlines for placed where additional landscaping should be added to meet this intent.

Comment Addressed: Yes No

Response:

10. Please add a note to the landscape plans for the type of ground cover (rock, mulch) that will be added to the landscaped areas in the landscape islands, in front of the buildings, etc.

Comment Addressed: Yes No

Response:

11. Please verify the numbers listed within the landscape requirement table to ensure the numbers listed as provided are correct.

Comment Addressed: Yes No

Response:

Parks Requirements

1. Please provide a park exhibit that breaks down the requirements for park space. 45% of the site is required to consist of landscaping and open space. In addition, based on the number of residential units provided on site, a total of 2.363 acres of park space is required. This 2.363 acres can be included within the open space/landscaping.

In addition, based on the Town's new Parks Dedication requirements, a minimum of a 1-acre park shall be provided. This one-acre park shall be contiguous and provide the require park amenities listed in the code. On the park exhibit please outline the amenities provided with the Park which meets the minimum code requirements. This park exhibit should only include the parks and open space.

Comment Addressed: Yes No

Response:

2. The Town has agreed to allow a portion of the detention pond tract be used to meet the minimum open space/landscaping requirement. Please include on the open space/landscaping/parks exhibit outlined above which portions of this tract are included within the open space/landscaping calculation.

Comment Addressed: Yes No

Response:

- 3. Per Section 13.06.070 I. (3) a. of the Parker Land Development Ordinance states that 60% of the total landscaped area must be used for passive and/or active recreation. The remaining 40% of the landscaped area can be used to fulfill other landscaping requirements. Additional amenities may need to be added to meet the minimum 60% active/passive recreation requirement.**

Comment Addressed: Yes No

Response:

- 4. Please include an amenities table that lists all of the amenities proposed within the Park space.**

Comment Addressed: Yes No

Response:

Lighting

- 1. The provided uniformity ratios do not meet the outlined ratios. Please amend the lighting plan to meet the following ratios:**

Walkways: Average to Minimum Luminance ration shall be 3:1 and the Maximum to Minimum Luminance Ratio shall be 6:1.

Parking Lots: Average to Minimum Luminance ration shall be 4:1 and the Maximum to Minimum Luminance Ratio shall be 6:1.

Comment Addressed: Yes No

Response:

- 2. Please include the installed height of each fixture.**

Comment Addressed: Yes No

Response:

Building Elevations

1. Please include the height measurements for each building to demonstrate that the proposed structures are under the allowed height limit.

Comment Addressed: Yes No

Response:

3. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Accessory Buildings/Structures “Minimize the visibility of Functional Buildings through appropriate siting in the center of blocks. b. If Functional Buildings are visible from streets or open spaces and are not obscured by other multiple-family buildings, they shall be screened by adequate landscaping, walls, or fencing, according to the standards in 2.4.9.A Screening.” Please see the landscaping redlines for locations for additional landscaping.

Comment Addressed: Yes No

Response:

4. Per the Town of Parker Multiple-Family Design Standards Multiple-Family Building Form and Massing; “The main entrance of every building shall be articulated architecturally, with the addition of Building Elements (see Page 2 – 58) Inventory of Building Elements.” Please see redlines for additional entrance requirements.

Comment Addressed: Yes No

Response:

5. Please submit a materials board for review with this application.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Parker Water and Sanitation
- Town of Parker – Civil (Construction Plans)
- Town of Parker – Civil (Drainage Report)

Staff Comments 02
SP20-084; Parker and Pine F2 L1-3
Multifamily Site Plan
January 18, 2021

- Town of Parker – Civil (Site Plan)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Stormwater (Drainage Report)
- Town of Parker – Environmental (Construction Plans)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

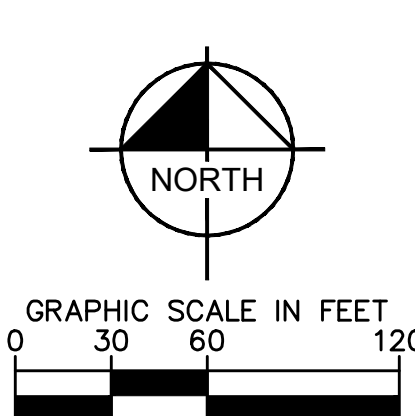
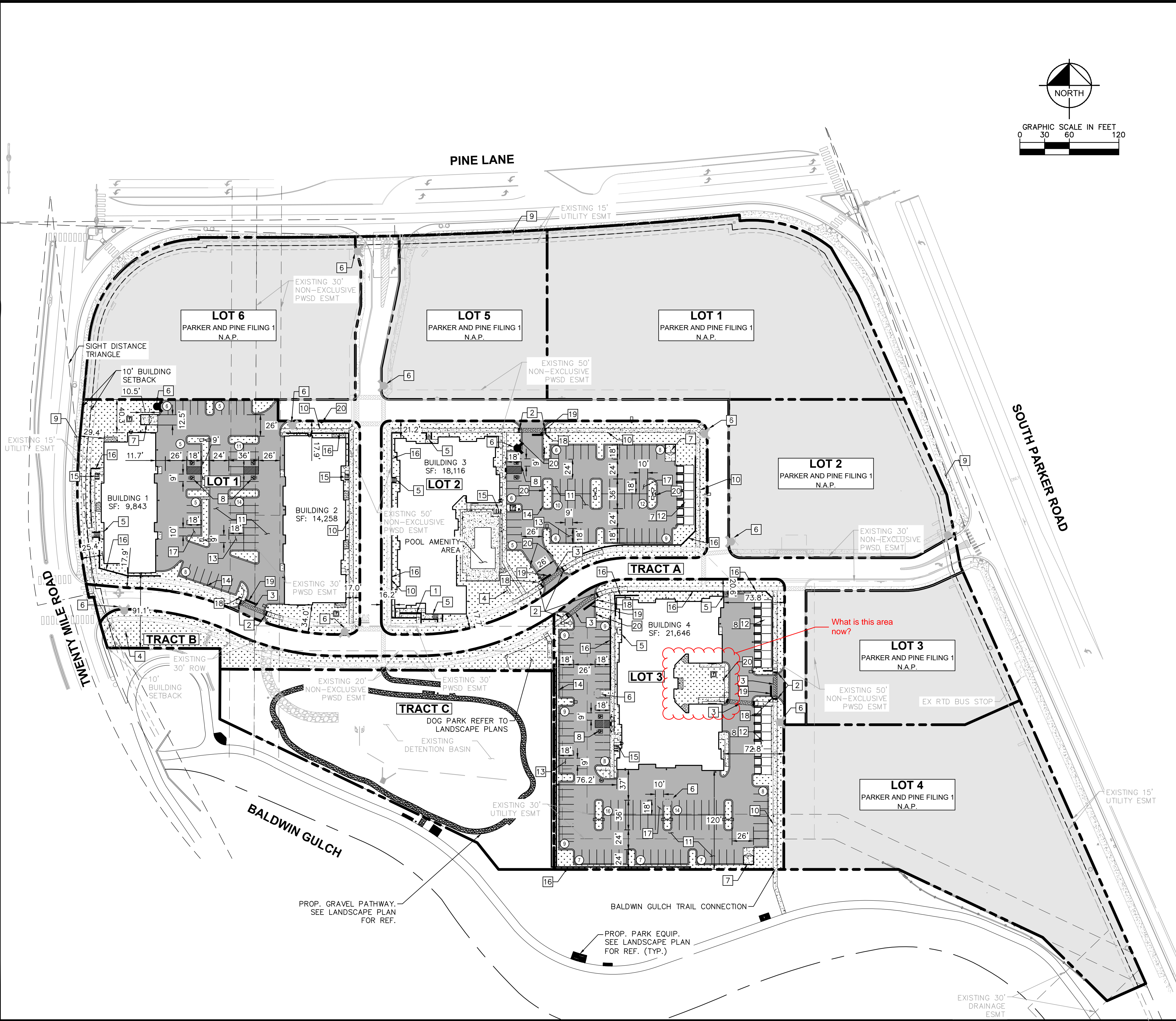
Property Owner

Date

Project Representative

Date

K:\DENV_Civil\096481002_Parker & Pine_Multi-Family_Site_Plan\096481002PSP_SP.dwg - K:\DENV_Civil\096481002PSP_SP.dwg - 12/14/2020 2:12 PM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



LEGEND

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)
	EXISTING COLORED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
 - 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
 - 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
 - 4 PROPOSED MONUMENT SIGN.
 - 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
 - 6 EXISTING/PROPOSED FIRE HYDRANT.
 - 7 PROPOSED TRASH ENCLOSURE.
 - 8 PROPOSED ADA PARKING STALLS.
 - 9 EXISTING 8' CONCRETE SIDEWALK.
 - 10 PROPOSED 5' CONCRETE SIDEWALK.
 - 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
 - 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
 - 13 PROPOSED STANDARD 9'X18" PARKING STALL
 - 14 PROPOSED STANDARD CURB AND GUTTER
 - 15 PROPOSED 6 STALL BICYCLE PARKING
 - 16 PROPOSED RETAINING WALL
 - 17 PROPOSED ISLAND ADJACENT 10'X18" PARKING STALL
 - 18 PROPOSED STOP SIGN R-1
 - 19 PROPOSED STOP BAR
 - 20 PROPOSED NO PARKING - FIRE LANE SIGN R8-31

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500,
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 12/14/20

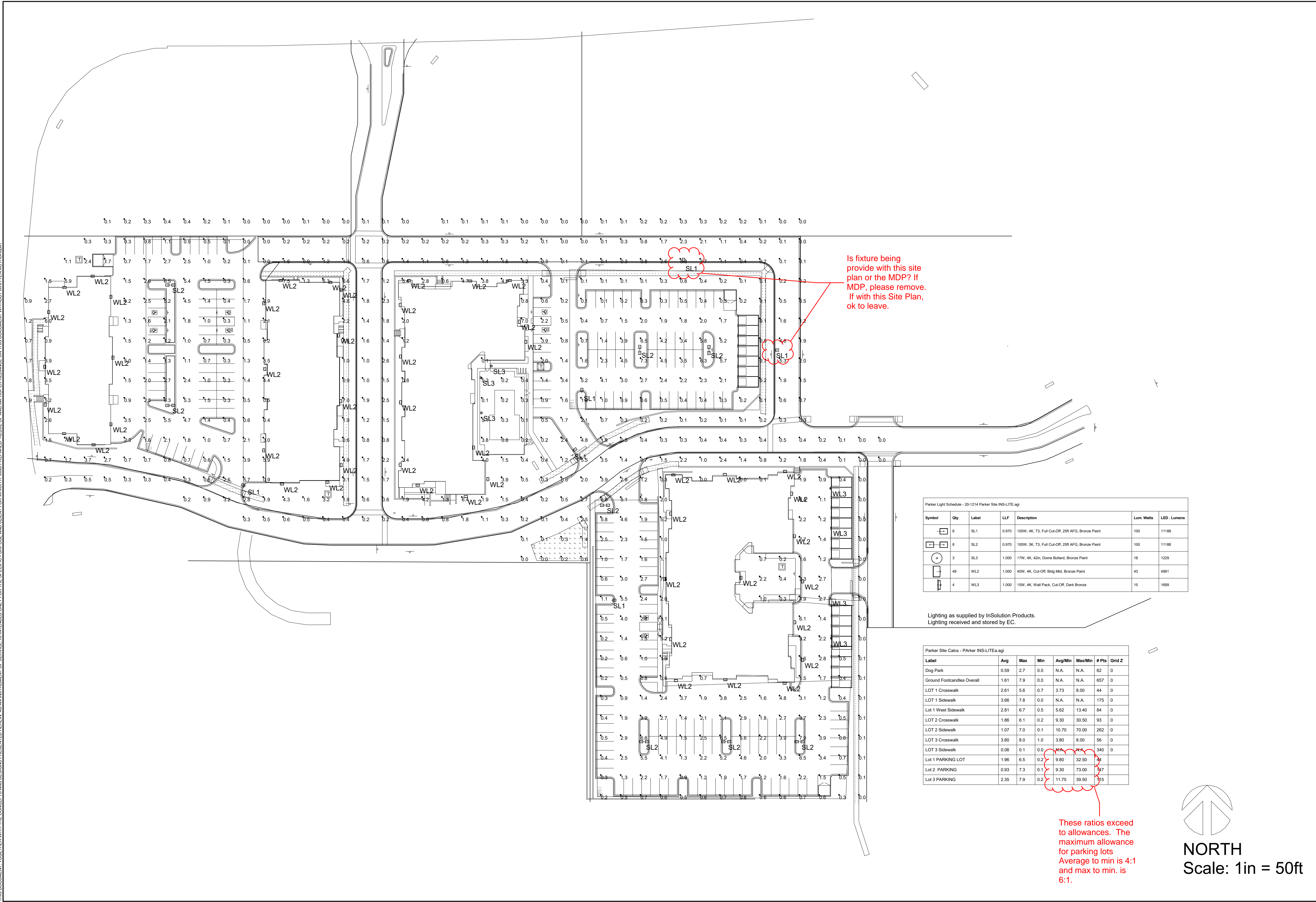
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL SITE PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION
 Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002

DRAWING NAME
 096481002PSP_SP

W:\m\h\com\m\it_den\1DEN_Civil\096481002_Parker & Pine MEI_Project Files\Site-out\Client - Carrell\2020_1209 CAD Files\096481002_TB_SP.dwg, Keszrak Jack
 THIS DOCUMENT TOGETHER WITH THE COMPLETE SET OF DRAWINGS IS THE PROPERTY OF INSOLUTION LLC. IT IS TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SITE FOR WHICH IT WAS PREPARED. NO REUSE OR REPRODUCTION OF ANY PART OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION.



Is fixture being provide with this site plan or the MDP? If MDP, please remove. If with this Site Plan, ok to leave.

Parker Light Schedule - 201214 Parker Site INS-LITE.dwg

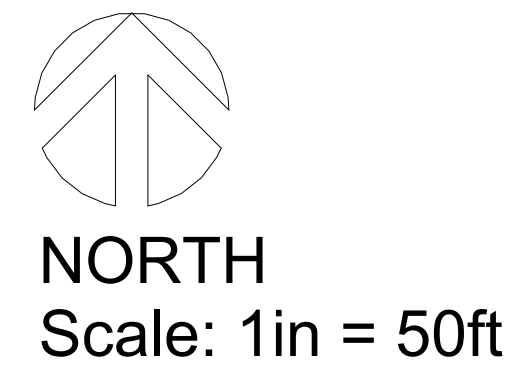
Symbol	Qty	Label	LF	Description	Lum. Watts	LED - Lumens
	6	SL1	0.970	100W, 4K, T3, Full Cut-Off, 250' AFG, Bronze Paint	100	11186
	4	SL2	0.970	100W, 3K, T3, Full Cut-Off, 250' AFG, Bronze Paint	100	11186
	3	SL3	1.000	17W, 4K, 42in, Dome Bottom, Bronze Paint	18	1229
	49	WL2	1.000	40W, 4K, Cut-Off, Big Mid, Bronze Paint	43	4991
	4	WL3	1.000	15W, 4K, Wall Pack, Cut-Off, Dark Bronze	15	1699

Lighting as supplied by InSolution Products.
 Lighting received and stored by EC.

Parker Site Calcs - Parker INS-LITE.dwg

Label	Avg	Max	Min	Avg/Min	Max/Min	# Pts	Grid Z
Dog Park	0.59	2.7	0.0	N.A.	N.A.	62	0
Ground Footcandle Overall	1.61	7.9	0.0	N.A.	N.A.	657	0
LOT 1 Crosswalk	2.61	5.6	0.7	3.73	8.00	44	0
LOT 1 Sidewalk	3.66	7.8	0.0	N.A.	N.A.	175	0
Lot 1 West Sidewalk	2.81	6.7	0.5	5.62	13.40	84	0
LOT 2 Crosswalk	1.86	6.1	0.2	9.30	30.50	93	0
LOT 2 Sidewalk	1.07	7.0	0.1	10.70	70.00	262	0
LOT 3 Crosswalk	3.80	8.0	1.0	3.80	8.00	56	0
LOT 3 Sidewalk	0.06	0.1	0.0	N.A.	N.A.	340	0
Lot 1 PARKING LOT	1.96	6.5	0.2	9.80	32.50	34	0
Lot 2 PARKING	0.93	7.3	0.1	9.30	73.00	97	0
Lot 3 PARKING	2.35	7.9	0.2	11.75	39.50	75	0

These ratios exceed to allowances. The maximum allowance for parking lots Average to min is 4:1 and max to min, is 6:1.



IN SOLUTION LLC
5157 E 64th St
Suite C
Indianapolis, IN 46220
317-372-4947
jim.nage@insolutionproducts.com

NO.	REVISION	BY	DATE	APP.

Lighting Designed by Jpage
Lighting Checked by Jpage
Lighting Checked by Jpage
Date: 12/14/2020

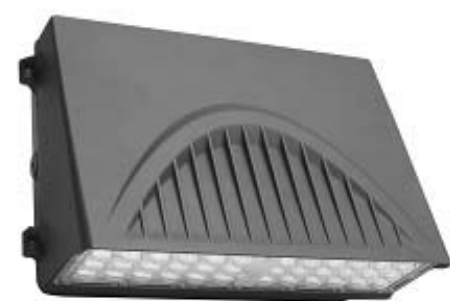
PARKER AND PINE FILING NO. 2 LOTS 1-3
MULTI-FAMILY SITE LIGHTING CALCS
PARKER, CO

PROJECT NO:
096481002

DRAWING NAME:
096481002_TB_SP

07 OF 45

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Please label the cut sheets as to what abbreviation goes to which light fixture.

Please add a column for the height of each fixture on the property.

Symbol	Qty	Label	Description	Lum. Watts	LED Lumens
	6	SL1	100W, 4K, T3, Full Cut-Off, 25R AFG, Bronze Paint	100	11188
	8	SL2	100W, 3K, T3, Full Cut-Off, 25R AFG, Bronze Paint	100	11188
	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229
	49	WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991
	4	WL3	15W, 4K, Wall Pack, Cut-Off, Dark Bronze	15	1699

Mpulse
AREA LIGHT

A housing blend of performance, value and aesthetics, the MPulse Area Light is available in a wide range of lumens packages to address a variety of outdoor lighting needs. The Area Light can be combined with a 4.5' architectural grade LED luminaire to create a total lighting solution for commercial, municipal, retail, education, and hospitality applications. Outdoor visual comfort optics distribute light through a non-polluted light source that creates uniform, non-glaring illumination with minimal glare. The high-performance 500-watt luminaire delivers a minimum of 100 lumens per watt, providing significant energy savings while remaining durable in the field.

PERFORMANCE:

- Available in lumens packages ranging from 10,000lm to 30,000lm
- Calculated lumens maintenance factor of 0.90x (L80)
- 100,000-hour lifespan at 25°C
- 100-277V dimming standard. 347-480V options available
- 50W single replacement standard

CONSTRUCTION:

- Die Cast Aluminum Housing
- Tempered Glass
- 1/2" NPT 3/4" standard

MOUNTING:

- Standard and, optional, angled, and 2-3/8" spigot brackets
- Options available

ENVIRONMENT:

- UL94V-0 flame retardant
- IP65 for use in wet locations in US, standards and IP66 rated

PHOTOMETRICS:

- All IES Files available

WARRANTY:

- 50-year standard warranty

CONTROL:

PhotoPulse Sensor: The PhotoPulse PEP-201 uses passive infrared (PIR) sensing technology to react to changes in ambient energy (i.e., moving body heat) within the coverage area. This unit, which is optional, is available for installation inside the bottom of a light fixture body and is ideal for outdoor environments. The sensor operates in fully independent, self-learning light level operation as well as on/off (LDA) to dawn control. Sensor can be combined with optional sensors to operate at mounting heights from 8' to 60'. Factory settings can be adjusted via the PEP-201, a wireless configuration tool. **Note: The sensor comes with standard settings disabled and the PEP-201 must be purchased if photoPulse functionality is desired.**

SENSOR DEFAULT SETTINGS:

Factor	Default
High Mins	30'
Low Mins	10'
Time Delay	3 Mins
Auto On	Yes
Sensitivity	High

8PC, 8PZ Options: Allow the use of 8pc party distributed intelligence control and 8pZ party distributed intelligence control. Both are available in 8pc and 8pZ versions. Standard 8PC, 8PZ, and 8pZ are available in photoPulse sensing and On/Off control. Separate PhotoPulse options are available.

WALLMAX™ LARGE CUT-OFF
WPCL SERIES

PRODUCT DESCRIPTION:
WallMax Cut-Off Wall Packs are a full cut-off architectural wall mounted fixture for commercial offices, schools and other public administrative buildings. It offers a wide range of colors and finishes including CCT tunability so the customer can choose between 3000K, 4000K and 5000K color temperatures.

CONSTRUCTION:
Die Cast Aluminum housing with polycarbonate LED lens

WARRANTY:
50-year standard warranty
*Warranty Limitation: Product must be used for the application per the Product Data Sheet (PDS), operated in 4, 8 hrs, in ambient of 25°F to 104°F.

INSTALLATION:

- 1/2" threaded conduit hole in the center of the back housing
- 1/2" threaded conduit hole, one on each side of the back housing and 2" on the top of the housing
- Back in wall holes ensure energy routing

ORDER STRUCTURE

FAMILY	WATTAGE	VOLTAGE	STANDARD TOP	CCT	FINISH	OPTIONAL
WPCL	100W	120V/277V	100	4000K	Black	PhotoPulse Sensor, CCT, 100W or 277V only, 5000K Color Temp, CCT, 100W or 277V only, PEP-201 PhotoPulse Sensor

ACCESSORY

ORDER CODE	MODEL NUMBER	DESCRIPTION	PRICE
104799	RMRC-100	REMOTE CONTROL FOR DIMMABLE PRODUCTS RANGE 4XPT RECOILS, NO BACKLIGHT	

PATHMAX™ LED BOLLARDS
CLASSIC SERIES DOME TOP

PRODUCT DESCRIPTION:
The round Classic LED Bollard is an economical and energy efficient choice for lighting walkways, plazas and other pedestrian areas in commercial and residential applications.

FEATURES:

- 100-277V dimming capability
- Dimming driver standard
- CIP 400
- 10 year warranty
- Up to 50,000 hour L70 lifetime, TM21 standards @ 25°C

CONSTRUCTION:

- Extruded Aluminum housing
- Clear Polycarbonate lens
- An optional GFCI can be installed and centered 1/2" from the top of the bollard

ENVIRONMENT:

- CIA Group for wet locations
- IP65 rated fixture system

INSTALLATION:

- Flush Mounting Base with Vertical Resistant Strips
- Installation kit with 4" Anchor Bolt included

WARRANTY:
50-year standard warranty
*Warranty Limitation: Product must be used for the application per the Product Data Sheet (PDS), operated in 4, 8 hrs, in ambient of 25°F to 104°F.

MODEL SELECTION

MODEL	WATTAGE	VOLTAGE	CCT	FINISH	CONTROL
WP-AD	100W	120V/277V	4000K	Black	PhotoPulse Sensor, CCT, 100W or 277V only, 5000K Color Temp, CCT, 100W or 277V only, PEP-201 PhotoPulse Sensor

WALLMAX™ THIN CUT OFF
WP-AD SERIES

PRODUCT DESCRIPTION:
The round Classic LED Bollard is an economical and energy efficient choice for lighting walkways, plazas and other pedestrian areas in commercial and residential applications.

FEATURES:

- 100-277V dimming capability
- Dimming driver standard
- CIP 400
- 10 year warranty
- Up to 50,000 hour L70 lifetime, TM21 standards @ 25°C

CONSTRUCTION:

- Extruded Aluminum housing
- Clear Polycarbonate lens
- An optional GFCI can be installed and centered 1/2" from the top of the bollard

ENVIRONMENT:

- CIA Group for wet locations
- IP65 rated fixture system

INSTALLATION:

- Flush Mounting Base with Vertical Resistant Strips
- Installation kit with 4" Anchor Bolt included

WARRANTY:
50-year standard warranty
*Warranty Limitation: Product must be used for the application per the Product Data Sheet (PDS), operated in 4, 8 hrs, in ambient of 25°F to 104°F.

MODEL SELECTION

MODEL	WATTAGE	VOLTAGE	CCT	FINISH	CONTROL
WP-AD	100W	120V/277V	4000K	Black	PhotoPulse Sensor, CCT, 100W or 277V only, 5000K Color Temp, CCT, 100W or 277V only, PEP-201 PhotoPulse Sensor

PARKER AND PINE FILING NO. 2 LOTS 1-3
MULTI-FAMILY SITE LIGHTING DETAILS
PARKER, CO

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

PROJECT NO.
096481002

DRAWING NAME
X096481002TB_SP

08 OF 45

Insolution LLC
1414 1/2
State C
Indianapolis, IN 46220
317-572-4947
jim.ragsdale@insolutionproducts.com

Lighting Designed by Jago
Lighting Drawn by Jago
Lighting Checked by Jago
Date: 12/14/2020

There are a lot of landscape numbers in this table. Please break these down further by explaining what is included in the overall landscape numbers and what is in addition. An example could be:
 Open Space/Landscaping 186,091
 - Landscaping 120,472
 - Dog Park 2,432
 etc.

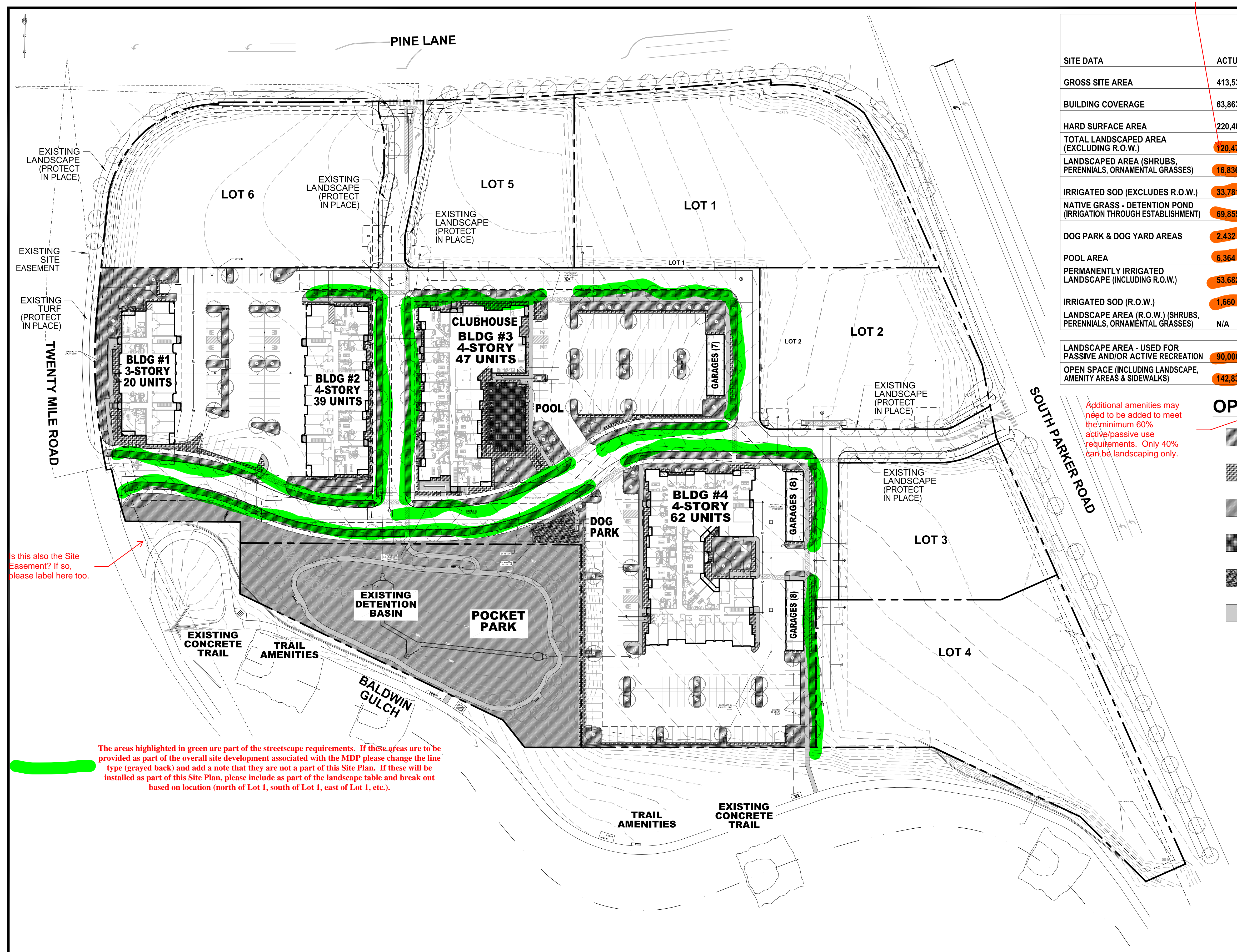
I am still unsure of how much landscaping has been provided and if the minimum standards are required.

SITE DATA TABLE						
SITE DATA	ACTUAL SF	MIN. AREA SF REQUIRED	% REQUIRED	% MAX.	% PROVIDED	CY COMPOST REQ'D @ 3/1000 SF
GROSS SITE AREA	413,536	N/A	N/A	N/A	100%	N/A
BUILDING COVERAGE	63,863	N/A	N/A	N/A	15.5%	N/A
HARD SURFACE AREA	220,405	N/A	N/A	N/A	53.2%	N/A
TOTAL LANDSCAPED AREA (EXCLUDING R.O.W.)	120,472	N/A	N/A	N/A	29.1%	SEE BELOW
LANDSCAPED AREA (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	16,836	N/A	N/A	N/A	N/A	SEE BELOW
IRRIGATED SOD (EXCLUDES R.O.W.)	33,781	N/A	N/A	N/A	8.1%	N/A
NATIVE GRASS - DETENTION POND (IRRIGATION THROUGH ESTABLISHMENT)	69,855	N/A	N/A	N/A	N/A	175
DOG PARK & DOG YARD AREAS	2,432	N/A	N/A	N/A	.6%	N/A
POOL AREA	6,364	N/A	N/A	N/A	1.6%	N/A
PERMANENTLY IRRIGATED LANDSCAPE (INCLUDING R.O.W.)	53,682	N/A	N/A	N/A	N/A	161
IRRIGATED SOD (R.O.W.)	1,660	N/A	N/A	N/A	N/A	N/A
LANDSCAPE AREA (R.O.W.) (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL CY OF COMPOST: 325						
LANDSCAPE AREA - USED FOR PASSIVE AND/OR ACTIVE RECREATION	90,000	111,655	60% OF TOTAL LANDSCAPE AREA	N/A	48%	N/A
OPEN SPACE (INCLUDING LANDSCAPE, AMENITY AREAS & SIDEWALKS)	142,831	186,092	45%	N/A	35%	N/A

Additional amenities may need to be added to meet the minimum 60% active/passive use requirements. Only 40% can be landscaping only.

OPEN SPACE EXHIBIT LEGEND:

- IRRIGATED SOD: (EXCLUDES ROW) 33,781 SQ. FT.
- LANDSCAPED AREA: (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES) 16,836 SQ. FT.
- NATIVE GRASS: (DETENTION BASIN TEMP-IRRIGATED) 69,855 SQ. FT.
- POOL AREA: 3,561 SQ. FT.
- DOG PARK & DOG: YARD AREAS 2,432 SQ. FT.
- SIDEWALKS & TRAILS: 16,366 SQ. FT.



Is this also the Site Easement? If so, please label here too.

The areas highlighted in green are part of the streetscape requirements. If these areas are to be provided as part of the overall site development associated with the MDP please change the line type (grayed back) and add a note that they are not a part of this Site Plan. If these will be installed as part of this Site Plan, please include as part of the landscape table and break out based on location (north of Lot 1, south of Lot 1, east of Lot 1, etc.).



DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 12/14/20

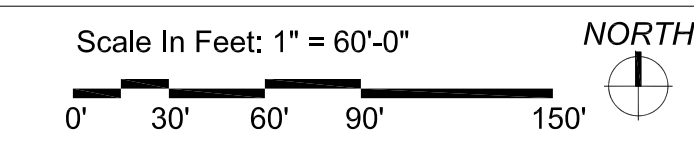
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OPEN SPACE EXHIBIT

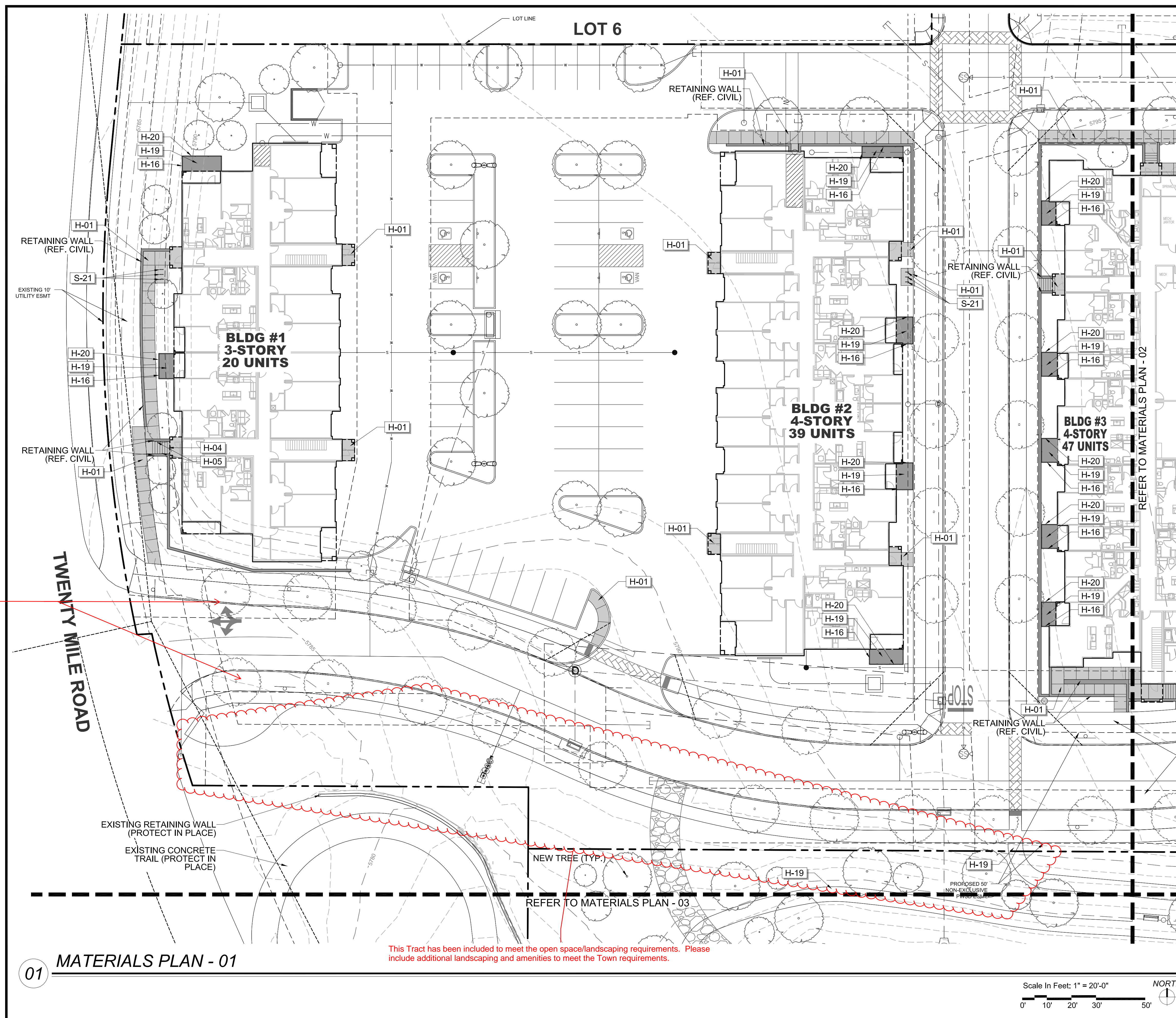
PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436

NOT FOR CONSTRUCTION

PROJECT NO. 096481002

01 OPEN SPACE EXHIBIT





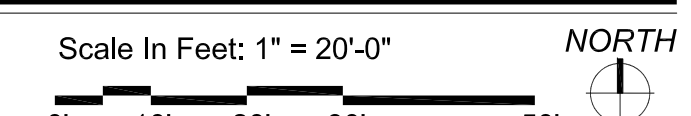
REFERENCE NOTES SCHEDULE

SYMBOL	HARDSCAPE DESCRIPTION
H-01	CONCRETE PAVING - SIDEWALK
H-02	CONCRETE PAVING - POOL DECK
H-04	CONCRETE STEPS
H-05	METAL HANDRAIL
H-06	POOL, TO MEET ALL APPLICABLE ADA AND POOL CODES, 1,150 SQ. FT.
H-07	HOT TUB, AT GRADE, 9' X 9'
H-08	METAL POOL HANDRAIL
H-09	POOL COPING - CONCRETE TO MATCH POOL DECK
H-10	CABANAS, PREFAB METAL WITH CANVAS TOP & SIDES
H-11	OUTDOOR KITCHEN TO INCLUDE 2 GAS GRILLS, SINK AND UNDER COUNTER REFRIGERATOR. CMU WITH STONE VENEER TO MATCH BUILDING. (COORDINATE GAS, WATER AND ELECTRICAL WITH MEP AND CIVIL)
H-12	TUBE STEEL SHADE STRUCTURE WITH STANDING SEAM METAL ROOF (COORDINATE ELECTRICAL FOR LIGHTING WITH MEP)
H-13	FIRE TABLE - NATURAL GAS, BROWN JORDAN FIRES 12"-18" HT. (COORDINATE NATURAL GAS LINE WITH PLUMBING AND CIVIL)
H-14	6' HT. POOL FENCE, ORNAMENTAL ALUMINUM PICKET, BLACK
H-15	6' HT. X 42" WIDTH POOL FENCE GATE, TO MATCH POOL FENCE. ACCESS CONTROL. (COORDINATE WITH MEP)
H-16	4' HT. DOG PARK FENCE, ORNAMENTAL ALUMINUM PICKET, BLACK
H-17	4' HT. X 42" WIDTH GATE, TO MATCH DOG PARK FENCE.
H-18	POWER/USB PEDESTAL (SEE ELECTRICAL PLAN FOR CONDUIT) 7 TOTAL
H-19	DECOMPOSED GRANITE (COMPACTED)
H-20	METAL LANDSCAPE EDGING
H-21	MONUMENT SIGN (COORDINATE ELECTRICAL FOR LIGHTING WITH MEP)
SYMBOL	SITE FURNISHING DESCRIPTION
S-01	BENCH
S-02	CHAISE LOUNGE
S-03	UMBRELLA
S-04	4 TOP TABLE AND CHAIRS
S-05	COMMUNAL TABLE AND CHAIRS
S-06	HAMMOCK
S-08	OUTDOOR LOUNGE COUCH
S-09	OUTDOOR LOUNGE CHAIR
S-10	CORNHOLE
S-11	TRASH RECEPTACLE
S-12	COFFEE TABLE FOR JENGA
S-13	GIANT OUTDOOR JENGA
S-14	FITNESS STATIONS
S-15	SIDE TABLE
S-16	IN POOL CHAISE LOUNGE
S-17	PET WASTE STATION
S-18	PET DRINKING FOUNTAIN
S-19	DOG PARK PLAY STRUCTURES
S-20	BIKE FIX-IT STATION
S-21	BIKE RACKS

If these street trees are being provided as part of the overall master development and MDP, please change line type and add note to this plan. If not, leaving them as is will be fine.

01 MATERIALS PLAN - 01

This Tract has been included to meet the open space/landscaping requirements. Please include additional landscaping and amenities to meet the Town requirements.



DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 12/14/20

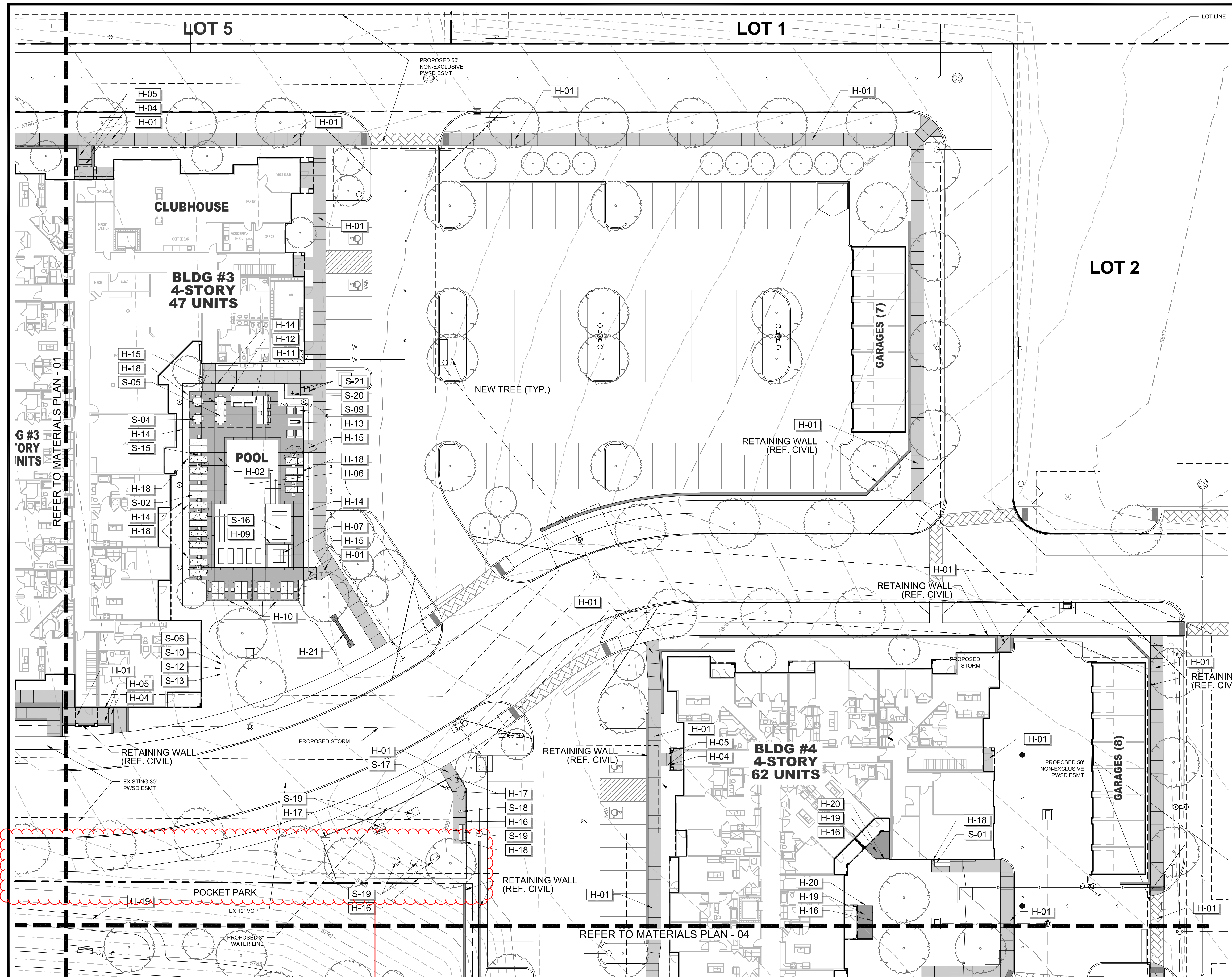
PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
MATERIALS PLAN

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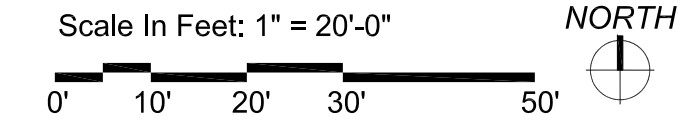
REFERENCE NOTES SCHEDULE

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H-18	POWER/USB PEDESTAL (SEE ELECTRICAL PLAN FOR CONDUIT) 7 TOTAL
H-19	DECOMPOSED GRANITE (COMPACTED)
H-20	METAL LANDSCAPE EDGING
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S-18	PET DRINKING FOUNTAIN
S-19	DOG PARK PLAY STRUCTURES
S-20	BIKE FIX-IT STATION
S-21	BIKE RACKS

01 MATERIALS PLAN - 02

This Tract has been included to meet the open space/landscaping requirements. Please include additional landscaping and amenities to meet the Town requirements.



DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 12/14/20

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
MATERIALS PLAN

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PROJECT NO. 096481002



Parking lot perimeter landscaping is required along this area unless the parking lots are shared between uses.

Additional shrubs and ornamental grasses should be added in these locations to meet the buffer requirements from internal roadways.

PLANTING SCHEDULE

SYMBOL TAG COMMON NAME BOTANIC NAME

DECIDUOUS CANOPY TREES			
ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	
PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	
ENO	ENGLISH OAK	QUERCUS ROBUR	
EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'	
IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'	
PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	
GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'	

ORNAMENTAL TREES			
HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	
ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA 'AUTUMN BRILLANCE'	
TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'	
AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	

EVERGREEN TREES			
VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'	
LBP	LIMBER PINE	PINUS FLEXILIS	
BCP	BRISTLECONE PINE	PINUS ARISTATA	
GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	

DECIDUOUS & EVERGREEN SHRUBS			
CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	
BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	
RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	
KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	
GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'	
PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	
KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'	
MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	
GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'	

LOW/SPREADING SHRUBS			
CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	
BRD	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	
HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUULTII 'HANCOCK'	

PERENNIALS			
DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	
PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	
YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA	
BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	
AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	
MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	

ORNAMENTAL GRASSES			
PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	
SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	
FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER'	
LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	

TURF GRASSES			
KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND BY TURFMASTER SOD	

NOTE: REFERENCE LANDSCAPE SCHEDULE SHEET FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-886-7923

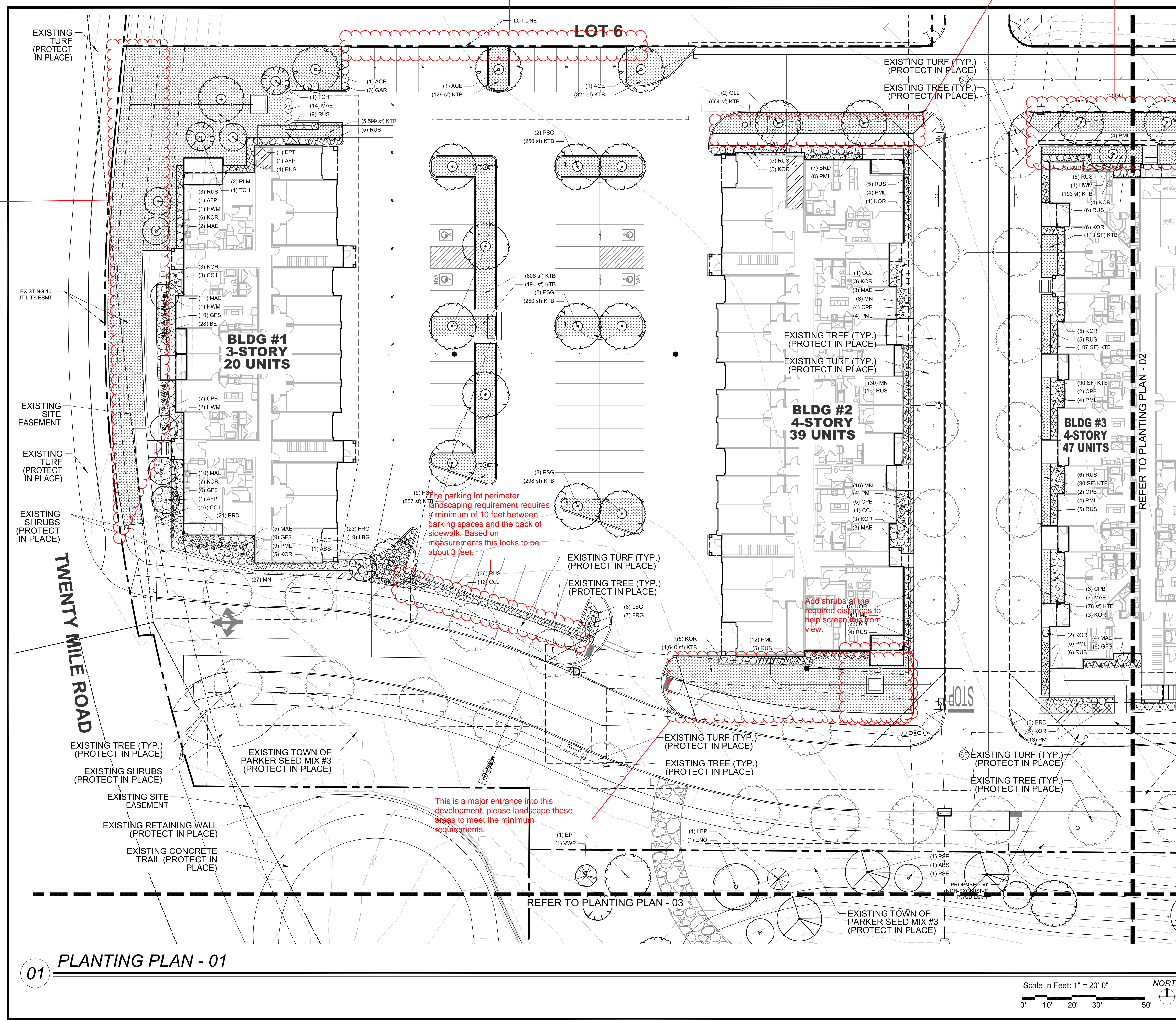
DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 12/14/20

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
PLANTING PLAN

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.
Nicholas Allen Smith
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PROJECT NO. 096481002

20 OF 45



Additional shrubs and ornamental grasses (which are allowed within easements) should be added along this property line to meet the property perimeter landscape requirement and the requirement for buffers adjacent to roadways.

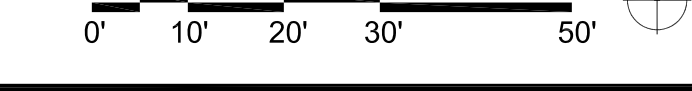
The parking lot perimeter landscaping requirement requires a minimum of 10 feet between parking spaces and the back of sidewalk. Based on measurements this looks to be about 3 feet.

Add shrubs at the required distances to help screen this from view.

This is a major entrance into this development, please landscape these areas to meet the minimum requirements.

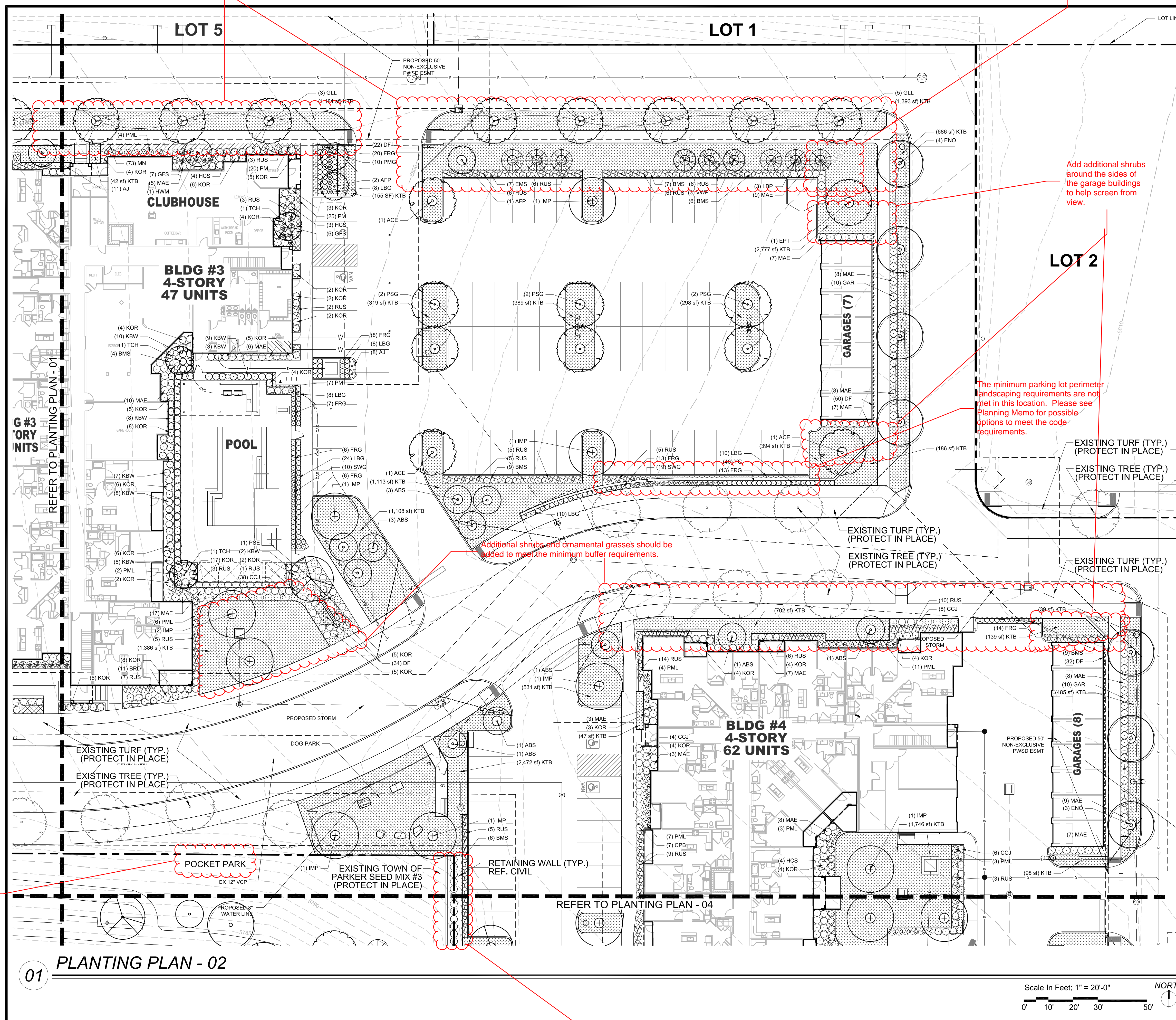
01 PLANTING PLAN - 01

Scale In Feet: 1" = 20'-0" NORTH



Additional shrubs and ornamental grasses should be added to meet the minimum buffer requirements.

Please show the trash enclosures on the plan and add landscaping to help screen from view.



PLANTING SCHEDULE

SYMBOL TAG COMMON NAME BOTANIC NAME

DECIDUOUS CANOPY TREES

ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
ENO	ENGLISH OAK	QUERCUS ROBUR
EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
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ORNAMENTAL TREES

HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'
TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'

EVERGREEN TREES

VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
LBP	LIMBER PINE	PINUS FLEXILIS
BCP	BRISTLECONE PINE	PINUS ARISTATA
GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'

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CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'
BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
KOR	'KNOCK OUT PINK ROSE'	ROSA 'KNOCK OUT PINK ROSE'
PFL	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
MLS	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'
GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'

LOW/SPREADING SHRUBS

CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
BRD	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUULTII 'HANCOCK'

PERENNIALS

DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'

ORNAMENTAL GRASSES

PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'
SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER'
LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM

TURF GRASSES

KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND BY TURFMASTER SOD
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NOTE: REFERENCE LANDSCAPE SCHEDULE SHEET FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.



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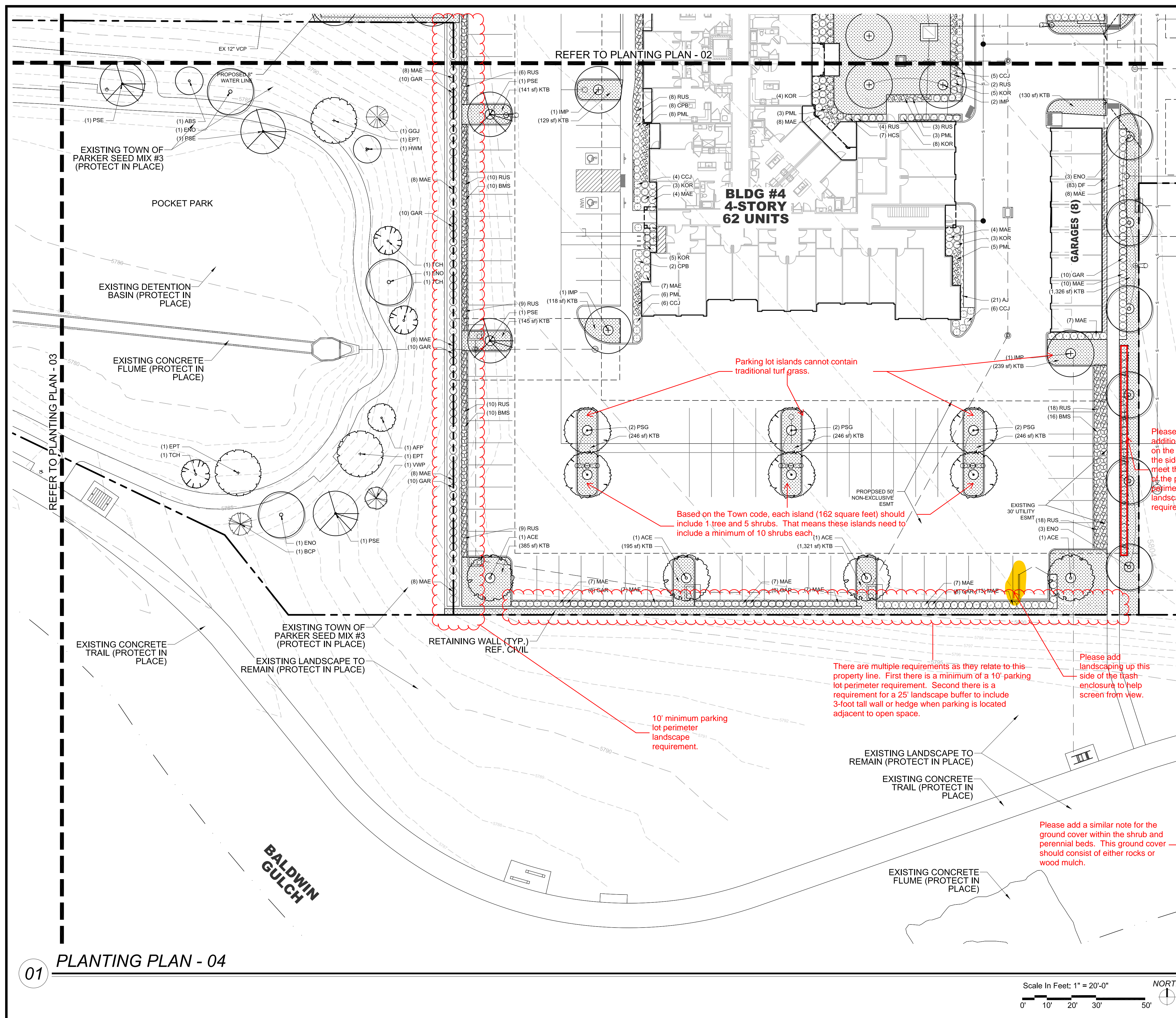
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NOT FOR CONSTRUCTION

PROJECT NO. 096481002

Pocket parks need to have additional amenities to meet the Town's Parks dedication requirements. Vacant open areas do not count.

10' minimum requirement for parking lot perimeter landscaping requirement.



PLANTING SCHEDULE

SYMBOL TAG COMMON NAME BOTANIC NAME

DECIDUOUS CANOPY TREES

ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
ENO	ENGLISH OAK	QUERCUS ROBUR
EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'

ORNAMENTAL TREES

HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'
TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'

EVERGREEN TREES

VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
LBP	LIMBER PINE	PINUS FLEXILIS
BCP	BRISTLECONE PINE	PINUS ARISTATA
GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'

DECIDUOUS & EVERGREEN SHRUBS

CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'
BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
KOR	'KNOCK OUT' PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'
GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'

LOW/SPREADING SHRUBS

CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
BRD	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUULTII 'HANCOCK'

PERENNIALS

DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'

ORNAMENTAL GRASSES

PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'
SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'
LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM

TURF GRASSES

KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND BY TURFMASTER SOD
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NOTE: REFERENCE LANDSCAPE SCHEDULE SHEET FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.



DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 12/14/20

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
PLANTING PLAN

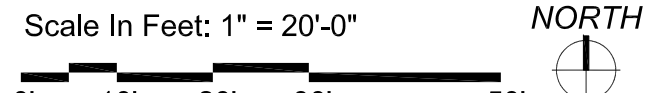
PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.

Nicholas Allen Smith
Registered Landscape Architect of the State of COLORADO
Registration Number: 1436

NOT FOR CONSTRUCTION

PROJECT NO. 096481002

01 PLANTING PLAN - 04



PLANTING SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME	SIZE	HEIGHT (FEET)	WIDTH (FEET)	HYDROZONE	NOTES	%
DECIDUOUS CANOPY TREES										
	ACE	11	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2-1/2" CAL.	50	30	M-H	BALLED & BURLAPPED	11
	PSG	23	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	24
	ENO	18	ENGLISH OAK	QUERCUS ROBUR	2-1/2" CAL.	45	30	M-H	BALLED & BURLAPPED	20
	EPT	8	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'	2-1/2" CAL.	50	30	M-H	BALLED & BURLAPPED	8
	IMP	14	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'	2-1/2" CAL.	35	30	M-H	BALLED & BURLAPPED	14
	PSE	9	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	10
	GLL	12	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	13
	SUBTOTAL	95								
ORNAMENTAL TREES										
	HWM	8	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	2" CAL.	20	15	M	BALLED & BURLAPPED	20
	ABS	14	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'	2" CAL.	20	20	M	B & B, SINGLE TRUNK	34
	TCH	9	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'	2" CAL.	15	15	M	BALLED & BURLAPPED	23
	AFP	9	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	2" CAL.	20	15	M	BALLED & BURLAPPED	23
	SUBTOTAL	40								
EVERGREEN TREES										
	VWP	6	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'	6' HT.	15	10	L-M	BALLED & BURLAPPED	40
	LBP	4	LIMBER PINE	PINUS FLEXILIS	6' HT.	35	15	L-M	BALLED & BURLAPPED	26
	BCP	1	BRISTLECOONE PINE	PINUS ARISTATA	6' HT.	20	15	L-M	BALLED & BURLAPPED	8
	GGJ	4	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	6' HT.	20	15	L-M	BALLED & BURLAPPED	26
	SUBTOTAL	15								
DECIDUOUS SHRUBS										
	CPB	37	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL.	2	3	L-M	MATCHING, CONTAINER FULL	
	BMS	94	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
	RUS	323	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	4	4	L-M	MATCHING, CONTAINER FULL	
	KOR	244	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	GFS	47	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	PML	130	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	KBW	55	KOREAN BOXWOOD	BUXUS 'KOREAN'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	MAE	325	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	GAR	100	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'	5 GAL.	5	4	M	MATCHING, CONTAINER FULL	
	SUBTOTAL	1,355								
LOW/SPREADING SHRUBS										
	CCJ	101	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	3 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	BRD	45	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	3 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	HCS	20	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUTII 'HANCOCK'	3 GAL.	3	5	L-M	MATCHING, CONTAINER FULL	
	SUBTOTAL	166								
PERENNIALS (TRIANGULAR SPACING)										
	DF	231	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS.	1	2	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	PM	66	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS.	1.5	1.5	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	YC	38	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA	4 IN. POTS.	2	2	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	BE	29	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	4 IN. POTS.	2	2	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	AJ	49	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS.	2	1.5	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	MN	177	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS.	2	2	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	SUBTOTAL	590								
ORNAMENTAL GRASSES										
	PMG	10	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.	4	3	L-M	MATCHING	
	SWG	29	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL.	5	3	L-M	MATCHING	
	FRG	117	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M	MATCHING	
	LBG	95	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL.	3	3	L-M	MATCHING	
	SUBTOTAL	251								
TURF GRASSES										
	KTB	33,781 SQ. FT.	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT BLENDED HYBRID TURF GRASS	SOD	N/A	N/A	M	SOLID SOD	
	SUBTOTAL:	33,781 SQ. FT.								

NOTE: QUANTITIES LISTED ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY QUANTITIES PER PLANS AND BRING AND DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
 NOTE: ALL SHRUB, PERENNIAL AND ORNAMENTAL GRASS PLANTING BEDS TO INCLUDE HARDWOOD MULCH PER PLANTING DETAILS.
 NOTE: LANDSCAPE IDENTIFIED AS EXISTING, INSTALLED BY OTHERS WILL BE INSTALLED BY THE MASTER DEVELOPER.

TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES:

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS' ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY. ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G., FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION.
- IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET. IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPED AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO THE ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- OWNER'S REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL AFTER CITY INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 2" DEPTH SHREDDED HARDWOOD MULCH. CONTRACTOR SHALL PROVIDE 1 GALLON BAG SAMPLE OF MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLE. ALL PERENNIAL AND ANNUAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARD AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SHRUB BEDS TO BE IRRIGATION WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER, AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH, FERTILIZING; PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.
- SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
- ALL EXISTING TREES, SHRUBS, GRASS, ROCKS, FENCE ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE CESARE, INC. PROJECT NO. 16.174, AUGUST 17, 2016 #11 SURFACE DRAINAGE: C) WATERING WITHIN 5 FEET OF THE STRUCTURE SHOULD BE ELIMINATED. D) IF LAWN EDGING IS USED AROUND THE EXTERIOR OF THE STRUCTURE, IT SHOULD BE PERFORATED TO PREVENT PONDING OF SURFACE WATER IN THE VICINITY OF THE BACKFILL SOILS. F) IF A SPRINKLER SYSTEM IS INSTALLED, THE SPRINKLER HEADS SHOULD BE PLACES SO THAT THE SPRAY FROM THE HEADS, UNDER FULL PRESSURES, DOES NOT FALL WITHIN 5 FEET OF FOUNDATION WALLS."

These are the same. Why is it in this table twice? Please also include the internal roadways and the streetscape required along these roads.

DESCRIPTION	PARKING LOT SF	MIN. 10% SF LANDSCAPED	MIN. 35% SF LANDSCAPED	LANDSCAPE REQUIREMENTS									
				SQUARE FOOT	TREES REQ. 1/1500 SF	TREES REQ. 1/162 SF	LINEAR FEET	1 TREE PER 40 LF	TREES PROVIDED	SHRUBS REQ. 5/1500 SF	SHRUBS REQ. 5/40 SF	SHRUBS PROVIDED	
ROW TWENTY MILE RD	N/A	N/A	N/A	1,660	N/A	N/A	305	16	N/A	N/A	39	N/A	
STREETSCAPE TWENTY MILE RD	N/A	N/A	N/A	N/A	N/A	N/A	305	16	16	N/A	39	39	
PARKING LOT INTERIOR ISLANDS	100,380	10,038	N/A	11,177	N/A	35	N/A	N/A	35	N/A	500	500	
MIN. SITE STANDARDS	N/A	N/A	144,738	150,000	97	N/A	N/A	N/A	99	482	500	855	
				TOTAL TREES REQUIRED: 148		TOTAL TREES PROVIDED: 150				TOTAL SHRUBS REQUIRED: 1,039		TOTAL SHRUBS PROVIDED: 1,772	

A minimum of 45% overall site landscaping is required which requires a total of 186,091 sq. ft.

EXISTING TREES					
TYPE OF TREE	LEGEND	CRITERIA FOR REMOVAL	CONDITION	CALIPER	MITIGATION TREES REQUIRED
NO EXISTING TREES WILL BE REMOVED DURING CONSTRUCTION. THERE ARE NO EXISTING TREES ON SITE.					

811 Know what's below. Call before you dig.



DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 12/14/20

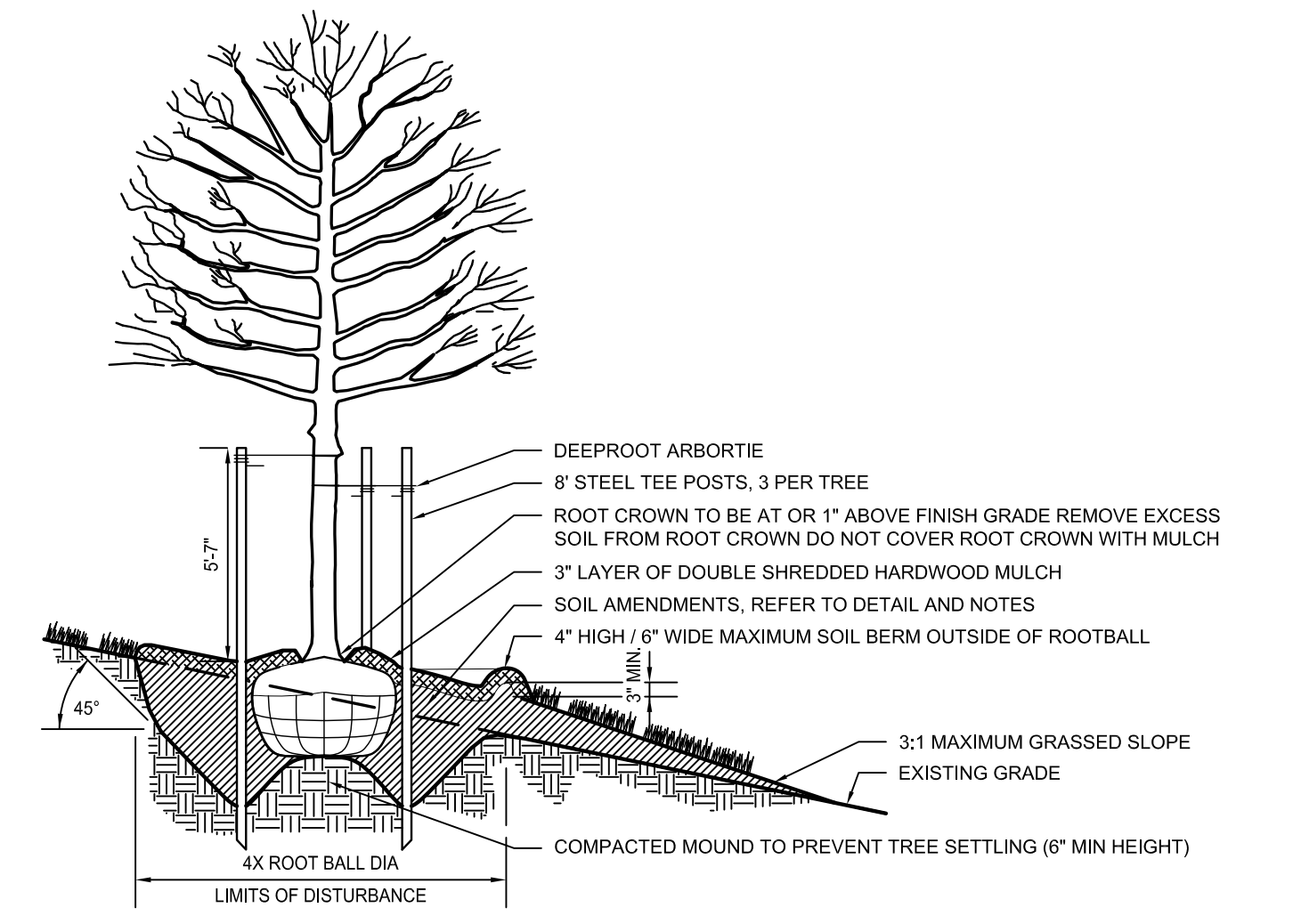
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
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PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.
 Nicholas Allen Smith
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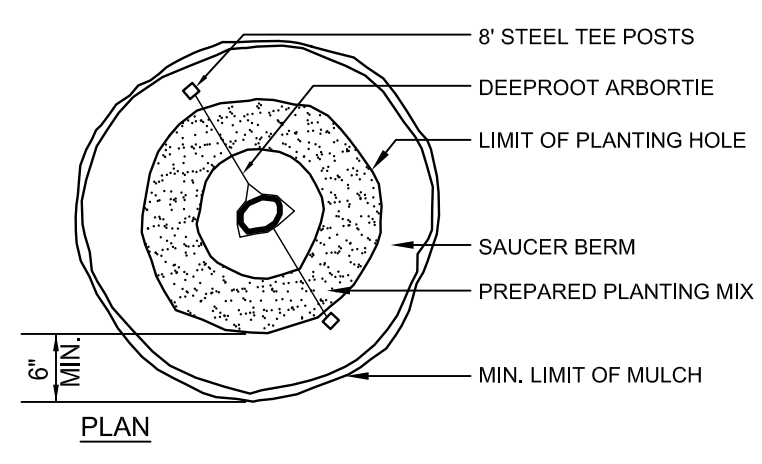
NOTES:

1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.
7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
8. RESEED UNMULCHED, DISTURBED AREAS.
9. DO NOT COVER ROOT CROWN.



1 TREE PLANTING ON SLOPE

SECTION NTS

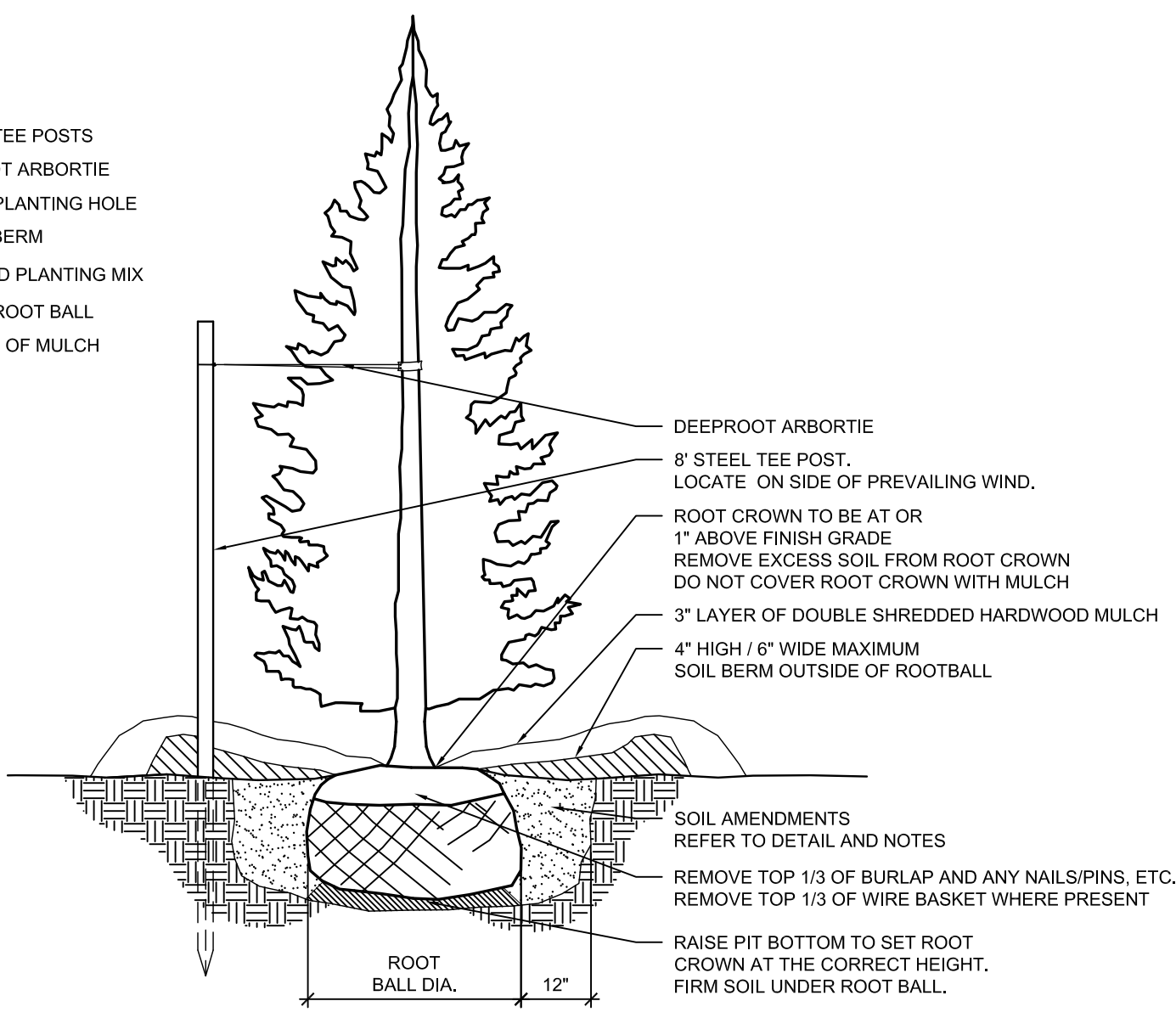


2 EVERGREEN TREE PLANTING

SECTION NTS

NOTES:

1. TREES / TREE WELLS SHALL NOT CONFLICT WITH EXISTING OR PROPOSED WATER OR WASTEWATER LINES OR APPURTENANCES AND SHALL NOT BE INSTALLED WITHIN A MINIMUM HORIZONTAL DISTANCE OF FOUR FEET (4') FROM THE OUTSIDE EDGE OF ANY PUBLIC OR PRIVATE UTILITY LINE OR APPURTENANCE TO THE OUTSIDE EDGE OF THE TREE.
2. ALL TREES INSTALLED WITHIN A HORIZONTAL SEPARATION DISTANCE OF EIGHT FEET (8') MAXIMUM TO FOUR FEET (4') MINIMUM FROM EXISTING OR PROPOSED WATER OR WASTEWATER APPURTENANCES. SHALL INCLUDE DEEP ROOT US 36-2 ROOT BARRIER, OR APPROVED EQUAL, TO BE INSTALLED VERTICALLY 36\"/>

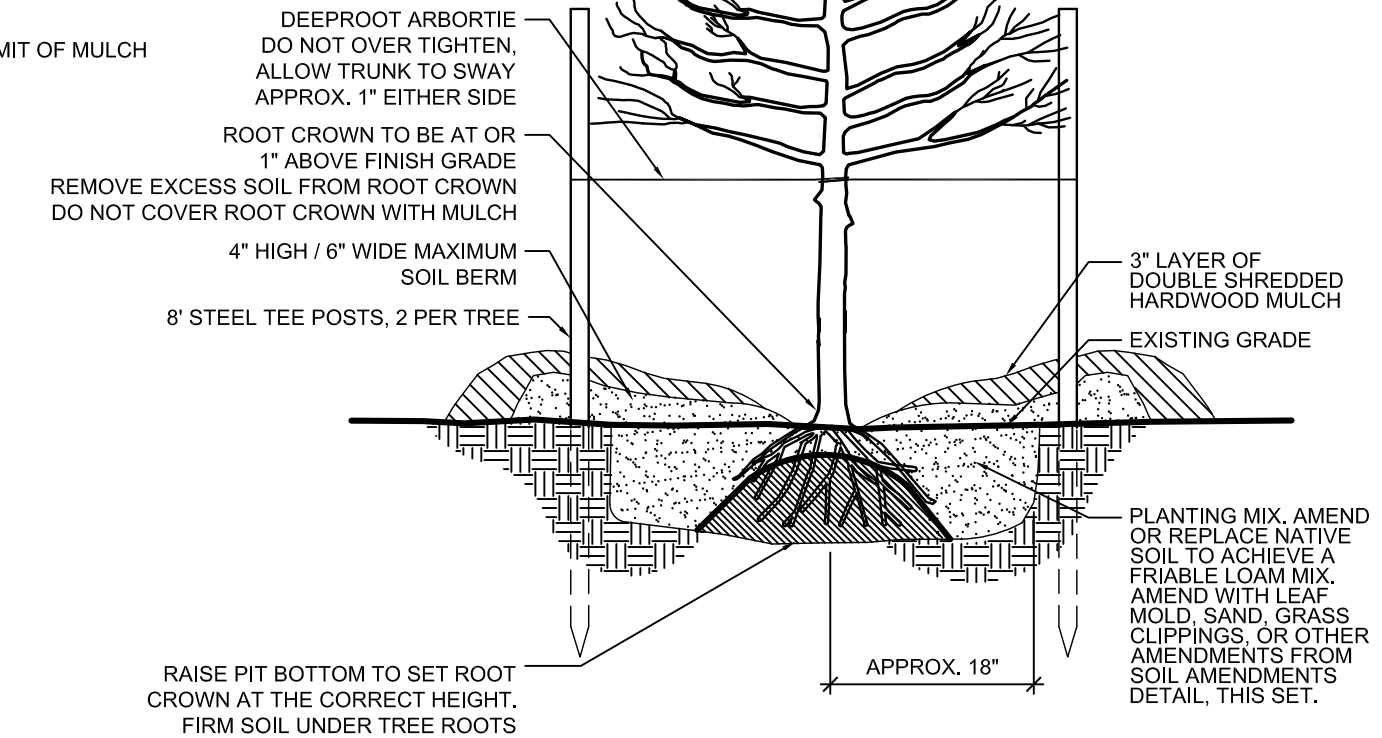


3 FRUIT TREE PLANTING

SECTION NTS

NOTES:

1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BARE ROOT AS SPECIFIED IN SCHEDULE.
2. INSTALL BARE PLANT ROOTS ON TOP OF FINISHED GRADE.
3. ROOT CROWN SHALL BE 1\"/>



4 ROOT BARRIER

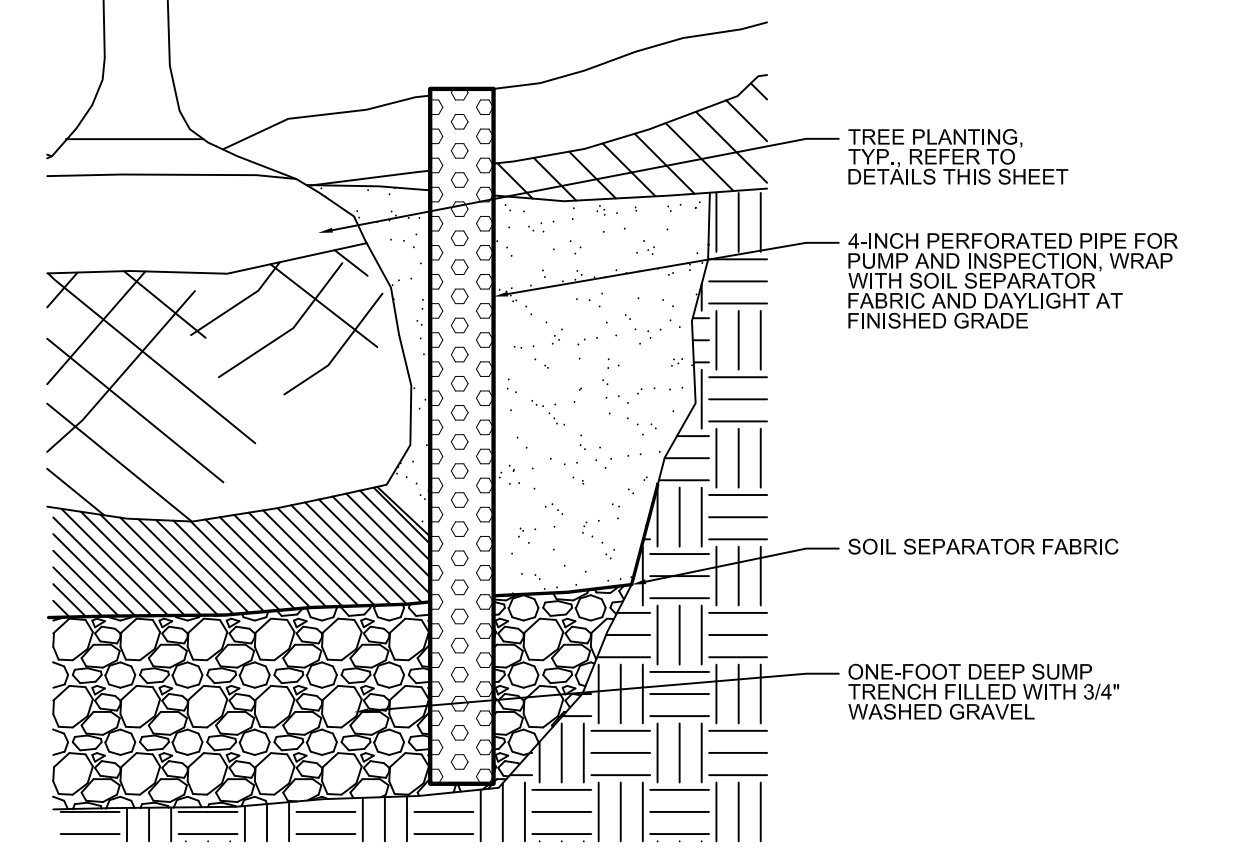
SECTION NTS

TOWN OF PARKER STANDARD PLANTING NOTES:

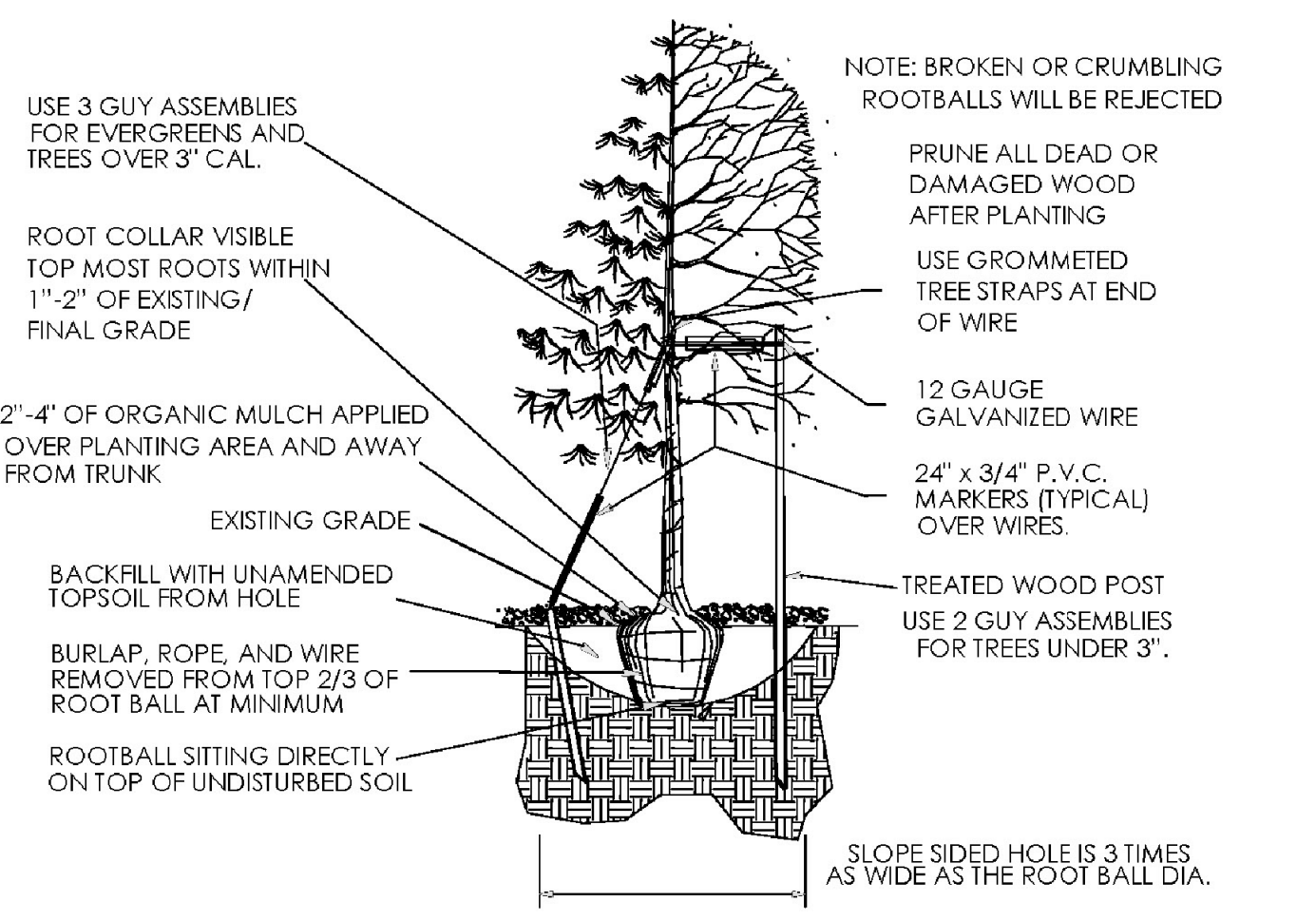
1. ALL PLANT MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE TOWN OF PARKER PLANTING STANDARDS (SEE THE PUBLIC WORKS TECHNICAL MANUAL).
2. WHERE A SCREEN OR BUFFER IS INDICATED ON AN OFFICIAL DEVELOPMENT PLAN OR OTHER PLANTING PLAN, THE SHRUBS OR OTHER MATERIALS SHALL BE PLANTED AND MAINTAINED TO PROVIDE A CONTINUOUS SOLID VISUAL SCREEN WITHIN 3 YEARS FROM THE TIME OF PLANTING.
3. GRASS OR OTHER LIVING PLANTS SHALL BE THE PRIMARY GROUND COVER IN LANDSCAPED AREAS. SODDING IS RECOMMENDED BUT GRASS SEEDING IS ALLOWED UNDER SPECIAL CIRCUMSTANCES. WINES ARE AN ACCEPTABLE GROUND COVER IN NON-PEDESTRIAN AREAS. GROUND COVERS USED IN LIEU OF GRASS SHALL BE PLANTED TO PRESENT A FINISHED APPEARANCE AND COMPETE COVERAGE AFTER THREE GROWING SEASONS.
4. **SIGHT DISTANCE TRIANGLES** SHALL BE MAINTAINED AT ALL INTERSECTIONS OF A PRIVATE DRIVE WITH A PUBLIC STREET, AND AT THE INTERSECTION OF TWO PUBLIC STREETS. THEIR SIZE VARYING BY ROAD CLASSIFICATION, PROJECTED TRAFFIC LEVEL, AND SPEED. THESE SIGHT TRIANGLE AREAS ARE TO CONTAIN NO OBSTRUCTIONS TO THE VIEW OF THE DRIVER OF A VEHICLE. ANY LANDSCAPING PLACED WITHIN THESE AREAS SHALL ALLOW VISIBILITY ACROSS THE AREA. ALL SHRUBS, BOULDERS, GROUND COVERS, AND SIMILAR FEATURES SHALL BE MAINTAINED AT OR BELOW A HEIGHT OF 36\"/>

5 TREE PIT SUMP

SECTION NTS



TOWN OF PARKER PLANTING STANDARDS



Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.

Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1\"/>

When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.

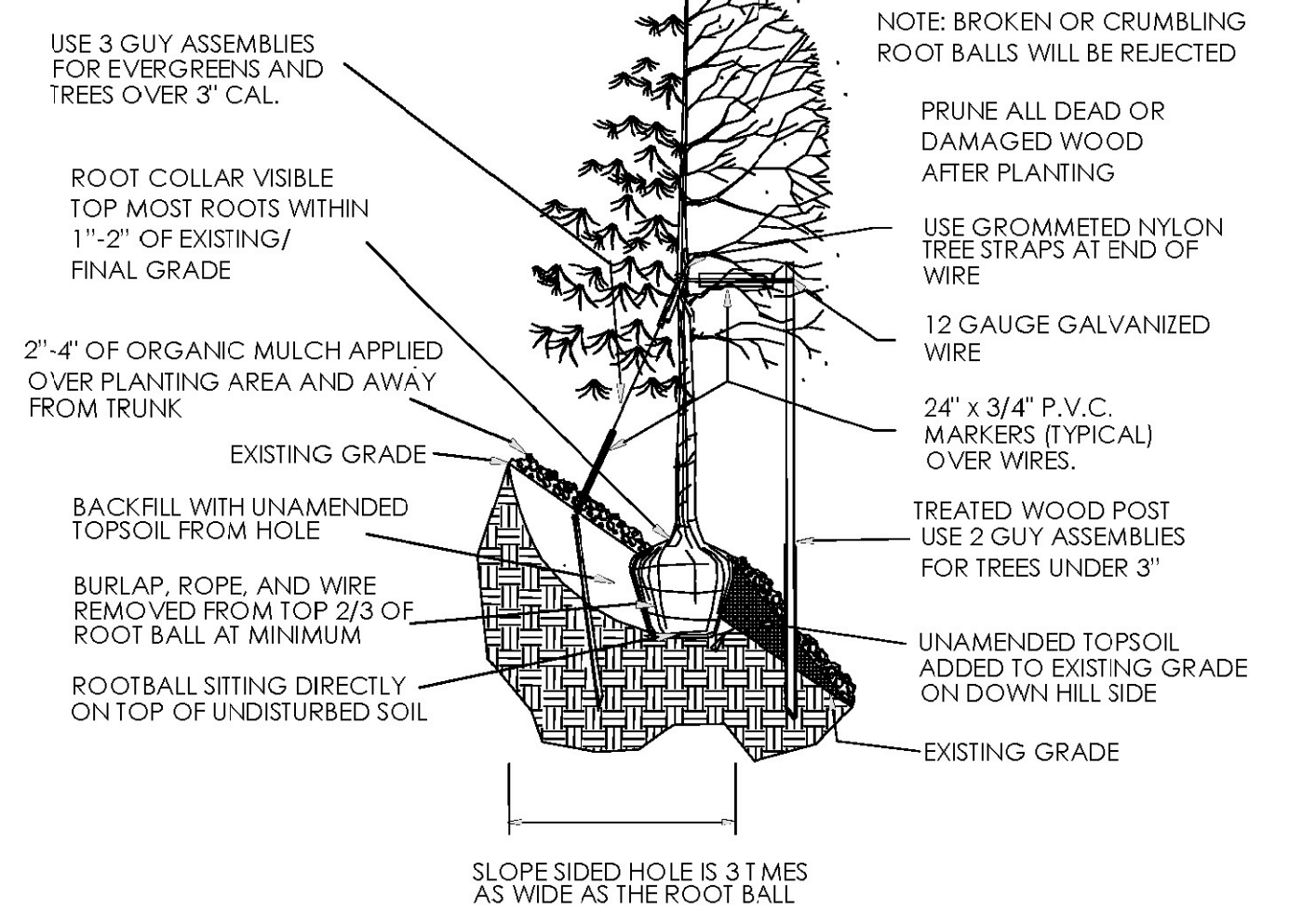
Form soil into a 3\"/>

Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.

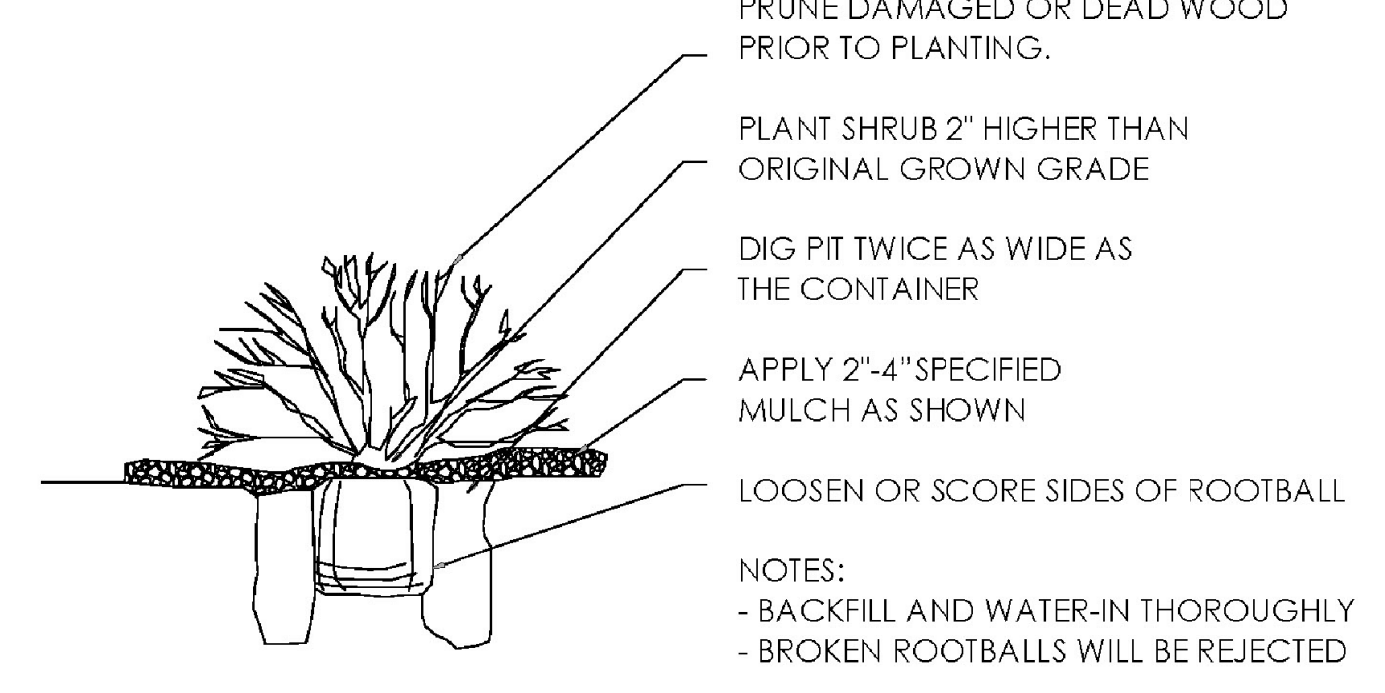
Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.

Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

TOWN OF PARKER TREE PLANTING DETAIL - SLOPES



TOWN OF PARKER PLANTING DETAIL - SHRUBS



THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 12/14/20




PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
LANDSCAPE DETAILS

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
Nicholas Allen Smith
Registered Landscape Architect of the State of COLORADO
Registration Number: 1436
NOT FOR CONSTRUCTION
PROJECT NO. 096481002

These notes are required per the Town of Parker notes. Are the rest of these notes necessary?

Please include the height measurements for each building on the elevation plans.

MATERIAL PALETTE

-  ASPHALT SHINGLES
-  FIBER CEMENT SIDING & TRIM
-  FIBER CEMENT SIDING & TRIM
-  FIBER CEMENT SIDING & TRIM
-  FIBER CEMENT SIDING & TRIM
-  FIBER CEMENT SIDING & TRIM
-  STONE



2 BUILDING 1 PERSPECTIVE
NTS

Bring brick up the entire column

Due to the high visibility of this wall please add additional windows.

Based on the 3D rendering, this is a highly visible portion of the building. Create a corner feature on this side of the building since it will be located at the main intersection into the property. This can be as simple as adding a few items added above.



1 BUILDING 1 PERSPECTIVE
NTS

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97 Dover Street, Suite 400, Avon, Indiana 46123-7356
Phone (317) 272-7800 FAX (317) 272-7808
Web Site: <http://www.sebreearchitects.com>



PARKER + PINE FILING #2
LOTS 1-3
MULTI-FAMILY PROJECT
PARKER, COLORADO

NOT FOR CONSTRUCTION

NO.	DATE	BY	DESCRIPTION
12.11.20			SITE PLAN FILING #2

Please include the height measurements for each building on the elevation plans.

MATERIAL PALETTE



ASPHALT SHINGLES



FIBER CEMENT SIDING & TRIM



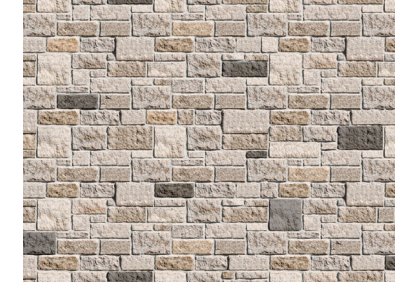
FIBER CEMENT SIDING & TRIM



FIBER CEMENT SIDING & TRIM



FIBER CEMENT SIDING & TRIM



STONE

GLAZING INFORMATION

FIRST FLOOR: 26%
TYPICAL UPPER LEVEL: 25%

HEIGHT INFORMATION

APPROXIMATELY 54' ABOVE GRADE



4 BUILDING 2 EAST ELEVATION
NTS

Raise entry feature to the top of the second floor.



3 BUILDING 2 SOUTH ELEVATION
NTS

Add a similar feature as this column to these end units to meet the articulation requirements of the multifamily code.



2 BUILDING 2 NORTH ELEVATION
NTS



1 BUILDING 2 WEST ELEVATION
NTS

Raise the entry feature to the top of the second floor.

Apply these same garages to these two

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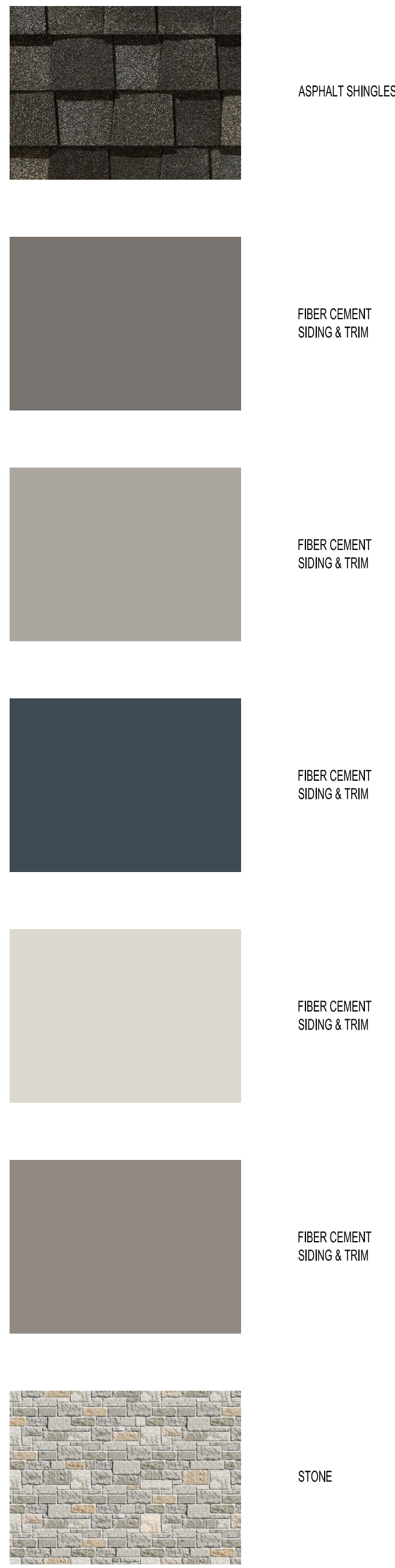
PARKER + PINE FILING #2
LOTS 1-3
MULTI-FAMILY PROJECT
PARKER, COLORADO

NOT FOR CONSTRUCTION

NO.	DATE	BY	DESCRIPTION
12.11.20			SITE PLAN FILING #2

DATE	12/11/20	DRAWN BY	
PROJECT NO.	20013	CHECKED BY	
BUILDING 2 COLORED ELEVATIONS			

MATERIAL PALETTE



GLAZING INFORMATION
 FIRST FLOOR: 27%
 SECOND FLOOR: 26%
 TYPICAL UPPER LEVEL: 26%

HEIGHT INFORMATION
 APPROXIMATELY 57' ABOVE GRADE



Is this the stairwell?
 If so, add more windows to break up the facade.

Please include the height measurements for each building on the elevation plans.

Change up the roof to be pitch on this building. All flat pop out roof features will need to be changed.

Make this entrance grander to extinguish this as the main entrance away from the individual unit entrances.

4 BUILDING 3 WEST ELEVATION
 NTS



3 BUILDING 3 SOUTH ELEVATION
 NTS



2 BUILDING 3 NORTH ELEVATION
 NTS



1 BUILDING 3 EAST ELEVATION
 NTS

This should be added to all the main entrances. This is what we would like to see.

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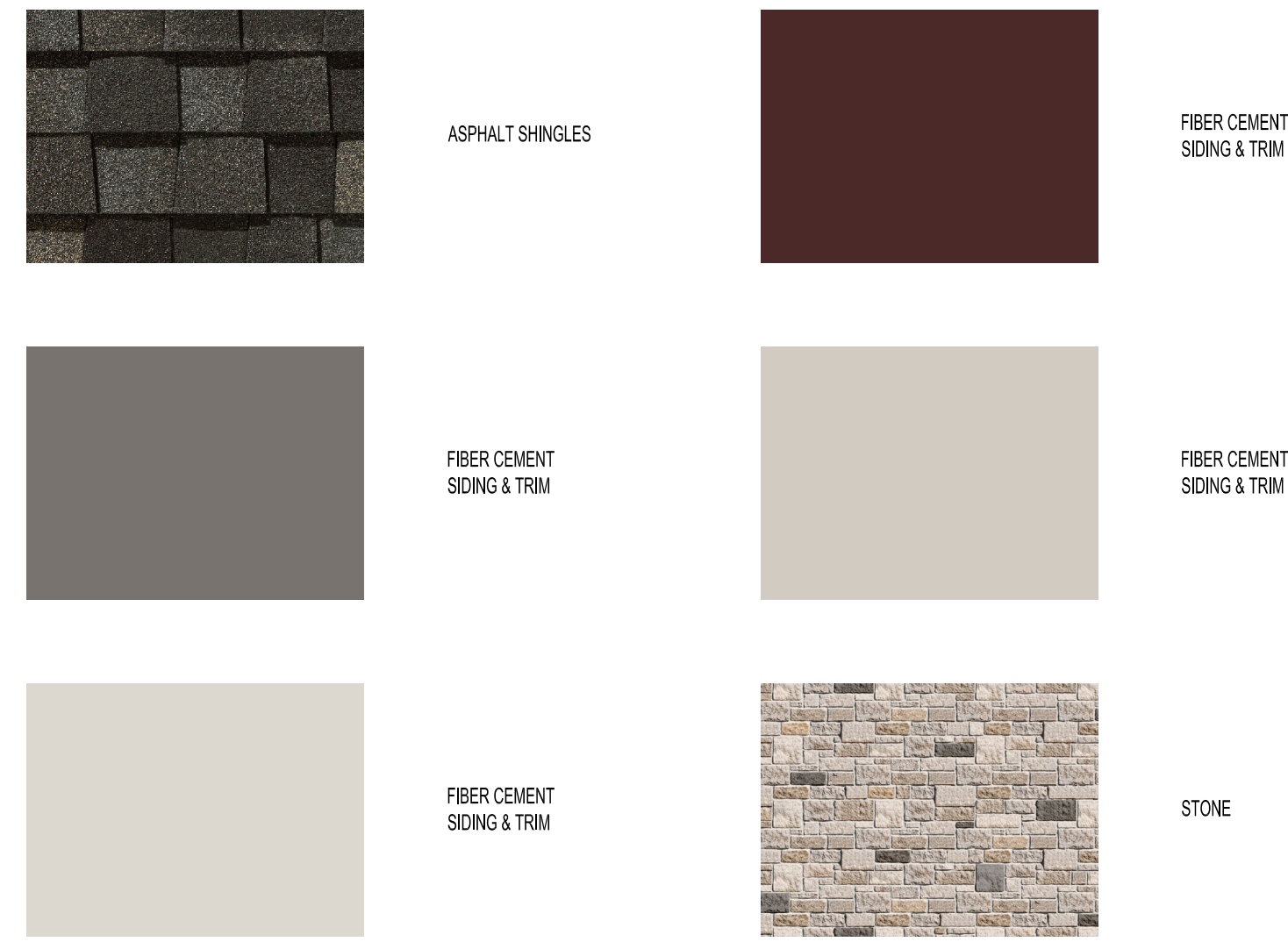
THE GARRETT COMPANIES

PARKER + PINE FILING #2
LOTS 1-3
 MULTI-FAMILY PROJECT
 PARKER, COLORADO

NOT FOR CONSTRUCTION

NO.	DATE	BY	DESCRIPTION
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DATE	12/11/20	DRAWN BY	
PROJECT NO.	20013	CHECKED BY	
BUILDING 3 COLORED ELEVATIONS			

MATERIAL PALETTE



GLAZING INFORMATION
FIRST FLOOR NON-GARAGE AREAS: 31%
TYPICAL UPPER LEVEL: 28%

HEIGHT INFORMATION
APPROXIMATELY 56' ABOVE GRADE

Please include the height measurements for each building on the elevation plans.



5 BUILDING 4 WEST ELEVATION
NTS

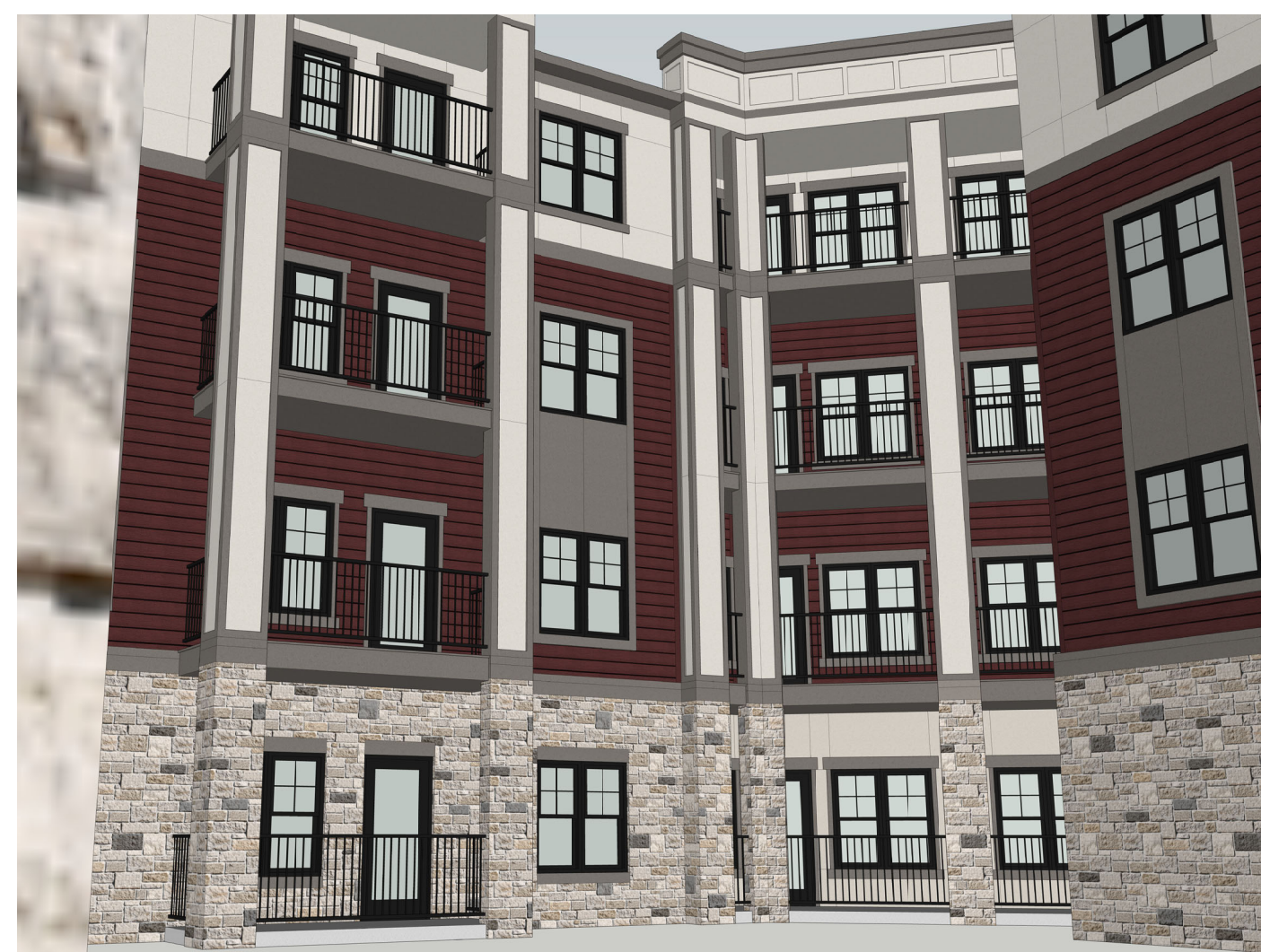
These entrances seem hidden and do not stand out. Please evaluate making them more prevalent.



4 BUILDING 4 SOUTH ELEVATION
NTS



3 BUILDING 4 NORTH ELEVATION
NTS



2 BUILDING 4 COURTYARD ELEVATION
NTS



1 BUILDING 4 EAST ELEVATION
NTS

These entrances seem hidden and do not stand out. Please evaluate making them more prevalent.

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PARKER + PINE FILING #2
LOTS 1-3
MULTI-FAMILY PROJECT
PARKER, COLORADO

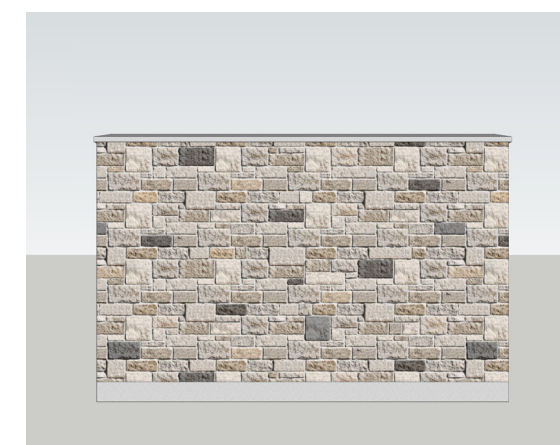
NOT FOR CONSTRUCTION

NO.	DATE	BY	DESCRIPTION
12.11.20			SITE PLAN FILING #2
DATE	12/11/20	DRAWN BY	
PROJECT NO.	20013	CHECKED BY	
BUILDING 4 COLORED ELEVATIONS			

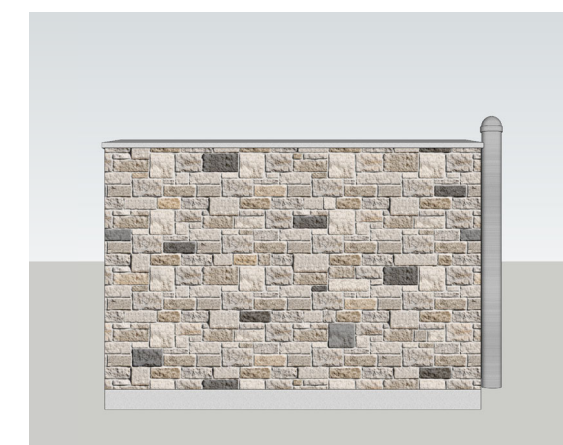
Please include the height measurements for each building on the elevation plans.

MATERIAL PALETTE

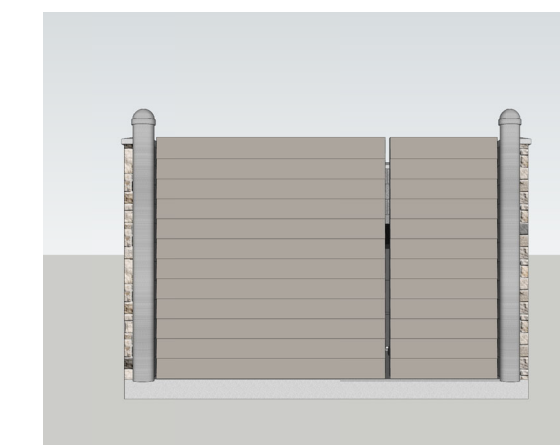
- ASPHALT SHINGLES
- FIBER CEMENT SIDING & TRIM
- FIBER CEMENT SIDING & TRIM
- FIBER CEMENT SIDING & TRIM
- FIBER CEMENT SIDING & TRIM
- FIBER CEMENT SIDING & TRIM
- FIBER CEMENT TRIM
- STONE
- STONE



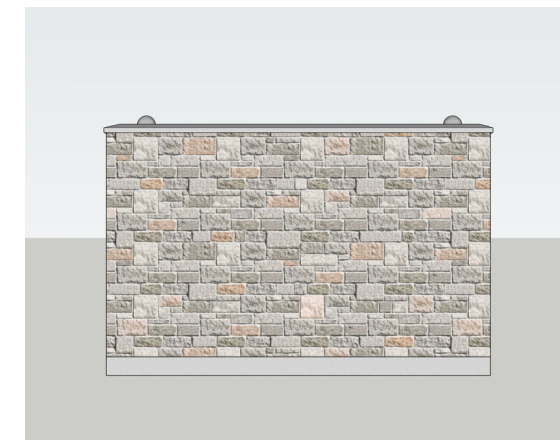
12 ENCLOSURE LOT 3 REAR ELEVATION NTS



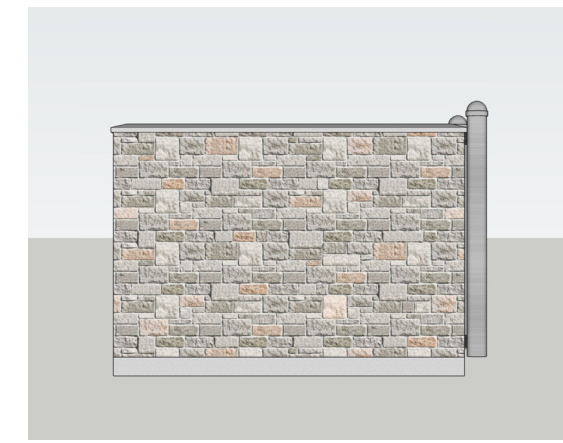
11 ENCLOSURE LOT 3 END ELEVATION NTS



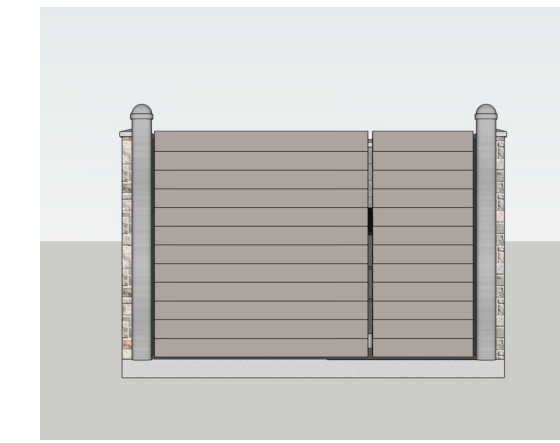
10 ENCLOSURE LOT 3 FRONT ELEVATION NTS



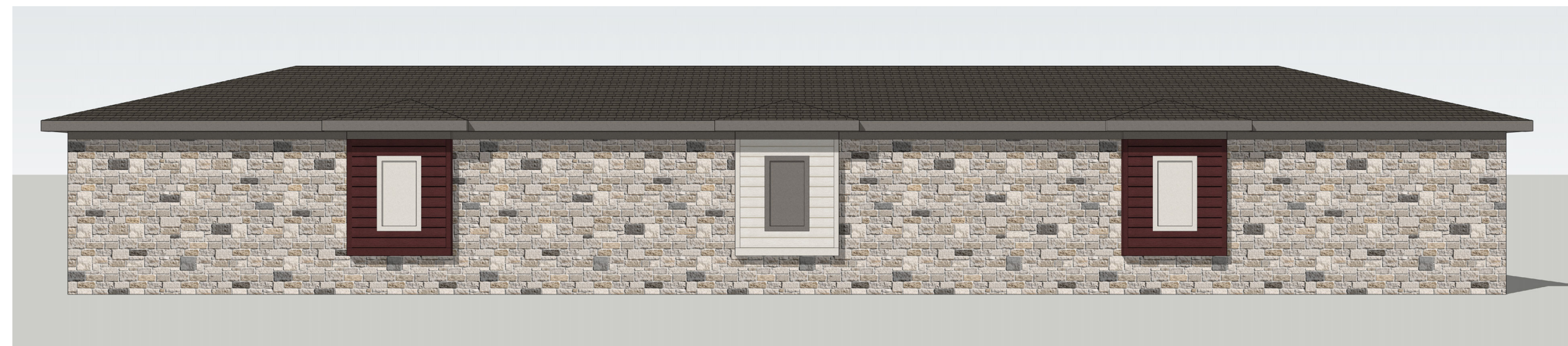
9 ENCLOSURE LOTS 1 & 2 REAR ELEVATION NTS



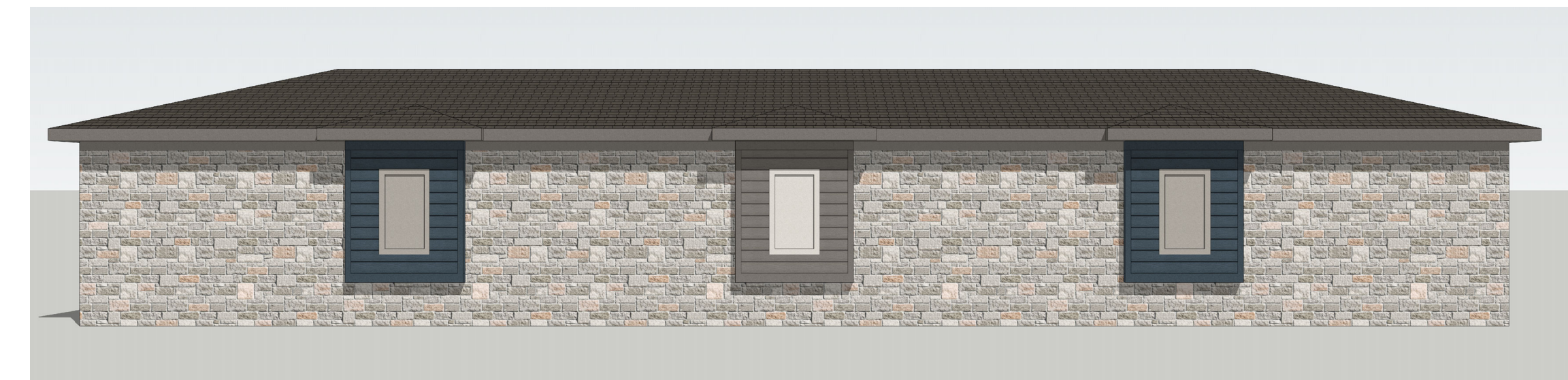
8 ENCLOSURE LOTS 1 & 2 END ELEVATION NTS



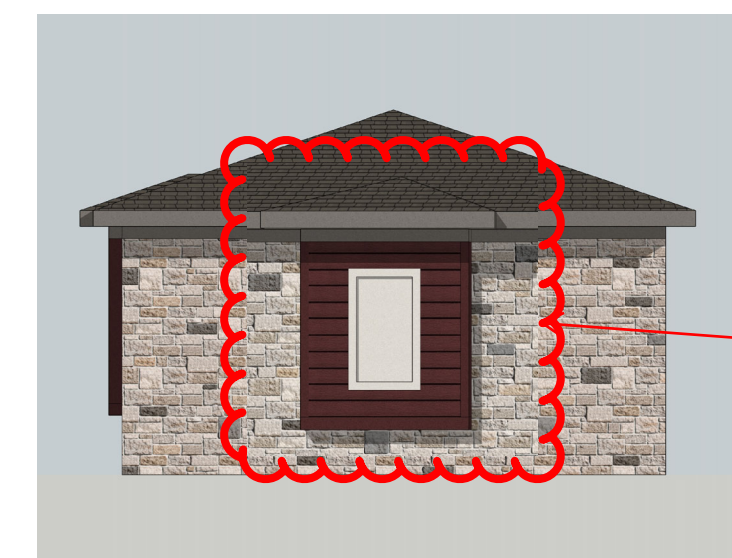
7 ENCLOSURE LOTS 1 & 2 FRONT ELEVATION NTS



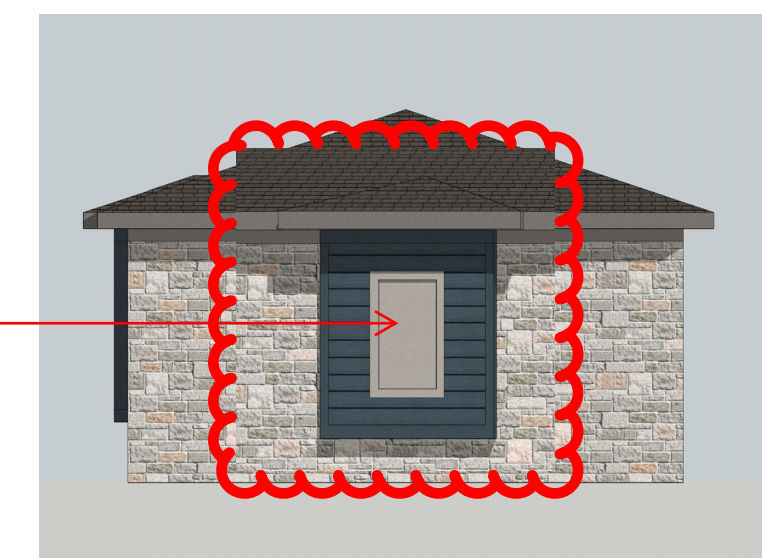
6 GARAGE B REAR ELEVATION NTS



5 GARAGE A REAR ELEVATION NTS

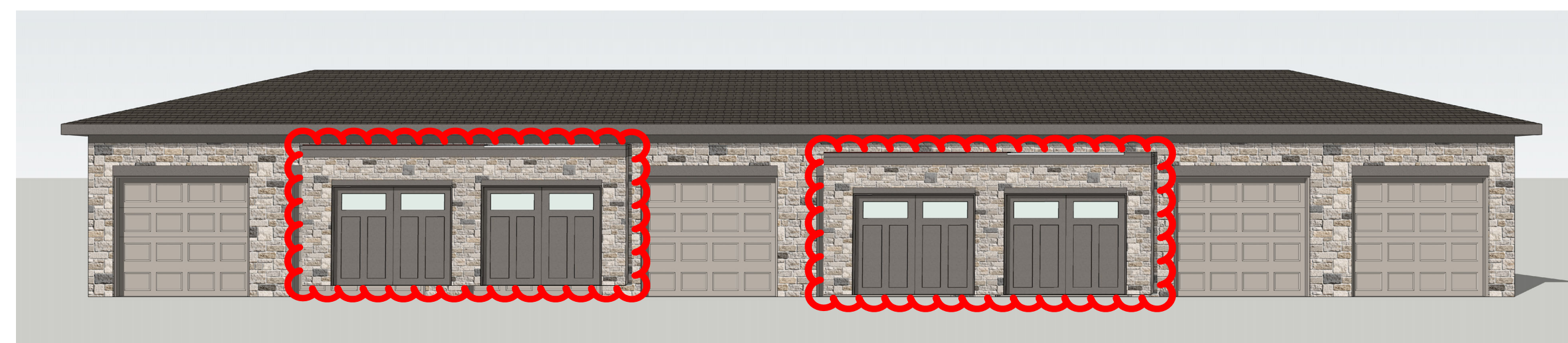


4 GARAGE B END ELEVATION NTS

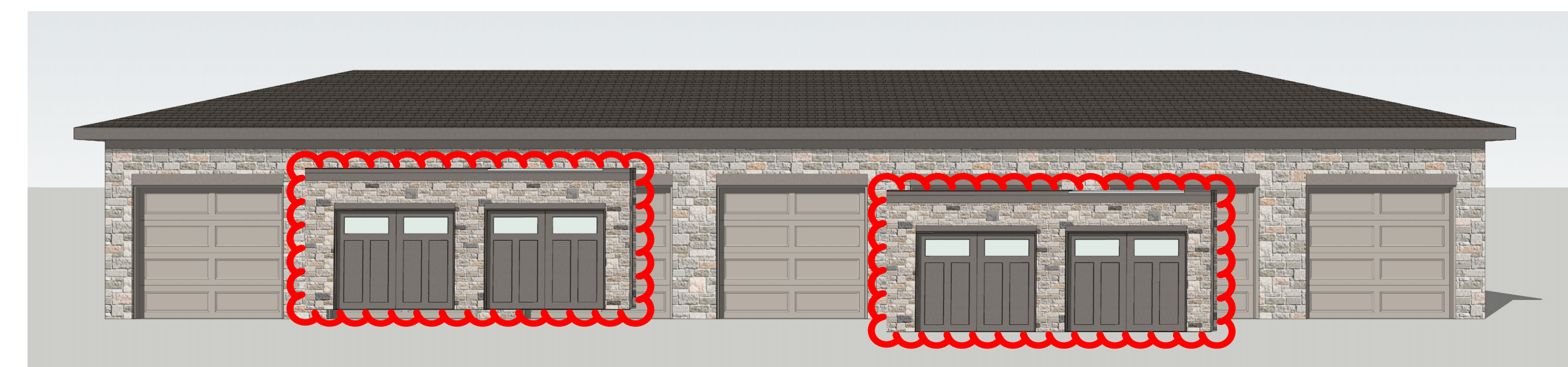


3 GARAGE A END ELEVATION NTS

I like this detail, but please also add to the ends of the garages. At a minimum add to the ends that face the public roadway or the parking area.



2 GARAGE B FRONT ELEVATION NTS



1 GARAGE A FRONT ELEVATION NTS

Please include images of the retaining wall. I need to know materials used, locations and heights of the walls for building permits.

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THE GARRETT COMPANIES

PARKER + PINE FILING #2 LOTS 1-3 MULTIFAMILY PROJECT PARKER, COLORADO

NOT FOR CONSTRUCTION

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ACCESSORY STRUCTURES COLORED ELEVATIONS