



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Dan Skeehan, Kimley Horn
FROM: Stacey Nerger, Senior Planner
DATE: April 9, 2021
SUBJECT: Parker and Pine Filing No. 2 Lots 1 – 3 – Site Plan Review Comments 03

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: snerger@parkeronline.org
PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "04 Parker and Pine Multifamily Site Plan" or "Second Submittal Parker and Pine Multifamily Site Plan"

General Comments

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No

Response:

Parking

1. Pursuant to Section 13.06.050 (d) (1) d. "Fractions. In calculating the required number of parking spaces, any fraction of a parking space more than 1/2 shall be equal to one (1) space. Fractions less than 1/2 of a parking space shall not be counted as a parking space." We have agreed that each lot needs to include the minimum number of parking spaces to park the residents that live there based on the unit number and type of units. Based on the above code any fraction greater than 1/2 shall equal 1 space. Please adjust the parking calculations accordingly.

Comment Addressed: Yes No

Response:

2. Pursuant to Section 13.06.050 (f):
(f) Parking space size. (1) Each off-street parking space, other than parallel spaces, shall be nine (9) feet in width and eighteen (18) feet in length, with an unobstructed front-end overhang. Parking spaces adjacent to landscape islands shall be ten (10) feet in width or a concrete strip, at least eighteen (18) inches wide, shall be provided on the adjacent side of the island for pedestrians to step out of the car.

Based on the Site Plan it looks as if some of the spaces next to the landscaped islands meet this, but it is certain they all do (based on the note). If the parking spaces adjacent to the landscape islands are no 10 feet in width please make sure that the 18 inch wide concrete strip is located within the landscaped island. Please add a note to the plan set that outlines this.

Comment Addressed: Yes No

Response:

Landscaping

1. Please expand the required and provided landscape table to include the required and provided Parking Lot Perimeter Landscaping and Site Perimeter Landscaping.

Comment Addressed: Yes No

Response:

2. Per Section 13.06.070 m. Streetscape landscaping is required along all public and private roads to create a uniform street landscape character. 1 tree is required per 40 linear feet of roadway. Please fix the landscape table to state that the landscaping along Twenty Mile and the east west internal access road will be provided by the master developer. Also include the streetscape provided along the other internal roads if you will be installing this. This can be broken down by Lot 2 east/west internal road, Lot 2 north/south road, etc.

Comment Addressed: Yes No

Response:

3. Per Section 13.06.070 o. Parking lot perimeter landscaping is required for all parking areas that contain 5 or more parking spaces. Please add this information to the landscape table. Based on the landscape plans it looks like most of the parking lot perimeter landscaping requirements are satisfied. There are still two areas that need additional landscaping:
- a. Lot 1 North parking lot perimeter: Please add additional shrubs and or grasses to fill in the gaps directly adjacent to the parking stalls.
 - b. Lot 3 South parking lot perimeter: We have agreed that this buffer can be reduced to 10 feet with excess landscaping to include a mix of evergreen and deciduous trees and shrubs. Please see redlines for additional landscaping to be added.

Comment Addressed: Yes No

Response:

4. Per Section 13.06.070 p. Parking lot interior landscaping (landscape islands) is required for all multi-family development requiring more than 20 parking spaces. A minimum of 10% of the parking lot area shall be provided as parking lot interior landscaping to include 1 tree and 5 shrubs per 162 square feet. Please provide a table stating the amount of parking lot interior landscaping with the number of trees and shrubs. Please provide an exhibit that shows what landscaping is being used to meet the minimum requirements for parking lot interior landscaping. Some applicants number each island to demonstrate that the minimums are satisfied. This is helpful and an example can be provided if you would like to also do this.

Comment Addressed: Yes No

Response:

5. Per Section 13.06.070 q. Site perimeter landscaping requirements are required for all multi-family

development as outlined below. Please add this information to the table. Please see the redlines for locations for additional trees and shrubs.

Comment Addressed: Yes No

Response:

- 6. Please verify the numbers listed within the landscape requirement table to ensure the numbers listed as provided are correct. Based on the table, the quantities listed and the table do not align. Please correct.**

Comment Addressed: Yes No

Response:

Parks Requirements

- 1. Based on the number of residential units provided on site, a total of 2.363 acres of park space is required. This 2.363 acres can be included within the open space/landscaping. The bike racks proposed to be counted towards the minimum park acreage does not meet the intent of park space. Bicycle racks are required within the parking requirement for multi-family units. Please remove these areas from the calculation. To make up for this lost area, the Town would like to see the entire area south of Lot 3 included in the parks areas (avoid the gap). This area should include amenities and will count towards the park dedication requirements.**

Comment Addressed: Yes No

Response:

- 2. The Town has agreed to allow a portion of the detention pond tract be used to meet the minimum open space/landscaping requirement. If the above inclusion of the gap on the Town's opens space property exceeds the minimum park space, please remove the base of the detention pond as this really doesn't meet the intent of the parks code.**

Comment Addressed: Yes No

Response:

- 3. Per the new Town of Parker Parks Dedication standards, an open turf play area is a required element of all neighborhood parks. Please consider adding an artificial turf area within the Town**

Open Space. This can be located on the slope for a running, rolling, etc. hill for exercise.

Comment Addressed: Yes No

Response:

- 4. Please provide a maintenance schedule for the park amenities located on Town Property to be reviewed and approved. This maintenance schedule should include the emptying of trash on a weekly basis and the monitoring of play equipment for safety.**

Comment Addressed: Yes No

Response:

- 5. All amenities located along the trail shall be located on concrete pads. In addition, all benches, trash cans, fitness stations, etc. will need to include a paved access path from the trail to the amenity to meet ADA requirements.**

Comment Addressed: Yes No

Response:

- 6. All amenities located along the trail will need to be setback a minimum of 5 feet from the trail to allow for the Town to maintain the trail. The Town will continue to move a 60 inch strip adjacent to the trail. Anything added or within the parks area for this application will be the responsibility of the HOA.**

Comment Addressed: Yes No

Response:

Lighting

- 1. The provided uniformity ratios do not meet the outlined ratios. Please amend the lighting plan to meet the following ratios:**
Walkways: Average to Minimum Luminance ration shall be 3:1 and the Maximum to Minimum Luminance Ratio shall be 6:1.
Parking Lots: Average to Minimum Luminance ration shall be 4:1 and the Maximum to Minimum Luminance Ratio shall be 6:1.

For walkways and parking lots, the lighting shall be in the above ratios. All other ratios included on the photometric Plan can be removed.

Comment Addressed: Yes No

Response:

- 2. The photometric plan shall include the foot candles to at a minimum the property lines for each lot. Please expand the photometric plan to include the foot candles to each property line. A maximum of 1-foot candle is permitted at the property lines. An exception can be made where there is an adjacent internal road.**

Comment Addressed: Yes No

Response:

Building Elevations

- 1. Please add a note to the elevation plan set that states that the elevations are in compliance with the Parker and Pine Mixed-Use Development Design Standards.**

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Parker Water and Sanitation
- Town of Parker – Civil (Drainage Report)
- Town of Parker – Civil (Site Plan)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Stormwater (Drainage Report)
- Town of Parker – Environmental (Construction Plans)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

*Staff Comments 03
SP20-084; Parker and Pine F2 L1-3
Multifamily Site Plan
April 9, 2021*

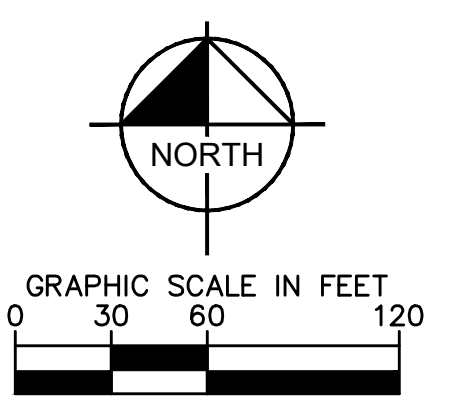
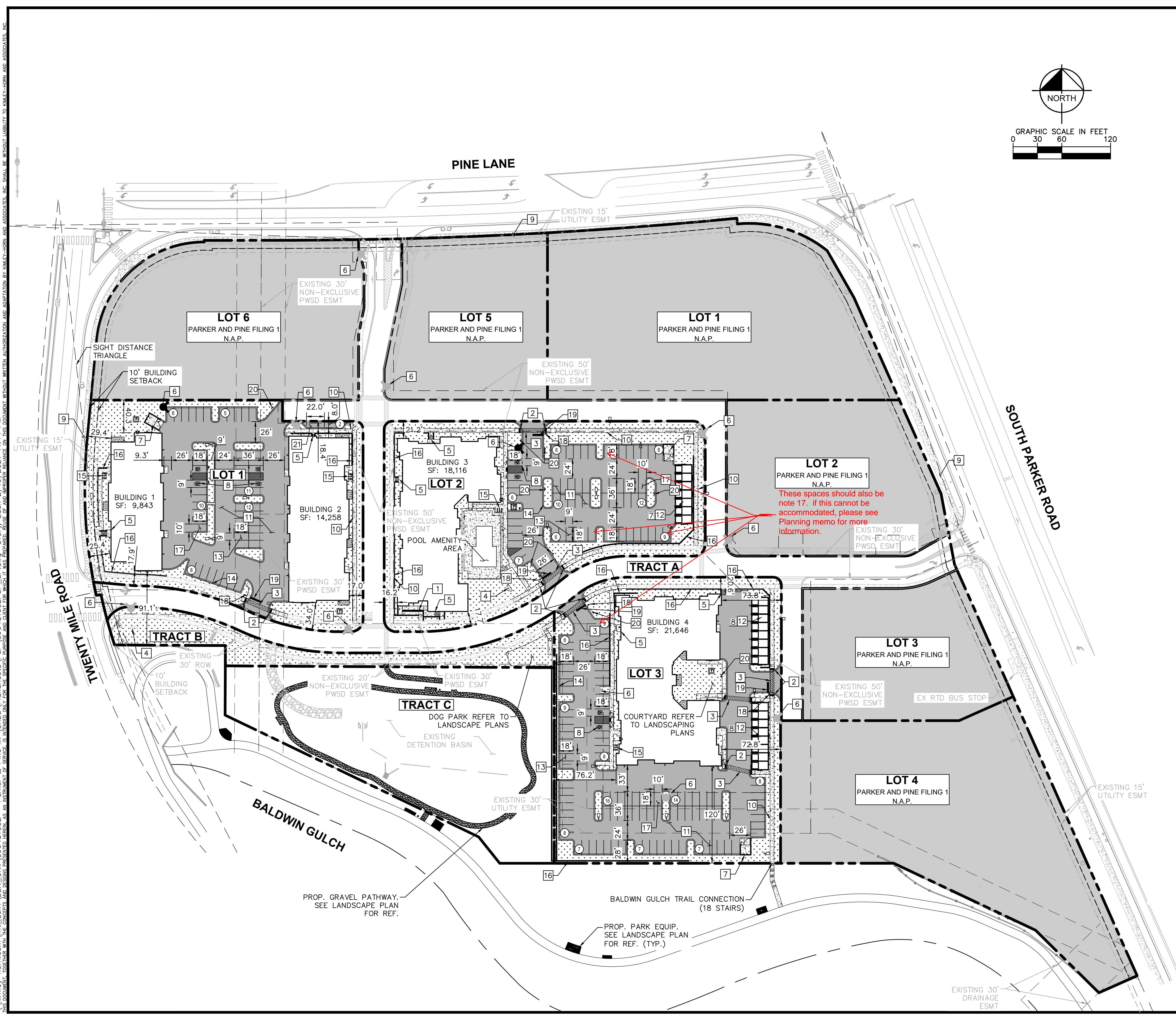
Property Owner

Date

Project Representative

Date

M:\projects\096481002_Parker & Pine\ME\CAD\Drawings\Site\SP_Site\096481002PSP_SP.dwg, Date: 7/16/2021, 11:14 PM
 This document, together with the concepts and designs presented herein, is intended only for the specific project and site for which it was prepared. It may be revised, changed, or altered without notice. It is not to be used for any other project or site.



LEGEND

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)
	EXISTING COLORED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
 - 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
 - 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
 - 4 PROPOSED MONUMENT SIGN.
 - 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
 - 6 EXISTING/PROPOSED FIRE HYDRANT.
 - 7 PROPOSED TRASH ENCLOSURE.
 - 8 PROPOSED ADA PARKING STALLS.
 - 9 EXISTING 8' CONCRETE SIDEWALK.
 - 10 PROPOSED 5' CONCRETE SIDEWALK.
 - 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
 - 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
 - 13 PROPOSED STANDARD 9'X18' PARKING STALL
 - 14 PROPOSED STANDARD CURB AND GUTTER
 - 15 PROPOSED 6 STALL BICYCLE PARKING
 - 16 PROPOSED RETAINING WALL
 - 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
 - 18 PROPOSED STOP SIGN R-1
 - 19 PROPOSED STOP BAR
 - 20 PROPOSED NO PARKING - FIRE LANE SIGN R8-31
 - 21 PROPOSED 8'X22' PARALLEL PARKING STALL

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

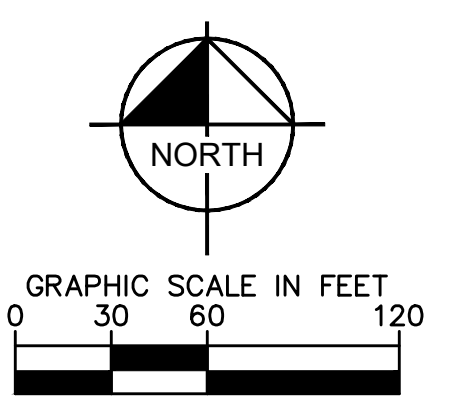
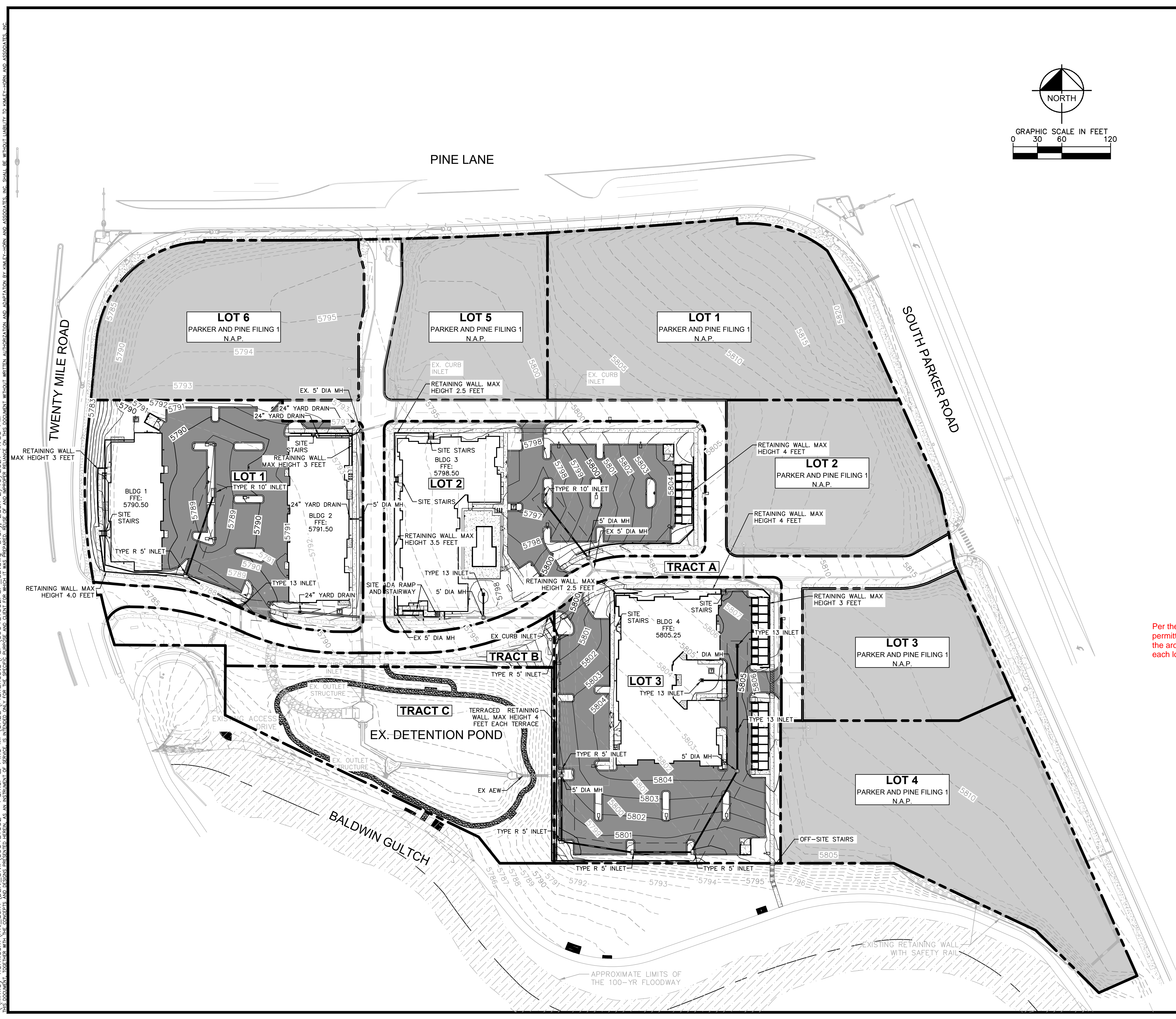
DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 02/16/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL SITE PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002
 DRAWING NAME
 096481002PSP_SP

\\kimley-horn.com\mnt_dept\dev\c:\p\096481002 - Parker & Pine ME CAD\DWG\Site\Site\1-3\PSD\096481002PSP_GD.dwg Date: 7/16/2021 11:30 AM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPT AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PROJECT AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND MODIFICATION THEREOF BY ANY OTHER PARTY WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

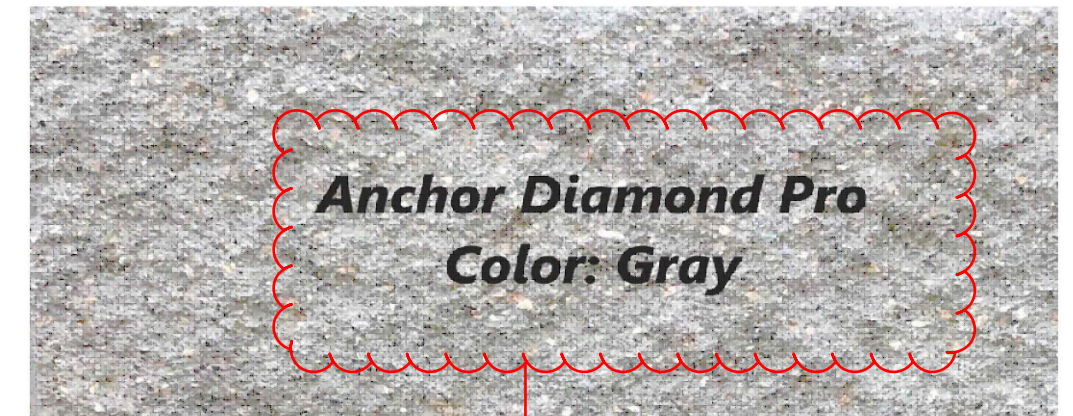


LEGEND

	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)

BENCHMARK
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
 ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

- NOTE:**
- BUILDING ROOF DRAINS TO DISCHARGE ON GRADE.
 - SITE RETAINING WALLS TO BE GRAY SPLIT FACE CMU BLOCK BY ANCHOR DIAMOND PRO OR APPROVED EQUIVALENT. MATERIAL SHOW BELOW:



Per the Town of Parker Development Design standards the split face CMU is a permitted block, but please evaluate the color. The color should be complimentary to the architecture of the buildings. As these walls are mostly located on the edges of each lot, please look at a color that doesn't look like concrete.

NO.	REVISION	BY	DATE	APPR

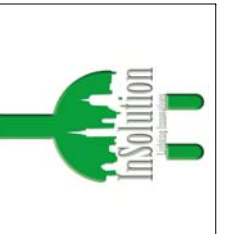
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 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 02/16/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL GRADING PLAN

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 CONSTRUCTION
Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002
 DRAWING NAME
 096481002PSP_GD



InSolution LLC
5157 E 64th St
Indianapolis, IN 46220

Site Lighting Schedule - 21-0217 Parker Site INS-LITE

Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
[Symbol]	19	SL1	100W, 4K, T3, Full Cut-Off, 25ft AFG, Bronze Paint	100	11188	B2-U0-G2	25ft AFG
[Symbol]	3	SL2	100W, 4K, T3, Full Cut-Off, 25ft AFG, Bronze Paint	100	11188	B2-U0-G2	25ft AFG
[Symbol]	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229	B1-U3-G1	3.5ft AFG
[Symbol]	51	WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	15ft AFG
[Symbol]	9	WL3	15W, 4K, Wall Pack, Cut-Off, Dark Bronze	15	1699	B1-U1-G1	7ft AFG

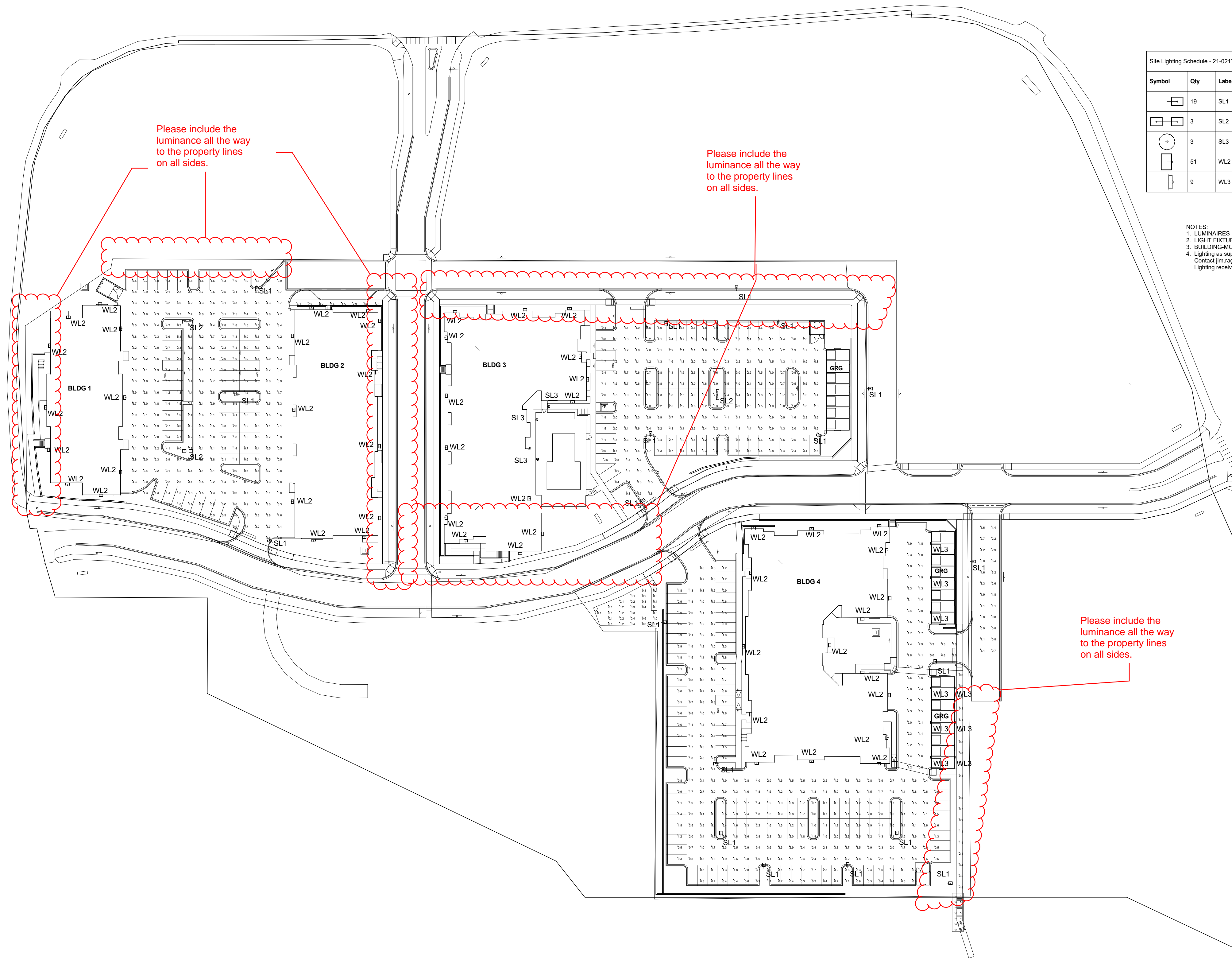
- NOTES:
- LUMINAIRES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.
 - LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.
 - BUILDING-MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.
 - Lighting as supplied by InSolution Products.
Contact: jim.rago@insolutionproducts.com
Lighting received and stored by EC.

Site Calcs - 21-0217 Parker INS-LITE

Label	Avg	Max	Min	Avg/Min	Max/Min	# Pts	Grid Z
Bldg 2 N Sidewalk	4.61	7.9	1.5	3.07	5.27	8	0
BLDG 3 Prkg Entrance	2.10	4.8	0.4	5.25	12.00	17	0
BLDG 4 East Pavement	2.20	5.0	0.8	2.75	6.25	48	0
BLDG 4 East Sidewalk	2.42	6.0	0.3	8.07	20.00	79	0
East Drive Aisle	2.08	5.0	0.7	2.97	7.14	24	0
Parking Lot 1	2.44	8.2	0.4	6.10	20.50	406	0
Parking Lot 2	2.21	7.8	0.3	7.37	26.00	240	0
Parking Lot 3	1.89	5.5	0.3	6.30	18.33	319	0
Trail Conn_Side_3	1.99	4.1	0.7	2.84	5.86	14	-4.355
Dog Park	0.34	1.1	0.1	3.40	11.00	30	0

Lighting Power Density - 21-0217 Parker INS-LITE

Label	Area	Total Watts	LPD
LPD North	183139	3059	0.017
LPD Area South	99912	1623	0.016

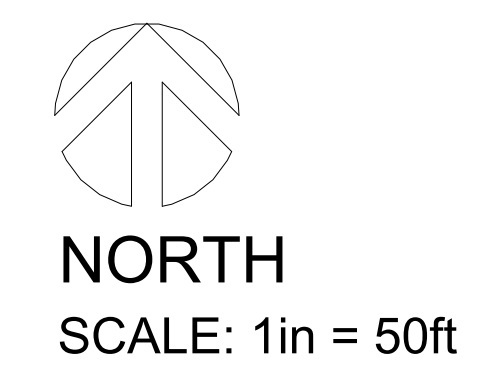


Please include the luminaire all the way to the property lines on all sides.

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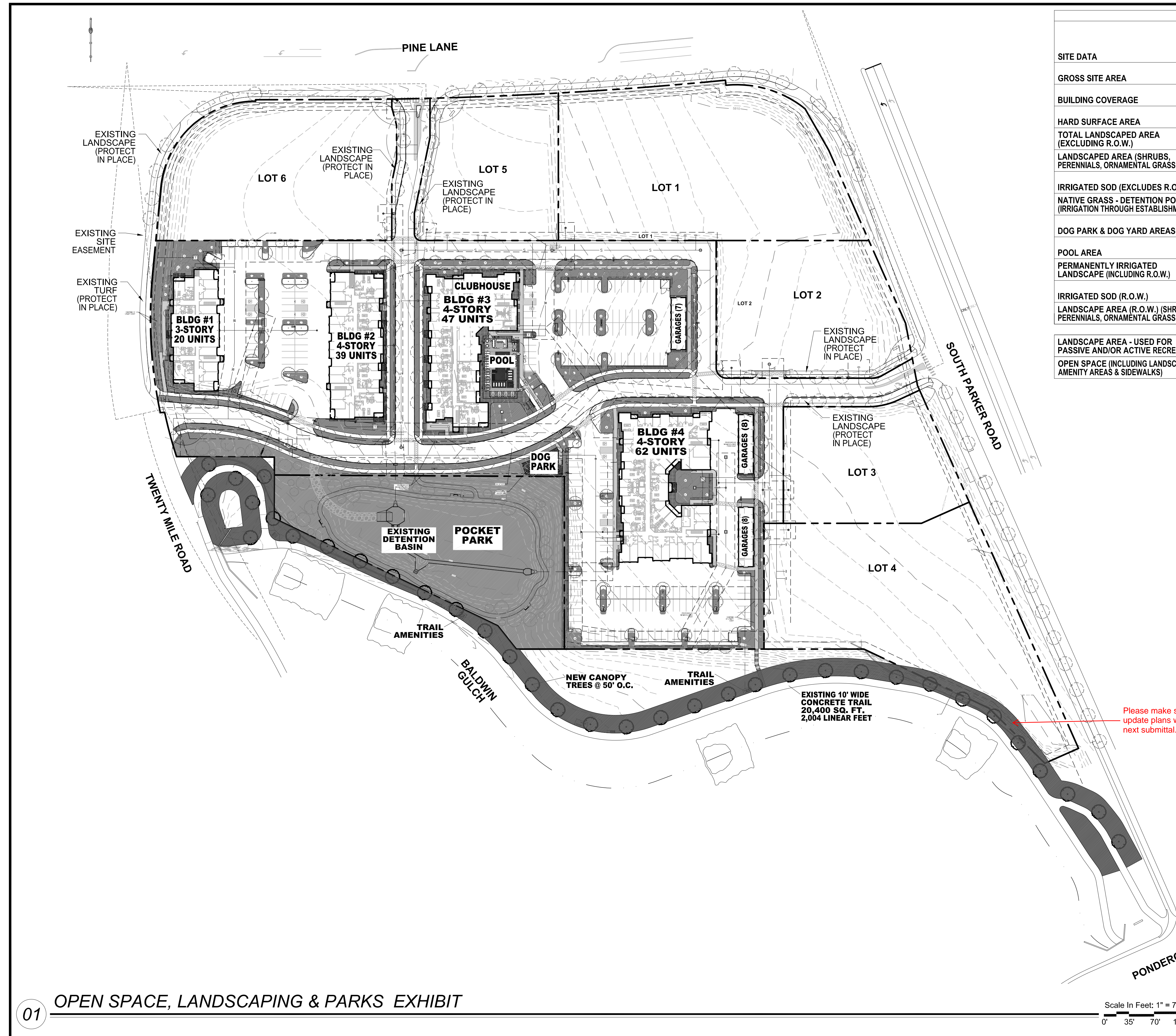
Please see the Planning memo for allowed luminaire and the ratios that need to be included.



#	Date	Comments

Drawn By: jrago
Checked By: jrago
Date: 2/16/2021
Scale: 1in = 50ft

PARKER AND PINE FILING NO.2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
LIGHTING CALCULATIONS



SITE DATA TABLE						
SITE DATA	ACTUAL SF	MIN. AREA SF REQUIRED	% REQUIRED	% MAX.	% PROVIDED	CY COMPOST REQ'D @ 3/1000 SF
GROSS SITE AREA	413,536	N/A	N/A	N/A	100%	N/A
BUILDING COVERAGE	63,863	N/A	N/A	N/A	15.5%	N/A
HARD SURFACE AREA	220,405	N/A	N/A	N/A	38.0%	N/A
TOTAL LANDSCAPED AREA (EXCLUDING R.O.W.)	192,377	N/A	N/A	N/A	46.5%	SEE BELOW
LANDSCAPED AREA (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	16,836	N/A	N/A	N/A	N/A	SEE BELOW
IRRIGATED SOD (EXCLUDES R.O.W.)	31,408	N/A	N/A	N/A	8.1%	N/A
NATIVE GRASS - DETENTION POND (IRRIGATION THROUGH ESTABLISHMENT)	69,855	N/A	N/A	N/A	N/A	175
DOG PARK & DOG YARD AREAS	2,432	N/A	N/A	N/A	.6%	N/A
POOL AREA	6,364	N/A	N/A	N/A	1.6%	N/A
PERMANENTLY IRRIGATED LANDSCAPE (INCLUDING R.O.W.)	53,682	N/A	N/A	N/A	N/A	161
IRRIGATED SOD (R.O.W.)	1,660	N/A	N/A	N/A	N/A	N/A
LANDSCAPE AREA (R.O.W.) (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL CY OF COMPOST: 325						
LANDSCAPE AREA - USED FOR PASSIVE AND/OR ACTIVE RECREATION	115,426	115,426	60% OF TOTAL LANDSCAPE AREA	N/A	60%	N/A
OPEN SPACE (INCLUDING LANDSCAPE, AMENITY AREAS & SIDEWALKS)	76,951	76,951	40%	N/A	40%	N/A

OPEN SPACE EXHIBIT LEGEND:

- IRRIGATED SOD: (EXCLUDES ROW) 33,781 SQ. FT.
- LANDSCAPED AREA: (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES) 16,836 SQ. FT.
- NATIVE GRASS: (DETENTION BASIN TEMP-IRRIGATED) (PARK) 69,855 SQ. FT.
- POOL AREA: 3,561 SQ. FT.
- DOG PARK & DOG YARD AREAS 2,432 SQ. FT.
- SIDEWALKS & TRAILS: 16,366 SQ. FT.
- OFF-SITE AMENITIES: (LANDSCAPE, SITE FURNISHINGS AND TRAIL IMPROVEMENTS) (PARK) 50,100 SQ. FT.

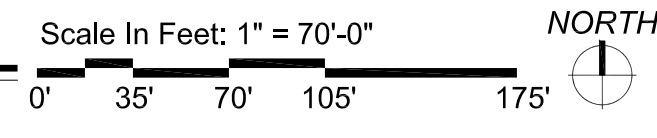
ACTIVE & PASSIVE AMENITIES:

ON-SITE: 1,150 SQ. FT. POOL, 81 SQ. FT. HOT TUB, TWO NATURAL GAS GRILLS, NATURAL GAS FIRE FEATURE, 1,600 SQ. FT. FENCE DOG PARK, 1,000 LINEAR FEET DECOMPOSED GRANITE WALKING TRAIL WITH THREE BENCHES.

OFF-SITE: TWO BENCHES, FOUR EXERCISE STATIONS AND 35 SHADE TREES LOCATED ADJACENT TO EXISTING BALDWIN GULCH CONCRETE TRAIL. SECTIONS OF THE TRAIL IN NEED OF REPAIR WILL ALSO BE REPLACED AS PART OF THIS PROJECT.

Please make sure to update plans with the next submittal.

01 OPEN SPACE, LANDSCAPING & PARKS EXHIBIT



NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 02/17/21

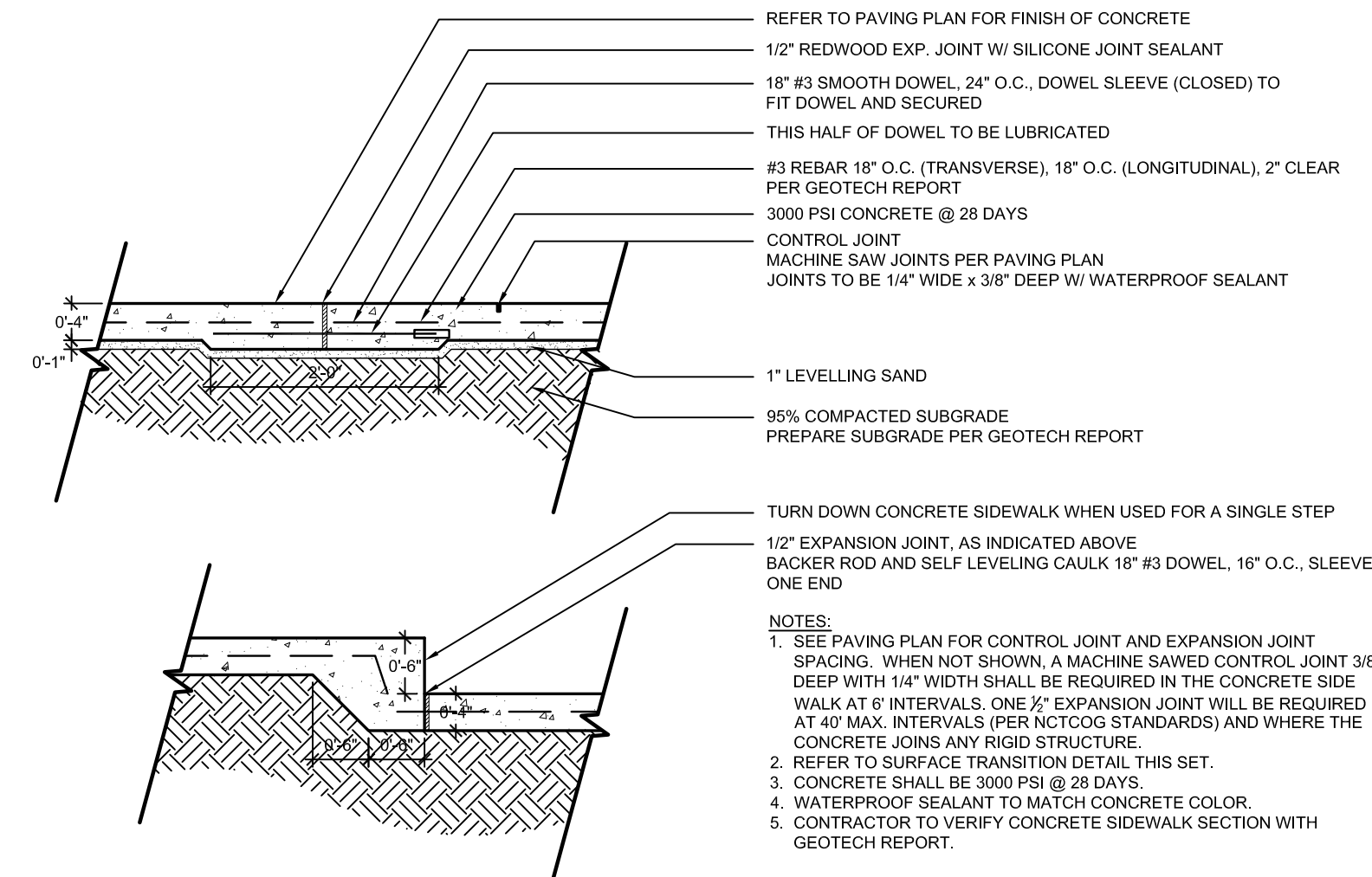
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OPEN SPACE EXHIBIT

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436

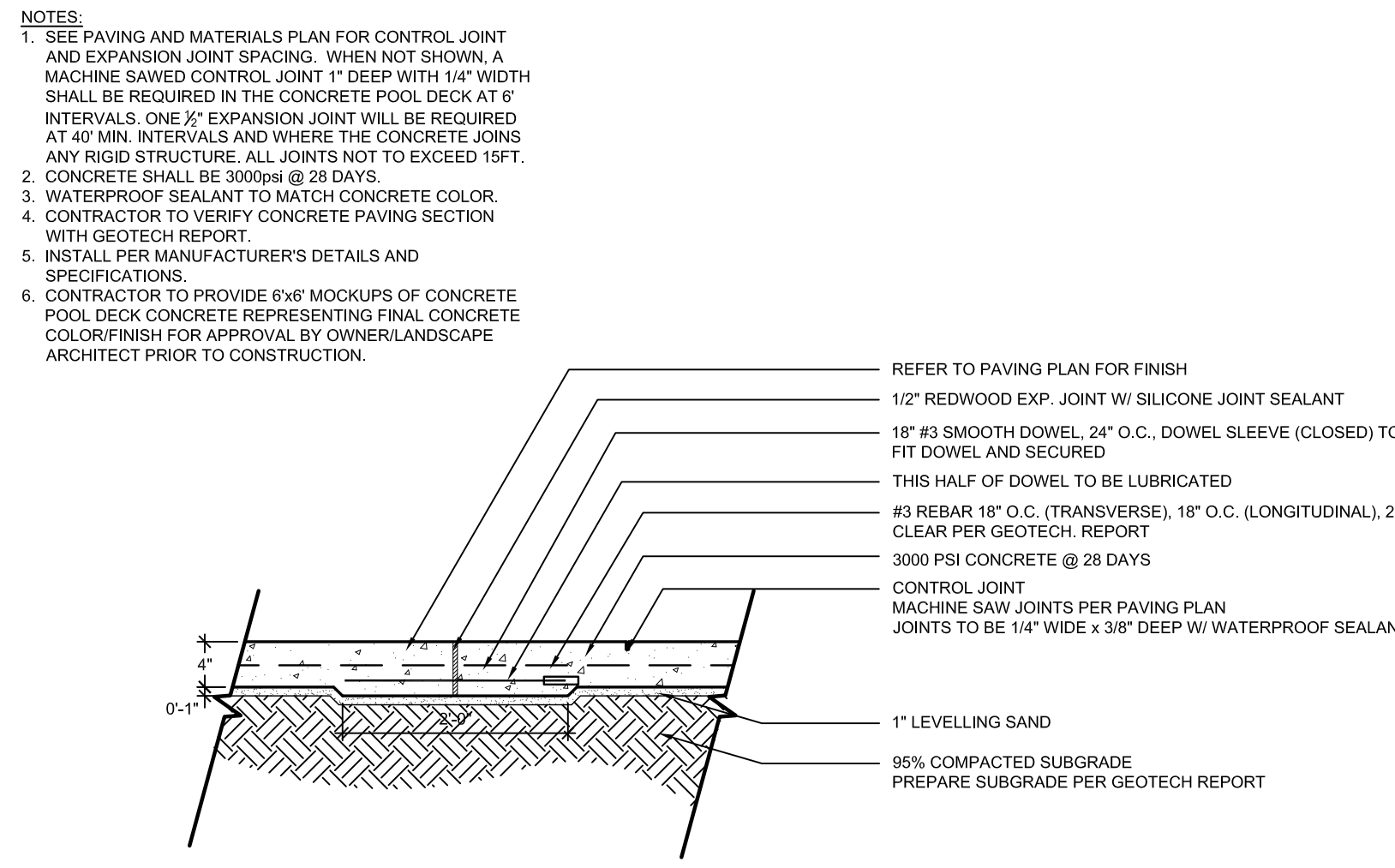
NOT FOR CONSTRUCTION

PROJECT NO. 096481002

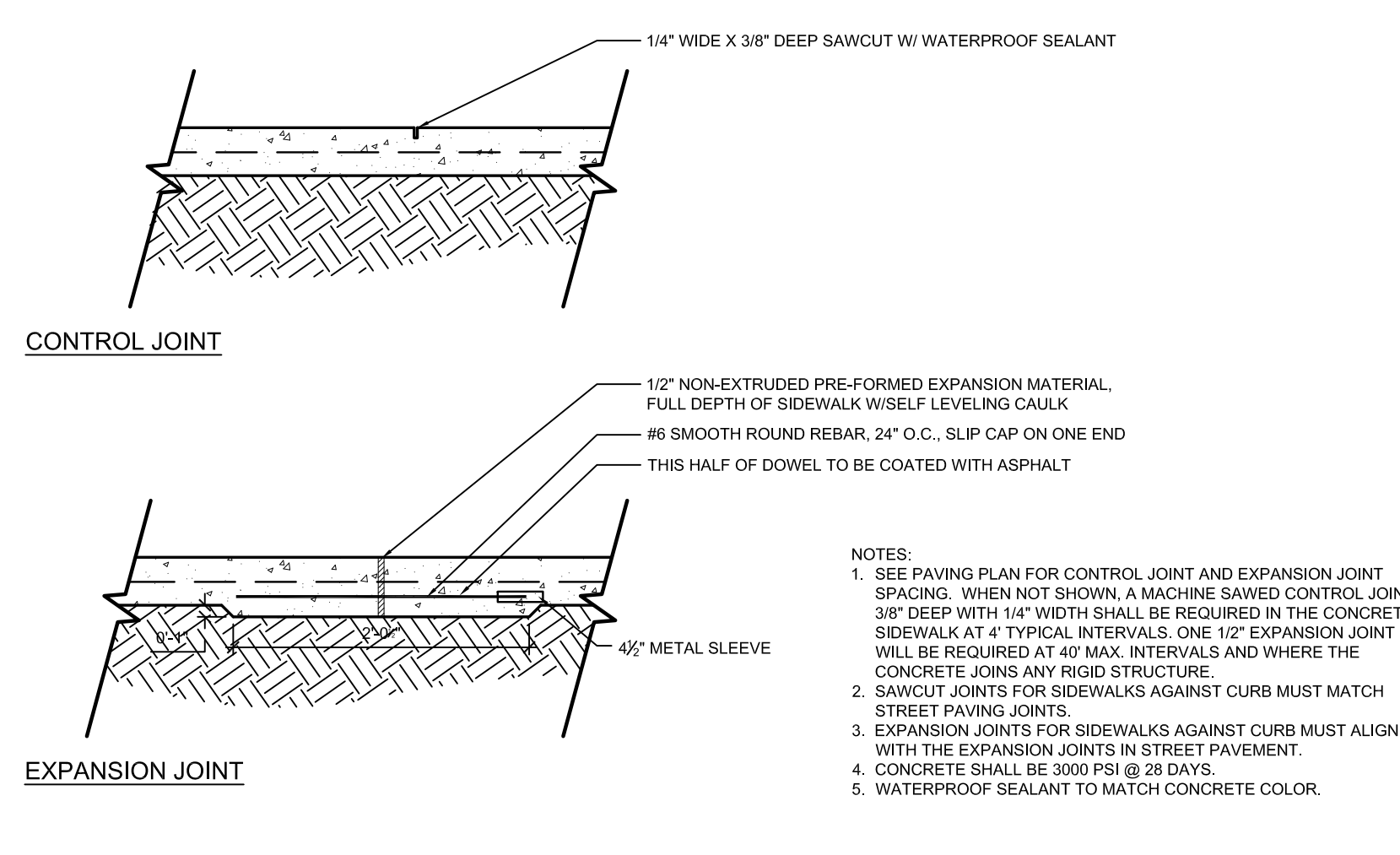




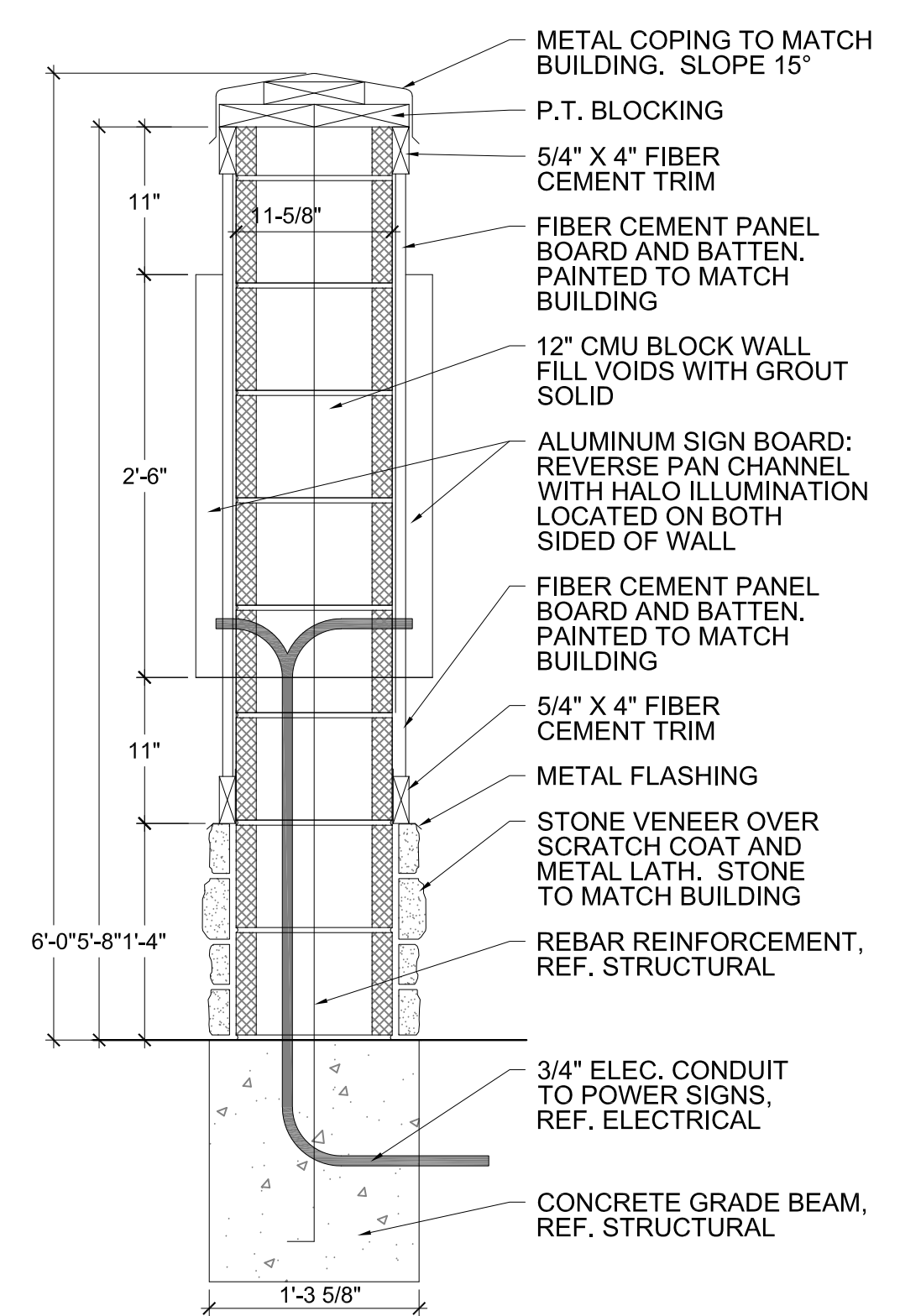
1 CONCRETE PAVING - SIDEWALK (H-01)
SECTION NOT TO SCALE



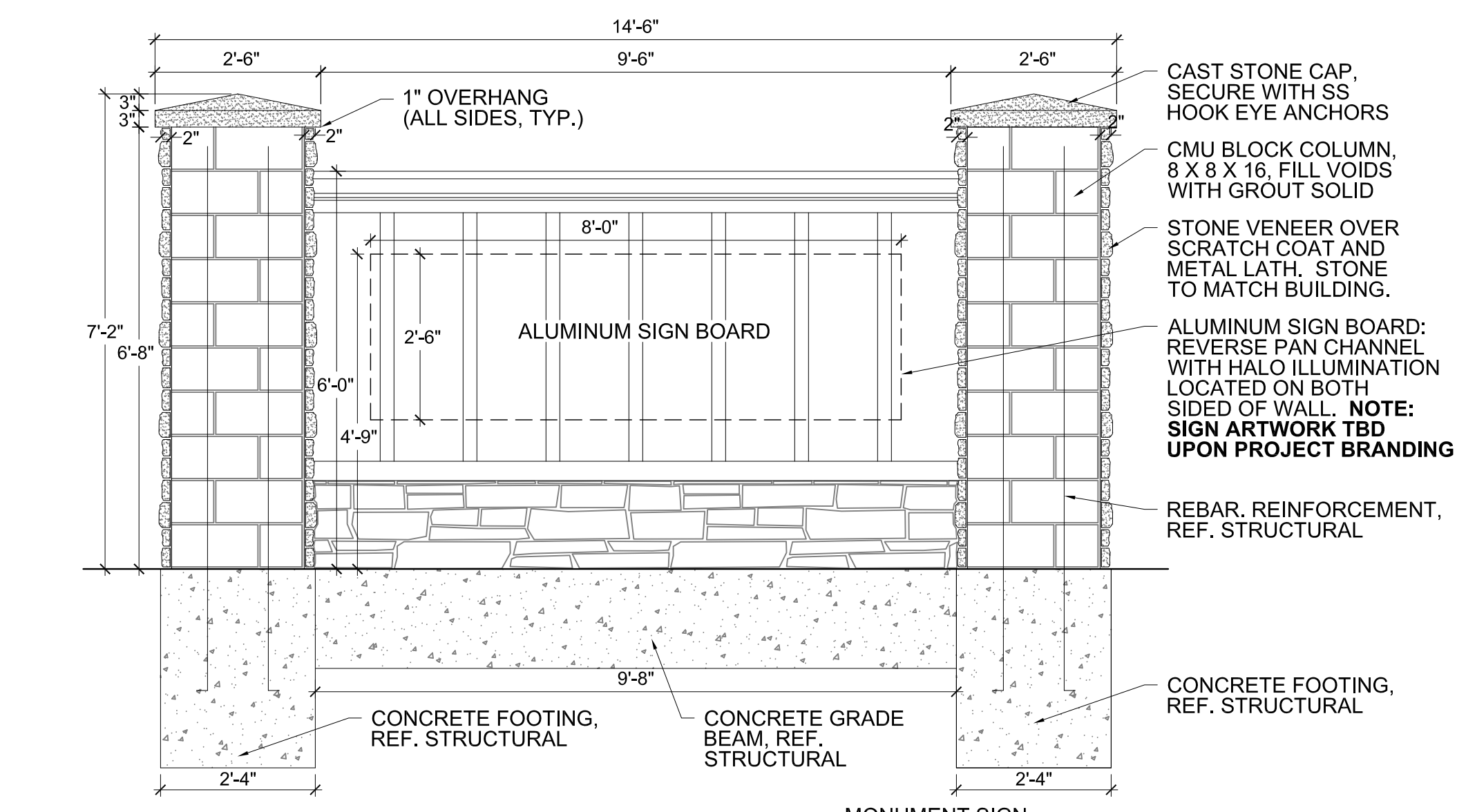
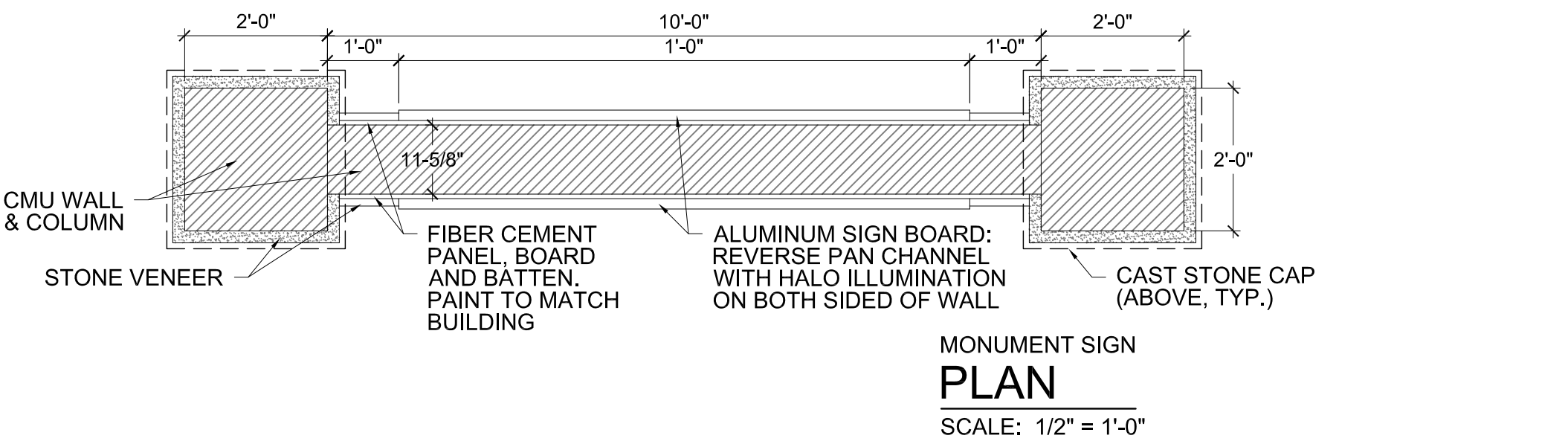
2 CONCRETE PAVING - POOL DECK (H-02)
SECTION NOT TO SCALE



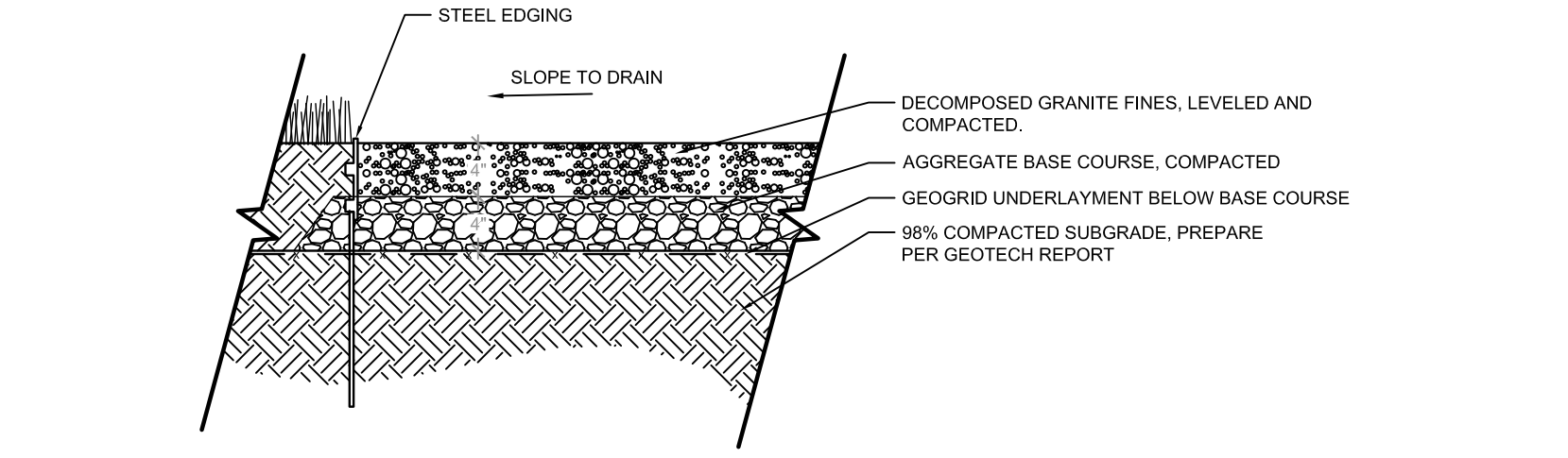
3 CONCRETE JOINTS (H-01 & H-02)
SECTION NOT TO SCALE



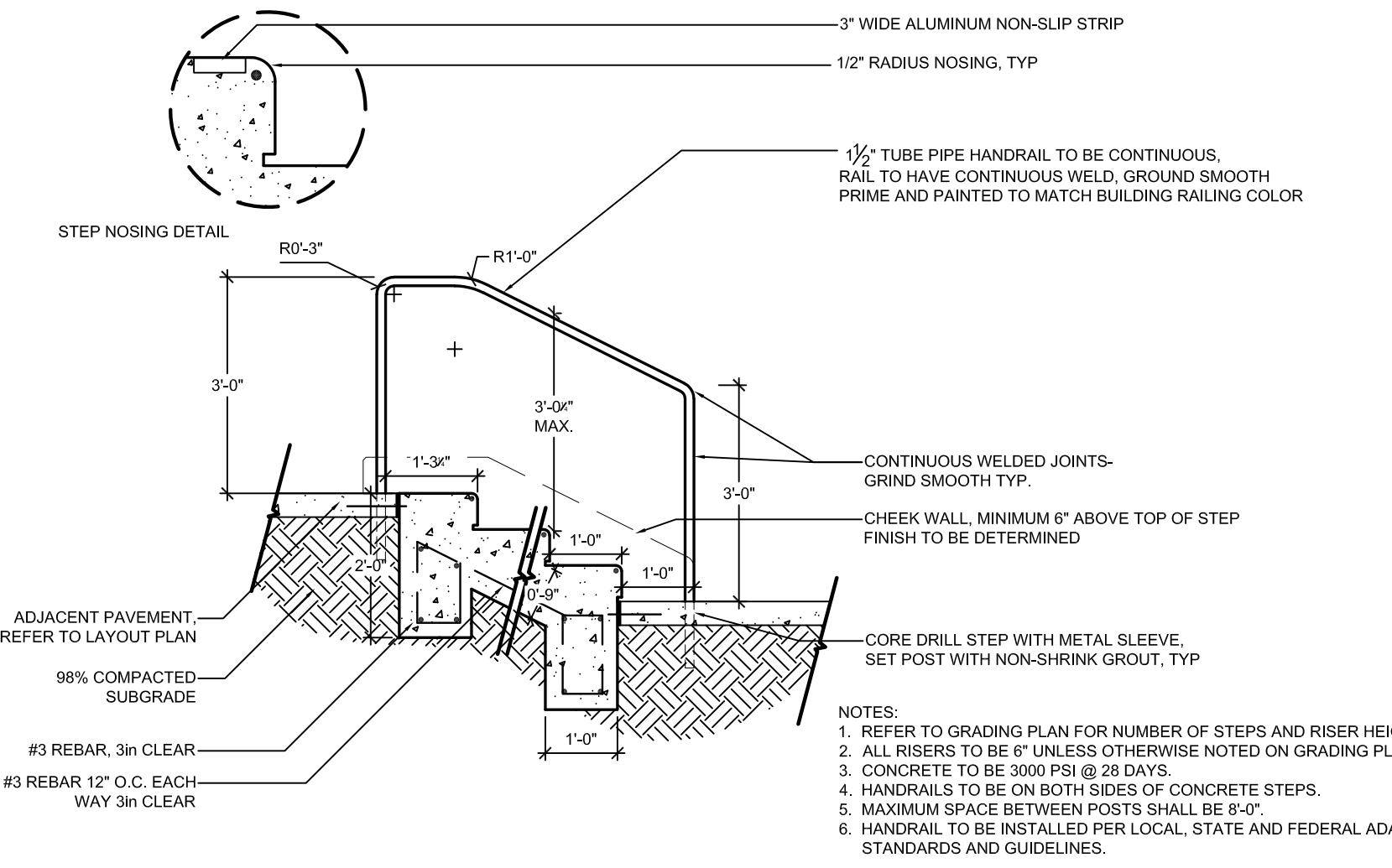
MONUMENT SIGN SECTION
SCALE: 1" = 1'-0"



MONUMENT SIGN SECTION/ELEVATION
SCALE: 1/2" = 1'-0"



5 DECOMPOSED GRANITE (H-19)
SECTION NTS



6 CONCRETE STEP (H-04) & METAL HANDRAIL (H-05)
SECTION NOT TO SCALE

4 MONUMENT SIGN - DOUBLE SIDED (H-21)
PLAN, SECTION & ELEVATION

This can remain in the Site Plat set, but needs a note that states the following:
"For Informational purposes only. Sign(s) will be reviewed as part of a sign permit package."

SCALE VARIES

NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143
317-866-7923

DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 02/17/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
SITE DETAILS

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.

Nicholas Allen Smith
Registered Landscape Architect of the State of COLORADO
Registration Number: 1436
NOT FOR CONSTRUCTION
PROJECT NO. 096481002

Please include any play elements proposed in the park areas.

These are also fine, but the Town has found that the slats create a maintenance issue.



SPECIFICATIONS:
MANUFACTURER
 VICTOR STANLEY
PRODUCT
 PRSNA-10
 6' LENGTH
COLOR/FINISH
 FRAME: BLACK
 SLATS: RECYCLED PLASTIC- MAPLE
CONTACT
 SARAH KWON
 (P): 410.257.7579
 SARAHK@VICTORSTANLEY.COM
 WWW.VICTORSTANLEY.COM
NOTE:
 1. IMAGE IS FOR DESIGN INTENT PURPOSES ONLY.
 2. REFER TO MATERIALS PLAN FOR BENCH LOCATIONS.
 3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

1 BENCH (S-01)
 IMAGE NOT TO SCALE



SPECIFICATIONS:
MANUFACTURER
 BYO RECREATION
MODEL
 BYO-FE-8295
CONTACT:
 BYO RECREATION, INC.
 425 GOLFWAY WEST DRIVE, STE. 302
 SAINT AUGUSTINE, FL 32095
 (800) 853-5318
 WWW.BYOPLAYGROUND.COM
NOTES:
 1. INSTALL DOG WATER STATION PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 2. CONTRACTOR TO PROVIDE LEVER STYLE HANDLE IN LIEU OF GATE VALVE SHOWN.
 2. REFER TO MATERIAL PLAN FOR DOG WATER STATION LOCATIONS.

2 PET DRINKING FOUNTAIN (S-18)
 IMAGE NTS



SPECIFICATIONS:
MANUFACTURER
 GREAT AMERICAN PROPERTY MANAGEMENT
MODEL
 METAL DELUXE PET WASTE STATION - DOG ART SKU: RCPAW35
SIGNAGE MESSAGE
 THROW US A BONE, GREEN
CONTACT:
 GREAT AMERICAN PROPERTY MANAGEMENT
 6701 CONCORD PARK DRIVE
 HOUSTON, TX 77040
 P-1.800.676.3979
NOTES:
 1. REFER TO MATERIAL PLAN FOR PET WASTE STATION LOCATION.
 2. INSTALL PET WASTE STATION PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 3. DISPENSER AND POST LOCATION SHALL BE WITHIN ACCESSIBLE REACH (10') FROM ADJACENT ACCESSIBLE ROUTE.

3 PET WASTE STATION (S-17)
 IMAGE NOT TO SCALE



SPECIFICATIONS:
MANUFACTURER
 LIVIN THE DOG LIFE
MODEL
 HAMMIE'S TUNNEL HOUSE
CONTACT:
 LIVIN THE DOG LIFE
 3815 RIVER CROSSING PKWY #100
 INDIANAPOLIS, IN 46240
 800-931-1562
 WWW.LIVINTHEDOGLIFE.COM



SPECIFICATIONS:
MANUFACTURER
 BARKPARK
MODEL
 STEPPING STONES
CONTACT:
 BARKPARK
 1675 LOCUST STREET
 RED BLD, ILLINOIS 62278
 800-458-5872
 WWW.DOGPARKPRODUCT.COM



SPECIFICATIONS:
MANUFACTURER
 LIVIN THE DOG LIFE
MODEL
 MINT HILL CLIMB
CONTACT:
 LIVIN THE DOG LIFE
 3815 RIVER CROSSING PKWY #100
 INDIANAPOLIS, IN 46240
 800-931-1562
 WWW.LIVINTHEDOGLIFE.COM

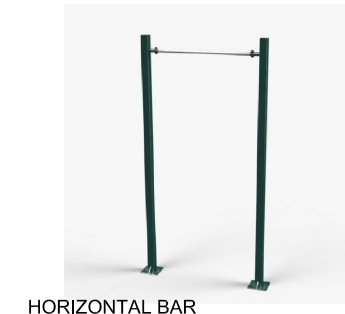
NOTES:
 1. INSTALL DOG PLAY EQUIPMENT PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 2. REFER TO MATERIALS PLAN FOR DOG PLAY EQUIPMENT LOCATIONS.

4 DOG PARK PLAY STRUCTURES (S-19)
 IMAGE NOT TO SCALE

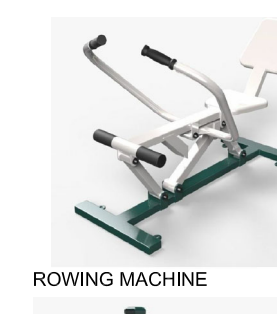


SPECIFICATIONS:
MANUFACTURER
 LUJO LIVING
 WWW.LUJOLIVING.COM
PRODUCT
 FREE-STANDING HAMMOCK - DOUBLE QUILTED TAJ COLLECTION
MATERIAL/COLOR
 FABRIC COLOR: LEAD CHINE
NOTE:
 1. REFER TO MATERIAL PLAN FOR HAMMOCK LOCATIONS.
 2. INSTALL HAMMOCK PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

5 HAMMOCK (S-06)
 IMAGE NOT TO SCALE



HORIZONTAL BAR



ROWING MACHINE



PARALLEL BARS



SEATED CHEST PRESS



PULL UP & DIP STATION



SEATED LAT PULL

SPECIFICATIONS:
MANUFACTURER
 TRIACTIVE USA
PRODUCT
 PARK & RECREATION/ OUTDOOR FITNESS EQUIPMENT
CONTACT INFORMATION:
 TRIACTIVE USA
 P: 800.509.0597
 WWW.TRIACTIVEUSA.COM
NOTES:
 1. REFER TO MATERIALS PLAN FOR LOCATIONS.
 2. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

6 FITNESS STATIONS (S-14)
 IMAGE NOT TO SCALE



SPECIFICATIONS:
MANUFACTURER
 QCP
PRODUCT
 CORNHOLE
COLOR
 FRENCH GREY
CONTACT INFORMATION:
 ANTHONY VARGAS
 P: 951.256.3228
 anthony.vargas@qcp-corp.com
NOTE:
 1. OR APPROVED EQUAL.
 2. REFER TO MATERIALS PLAN FOR LOCATION.
 3. (2) TWO TOTAL TARGETS

7 CORNHOLE (S-10)
 IMAGE NOT TO SCALE



SPECIFICATIONS:
MANUFACTURER
 VICTOR STANLEY
PRODUCT
 RTH-24
 DOME LID
COLOR/FINISH
 FRAME: BLACK
 SLATS: RECYCLED PLASTIC- MAPLE
CONTACT
 SARAH KWON
 (P): 410.257.7579
 SARAHK@VICTORSTANLEY.COM
 WWW.VICTORSTANLEY.COM
NOTE:
 1. IMAGE IS FOR DESIGN INTENT PURPOSES ONLY.
 2. REFER TO MATERIALS PLAN FOR TRASH RECEPTACLE LOCATIONS.
 3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

8 TRASH RECEPTACLE (S-11)
 IMAGE NOT TO SCALE



SPECIFICATIONS:
MANUFACTURER
 TEXACRAFT
PRODUCT
 NEXUS ROSEWOOD STACK CHAISE LOUNGE
 M7709
 35.5"W X 14.5"D X 14.5"H
COLOR
 WEAVE
CONTACT:
 HEATHER PITTMAN
 PO BOX 868
 HALEYVILLE, AL 35565
 EMAIL: HH@TEXASCRAFT.COM
 PHONE: 800-315-5692
 WWW.TEXASCRAFT.COM

9 CHAISE LOUNGE CHAIR (S-02)
 IMAGE



SPECIFICATIONS:
MANUFACTURER
 TEXASCRAFT
PRODUCT
 IN-POOL LOUNGER
 237W X 24.5H
COLOR
 WHITE
CONTACT:
 HEATHER PITTMAN
 PO BOX 868
 HALEYVILLE, AL 35565
 EMAIL: HH@TEXASCRAFT.COM
 PHONE: 800-315-5692
 WWW.TEXASCRAFT.COM
NOTE:
 1. IMAGE IS FOR DESIGN INTENT PURPOSES ONLY.
 2. REFER TO MATERIALS PLAN-FURNITURE FOR LOCATIONS.
 3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.

10 IN-POOL CHAISE LOUNGE CHAIR (S-16)
 IMAGE NOT TO SCALE

NO.	REVISION	BY	DATE	APPR.



DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 02/17/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 SITE DETAILS

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436
NOT FOR CONSTRUCTION

PROJECT NO.
 096481002

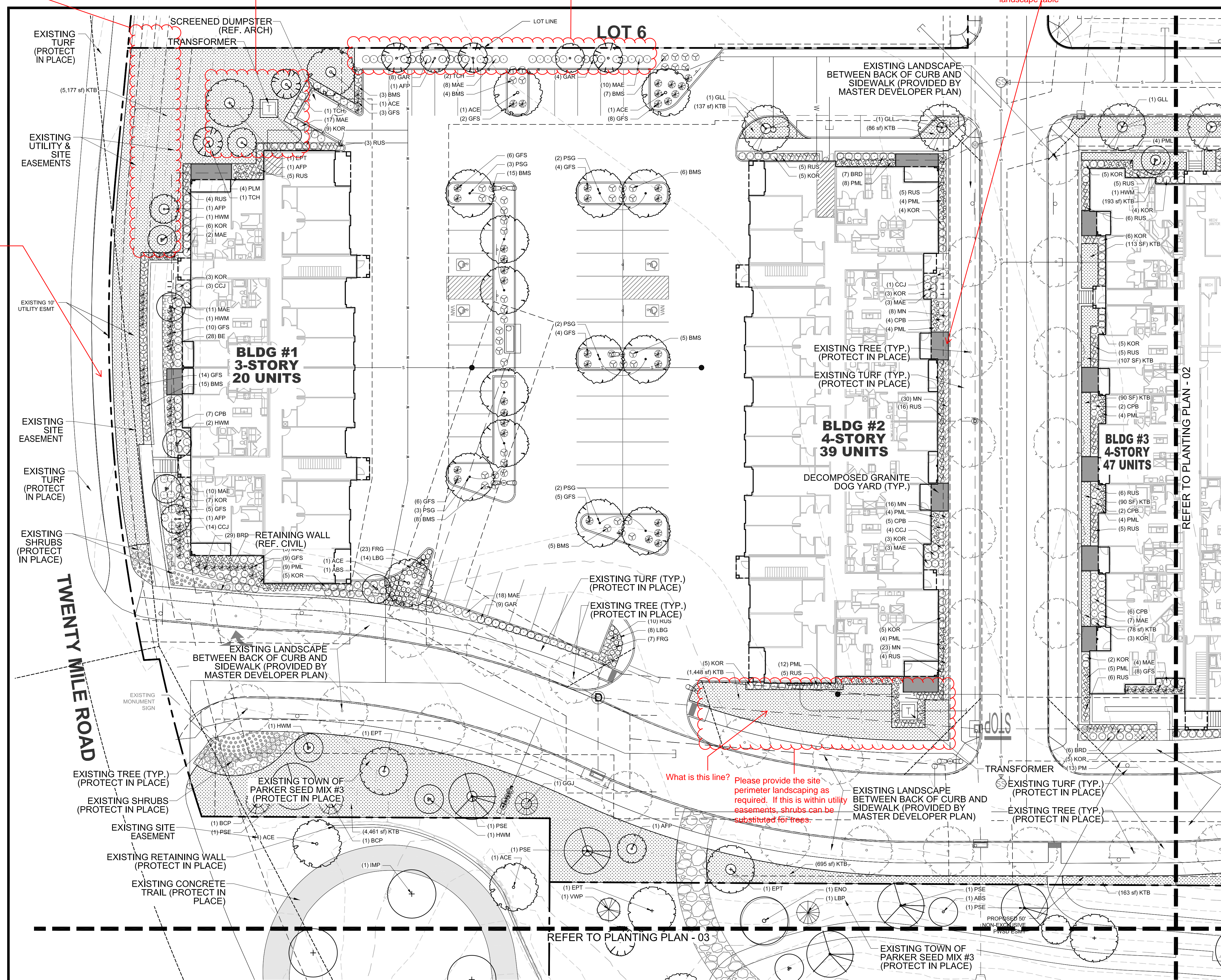
Please add shrubs beds in this location to continue the look along the street. Shrubs are permitted within utility easements.

IREA has setback requirements for landscaping around their transformers, but please add shrubs and grasses to provide additional screening.

I know there is a fence for the daycare, but please add additional ornamental grasses to fill in the holes to provide the screening required for parking lots.

These areas should be included in the landscape table

The landscape table lists trees and shrubs for the Twenty Mile Streetscape, but no trees and shrubs are shown.



PLANTING LEGEND

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
DECIDUOUS CANOPY TREES			
(Symbol)	ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
(Symbol)	PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
(Symbol)	ENO	ENGLISH OAK	QUERCUS ROBUR
(Symbol)	EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
(Symbol)	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
(Symbol)	PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
(Symbol)	GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
ORNAMENTAL TREES			
(Symbol)	HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
(Symbol)	ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA 'AUTUMN BRILLANCE'
(Symbol)	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
(Symbol)	AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
EVERGREEN TREES			
(Symbol)	VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
(Symbol)	LBP	LIMBER PINE	PINUS FLEXILIS
(Symbol)	BCP	BRISTLECONE PINE	PINUS ARISTATA
(Symbol)	GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
DECIDUOUS & EVERGREEN SHRUBS			
(Symbol)	CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'
(Symbol)	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
(Symbol)	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
(Symbol)	KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
(Symbol)	GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
(Symbol)	PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
(Symbol)	KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
(Symbol)	MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'
(Symbol)	GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
LOWS/SPREADING SHRUBS			
(Symbol)	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
(Symbol)	BRD	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
(Symbol)	HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUOLTI 'HANCOCK'

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
PERENNIALS			
(Symbol)	DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
(Symbol)	PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
(Symbol)	YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
(Symbol)	BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
(Symbol)	AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
(Symbol)	MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
ORNAMENTAL GRASSES			
(Symbol)	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'
(Symbol)	SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
(Symbol)	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER'
(Symbol)	LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM

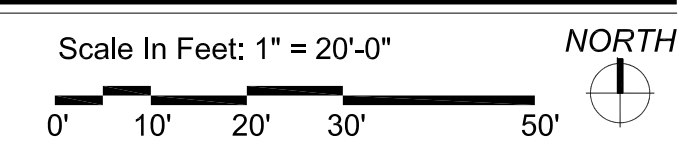
SYMBOL	TAG	COMMON NAME	BOTANIC NAME
TURF GRASSES			
(Symbol)	KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND

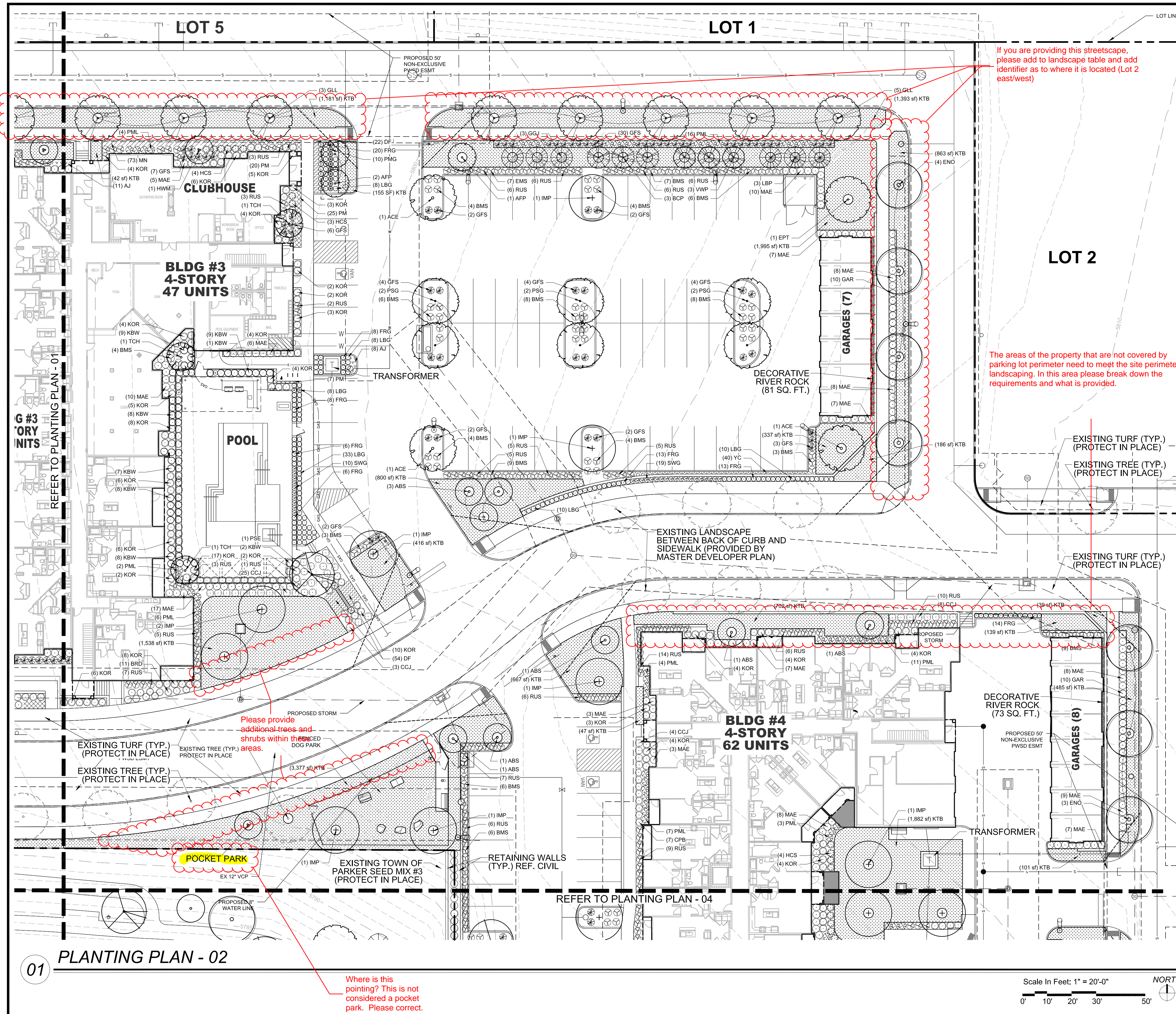
SYMBOL	TAG	COMMON NAME	BOTANIC NAME
DECORATIVE RIVER ROCK AND HARDWOOD MULCH			
(Symbol)		DECORATIVE RIVER ROCK	GROUNDCOVER BEHIND GARAGES
(Symbol)		HARDWOOD MULCH	IN ALL SHRUB PLANTING BEDS PER PLAN

NOTE: REFERENCE SHEET 26 FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-686-7923
 DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 02/17/21
 PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 PLANTING PLAN
 PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436
NOT FOR CONSTRUCTION
 PROJECT NO. 096481002
 21 OF 47

01 PLANTING PLAN - 01

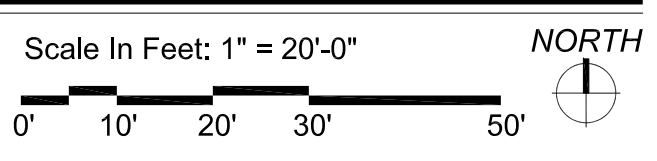




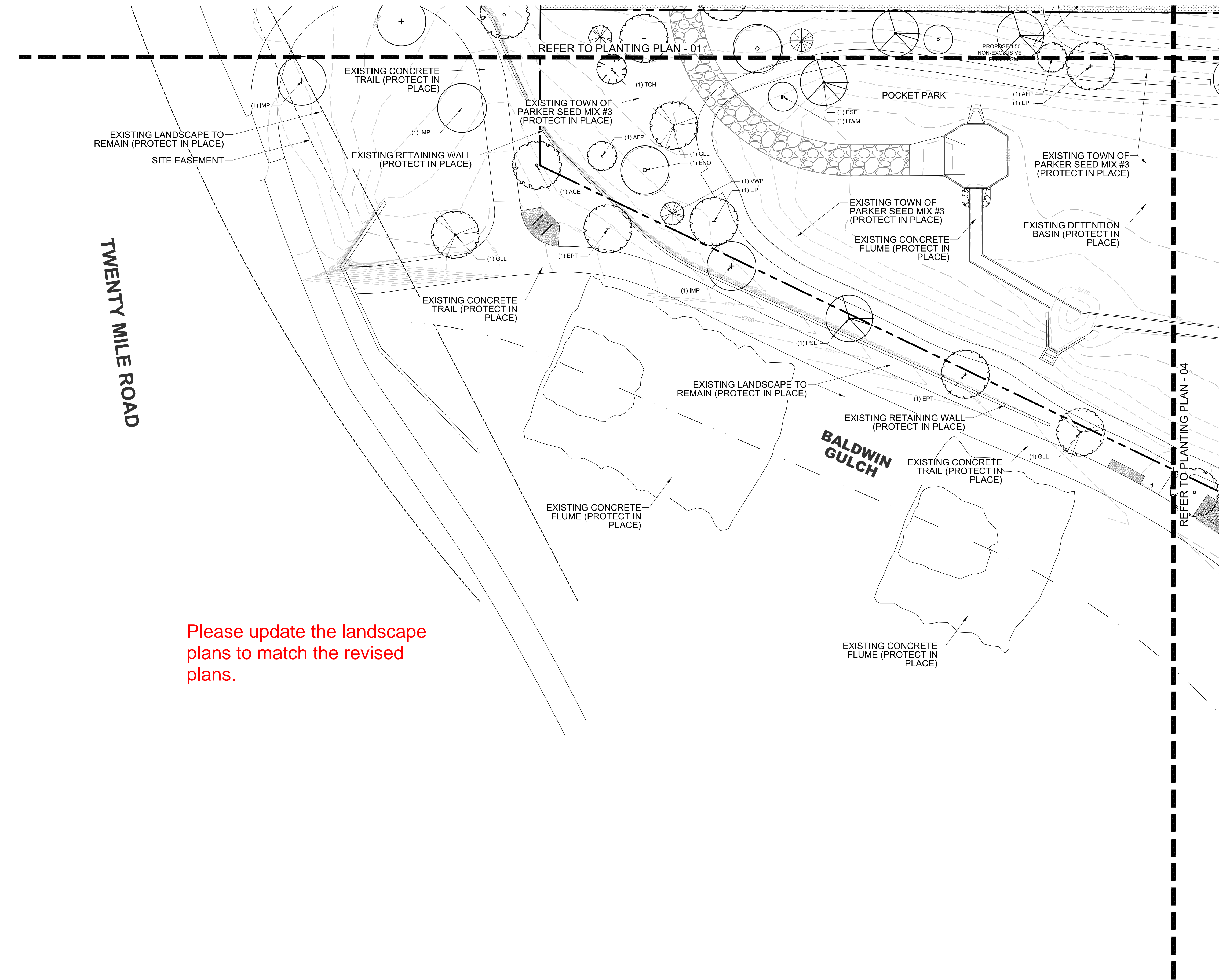
PLANTING LEGEND

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
DECIDUOUS CANOPY TREES			
	ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
	PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
	ENO	ENGLISH OAK	QUERCUS ROBUR
	EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
	GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDATA 'GREENSPIRE'
ORNAMENTAL TREES			
	HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
	ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'
	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
	AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'
EVERGREEN TREES			
	VWP	VANDERWOLF'S PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'
	LBP	LIMBER PINE	PINUS FLEXILIS
	BCP	BRISTLECONE PINE	PINUS ARISTATA
	GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'
DECIDUOUS & EVERGREEN SHRUBS			
	CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'
	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
	KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
	GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
	PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
	KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
	MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOWICA 'MANHATTAN'
	GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'
LOWS/SPREADING SHRUBS			
	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
	BRD	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
	HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUTII 'HANCOCK'
PERENNIALS			
	DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
	PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
	YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
	BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
	AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
	MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'
ORNAMENTAL GRASSES			
	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPUREASCENS'
	SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'
	LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM
TURF GRASSES			
	KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND
DECORATIVE RIVER ROCK AND HARDWOOD MULCH			
	DRR	DECORATIVE RIVER ROCK	GROUNDCOVER BEHIND GARAGES
	HML	HARDWOOD MULCH	IN ALL SHRUB PLANTING BEDS PER PLAN

01 PLANTING PLAN - 02

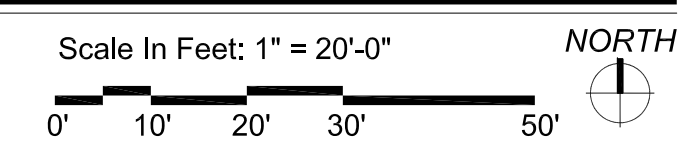


THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923
 DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 02/17/21
 PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 PLANTING PLAN
 PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436
NOT FOR CONSTRUCTION
 PROJECT NO. 096481002
 22 OF 47



Please update the landscape plans to match the revised plans.

01 PLANTING PLAN - 03



PLANTING LEGEND

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
DECIDUOUS CANOPY TREES			
	ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
	PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
	ENO	ENGLISH OAK	QUERCUS ROBUR
	EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
	GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'
ORNAMENTAL TREES			
	HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
	ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA 'AUTUMN BRILLANCE'
	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
	AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'
EVERGREEN TREES			
	VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
	LBP	LIMBER PINE	PINUS FLEXILIS
	BCP	BRISTLECONE PINE	PINUS ARISTATA
	GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'
DECIDUOUS & EVERGREEN SHRUBS			
	CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'
	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
	KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
	GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
	PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
	KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
	MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'
	GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'
LOWS/SPREADING SHRUBS			
	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
	BRD	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
	HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'
PERENNIALS			
	DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
	PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
	YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
	BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
	AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
	MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'
ORNAMENTAL GRASSES			
	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'
	SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'
	LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM
TURF GRASSES			
	KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND
DECORATIVE RIVER ROCK AND HARDWOOD MULCH			
		DECORATIVE RIVER ROCK	GROUND COVER BEHIND GARAGES
		HARDWOOD MULCH	IN ALL SHRUB PLANTING BEDS PER PLAN

NOTE: REFERENCE SHEET 26 FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.



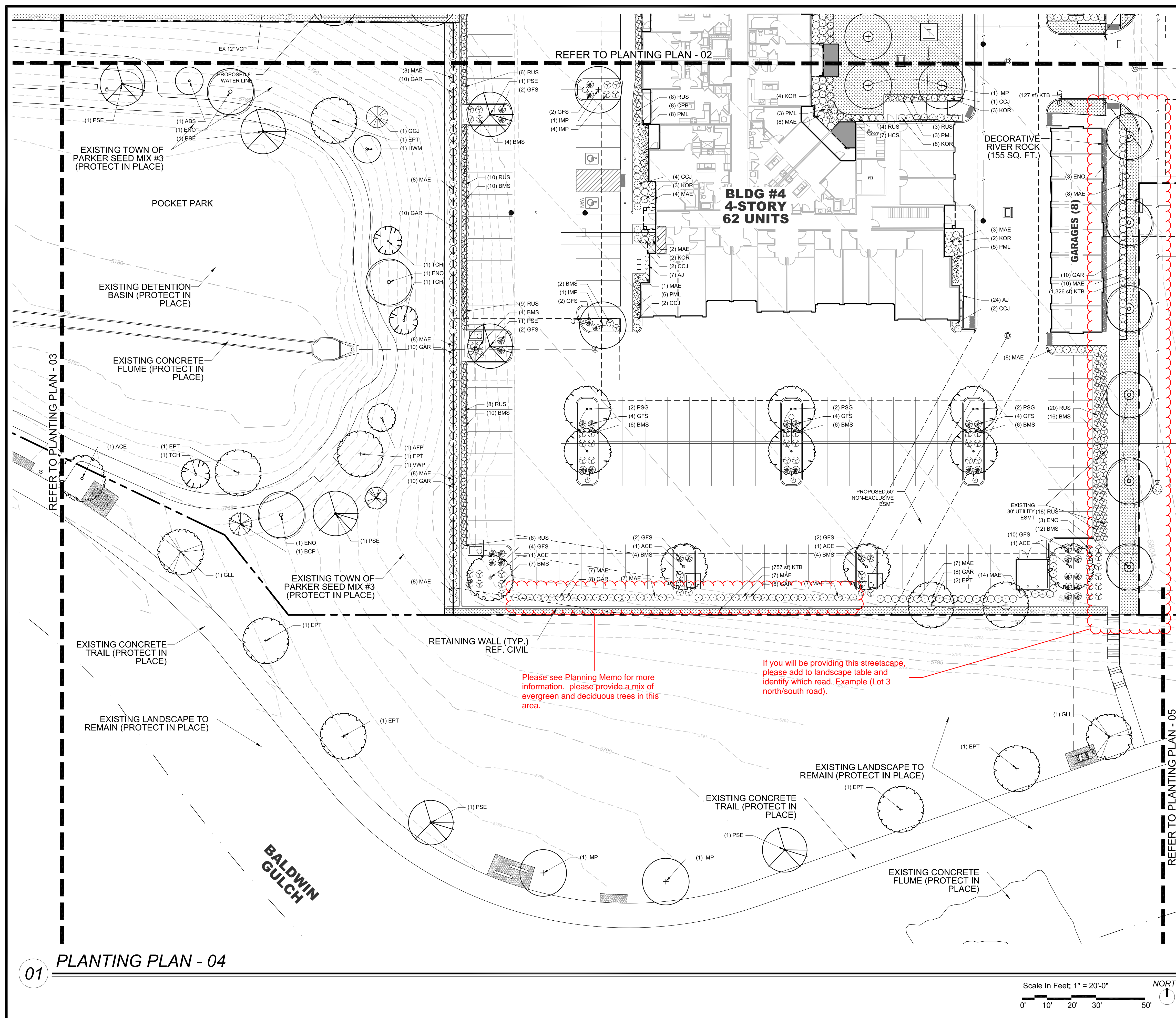
PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
PLANTING PLAN

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 02/17/21

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
Nicholas Allen Smith
Registered Landscape Architect of the State of COLORADO
Registration Number: 1436
NOT FOR CONSTRUCTION
PROJECT NO. 096481002

23 OF 47



PLANTING LEGEND

SYMBOL TAG COMMON NAME BOTANIC NAME

DECIDUOUS CANOPY TREES

ACE	ACCOLADE	ULMUS MORTON 'ACCOLADE'
PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
ENO	ENGLISH OAK	QUERCUS ROBUR
EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'

ORNAMENTAL TREES

HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'
TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'

EVERGREEN TREES

VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
LBP	LIMBER PINE	PINUS FLEXILIS
BCP	BRISTLECONE PINE	PINUS ARISTATA
GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'

DECIDUOUS & EVERGREEN SHRUBS

CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'
BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
MAE	MANHATTAN EUONYMUS	EUONYMUS KLAUTSCHOVICA 'MANHATTAN'
GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'

LOWS/SPREADING SHRUBS

CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
BRD	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUULTII 'HANCOCK'

PERENNIALS

DF	DWARF BLANKETFLOWER	GALLIARDIA X GRANDIFLORA 'GOBLIN'
PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'

ORNAMENTAL GRASSES

PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'
SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER'
LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM

TURF GRASSES

KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND
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DECORATIVE RIVER ROCK AND HARDWOOD MULCH

DRR	DECORATIVE RIVER ROCK	GROUNDCOVER BEHIND GARAGES
HML	HARDWOOD MULCH	IN ALL SHRUB PLANTING BEDS PER PLAN

NOTE: REFERENCE SHEET 26 FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.



NO.	REVISION	BY	DATE	APPR

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS
 BLD. GREENWOOD, IN 46143 317-866-7923

DESIGNED BY: NAS
 DRAWN BY: NAS
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PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
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 PLANTING PLAN

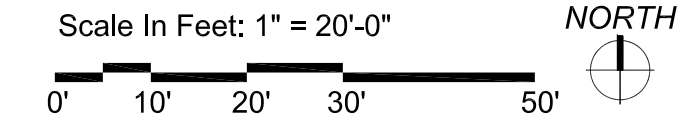
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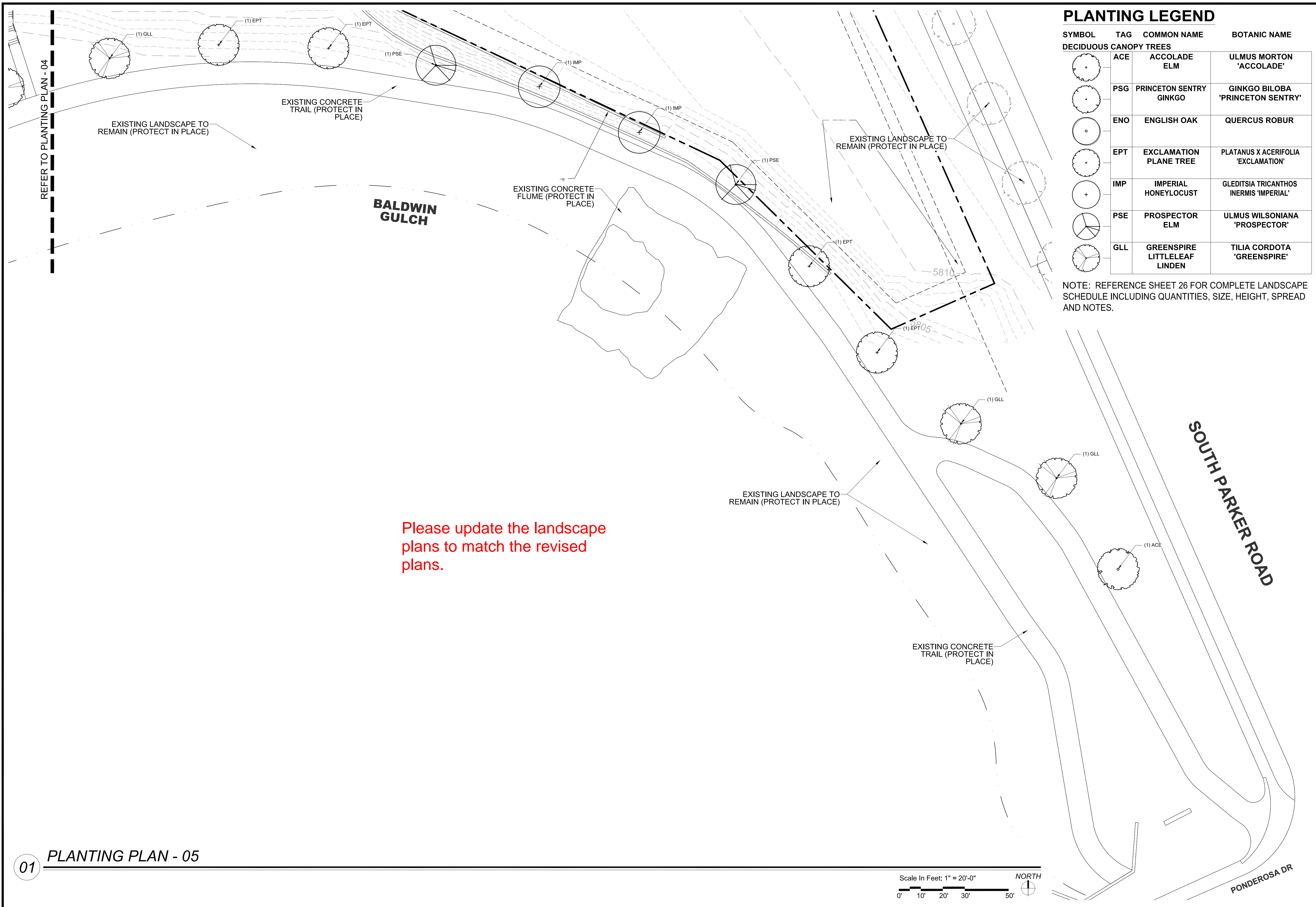
Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436

NOT FOR CONSTRUCTION

PROJECT NO.
 096481002

01 PLANTING PLAN - 04





PLANTING LEGEND

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
DECIDUOUS CANOPY TREES			
	ACE	ACCOLADE ELM	ULMUS MORTONIA 'ACCOLADE'
	PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
	ENO	ENGLISH OAK	QUERCUS ROBUR
	EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
	GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'

NOTE: REFERENCE SHEET 26 FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.

NO.	REVISION	BY	DATE	APPR.



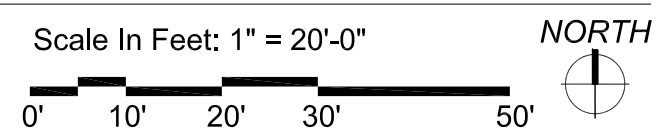
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 096481002



Please update the landscape plans to match the revised plans.

PLANTING SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME	SIZE	HEIGHT (FEET)	WIDTH (FEET)	HYDROZONE	NOTES	%
DECIDUOUS CANOPY TREES										
	ACE	16	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2-1/2" CAL.	50	30	M-H	BALLED & BURLAPPED	14
	PSG	24	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	18
	ENO	18	ENGLISH OAK	QUERCUS ROBUR	2-1/2" CAL.	45	30	M-H	BALLED & BURLAPPED	17
	EPT	22	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'	2-1/2" CAL.	50	30	M-H	BALLED & BURLAPPED	16
	IMP	21	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'	2-1/2" CAL.	35	30	M-H	BALLED & BURLAPPED	14
	PSE	17	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	19
	GLL	19	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	17
	SUBTOTAL	137								
ORNAMENTAL TREES										
	HWM	11	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	2" CAL.	20	15	M	BALLED & BURLAPPED	24
	ABS	11	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'	2" CAL.	20	20	M	B & B, SINGLE TRUNK	24
	TCH	12	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'	2" CAL.	15	15	M	BALLED & BURLAPPED	26
	AFP	12	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	2" CAL.	20	15	M	BALLED & BURLAPPED	26
	SUBTOTAL	46								
EVERGREEN TREES										
	VWP	6	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'	6' HT.	15	10	L-M	BALLED & BURLAPPED	26
	LBP	4	LIMBER PINE	PINUS FLEXILIS	6' HT.	35	15	L-M	BALLED & BURLAPPED	24
	BCP	6	BRISTLECONE PINE	PINUS ARISTATA	6' HT.	20	15	L-M	BALLED & BURLAPPED	26
	GGJ	5	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	6' HT.	20	15	L-M	BALLED & BURLAPPED	24
	SUBTOTAL	21								
DECIDUOUS SHRUBS										
	CPB	37	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	5 GAL.	2	3	L-M	MATCHING, CONTAINER FULL	
	BMS	94	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
	RUS	323	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	4	4	L-M	MATCHING, CONTAINER FULL	
	KOR	244	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	GFS	47	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	PML	130	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	KBW	55	KOREAN BOXWOOD	BUXUS 'KOREAN'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	MAE	325	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	GAR	100	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'	5 GAL.	5	4	M	MATCHING, CONTAINER FULL	
	SUBTOTAL	1,355								
LOW/SPREADING SHRUBS										
	CCJ	101	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	3 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	BRD	45	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	3 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	HCS	20	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	3 GAL.	3	5	L-M	MATCHING, CONTAINER FULL	
	SUBTOTAL	166								
PERENNIALS (TRIANGULAR SPACING)										
	DF	231	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS.	1	2	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	PM	66	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS.	1.5	1.5	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	YC	38	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA	4 IN. POTS.	2	2	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	BE	29	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	4 IN. POTS.	2	2	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	AJ	49	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS.	2	1.5	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	MN	177	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS.	2	2	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	SUBTOTAL	590								
ORNAMENTAL GRASSES										
	PMG	10	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.	4	3	L-M	MATCHING	
	SWG	29	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL.	5	3	L-M	MATCHING	
	FRG	117	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M	MATCHING	
	LBG	95	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL.	3	3	L-M	MATCHING	
	SUBTOTAL	251								
TURF GRASSES										
	KTB	31,408 SQ. FT.	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT BLENDED HYBRID TURF GRASS	SOD	N/A	N/A	M	SOLID SOD	
DECORATIVE RIVER ROCK AND HARDWOOD MULCH										
		2 CY	DECORATIVE RIVER ROCK	1-3" DECORATIVE RIVER ROCK, LOCALLY SOURCED	1"-3"	N/A	N/A	N/A	2" SETTLED DEPTH WITH FILTER FABRIC	
		176 CY	HARDWOOD MULCH	IN ALL SHRUB PLANTING BEDS & TREE RINGS	MULCH	N/A	N/A	N/A	2" SETTLED THICKNESS	

NOTE: QUANTITIES LISTED ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY QUANTITIES PER PLANS AND BRING AND DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
 NOTE: ALL SHRUB, PERENNIAL AND ORNAMENTAL GRASS PLANTING BEDS TO INCLUDE HARDWOOD MULCH PER PLANTING DETAILS.
 NOTE: LANDSCAPE IDENTIFIED AS EXISTING, INSTALLED BY OTHERS WILL BE INSTALLED BY THE MASTER DEVELOPER.

TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES:

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS' ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY. ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G., FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION.
- IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET. IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPED AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO THE ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- OWNER'S REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL AFTER CITY INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 2" DEPTH SHREDDED HARDWOOD MULCH. CONTRACTOR SHALL PROVIDE 1 GALLON BAG SAMPLE OF MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLE. ALL PERENNIAL AND ANNUAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARD AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SHRUB BEDS TO BE IRRIGATION WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASEMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC CONTROLLER, AERATING AND DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLENISHING MULCH, FERTILIZING; PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.
- SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE GROUND TO A LINE AT LEAST SEVEN (7) FEET ABOVE THE LEVEL OF THE INTERSECTION.
- ALL EXISTING TREES, SHRUBS, GRASS, ROCKS, FENCE ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE CESARE, INC. PROJECT NO. 16.174, AUGUST 17, 2016 #11 SURFACE DRAINAGE: C) WATERING WITHIN 5 FEET OF THE STRUCTURE SHOULD BE ELIMINATED. D) IF LAWN EDGING IS USED AROUND THE EXTERIOR OF THE STRUCTURE, IT SHOULD BE PERFORATED TO PREVENT PONDING OF SURFACE WATER IN THE VICINITY OF THE BACKFILL SOILS. F) IF A SPRINKLER SYSTEM IS INSTALLED, THE SPRINKLER HEADS SHOULD BE PLACES SO THAT THE SPRAY FROM THE HEADS, UNDER FULL PRESSURES, DOES NOT FALL WITHIN 5 FEET OF FOUNDATION WALLS.

You have included 20 Mile Rd twice. What is the difference here? Also, the entire 20 Mile frontage is taken up by a site easement with no landscaping. Please correct.

DESCRIPTION	PARKING LOT SF	MIN. 10% SF LANDSCAPED	MIN. 45% SF LANDSCAPED	SQUARE FOOT LANDSCAPED	TREES REQ. 1/1500 SF	TREES REQ. 1/162 SF	LINEAR FEET	1 TREE PER 40 LF	TREES PROVIDED	SHRUBS REQ. 5/1500 SF	SHRUBS REQ. 5/162 SF	SHRUBS PROVIDED
ROW TWENTY MILE RD	N/A	N/A	N/A	1,660	N/A	N/A	305	16	N/A	N/A	39	N/A
STREETSCAPE TWENTY MILE RD	N/A	N/A	N/A	N/A	N/A	N/A	305	16	16	N/A	39	39
PARKING ISLANDS	100,360	10,036	N/A	11,177	N/A	60	N/A	N/A	60	N/A	485	351
MIN. SITE STANDARDS	N/A	N/A	186,091	192,377	97	N/A	N/A	N/A	99	482	500	855
TOTAL TREES REQUIRED:					148							
TOTAL TREES PROVIDED:					204							
TOTAL SHRUBS REQUIRED:					1,039							
TOTAL SHRUBS PROVIDED:					1,772							

Based on 1 tree per 1500 sq. ft of landscaping this number should be 124.

This number should be 620

This is only required as part of the parking lot islands. It can be removed from the min. site standards as the trees and shrubs required to meet the landscape islands cannot count towards the min. site standards.

EXISTING TREES					
TYPE OF TREE	LEGEND	CRITERIA FOR REMOVAL	CONDITION	CALIPER	MITIGATION TREES REQUIRED
NO EXISTING TREES WILL BE REMOVED DURING CONSTRUCTION. THERE ARE NO EXISTING TREES ON SITE.					



NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46043 317-866-7923

DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 02/17/21

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 PARKER, CO
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 PLANTING SCHEDULE, NOTES & TABULATIONS

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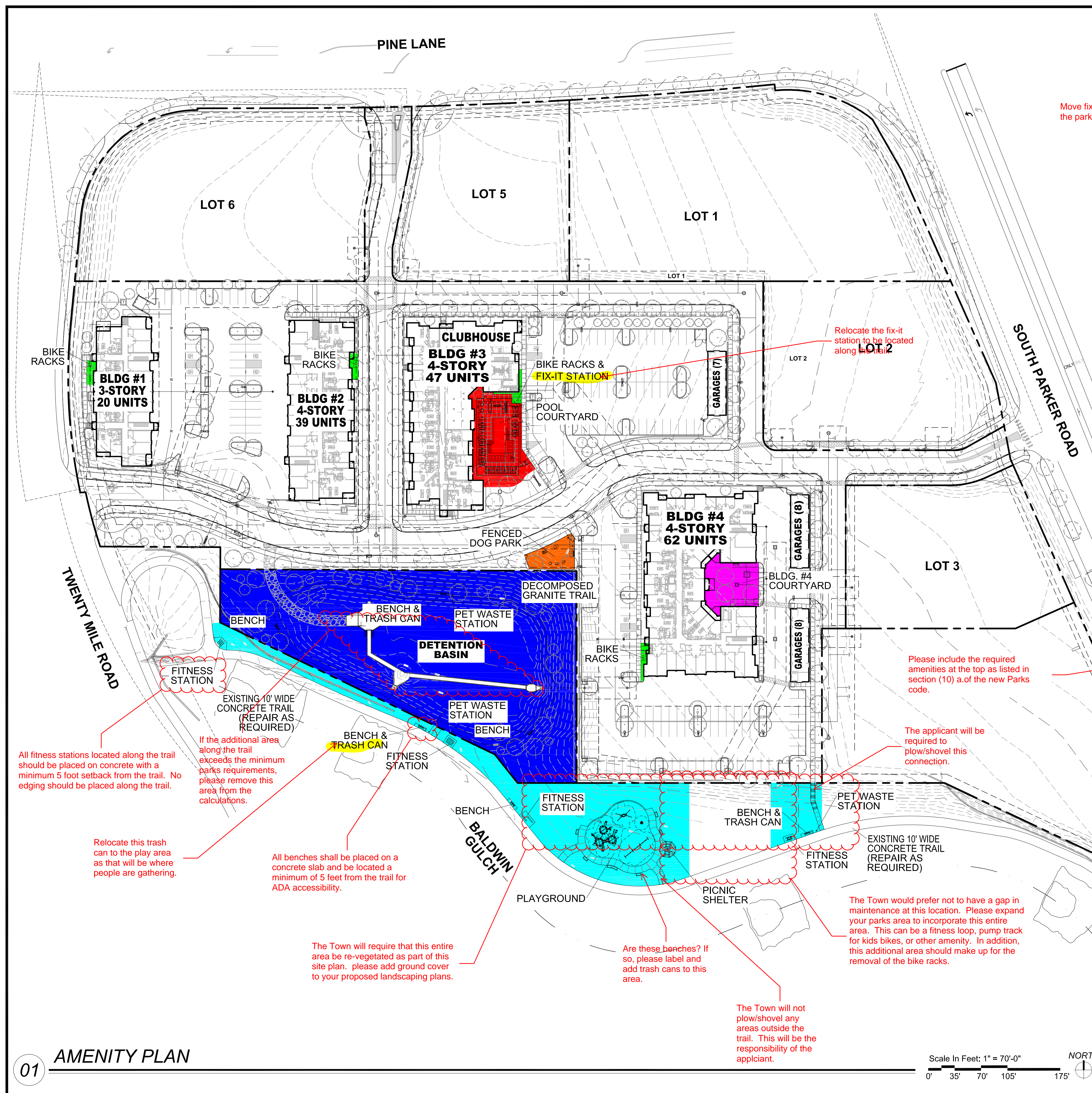
Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436

NOT FOR CONSTRUCTION

PROJECT NO. 096481002

Please also include Parking Lot Perimeter and Site Perimeter Landscaping requirements.

Please provide a parking lot island landscaping exhibit to show what you are including to meet this requirement. Some applicants also include numbers for each island to demonstrate that the minimums are satisfied.



REQUIRED IMPROVED PARK LAND PER TOWN CODE SECTION 13.07.140c(2)		
7.5 ACRES OF DEVELOPED PARK LAND PER 1,000 POPULATION BASED ON AN OCCUPANCY FACTOR OF 1.85 PERSONS PER HOUSEHOLD FOR MULTI-FAMILY DEVELOPMENT.		
170 DU's x 314.5 POPULATION	314.5/1,000 = 0.3145	0.3145 x 7.5 = 2.36 ACRES REQ.

Move fix it station to the park area.

Bicycle racks are required to meet the parking requirement and will not count towards parks dedication.

AMENITY DESCRIPTIONS & AREAS:

BUILDING #1:	BICYCLE RACKS & LANDSCAPING	AREA: 250 SQ. FT.
BUILDING #2:	BICYCLE RACKS & LANDSCAPING	AREA: 250 SQ. FT.
BUILDING #3:	BICYCLE RACKS, BICYCLE FIX-IT STATION & LANDSCAPING	AREA: 300 SQ. FT.
POOL COURTYARD:	POOL (1,150 SQ. FT.), HOT TUB (81-SQ. FT.), 4 CABANAS, SHADE STRUCTURE, OUTDOOR KITCHEN WITH 2 NATURAL GAS GRILLS & SINK, FIRE FEATURE, SITE FURNISHINGS, 6 POWER/USB PEDESTALS, POOL ENCLOSURE FENCE & LANDSCAPING	AREA: 6,035 SQ. FT.
BUILDING #4:	BICYCLE RACKS & LANDSCAPING	AREA: 250 SQ. FT.
BUILDING #4 COURTYARD:	SITE FURNISHINGS INCLUDING HAMMOCK, TABLE FOR GAMES AND OUTDOOR GAMES INCLUDING CORNHOLE, GIANT JENGA & LANDSCAPING	AREA: 3,140 SQ. FT.
FENCED DOG PARK:	1,600 SQ. FT. FENCED DOG PARK WITH A BENCH, PET WASTE STATION, PET DRINKING FOUNTAIN, DOG PLAY STRUCTURES, POWER/USB PEDESTAL & LANDSCAPING	AREA: 1,600 SQ. FT.
DETENTION BASIN:	1,000 LINEAR FEET DECOMPOSED GRANITE WALKING TRAIL, 3 BENCHES, TRASH RECEPTACLE, PET WASTE STATION & LANDSCAPING	AREA: 61,800 SQ. FT.
BALDWIN GULCH:	IMPROVEMENTS TO EXISTING 10' WIDE CONCRETE TRAIL, TRAILHEAD, 3 BENCHES, 3 TRASH RECEPTACLES, 2 PET WASTE STATIONS, 4 FITNESS STATIONS, PLAYGROUND WITH SEATING, PICNIC SHELTER AND 2 PICNIC TABLES	AREA: 29,178 SQ. FT.

TOTAL AREA: 102,803 SQ. FT. (2.36 ACRES)

These two areas combined can meet the requirement for the minimum of 1 acre continuous park space.

OPTIONS FOR PARKS AND OPEN SPACE AMENITIES (PER SCHEDULE 13.07.140A OF PARKS DEDICATIONS ORDINANCE NO. 3.231.3)	
	These are all required.
CATEGORY 1 - GATHERING SPACES & SELF-DIRECTED GROUP ACTIVITIES	NEIGHBORHOOD-SERVING PARK
GATHERING & SOCIAL SPACES	PICK 1
SEATING AND TABLES	X
SHELTER, SMALL (5-10 USERS)	X
OUTDOOR SPECIALIZED	
ACTIVITY HUBS (CORNHOLE & JENGA)	X
DOG OFF-LEASH AREA (FENCED)	X
CATEGORY 2 - ACTIVE USES	PICK 2, BUT ONLY 1 MAY BE FROM PATHS, TRAILS
PATHS, TRAILS AND TRAILHEADS	PICK 1 PER ACRE
GREENWAY CONNECTION OR TRAILHEAD	X
SOFT-SURFACE JOGGING/HIKING TRAIL	X
PLAY SPACE AND EQUIPMENT	
PLAYGROUND, SMALL-SCALE	X
SPORTS AND FITNESS	
OUTDOOR FITNESS EQUIPMENT	X
CATEGORY 3 - SUPPORT AMENITIES	PICK 1 PER ACRE
SUPPORT AMENITIES	
BARBECUES, SINGLE OR DUAL	X
BIKE RACK AND REPAIR STATION	X
DOG WASTE STATION	X
TRASH RECEPTACLES	X
CATEGORY 4 - SPECIALIZED FACILITIES	OPTIONAL
AQUATICS AND WATER ACCESS	
SWIMMING POOL	X

Please include the required amenities at the top as listed in section (10) a. of the new Parks code.

The applicant will be required to plow/shovel this connection.

The Town would prefer not to have a gap in maintenance at this location. Please expand your parks area to incorporate this entire area. This can be a fitness loop, pump track for kids bikes, or other amenity. In addition, this additional area should make up for the removal of the bike racks.

The Town will not plow/shovel any areas outside the trail. This will be the responsibility of the applicant.

All fitness stations located along the trail should be placed on concrete with a minimum 5 foot setback from the trail. No edging should be placed along the trail.

If the additional area along the trail exceeds the minimum parks requirements, please remove this area from the calculations.

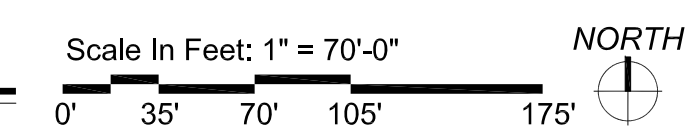
Relocate this trash can to the play area as that will be where people are gathering.

All benches shall be placed on a concrete slab and be located a minimum of 5 feet from the trail for ADA accessibility.

The Town will require that this entire area be re-vegetated as part of this site plan. please add ground cover to your proposed landscaping plans.

Are these benches? If so, please label and add trash cans to this area.

01 AMENITY PLAN



APPR
DATE
BY
REVISION
NO.

THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 03/11/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
AMENITY PLAN

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