



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Dan Skeeahan, Kimley Horn
FROM: Stacey Nerger, Senior Planner
DATE: May 12, 2021
SUBJECT: Parker and Pine Filing No. 2 Lots 1 – 3 – Site Plan Review Comments 04

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: snerger@parkeronline.org
PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "04 Parker and Pine Multifamily Site Plan" or "Second Submittal Parker and Pine Multifamily Site Plan"

General Comments

1. Please reference the redlines for additional comments/clarification.

Comment Addressed: Yes No

Response:

Parking

1. Based on the number of parking spaced drawn on the Site Plan, Lot 1 is still short one parking space.

Comment Addressed: Yes No

Response:

Landscaping

1. Per Section 13.06.070 p. Parking lot interior landscaping (landscape islands) is required for all multi-family development requiring more than 20 parking spaces. A minimum of 10% of the parking lot area shall be provided as parking lot interior landscaping to include 1 tree and 5 shrubs per 162 square feet. Please provide the total parking lot area to show that the minimum parking lot landscape area is satisfied.

Comment Addressed: Yes No

Response:

2. Please verify the numbers listed throughout the Site Plan package along with the landscape requirement table to ensure the numbers listed as provided are correct. Based on the table the quantities listed and the table do not align. Please correct.

Comment Addressed: Yes No

Response:

3. Pursuant to Section 13.10.110 a Tree Conservation Plan will be required showing the existing trees on the property, labeling which ones will remain and which ones will be removed. In addition, all trees proposed to remain shall be protected during construction.

Comment Addressed: Yes No

Response:

4. Pursuant to Section 13.10.110 a Tree Conservation Plan will be required showing the existing trees on the property, labeling which ones will remain and which ones will be removed. This section states “Credit for relocated trees/shrubs. Trees and shrubs proposed for relocation shall be credited at fifty percent (50%) of the replacement plant requirement. Relocated trees shall be maintained by the landowner for a period of two (2) years after relocation, at which time the Town shall view the vitality of the tree or shrub species following relocation. If the tree or shrub is determined by the Parks, Recreation and Open Space Director or designee to be more than fifty percent (50%) deceased, it will be subject to the replacement schedule of this Section following application of the fifty-percent-relocation credit.”

Comment Addressed: Yes No

Response:

Parks Requirements

1. Based on the number of residential units provided on site, a total of 2.363 acres of park space is required. This 2.363 acres can be included within the open space/landscaping. Based on the Town’s new Parks Dedication Standards the following items are required for all neighborhood parks: landscaping, tables/seating, open turf play areas, universal and inclusive play elements, dog waste stations, trash receptacles and a small shelter.

Based on your parks plan all required elements have been provided excluding the open turf play area.

Comment Addressed: Yes No

Response:

2. The entire area of the park space within the Town’s open space should be programed. This area can include the required open turf play area (artificial) or another element.

Comment Addressed: Yes No

Response:

- 3. Please provide a maintenance schedule for the park amenities located on Town Property to be reviewed and approved. This maintenance schedule should include the emptying of trash on a weekly basis and the monitoring of play equipment for safety. This maintenance schedule will be reviewed and included, most likely, in the License Agreement for the town property.

Comment Addressed: Yes No

Response:

Lighting

- 1. The provided uniformity ratios do not meet the outlined ratios. Please amend the lighting plan to meet the following ratios:
Parking Lots: Average to Minimum Luminance ratio shall be 4:1 and the Maximum to Minimum Luminance Ratio shall be 6:1.

Please adjust the ratio to meet the average to minimum ratio of 4:1.

Comment Addressed: Yes No

Response:

- 2. A maximum of 1-foot candle is permitted at the property lines. An exception can be made where there is an adjacent internal road. Please see the attached redlines for areas that need to be adjusted.

Comment Addressed: Yes No

Response:

Building Elevations

Staff has no additional comments on the elevations.

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies are currently completing their review:

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

*Staff Comments 04
SP20-084; Parker and Pine F2 L1-3
Multifamily Site Plan
May 12, 2021*

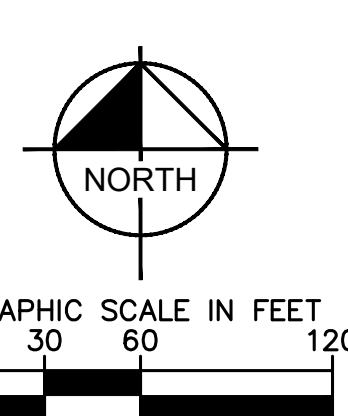
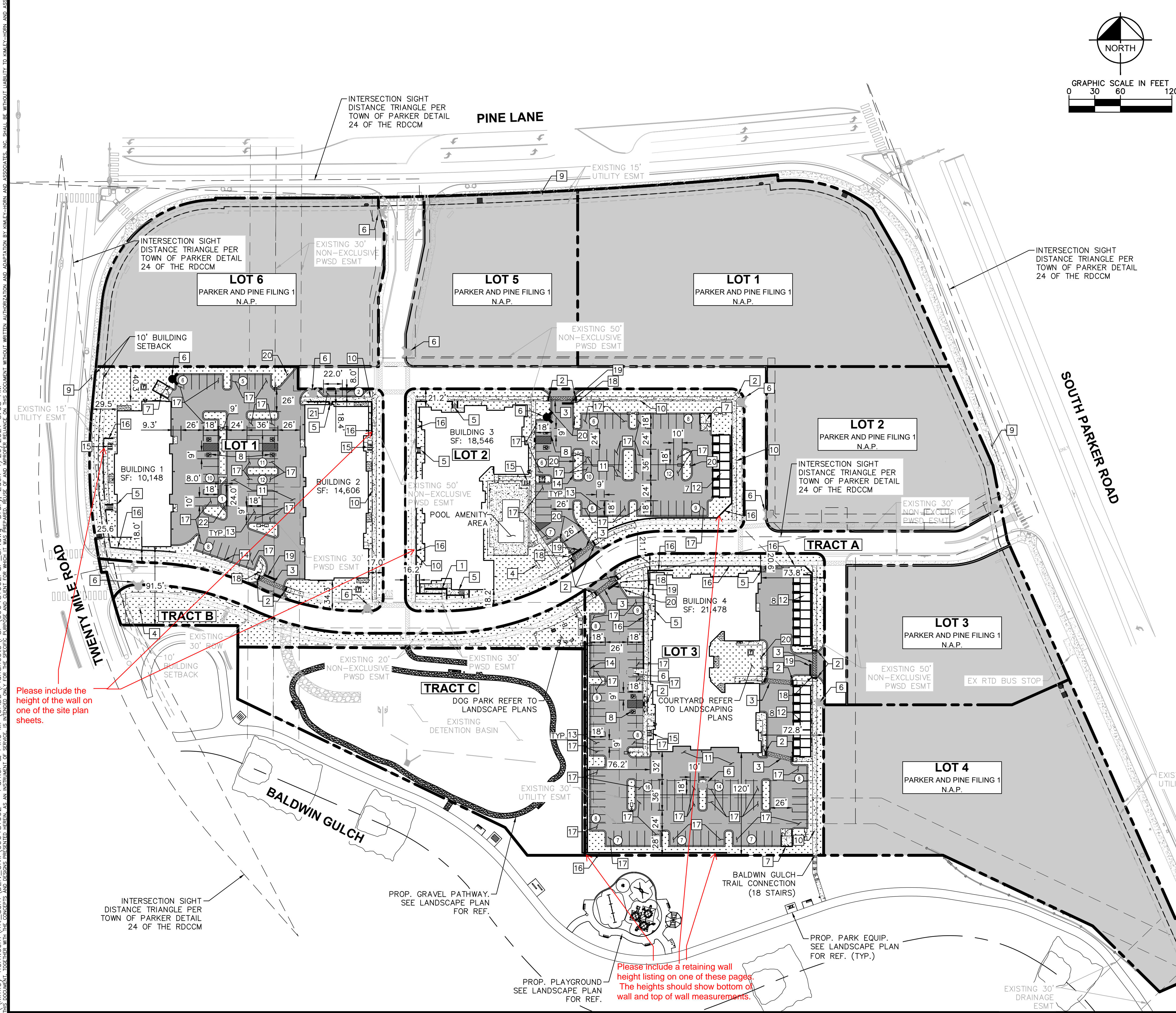
Property Owner

Date

Project Representative

Date

M:\Projects\096481002_Parker & Pine\MEV\CAD\Drawings\Site\096481002PSP_SP.dwg - Date: 7/21/2021 8:08 AM
 THIS DOCUMENT, TOGETHER WITH THE CONCEPT AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE PROJECT, PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED, AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC.



LEGEND

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)
	EXISTING COLORED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
 - 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
 - 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
 - 4 PROPOSED MONUMENT SIGN.
 - 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
 - 6 EXISTING/PROPOSED FIRE HYDRANT.
 - 7 PROPOSED TRASH ENCLOSURE.
 - 8 PROPOSED ADA PARKING STALLS.
 - 9 EXISTING 8' CONCRETE SIDEWALK.
 - 10 PROPOSED 5' CONCRETE SIDEWALK.
 - 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
 - 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
 - 13 PROPOSED STANDARD 9'X18' PARKING STALL
 - 14 PROPOSED STANDARD CURB AND GUTTER
 - 15 PROPOSED 6 STALL BICYCLE PARKING
 - 16 PROPOSED RETAINING WALL
 - 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
 - 18 PROPOSED STOP SIGN R-1
 - 19 PROPOSED STOP BAR
 - 20 PROPOSED NO PARKING - FIRE LANE SIGN R8-31
 - 21 PROPOSED 8'X22' PARALLEL PARKING STALL
 - 22 PROPOSED 8'X24' PARALLEL PARKING STALL

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

Please include the height of the wall on one of the site plan sheets.

Please include a retaining wall height listing on one of these pages. The heights should show bottom of wall and top of wall measurements.

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 04/19/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OVERALL SITE PLAN

NO.	REVISION	BY	DATE

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096481002

DRAWING NAME
 096481002PSP_SP

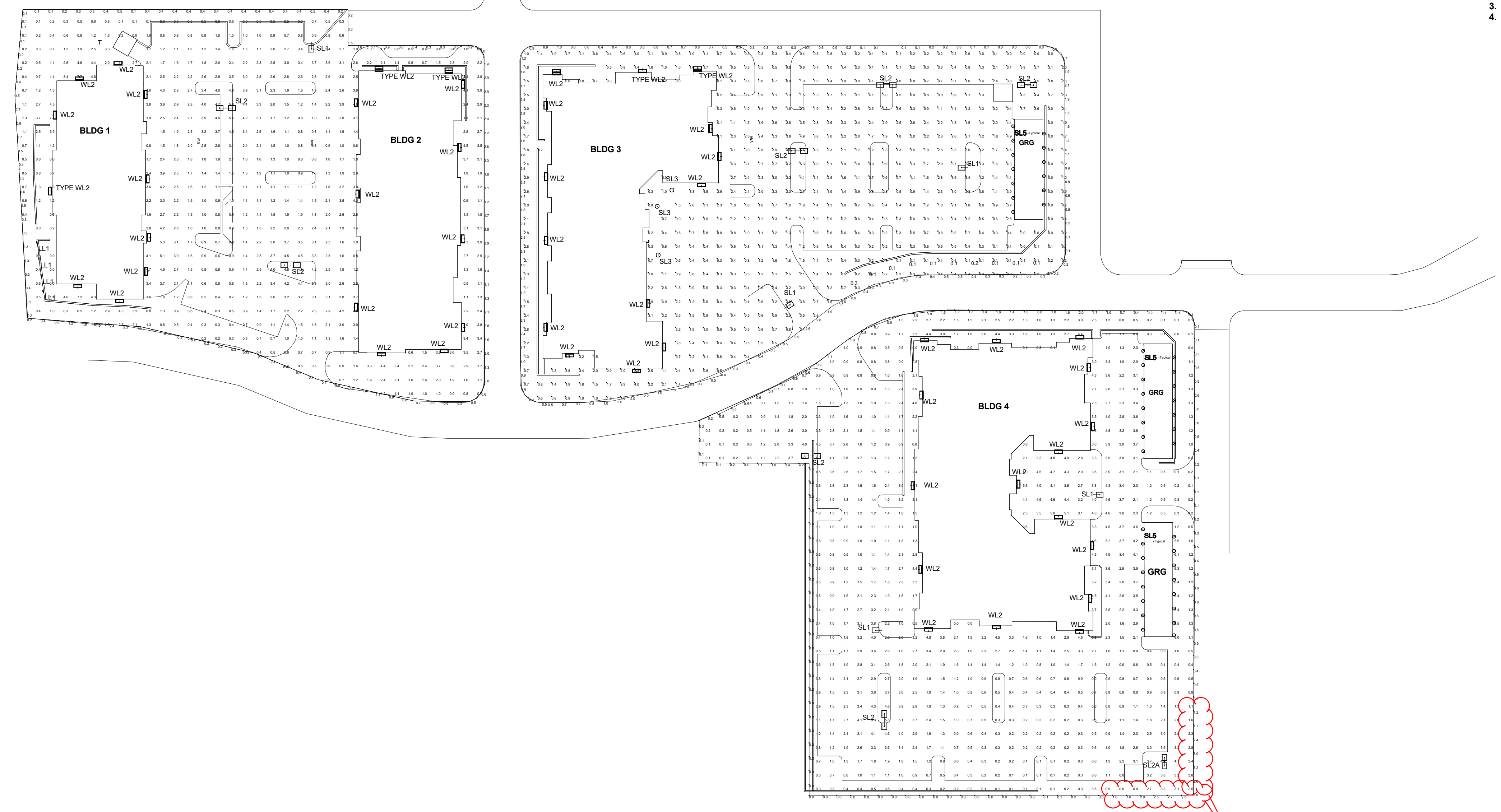
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InSolution LLC
 5157 E 64th St
 Indianapolis, IN 46220
 jim.rago@insolutionproducts.com

Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
[Symbol]	4	LL1	9W, 3K, 120V, Recess in Retaining Wall, Pld Bk	8.18	372	B0-U3-G1	1.5
[Symbol]	5	SL1	100W, 4K, T3, Full Cut-Off, 1 Head on Embedded FBGL	100	11188	B2-U0-G2	25
[Symbol]	7	SL2	100W, 4K, T3, Full Cut-Off, 2 Heads on Embedded FBGL	100	11188	B2-U0-G2	25
[Symbol]	1	SL2A	100W, 4K, Area Cut-Off, T4, 2 Heads on Embedded FBGL	100	11544	B2-U0-G2	25
[Symbol]	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229	B1-U3-G1	3.5
[Symbol]	44	SL5	15W, 3K, Wet, Surface, Disk, White	15	1025	B1-U3-G1	8
[Symbol]	46	WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	20
[Symbol]	5	TYPE WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	

NOTES:
 1. LUMINAIRES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.
 2. LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.
 3. BUILDING-MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.
 4. Lighting as supplied by InSolution LED Products.
 Contact jim.rago@insolutionproducts.com
 Lighting received and stored by EC.



SITE ILLUMINANCE		
MINIMUM	MAXIMUM	AVERAGE
0.1	7.8	1.73
SITE UNIFORMITY RATIOS		
RESIDENTIAL AREA	AVG:MIN	MAX:MIN
DRIVEWAYS	4:01	11:01
WALKWAYS	2:01	3:01
PARKING	5:01	6:01

The maximum ratio for this is 4:1. Please adjust lights to meet the maximum ratio.

The maximum luminance at the property line (excluding along streets) is 1 foot candle. Please adjust the light fixture to reduce the amount of light at the property line.

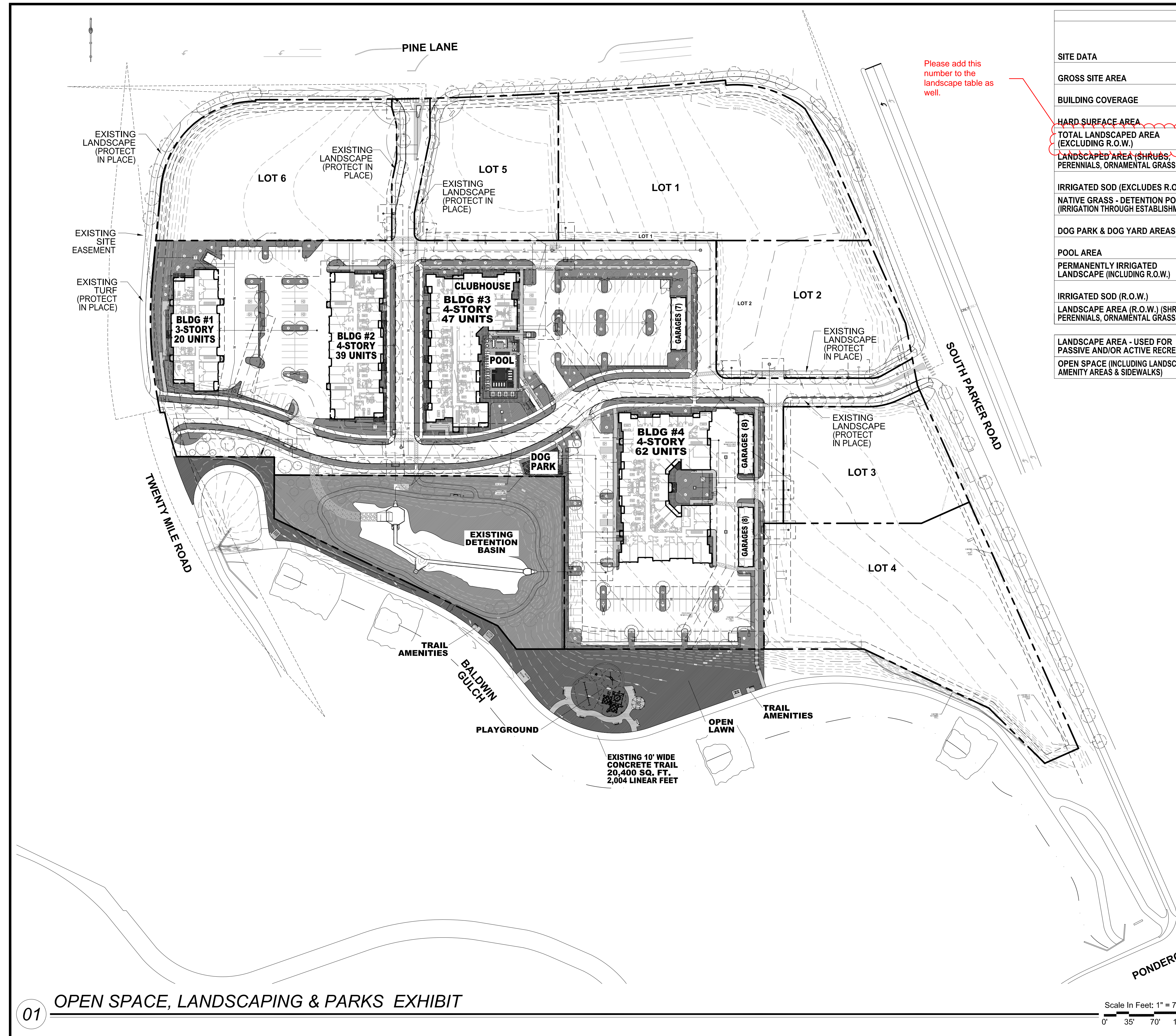
FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION



#	Date	Comments
	04/19/2021	Lighting Responses to Staff Comments 03

Drawn By:	Checked By:	Date:	Scale:
j.rago	j.rago	04/19/2021	1in = 60ft

PARKER AND PINE FILING NO.2
 LOTS 1-3 PARKER, CO
 SITE LIGHTING CALCS



Please add this number to the landscape table as well.

SITE DATA TABLE						
SITE DATA	ACTUAL SF	MIN. AREA SF REQUIRED	% REQUIRED	% MAX.	% PROVIDED	CY COMPOST REQ'D @ 3/1000 SF
GROSS SITE AREA	413,536	N/A	N/A	N/A	100%	N/A
BUILDING COVERAGE	63,863	N/A	N/A	N/A	15.5%	N/A
HARD SURFACE AREA	220,405	N/A	N/A	N/A	38.0%	N/A
TOTAL LANDSCAPED AREA (EXCLUDING R.O.W.)	192,377	N/A	N/A	N/A	46.5%	SEE BELOW
LANDSCAPED AREA (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	16,836	N/A	N/A	N/A	N/A	SEE BELOW
IRRIGATED SOD (EXCLUDES R.O.W.)	31,408	N/A	N/A	N/A	8.1%	N/A
NATIVE GRASS - DETENTION POND (IRRIGATION THROUGH ESTABLISHMENT)	69,855	N/A	N/A	N/A	N/A	175
DOG PARK & DOG YARD AREAS	2,432	N/A	N/A	N/A	.6%	N/A
POOL AREA	6,364	N/A	N/A	N/A	1.6%	N/A
PERMANENTLY IRRIGATED LANDSCAPE (INCLUDING R.O.W.)	53,682	N/A	N/A	N/A	N/A	161
IRRIGATED SOD (R.O.W.)	1,660	N/A	N/A	N/A	N/A	N/A
LANDSCAPE AREA (R.O.W.) (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL CY OF COMPOST: 325						
LANDSCAPE AREA - USED FOR PASSIVE AND/OR ACTIVE RECREATION	115,426	115,426	60% OF TOTAL LANDSCAPE AREA	N/A	60%	N/A
OPEN SPACE (INCLUDING LANDSCAPE, AMENITY AREAS & SIDEWALKS)	76,951	76,951	40%	N/A	40%	N/A

OPEN SPACE EXHIBIT LEGEND:

- IRRIGATED SOD: (EXCLUDES ROW) 33,781 SQ. FT.
- LANDSCAPED AREA: (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES) 16,836 SQ. FT.
- NATIVE GRASS: (DETENTION BASIN TEMP-IRRIGATED) 69,855 SQ. FT.
- POOL AREA: 3,561 SQ. FT.
- DOG PARK & DOG YARD AREAS 2,432 SQ. FT.
- SIDEWALKS & TRAILS: 16,366 SQ. FT.
- OFF-SITE AMENITIES: (LANDSCAPE, SITE FURNISHINGS AND TRAIL IMPROVEMENTS) (PARK) 41,933 SQ. FT.

ACTIVE & PASSIVE AMENITIES:

ON-SITE: 1,150 SQ. FT. POOL, 81 SQ. FT. HOT TUB, TWO NATURAL GAS GRILLS, NATURAL GAS FIRE FEATURE, 1,600 SQ. FT. FENCE DOG PARK, 1,000 LINEAR FEET DECOMPOSED GRANITE WALKING TRAIL WITH ONE BENCH, ONCE PET WASTE STATION AND ONE TRASH RECEPTACLE.

OFF-SITE: SIX BENCHES, FOUR EXERCISE STATIONS, TWO PET WASTE STATIONS, TWO TRASH RECEPTACLES, PLAYGROUND AND SMALL SHELTER LOCATED ADJACENT TO EXISTING BALDWIN GULCH CONCRETE TRAIL. SECTIONS OF THE TRAIL IN NEED OF REPAIR WILL ALSO BE REPLACED AS PART OF THIS PROJECT.

NO.	REVISION	BY	DATE	APPR.

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

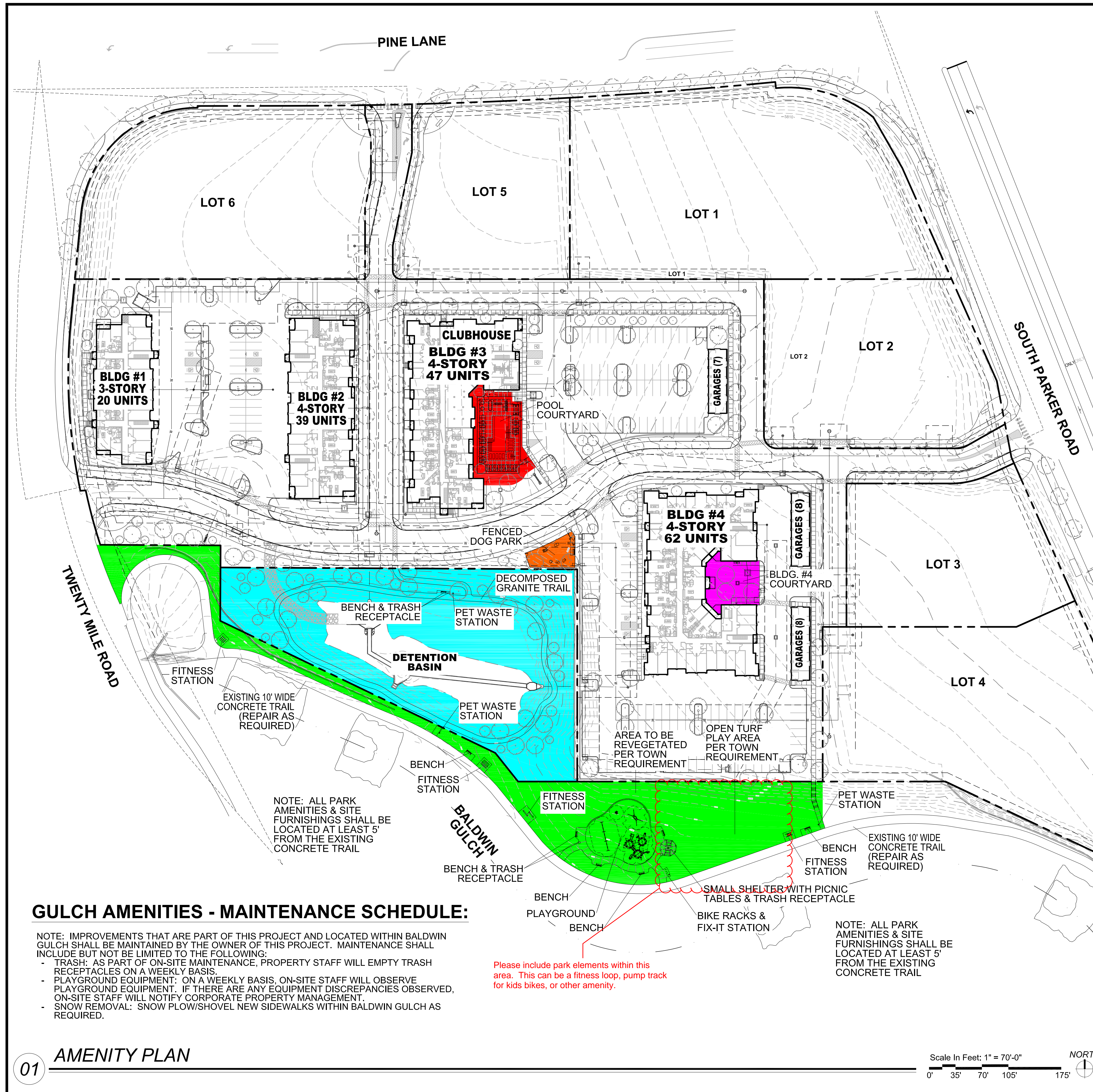
DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 04/19/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 OPEN SPACE EXHIBIT

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436

NOT FOR CONSTRUCTION

PROJECT NO. 096481002



REQUIRED IMPROVED PARK LAND PER TOWN CODE SECTION 13.07.140c(2)		
7.5 ACRES OF DEVELOPED PARK LAND PER 1,000 POPULATION BASED ON AN OCCUPANCY FACTOR OF 1.85 PERSONS PER HOUSEHOLD FOR MULTI-FAMILY DEVELOPMENT.		
170 DU's x 314.5 POPULATION	314.5/1,000 = 0.3145	0.3145 x 7.5 = 2.36 ACRES REQ.

AMENITY DESCRIPTIONS & AREAS:

POOL:	POOL (1,150 SQ. FT.), HOT TUB (81 SQ. FT.), 4 CABANAS, SHADE STRUCTURE, OUTDOOR KITCHEN WITH 2 NATURAL GAS GRILLS & SINK, FIRE FEATURE, SITE FURNISHINGS, 6 POWER/USB PEDESTALS, POOL ENCLOSURE FENCE & LANDSCAPING	AREA: 6,035 SQ. FT.
BUILDING #4: COURTYARD	SITE FURNISHINGS INCLUDING HAMMOCK, TABLE FOR GAMES AND OUTDOOR GAMES INCLUDING CORNHOLE, GIANT JENGA & LANDSCAPING	AREA: 3,140 SQ. FT.
FENCED DOG PARK	1,600 SQ. FT. FENCED DOG PARK WITH A BENCH, PET WASTE STATION, PET DRINKING FOUNTAIN, DOG PLAY STRUCTURES, POWER/USB PEDESTAL & LANDSCAPING	AREA: 1,600 SQ. FT.
DETENTION BASIN	1,000 LINEAR FEET DECOMPOSED GRANITE WALKING TRAIL, 3 BENCHES, TRASH RECEPTACLE, PET WASTE STATION & LANDSCAPING	AREA: 50,095 SQ. FT.
BALDWIN GULCH	IMPROVEMENTS TO EXISTING 10' WIDE CONCRETE TRAIL, TRAILHEAD, 3 BENCHES, 3 TRASH RECEPTACLES, 2 PET WASTE STATIONS, 4 FITNESS STATIONS, PLAYGROUND WITH SEATING, PICNIC SHELTER AND 2 PICNIC TABLES	AREA: 41,933 SQ. FT.
TOTAL AREA: 102,803 SQ. FT. (2.36 ACRES)		

REQUIRED AMENITIES FOR ALL PARKS (PER SECTION 2, PARAGRAPH 13.07.140(c)(10a) OF PARKS DEDICATIONS ORDINANCE NO. 3.231.3)

- (a) REQUIRED AMENITIES FOR ALL PARKS. THE FOLLOWING AMENITIES ARE REQUIRED FOR ALL PARKS REGARDLESS OF THE OPTIONAL AMENITIES SELECTED FROM SUBPARAGRAPH b. BELOW.
- LANDSCAPING SHALL BE PROVIDED FOR ALL IMPERVIOUS AREAS NOT USED FOR OTHER AMENITIES.
 - TABLES AND SEATING SHALL BE PROVIDED, SUCH AS BENCHES, CHAIRS, PICNIC TABLES, AND ADA SEATING.
 - INTERNAL ACCESS PATHWAYS SHALL BE PROVIDED TO AND BETWEEN PARK AMENITIES, PARKING AREAS, AND THE PERIMETER.
 - OPEN TURF PLAY AREAS SHALL BE PROVIDED.
 - UNIVERSAL AND INCLUSIVE PLAY ELEMENTS SHALL BE PROVIDED TO ACCOMMODATE ALL AGES AND ABILITIES.
 - DOG WASTE STATIONS SHALL BE PROVIDED AT ALL SEATING AREAS WITH A MINIMUM OF THREE (3) PER PARK.
 - TRASH RECEPTACLES SHALL BE PROVIDED AT ALL SEATING AREAS WITH A MINIMUM OF THREE (3) PER PARK.
 - ALL NEIGHBORHOOD PARKS SHALL PROVIDE A SMALL SHELTER SERVING A CAPACITY OF BETWEEN FIVE (5) AND TEN (10) USERS.

OPTIONS FOR PARKS AND OPEN SPACE AMENITIES (PER SCHEDULE 13.07.140A OF PARKS DEDICATIONS ORDINANCE NO. 3.231.3)

	NEIGHBORHOOD-SERVING PARK
CATEGORY 1 - GATHERING SPACES & SELF-DIRECTED GROUP ACTIVITIES	PICK 1
GATHERING & SOCIAL SPACES	
SEATING AND TABLES	X - REQUIRED
SHELTER, SMALL (5-10 USERS)	X - REQUIRED
OUTDOOR SPECIALIZED	
ACTIVITY HUBS (CORNHOLE & JENGA)	X
DOG OFF-LEASH AREA (FENCED)	X
CATEGORY 2 - ACTIVE USES	PICK 2, BUT ONLY 1 MAY BE FROM PATHS, TRAILS
PATHS, TRAILS AND TRAILHEADS	PICK 1 PER ACRE
GREENWAY CONNECTION OR TRAILHEAD	X
SOFT-SURFACE JOGGING/HIKING TRAIL	X
PLAY SPACE AND EQUIPMENT	
PLAYGROUND, SMALL-SCALE	X
SPORTS AND FITNESS	
OUTDOOR FITNESS EQUIPMENT	X
CATEGORY 3 - SUPPORT AMENITIES	PICK 1 PER ACRE
SUPPORT AMENITIES	
BARBECUES, SINGLE OR DUAL	X
BIKE RACK AND REPAIR STATION	X
DOG WASTE STATION	X - 3 REQUIRED
TRASH RECEPTACLES	X - 3 REQUIRED
CATEGORY 4 - SPECIALIZED FACILITIES	OPTIONAL
AQUATICS AND WATER ACCESS	
SWIMMING POOL	X

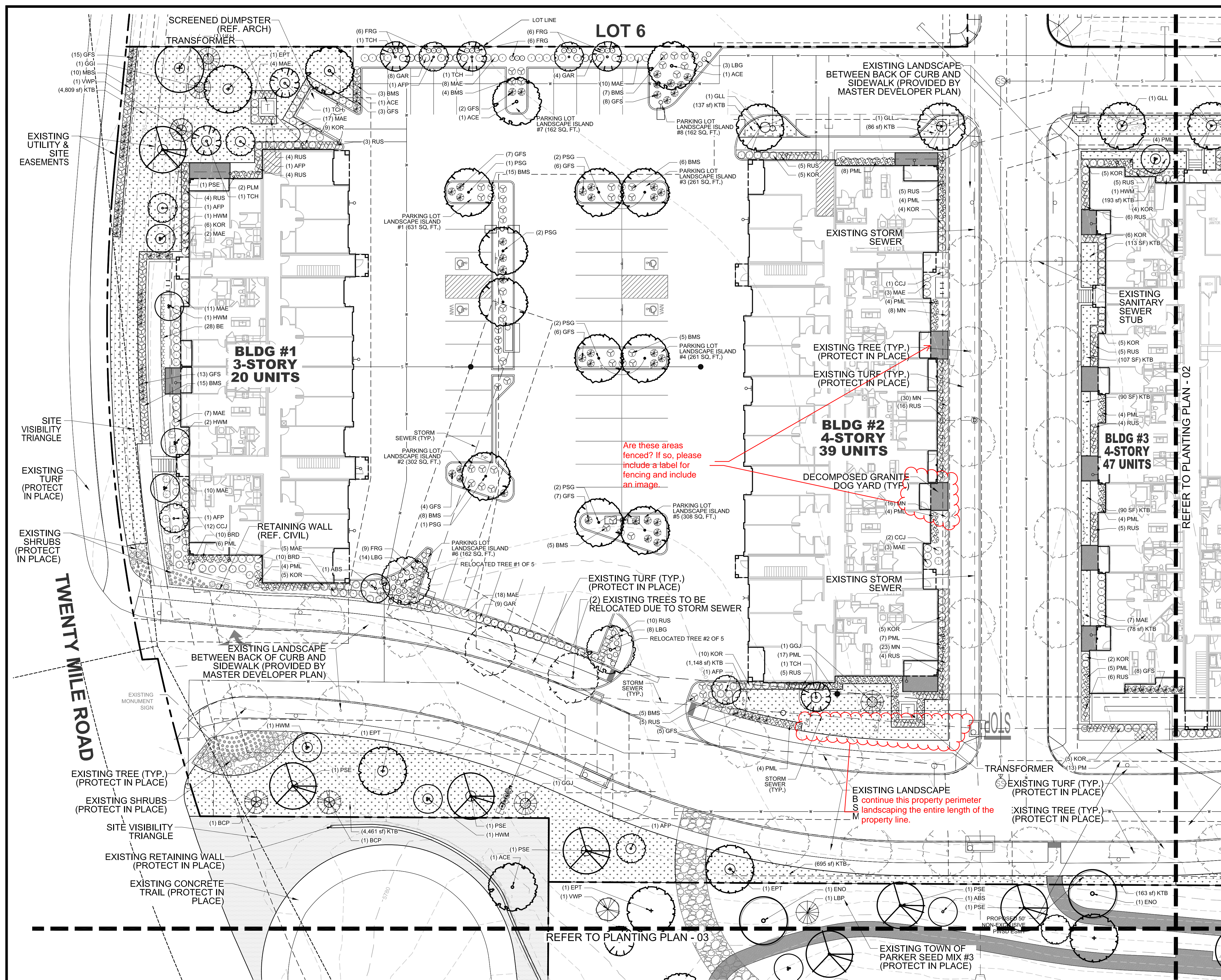
GULCH AMENITIES - MAINTENANCE SCHEDULE:

- NOTE: IMPROVEMENTS THAT ARE PART OF THIS PROJECT AND LOCATED WITHIN BALDWIN GULCH SHALL BE MAINTAINED BY THE OWNER OF THIS PROJECT. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- TRASH: AS PART OF ON-SITE MAINTENANCE, PROPERTY STAFF WILL EMPTY TRASH RECEPTACLES ON A WEEKLY BASIS.
 - PLAYGROUND EQUIPMENT: ON A WEEKLY BASIS, ON-SITE STAFF WILL OBSERVE PLAYGROUND EQUIPMENT. IF THERE ARE ANY EQUIPMENT DISCREPANCIES OBSERVED, ON-SITE STAFF WILL NOTIFY CORPORATE PROPERTY MANAGEMENT.
 - SNOW REMOVAL: SNOW PLOW/SHOVEL NEW SIDEWALKS WITHIN BALDWIN GULCH AS REQUIRED.

Please include park elements within this area. This can be a fitness loop, pump track for kids bikes, or other amenity.

NOTE: ALL PARK AMENITIES & SITE FURNISHINGS SHALL BE LOCATED AT LEAST 5' FROM THE EXISTING CONCRETE TRAIL

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923
 DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 04/19/21
 PARKER AND PINE FILING NO. 2 LOTS 1-3
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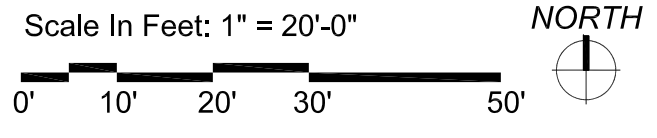


PLANTING LEGEND

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
DECIDUOUS CANOPY TREES			
(Symbol)	ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
(Symbol)	PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
(Symbol)	ENO	ENGLISH OAK	QUERCUS ROBUR
(Symbol)	EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
(Symbol)	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
(Symbol)	PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
(Symbol)	GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'
ORNAMENTAL TREES			
(Symbol)	HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
(Symbol)	ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA 'AUTUMN BRILLANCE'
(Symbol)	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
(Symbol)	AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'
EVERGREEN/CONIFEROUS TREES			
(Symbol)	VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
(Symbol)	LBP	LIMBER PINE	PINUS FLEXILIS
(Symbol)	BCP	BRISTLECONE PINE	PINUS ARISTATA
(Symbol)	GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'
DECIDUOUS & EVERGREEN SHRUBS			
(Symbol)	CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'
(Symbol)	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
(Symbol)	RUS	RUSSIAN SAGE	ROVSKIA ATRIPLICIFOLIA
(Symbol)	KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
(Symbol)	GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
(Symbol)	PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
(Symbol)	KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
(Symbol)	MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'
(Symbol)	GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'
LOW/SPREADING SHRUBS			
(Symbol)	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
(Symbol)	BRD	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
(Symbol)	HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENALTHI 'HANCOCK'
PERENNIALS			
(Symbol)	DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
(Symbol)	PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
(Symbol)	YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
(Symbol)	BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
(Symbol)	AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
(Symbol)	MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'
ORNAMENTAL GRASSES			
(Symbol)	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'
(Symbol)	SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
(Symbol)	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER'
(Symbol)	LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM
TURF GRASSES			
(Symbol)	KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND
SEED MIXES			
(Symbol)	SM3	TOWN OF PARKER SEED MIX #3	LOW-GROWTH MIX
DECOMPOSED GRANITE, DECORATIVE RIVER ROCK AND HARDWOOD MULCH			
(Symbol)	DECOMPOSED GRANITE DOG YARDS & TRAIL AT DETENTION BASIN		
(Symbol)	DECORATIVE RIVER ROCK GROUNDCOVER BEHIND GARAGES		
(Symbol)	HARDWOOD MULCH IN ALL SHRUB PLANTING BEDS PER PLAN		

01 PLANTING PLAN - 01

NOTE: CANOPY TREES SHALL MAINTAIN 7' FROM SUBSURFACE UTILITIES. FIELD VERIFY PRIOR TO INSTALLATION



NOTE: REFERENCE SHEET 27 FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.



PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 PLANTING PLAN

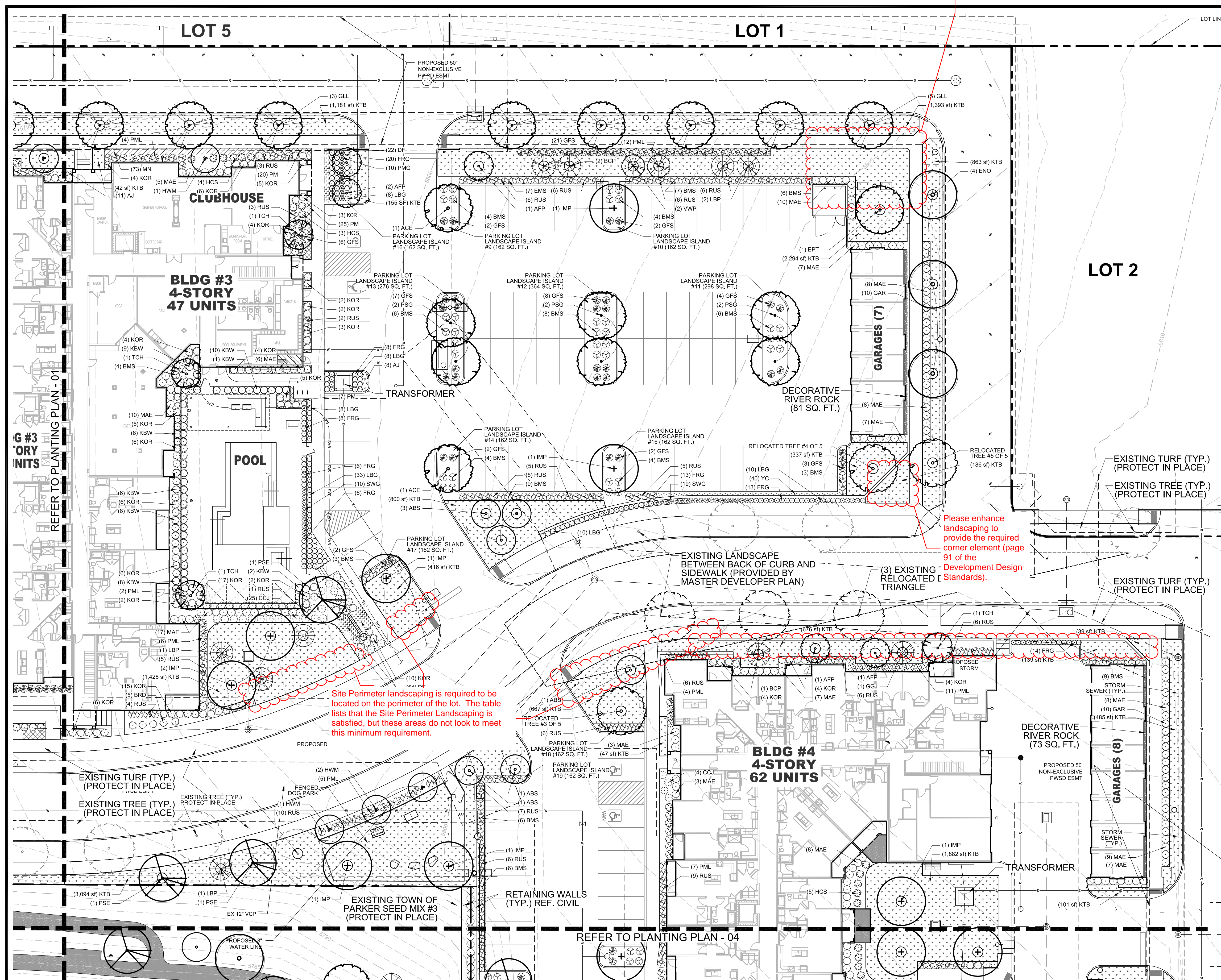
THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-686-7923

DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 04/19/21

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION.
 Nicholas Allen Smith
 Registered Landscape Architect of the State of COLORADO
 Registration Number: 1436
NOT FOR CONSTRUCTION
 PROJECT NO. 096481002

NO. DATE
 REVISION BY

22 OF 49



PLANTING LEGEND

SYMBOL	TAG	COMMON NAME	BOTANIC NAME
DECIDUOUS CANOPY TREES			
	ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
	PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
	ENO	ENGLISH OAK	QUERCUS ROBUR
	EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
	GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'
ORNAMENTAL TREES			
	HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
	ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA 'AUTUMN BRILLANCE'
	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
	AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'
EVERGREEN/CONIFEROUS TREES			
	VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
	LBP	LIMBER PINE	PINUS FLEXILIS
	BCP	BRISTLECONE PINE	PINUS ARISTATA
	GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'
DECIDUOUS & EVERGREEN SHRUBS			
	CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGI 'ATROPURPUREA'
	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPICIFOLIA
	KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
	GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
	PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
	KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
	MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOWICHA 'MANHATTAN'
	GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'
LOW/SPREADING SHRUBS			
	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
	BRO	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
	HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENALTI 'HANCOCK'
PERENNIALS			
	DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
	PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
	YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
	BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
	AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
	MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'
ORNAMENTAL GRASSES			
	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS' (TYP.)
	SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER'
	LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM
TURF GRASSES			
	KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND
SEED MIXES			
	SM3	TOWN OF PARKER SEED MIX #3	LOW-GROWTH MIX
DECOMPOSED GRANITE, DECORATIVE RIVER ROCK AND HARDWOOD MULCH			
		DECOMPOSED GRANITE	DOG YARDS & TRAIL AT DETENTION BASIN
		DECORATIVE RIVER ROCK	GROUNDCOVER BEHIND GARAGES
		HARDWOOD MULCH	IN ALL SHRUB PLANTING BEDS PER PLAN



DESIGNED BY: NAS
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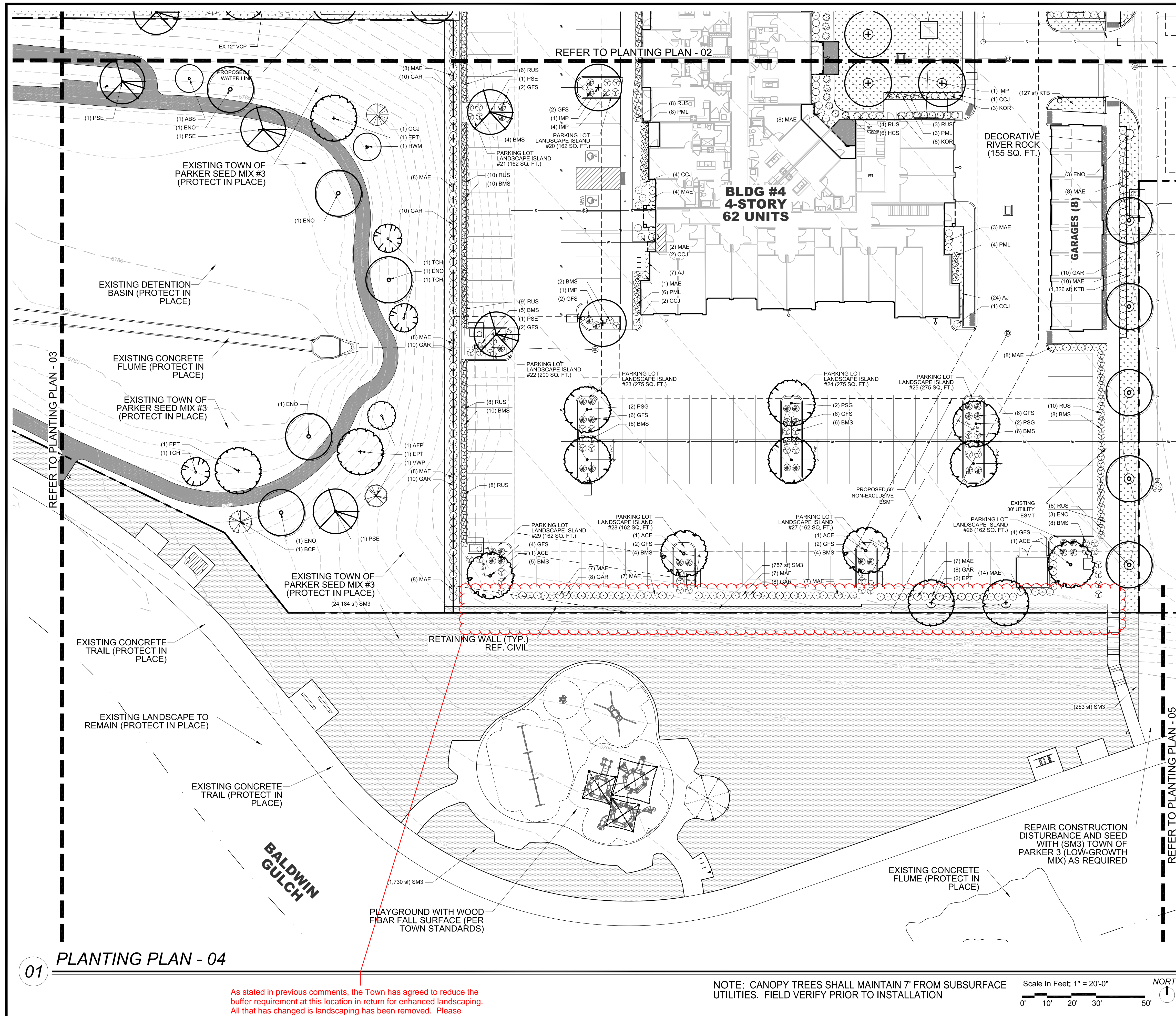
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 PLANTING PLAN

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
 Nicholas Allen Smith
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NOT FOR CONSTRUCTION
 PROJECT NO. 096481002

01 PLANTING PLAN - 02

NOTE: CANOPY TREES SHALL MAINTAIN 7' FROM SUBSURFACE UTILITIES. FIELD VERIFY PRIOR TO INSTALLATION
 Scale In Feet: 1" = 20'-0"
 NORTH

NOTE: REFERENCE SHEET 27 FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.



PLANTING LEGEND

SYMBOL TAG COMMON NAME BOTANIC NAME

DECIDUOUS CANOPY TREES			
	ACE	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'
	PSG	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'
	ENO	ENGLISH OAK	QUERCUS ROBUR
	EPT	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'
	IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'
	PSE	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'
	GLL	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'

ORNAMENTAL TREES			
	HWM	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'
	ABS	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'
	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'
	AFP	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'

EVERGREEN/CONIFEROUS TREES			
	VWP	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'
	LBP	LIMBER PINE	PINUS FLEXILIS
	BCP	BRISTLECONE PINE	PINUS ARISTATA
	GGJ	GRAY GLEAN JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAN'

DECIDUOUS & EVERGREEN SHRUBS			
	CPB	REDLEAF CRIMSON BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'
	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA
	KOR	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'
	GFS	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'
	PML	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'
	KBW	KOREAN BOXWOOD	BUXUS 'KOREAN'
	MAE	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'
	GAR	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'

LOW/SPREADING SHRUBS			
	CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'
	BRO	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
	HCS	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUULTII 'HANCOCK'

PERENNIALS			
	DF	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'
	PM	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'
	YC	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA
	BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'
	AJ	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'
	MN	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'

ORNAMENTAL GRASSES			
	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'
	SWG	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'
	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA KARL FOERSTER'
	LBG	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM

TURF GRASSES			
	KTB	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT TURF GRASS BLEND

SEED MIXES			
	SM3	TOWN OF PARKER SEED MIX #3	LOW-GROWTH MIX

DECOMPOSED GRANITE, DECORATIVE RIVER ROCK AND HARDWOOD MULCH			
	DOG	DECOMPOSED GRANITE	DOG YARDS & TRAIL AT DETENTION BASIN
	GRD	DECORATIVE RIVER ROCK	GROUND COVER BEHIND GARAGES
	HWM	HARDWOOD MULCH	IN ALL SHRUB PLANTING BEDS PER PLAN

NOTE: REFERENCE SHEET 27 FOR COMPLETE LANDSCAPE SCHEDULE INCLUDING QUANTITIES, SIZE, HEIGHT, SPREAD AND NOTES.

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY SITE PLAN
 PLANTING PLAN

THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS
 BLD. GREENWOOD, IN 46143 317-866-7923

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
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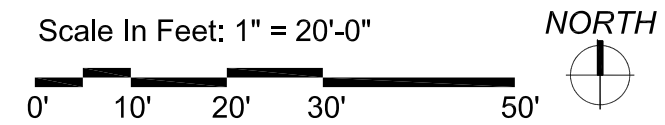
DESIGNED BY: NAS
 DRAWN BY: NAS
 CHECKED BY: TGC
 DATE: 04/19/21

NO. REVISION BY DATE

25 OF 49

As stated in previous comments, the Town has agreed to reduce the buffer requirement at this location in return for enhanced landscaping. All that has changed is landscaping has been removed. Please enhance this landscaping. This can be accomplished by planting shrubs and grasses in "V" shapes to create adequate landscaping and adding a row of ornamental grasses at the base of the retaining wall.

NOTE: CANOPY TREES SHALL MAINTAIN 7' FROM SUBSURFACE UTILITIES. FIELD VERIFY PRIOR TO INSTALLATION



01 PLANTING PLAN - 04

PLANTING SCHEDULE

SYMBOL	TAG	QTY.	COMMON NAME	BOTANIC NAME	SIZE	HEIGHT (FEET)	WIDTH (FEET)	HYDROZONE	NOTES	%
DECIDUOUS CANOPY TREES										
	ACE	10	ACCOLADE ELM	ULMUS MORTON 'ACCOLADE'	2-1/2" CAL.	50	30	M-H	BALLED & BURLAPPED	10
	PSG	22	PRINCETON SENTRY GINKGO	GINKGO BILOBA 'PRINCETON SENTRY'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	21
	ENO	17	ENGLISH OAK	QUERCUS ROBUR	2-1/2" CAL.	45	30	M-H	BALLED & BURLAPPED	17
	EPT	12	EXCLAMATION PLANE TREE	PLATANUS X ACERIFOLIA 'EXCLAMATION'	2-1/2" CAL.	50	30	M-H	BALLED & BURLAPPED	12
	IMP	13	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS INERMIS 'IMPERIAL'	2-1/2" CAL.	35	30	M-H	BALLED & BURLAPPED	13
	PSE	15	PROSPECTOR ELM	ULMUS WILSONIANA 'PROSPECTOR'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	15
	GLL	12	GREENSPIRE LITTLELEAF LINDEN	TILIA CORDOTA 'GREENSPIRE'	2-1/2" CAL.	40	30	M-H	BALLED & BURLAPPED	12
	SUBTOTAL	101								
ORNAMENTAL TREES										
	HWM	13	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN'	2" CAL.	20	15	M	BALLED & BURLAPPED	25
	ABS	9	AUTUMN BRILLANCE SERVICEBERRY	AMELACHIER X GRANDIFLORA X 'AUTUMN BRILLANCE'	2" CAL.	20	20	M	B & B, SINGLE TRUNK	19
	TCH	14	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS GALLII 'INERMIS'	2" CAL.	15	15	M	BALLED & BURLAPPED	27
	AFP	15	ARISTOCRAT FLOWERING PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	2" CAL.	20	15	M	BALLED & BURLAPPED	29
	SUBTOTAL	51								
EVERGREEN/CONIFEROUS TREES										
	VWP	6	VANDERWOLF'S PINE	PINUS FLEXILIPIS 'VANDERWOLF'S PYRAMID'	6' HT.	15	10	L-M	BALLED & BURLAPPED	24
	LBP	5	LIMBER PINE	PINUS FLEXILIS	6' HT.	35	15	L-M	BALLED & BURLAPPED	20
	BCP	7	BRISTLECONE PINE	PINUS ARISTATA	6' HT.	20	15	L-M	BALLED & BURLAPPED	28
	GGJ	7	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	6' HT.	20	15	L-M	BALLED & BURLAPPED	28
	SUBTOTAL	25								
DECIDUOUS SHRUBS										
	BMS	261	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	5 GAL.	3	3	L-M	MATCHING, CONTAINER FULL	
	RUS	298	RUSSIAN SAGE	PEROVSKIA ATRIPPLICIFOLIA	5 GAL.	4	4	L-M	MATCHING, CONTAINER FULL	
	KOR	209	KNOCK OUT PINK ROSE	ROSA 'KNOCK OUT PINK ROSE'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	GFS	181	'GOLDFLAME' SPIREA	SPIREA JAPONICA 'GOLDFLAME'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	PML	149	MEYER LILAC	SYRINGA MEYERI 'PALIBIN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	KBW	51	KOREAN BOXWOOD	BUXUS 'KOREAN'	5 GAL.	3	3	M	MATCHING, CONTAINER FULL	
	MAE	360	MANHATTAN EUONYMUS	EUONYMUS KIAUTSCHOVICA 'MANHATTAN'	5 GAL.	5	5	M	MATCHING, CONTAINER FULL	
	GAR	115	GOLDEN ARBORVITAE	THUJA ORIENTALIS 'AUREA NANA'	5 GAL.	5	4	M	MATCHING, CONTAINER FULL	
	SUBTOTAL	1,624								
LOW/SPREADING SHRUBS										
	CCJ	56	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	3 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	BRD	25	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	3 GAL.	1	6	L-M	MATCHING, CONTAINER FULL	
	HCS	20	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAUTII 'HANCOCK'	3 GAL.	3	5	L-M	MATCHING, CONTAINER FULL	
	SUBTOTAL	101								
PERENNIALS (TRIANGULAR SPACING)										
	DF	76	DWARF BLANKETFLOWER	GAILLARDIA X GRANDIFLORA 'GOBLIN'	4 IN. POTS.	1	2	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	PM	66	PARDON ME DAYLILY	HEMERCALLIS 'PARDON ME'	4 IN. POTS.	1.5	1.5	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	YC	38	YELLOW COLUMBINE	AQUILEGIA CHRYSANTHA	4 IN. POTS.	2	2	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	BE	28	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	4 IN. POTS.	2	2	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	AJ	49	AUTUMN JOY SEDUM	SEDUM 'AUTUMN JOY'	4 IN. POTS.	2	1.5	L-M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	MN	154	MAY NIGHT SALVIA	SALVIA NEMEROSA 'MAY NIGHT'	4 IN. POTS.	2	2	M	18" O.C., CONT. FULL, TRIANGULAR SPACING	
	SUBTOTAL	411								
ORNAMENTAL GRASSES										
	PMG	10	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 GAL.	4	3	L-M	MATCHING	
	SWG	29	SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	1 GAL.	5	3	L-M	MATCHING	
	FRG	115	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	1 GAL.	4	3	L-M	MATCHING	
	LBG	102	LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM	1 GAL.	3	3	L-M	MATCHING	
	SUBTOTAL	256								
TURF GRASSES										
	KTB	29,911 SQ. FT.	KEN-TEX BLUEGRASS SOD	DROUGHT TOLERANT BLENDED HYBRID TURF GRASS	SOD	N/A	N/A	M	SOLID SOD	
SEED MIXES										
	SM3	34,748 SQ. FT.	TOWN OF PARKER SEED MIX #3	LOW-GROWTH SEED MIX PER CITY STANDARDS	HYDROMULCH	N/A	N/A	M	WITH TERATAK III TACKIFIER	
DECOMPOSED GRANITE, DECORATIVE RIVER ROCK AND HARDWOOD MULCH										
	81 CY	DECOMPOSED GRANITE	3/8- DECOMPOSED GRANITE, LOCALLY SOURCED	3/8-	N/A	N/A	N/A	N/A	4" COMPACTED DEPTH WITH FILTER FABRIC	
	2 CY	DECORATIVE RIVER ROCK	1-3" DECORATIVE RIVER ROCK, LOCALLY SOURCED	1"-3"	N/A	N/A	N/A	N/A	2" SETTLED DEPTH WITH FILTER FABRIC	
	176 CY	HARDWOOD MULCH	IN ALL SHRUB PLANTING BEDS & TREE RINGS	MULCH	N/A	N/A	N/A	N/A	2" SETTLED THICKNESS	

This number does not match the number on the overall landscape/open spaced listed on page 11. Please correct.

TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES:

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS' ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY. ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G., FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION.
- IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET. IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPED AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO THE ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- OWNER'S REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL AFTER CITY INSPECTION.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
- PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 4 CUBIC YARDS PER 1000 SF ROTO-TILLED TO A DEPTH OF 6". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST 5 FEET ADJACENT TO BUILDINGS.
- ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 2" DEPTH SHREDDED HARDWOOD MULCH. CONTRACTOR SHALL PROVIDE 1 GALLON BAG SAMPLE OF MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLE. ALL PERENNIAL AND ANNUAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- LANDSCAPE TO BE INSTALLED PER CITY STANDARD AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
- ALL SHRUB BEDS TO BE IRRIGATION WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
- KEEP ALL TREES MINIMUM 10 FEET BETWEEN TREES AND WATER OR SEWER MAINS, 4 FEET BETWEEN TREES AND GAS LINES. STREET TREES PLANTED WITHIN THE UTILITY EASMENT MAY CONFLICT WITH UTILITIES & ADDITIONAL CONDUIT MAY BE REQUIRED TO PROTECT UNDERGROUND ELECTRIC LINES.
- LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE NOT BE LIMITED TO CHECKING, ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT; RESETTING THE AUTOMATIC IRRIGATION SYSTEM; DE-THATCHING TURF AREAS (ONLY IF NEEDED); REPLACING MULCH, FERTILIZING, PRUNING, AND WEEDING. AREAS TO BE MAINTAINED & TRIMMED FROM THE INTERSECTION.
- SINGLE TRUNK TREES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE MAINTAINED & TRIMMED FROM THE INTERSECTION.
- ALL EXISTING TREES, SHRUBS, GRASS, ROCKS, FENCE ON SITE SHALL BE REMOVED.
- A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE CESARE, INC. PROJECT NO. 16.174, AUGUST 17, 2016 #11 SURFACE DRAINAGE: C) WATERING WITHIN 5 FEET OF THE STRUCTURE SHOULD BE ELIMINATED. D) IF LAWN EDGING IS USED AROUND THE EXTERIOR OF THE STRUCTURE, IT SHOULD BE PERFORATED TO PREVENT PONDING OF SURFACE WATER IN THE VICINITY OF THE BACKFILL SOILS. F) IF A SPRINKLER SYSTEM IS INSTALLED, THE SPRINKLER HEADS SHOULD BE PLACED SO THAT THE SPRAY FROM THE HEADS, UNDER FULL PRESSURES, DOES NOT FALL WITHIN 5 FEET OF FOUNDATION WALLS.

13.06.070 LANDSCAPE REGULATIONS

SITE LANDSCAPE REQUIREMENTS:	TOTAL SITE AREA: 413,536 SQ. FT. x 45% = 186,091 / 1,500 = 124 x 5 = 620
ONE (1) TREE AND FIVE (5) SHRUBS SHALL BE PLANTED FOR EACH ONE THOUSAND FIVE HUNDRED (1,500) SQUARE FEET OF LOT AREA NOT COVERED BY A BUILDING OR REQUIRED PARKING	SITE TREES REQUIRED: 124 SITE TREES PROVIDED: 124 SITE SHRUBS REQUIRED: 620 SITE SHRUBS PROVIDED: 620

STREETSCAPE LANDSCAPING REQUIREMENTS:	* TWENTY MILE RD TREES REQUIRED: 7 TREES PROVIDED: 0 (SITE DIS. TRIANGLE ISSUE)
ONE (1) DECIDUOUS SHADE TREE SHALL BE SPACED THIRTY-FIVE (35) LINEAL FEET ON CENTER AND SHALL BE BETWEEN 2.5' AND 3' INCH CALIPER.	* RD BETWEEN BLDG. #3 & #4 TREES REQUIRED: 37 TREES PROVIDED: 27 * RD BETWEEN BLDG. #2 & #3 TREES REQUIRED: 12 TREES PROVIDED: 11 RD NORTH OF BLDG. #2 & #3 TREES REQUIRED: 12 TREES PROVIDED: 11 (PAR. PARKING) RD EAST OF BLDG #3 TREES REQUIRED: 4 TREES PROVIDED: 4 RD EAST OF BLDG #4 TREES REQUIRED: 5 TREES PROVIDED: 5

PARKING LOT PERIMETER LANDSCAPING REQUIREMENTS:	PARKING LOT BETWEEN BLDG. #1 & #2: BUFFERING PROVIDED: TREES AND SHRUBS
SPRING TECHNIQUES THAT MAY INCLUDE TREES, OTHER PLANT MATERIALS, WALLS, FENCES, EARTHEN COMBINATIONS OF THE ELEMENTS.	PARKING LOT EAST OF BLDG #3: BUFFERING PROVIDED: TREES AND SHRUBS PARKING LOT WEST OF BLDG #4: BUFFERING PROVIDED: TREES AND SHRUBS PARKING LOT SOUTH OF BLDG #3: BUFFERING PROVIDED: TREES AND SHRUBS

PARKING LOT INTERIOR LANDSCAPING REQUIREMENTS:	TOTAL AREA LANDSCAPE ISLANDS : 6,480 SQ. FT.
LANDSCAPE ISLANDS SHALL BE AT LEAST 162 SQ. FT. 1 TREE AND 5 SHRUBS SHALL BE PLANTED FOR EACH INCREMENT OF 162 SQ. FT. AND 1 SHRUB IS REQ. FOR EACH ADDITIONAL 15 SQ. FT.	TREES REQUIRED: 40 TREES PROVIDED: 40 SHRUBS REQUIRED: 247 SHRUBS PROVIDED: 247 NOTE: SEE SHEET 28 OF 49 FOR PARKING LOT ISLAND LANDSCAPING EXHIBIT

SITE PERIMETER LANDSCAPING REQUIREMENTS:	WEST OF BLDG #1: TREES REQ. 5 TREES PROV. 5 SHRUBS REQ. 21 SHRUBS PROV. 21 SOUTH OF BLDG #2: TREES REQ. 3 TREES PROV. 3 SHRUBS REQ. 15 SHRUBS PROV. 15 SOUTH OF BLDG #3: TREES REQ. 4 TREES PROV. 4 SHRUBS REQ. 20 SHRUBS PROV. 20 NORTH OF BLDG #4: TREES REQ. 4 TREES PROV. 4 SHRUBS REQ. 20 SHRUBS PROV. 20
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EXISTING TREES ON-SITE					
TYPE OF TREE	LEGEND	CRITERIA FOR REMOVAL	CONDITION	CALIPER	MITIGATION TREES REQUIRED
NO EXISTING TREES WILL BE REMOVED DURING CONSTRUCTION. 5 OF 37 EXISTING TREES WILL BE RELOCATED TO ACCOMMODATE STORM SEWER AND SITE VISIBILITY TRIANGLE. REFERENCE PLANTING PLANS FOR TREE RELOCATION.					



THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46043 317-866-7923

DESIGNED BY: NAS
DRAWN BY: NAS
CHECKED BY: TGC
DATE: 04/19/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY SITE PLAN
PLANTING SCHEDULE, NOTES & TABULATIONS

PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
Nicholas Allen Smith
Registered Landscape Architect of the State of COLORADO
Registration Number: 1436
NOT FOR CONSTRUCTION
PROJECT NO. 096481002

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The total parking lot area is needed to determine if this is satisfied. 10% of the total parking area shall be landscaped.

Are these trees shown on the landscape plans?

Please see the Planning Memo as relocated trees will actually cost half the cost of the tree.