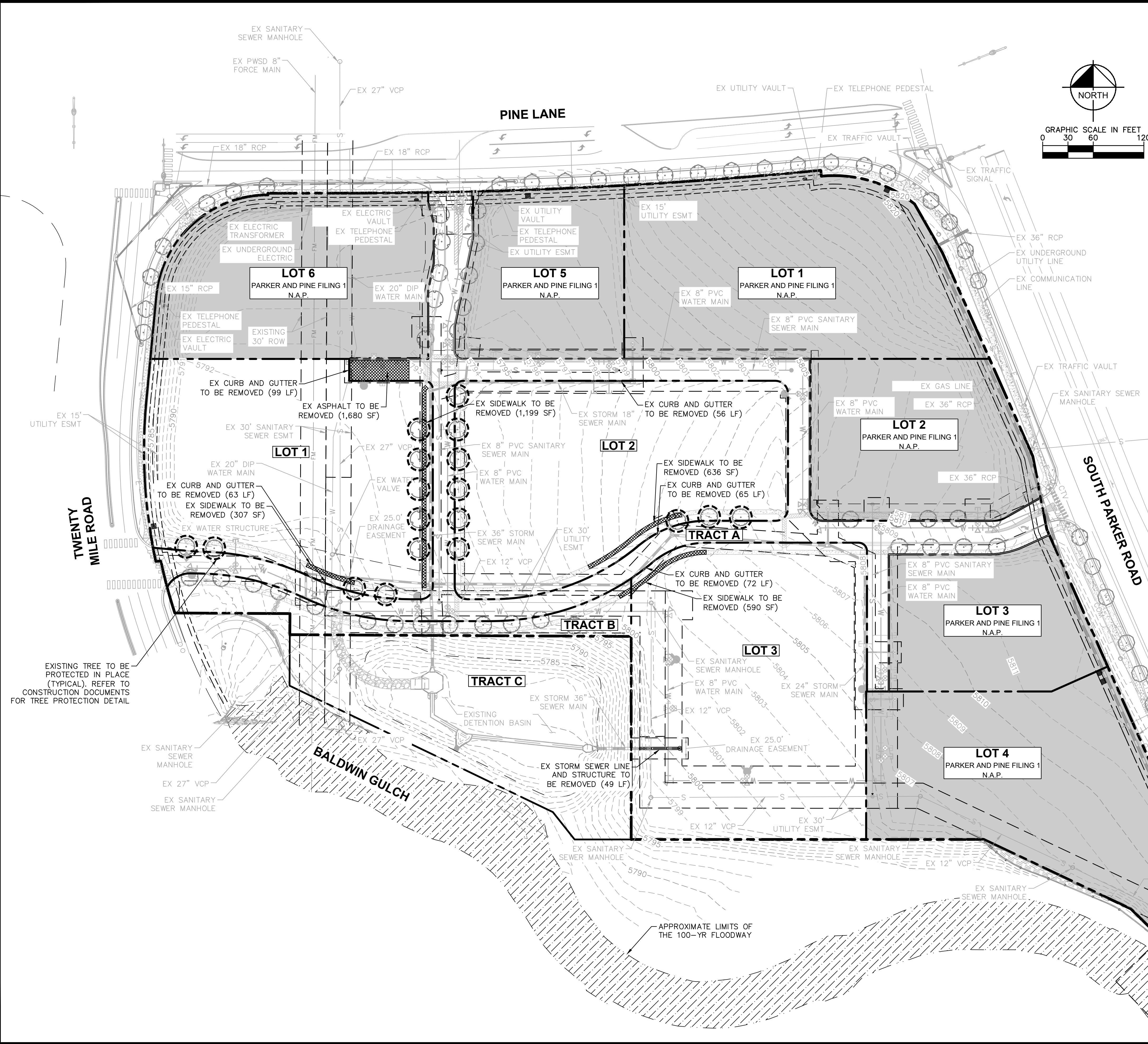




K:\DEN\_CADD\096481002\_Parker & Pine MF\CA\DWG\Site\096481002PSP\_DM.dwg K:\DEN\_CADD\096481002\_Parker & Pine MF\CA\DWG\Site\096481002PSP\_DM.dwg  
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### LEGEND

- — — — — EXISTING PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- — — — — EXISTING STORM SEWER LINE
- — — — — EXISTING UNDERGROUND POWER LINE
- — — — — EXISTING FORCE PIPE
- — — — — EXISTING WATER LINE
- — — — — EXISTING GAS LINE
- — — — — EXISTING TELECOMM LINE
- — — — — EXISTING COMMUNICATIONS LINE
- — — — — EXISTING CABLE LINE
- — — — — EXISTING SANITARY SEWER LINE
- — — — — EXISTING CCTV LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- ⊕ EXISTING WATER BEND
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER SERVICE
- ⊕ EXISTING SANITARY SEWER SERVICE
- ⊕ EXISTING SANITARY SEWER BEND
- ⊕ EXISTING STORM INLET
- ⊕ EXISTING OUTLET STRUCTURE
- ▨ DEMO PAVEMENT REFER TO PLANS FOR TYPE
- ▨ DEMO CURB AND GUTTER
- NOT A PART (N.A.P.)
- EXISTING TREE TO BE PROTECTED IN PLACE. REFER TO THE CONSTRUCTION DOCUMENTS FOR TREE PROTECTION DETAIL.

- ### DEMOLITION NOTES
1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
  2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014. AND PARKER AND PINE FILING NO.1 CONSTRUCTION PLANS BY KIMLEY-HORN AND ASSOCIATES, INC.

NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

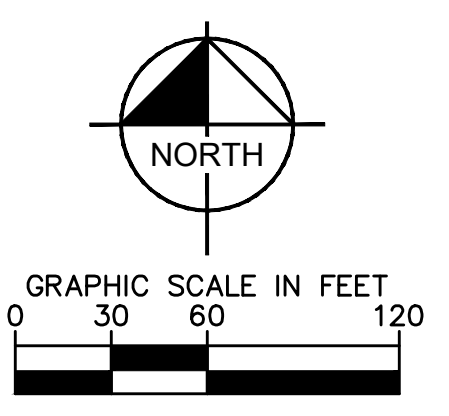
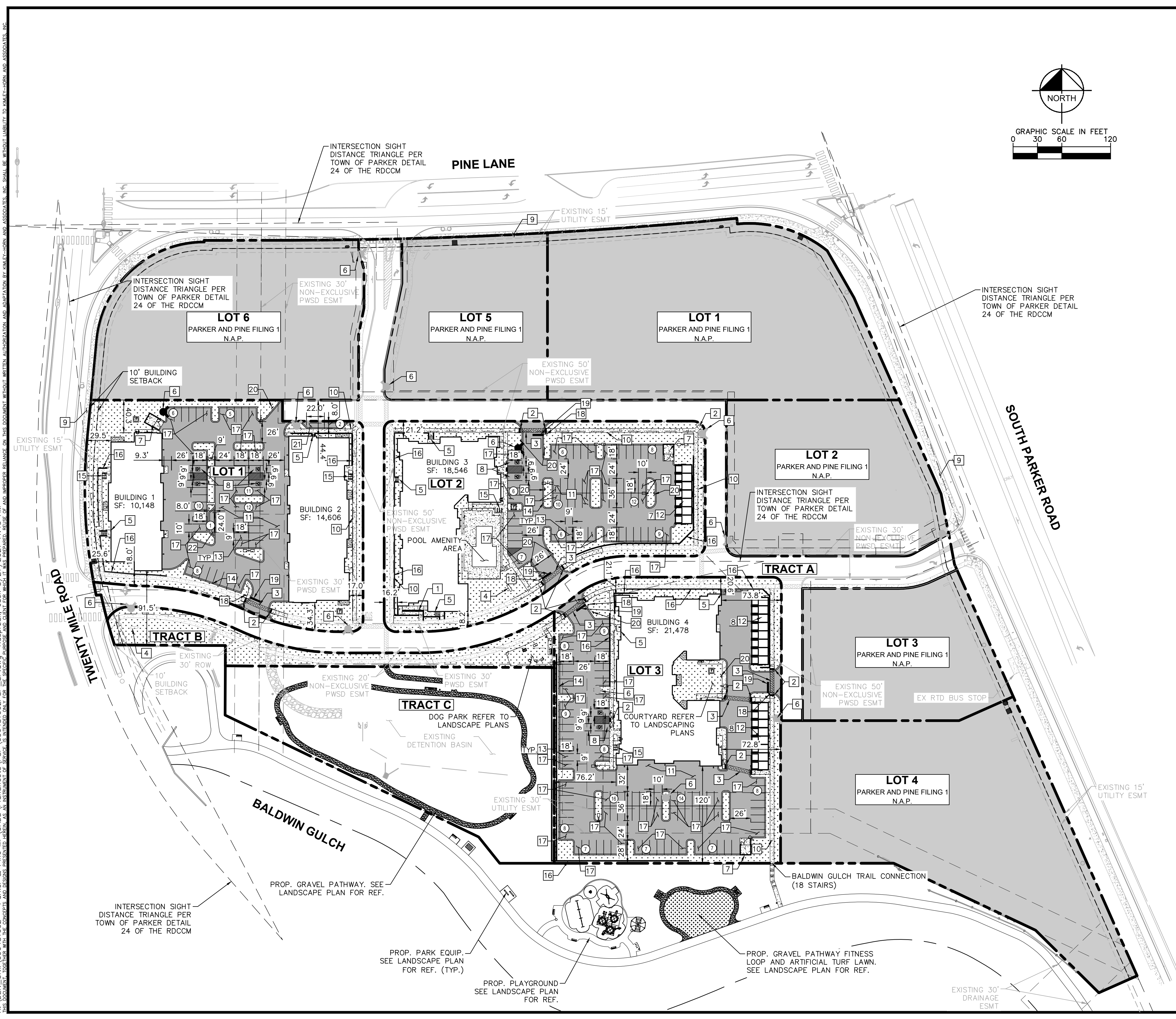
DESIGNED BY: DLS  
 DRAWN BY: JRK  
 CHECKED BY: DLS  
 DATE: 05/27/21

PARKER AND PINE FILING NO. 2 LOTS 1-3  
 PARKER, CO  
 MULTI-FAMILY SITE PLAN  
 EXISTING CONDITIONS AND DEMO PLAN

**PARKER**  
 COLORADO  
 Final Document  
 Subject To Conditions In Approval Letter  
 APPROVED DATE: 07/16/2021  
 Planning Approval By: S. Nerger

**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR  
 CONSTRUCTION  
  
 Kimley-Horn and Associates, Inc.  
 PROJECT NO.  
 096481002  
 DRAWING NAME  
 096481002PSP\_DM  
**02 OF 49**

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**LEGEND**

	PROPERTY LINE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	FIRE DEPARTMENT CONNECTION
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)
	EXISTING COLORED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED GRAVEL PATHWAY
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP
  - 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
  - 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
  - 4 PROPOSED MONUMENT SIGN.
  - 5 PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN
  - 6 EXISTING/PROPOSED FIRE HYDRANT.
  - 7 PROPOSED TRASH ENCLOSURE.
  - 8 PROPOSED ADA PARKING STALLS.
  - 9 EXISTING 8' CONCRETE SIDEWALK.
  - 10 PROPOSED 5' CONCRETE SIDEWALK.
  - 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
  - 12 DETACHED GARAGE. PARKING COUNT PER PLAN.
  - 13 PROPOSED STANDARD 9'X18' PARKING STALL
  - 14 PROPOSED STANDARD CURB AND GUTTER
  - 15 PROPOSED 6 STALL BICYCLE PARKING
  - 16 PROPOSED RETAINING WALL
  - 17 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL
  - 18 PROPOSED STOP SIGN R-1
  - 19 PROPOSED STOP BAR
  - 20 PROPOSED NO PARKING - FIRE LANE SIGN R8-31
  - 21 PROPOSED 8'X22' PARALLEL PARKING STALL
  - 22 PROPOSED 8'X24' PARALLEL PARKING STALL

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
  2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
  3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.

NO.	REVISION	BY	DATE	APPROV.

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS  
 DRAWN BY: JRK  
 CHECKED BY: DLS  
 DATE: 05/27/21

PARKER AND PINE FILING NO. 2 LOTS 1-3  
 PARKER, CO  
 MULTI-FAMILY SITE PLAN  
 OVERALL SITE PLAN

PRELIMINARY

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 NOT FOR  
 CONSTRUCTION

PROJECT NO.  
096481002

DRAWING NAME  
096481002PSP\_SP

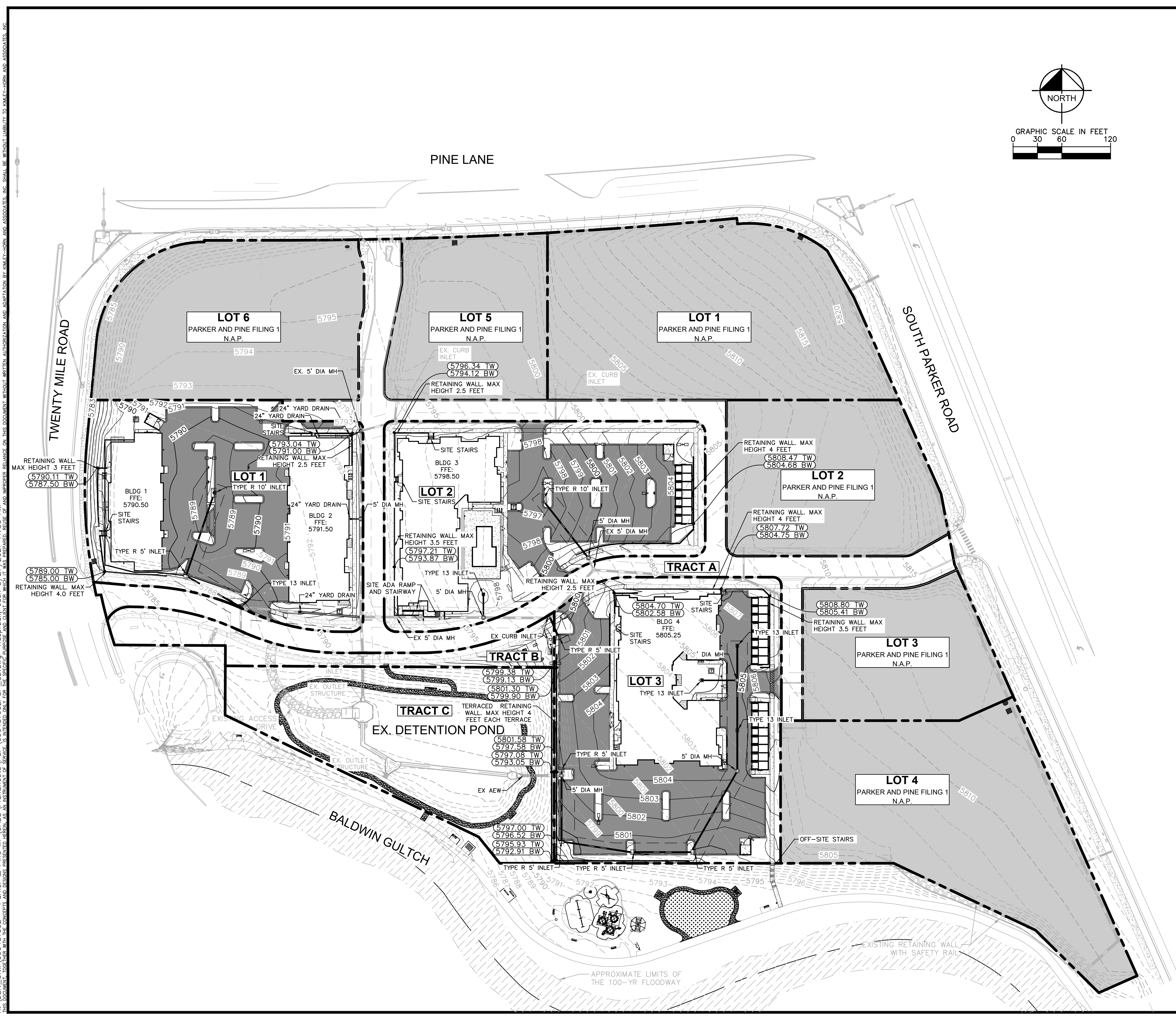
03 OF 49

**Final Document**  
 Subject To Conditions In Approval Letter

**APPROVED DATE: 07/16/2021**

**Planning Approval By: S. Nerger**

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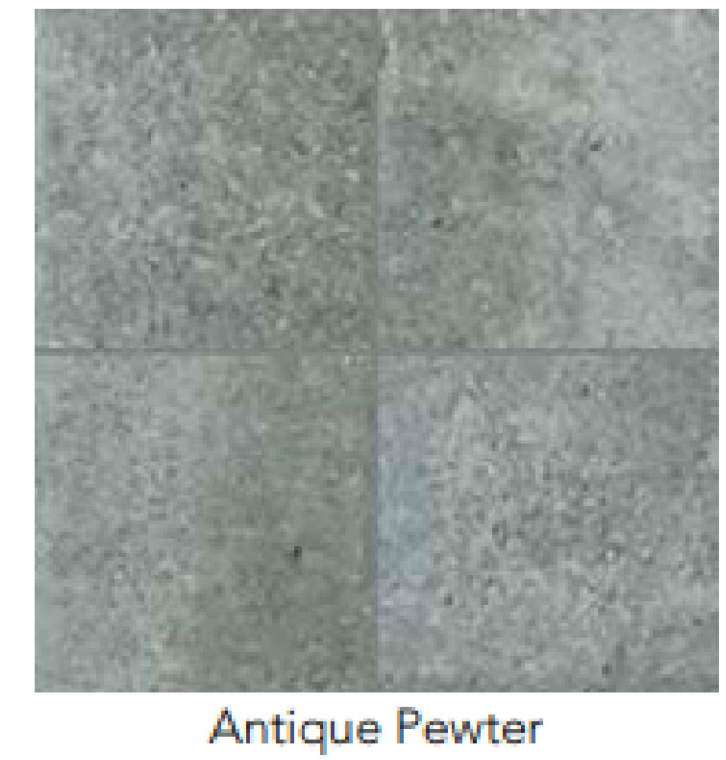


**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET
	STANDARD DUTY ASPHALT PAVING
	NOT A PART (N.A.P.)

**BENCHMARK**  
 A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.  
 ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

- NOTE:**
- BUILDING ROOF DRAINS TO DISCHARGE ON GRADE.
  - SITE RETAINING WALLS TO BE ANTIQUE PEWTER SPLIT FACE CMU BLOCK BY KEYSTONE OR APPROVED EQUIVALENT. MATERIAL SHOW BELOW:



NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

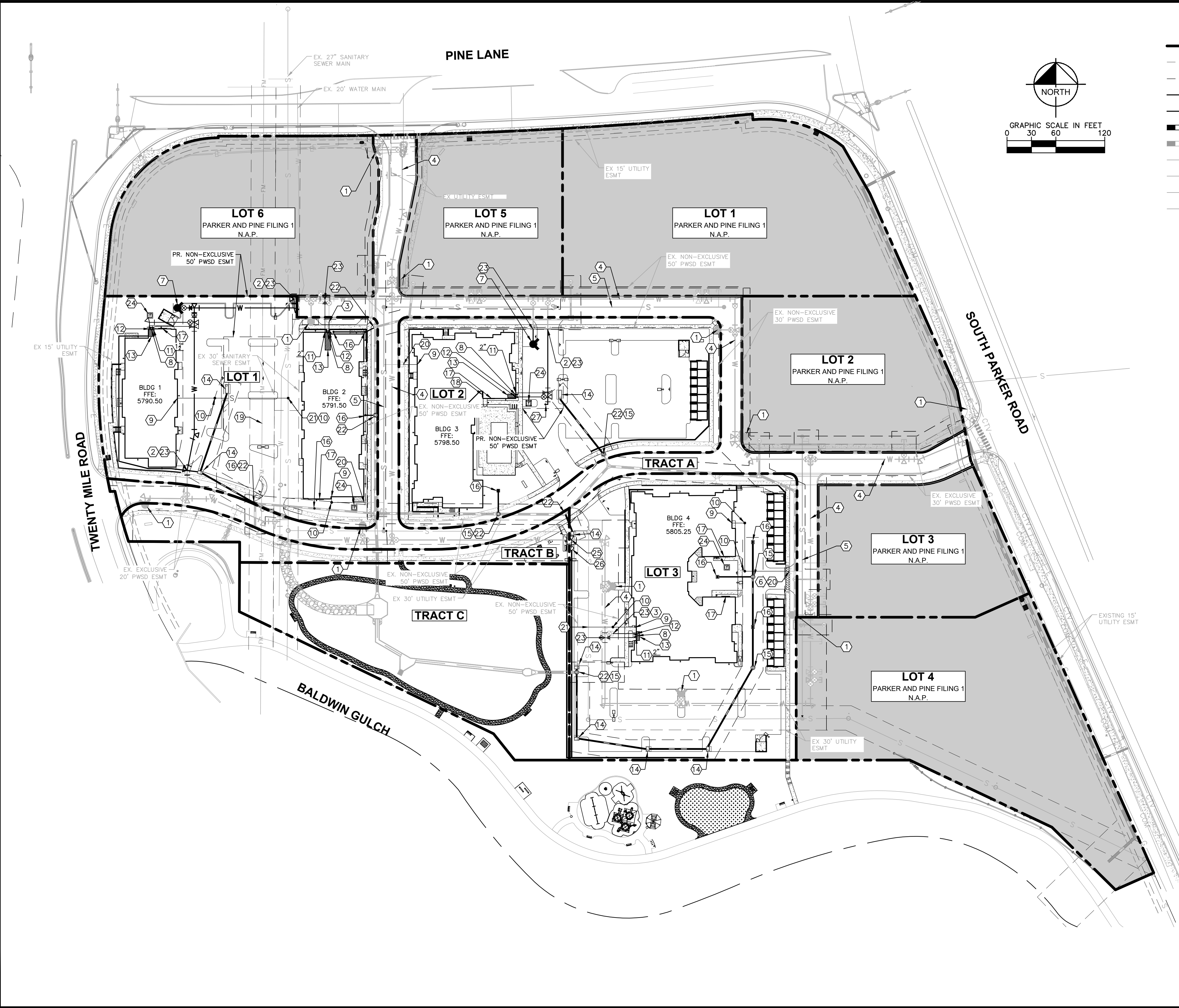
DESIGNED BY: DLS  
 DRAWN BY: JRK  
 CHECKED BY: DLS  
 DATE: 05/27/21

PARKER AND PINE FILING NO. 2 LOTS 1-3  
 PARKER, CO  
 MULTI-FAMILY SITE PLAN  
 OVERALL GRADING PLAN

**PARKER COLORADO**  
 Final Document  
 Subject To Conditions In Approval Letter  
 APPROVED DATE: 07/16/2021  
 Planning Approval By: S. Nerger

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 Kimley-Horn and Associates, Inc.  
 PROJECT NO.  
 096481002  
 DRAWING NAME  
 096481002PSP\_GD  
 04 OF 49

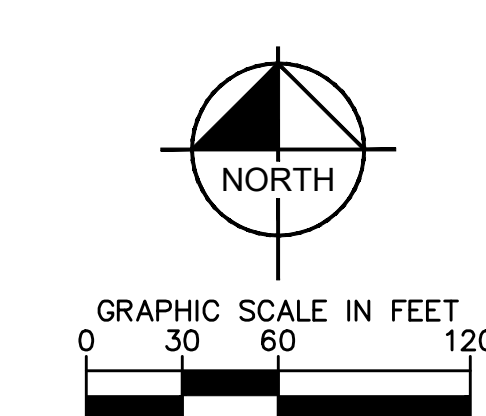
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### UTILITY LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAINAGE LINE
	EXISTING STORM DRAINAGE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING ELECTRIC LINE
	PROPOSED FIRE HYDRANT W/ BOLLARDS
	PROPOSED METER
	PROPOSED WATER VALVE
	PROPOSED TEE / BEND
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS
	NOT A PART (N.A.P.)

- ### SITE KEYNOTES
- ① EXISTING FIRE HYDRANT
  - ② EXISTING 8" STUB W/TEMP BLOW-OFF
  - ③ EXISTING 6" FIRE SERVICE W/TEMP BLOW-OFF
  - ④ EXISTING 8" WATER MAIN
  - ⑤ EXISTING 8" SEWER MAIN
  - ⑥ EXISTING 6" SEWER STUB
  - ⑦ PROPOSED FIRE HYDRANT WITH 6" GATE VALVE
  - ⑧ PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
  - ⑨ PROPOSED 6" SANITARY SEWER BUILDING POINT OF CONNECTION (P.O.C.)
  - ⑩ PROPOSED SANITARY SEWER CLEANOUT
  - ⑪ PROPOSED DOMESTIC WATER SERVICE BUILDING P.O.C. WATER METER/TAP SIZE PER PLAN
  - ⑫ PROPOSED 6" FIRE SERVICE BUILDING P.O.C.
  - ⑬ PROPOSED FIRE RISER ROOM
  - ⑭ PROPOSED CURB INLET
  - ⑮ PROPOSED STORM MANHOLE
  - ⑯ PROPOSED AREA INLET
  - ⑰ PROPOSED BUILDING ELECTRIC METER LOCATION
  - ⑱ PROPOSED BUILDING GAS METER LOCATION
  - ⑲ EXISTING PWS 8" FORCE MAIN
  - ⑳ CONNECT TO EXISTING SANITARY SEWER STUB
  - ㉑ CONNECT TO EXISTING SANITARY SEWER MAIN PER PWS STANDARDS.
  - ㉒ TIE INTO EXISTING STORM SEWER SYSTEM
  - ㉓ CONNECT TO EXISTING WATER MAIN PER PWS STANDARDS
  - ㉔ PROPOSED TRANSFORMER LOCATION
  - ㉕ PROPOSED 1.5" IRRIGATION TAP
  - ㉖ PROPOSED IRRIGATION METER PIT
  - ㉗ PROPOSED WATER MAIN BLOW OFF VALVE PER PWS STANDARDS



2021 KIMLEY-HORN AND ASSOCIATES, INC.  
4582 South Ulster Street, Suite 1500  
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS  
DRAWN BY: JRK  
CHECKED BY: DLS  
DATE: 05/27/21

PARKER AND PINE FILING NO. 2 LOTS 1-3  
 PARKER, CO  
 MULTI-FAMILY SITE PLAN  
 OVERALL UTILITY PLAN

NO.	REVISION	BY	DATE	APPR

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Kimley-Horn

Kimley-Horn and Associates, Inc.

Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 07/16/2021

Planning Approval By: S. Nergler

PROJECT NO. 096481002	DRAWING NAME 096481002PSP_UT
05 OF 49	



InSolution LLC  
 5157 E 64th St  
 Indianapolis, IN 46220  
 jim.rago@insolutionproducts.com

#	Date	Comments
	04/19/2021	Lighting Responses to Staff Comments 03
	05/28/2021	Lighting Responses to Staff Comments 04

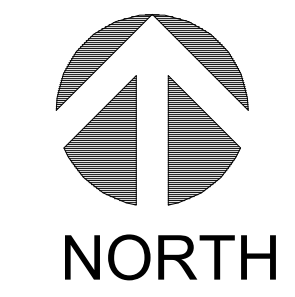
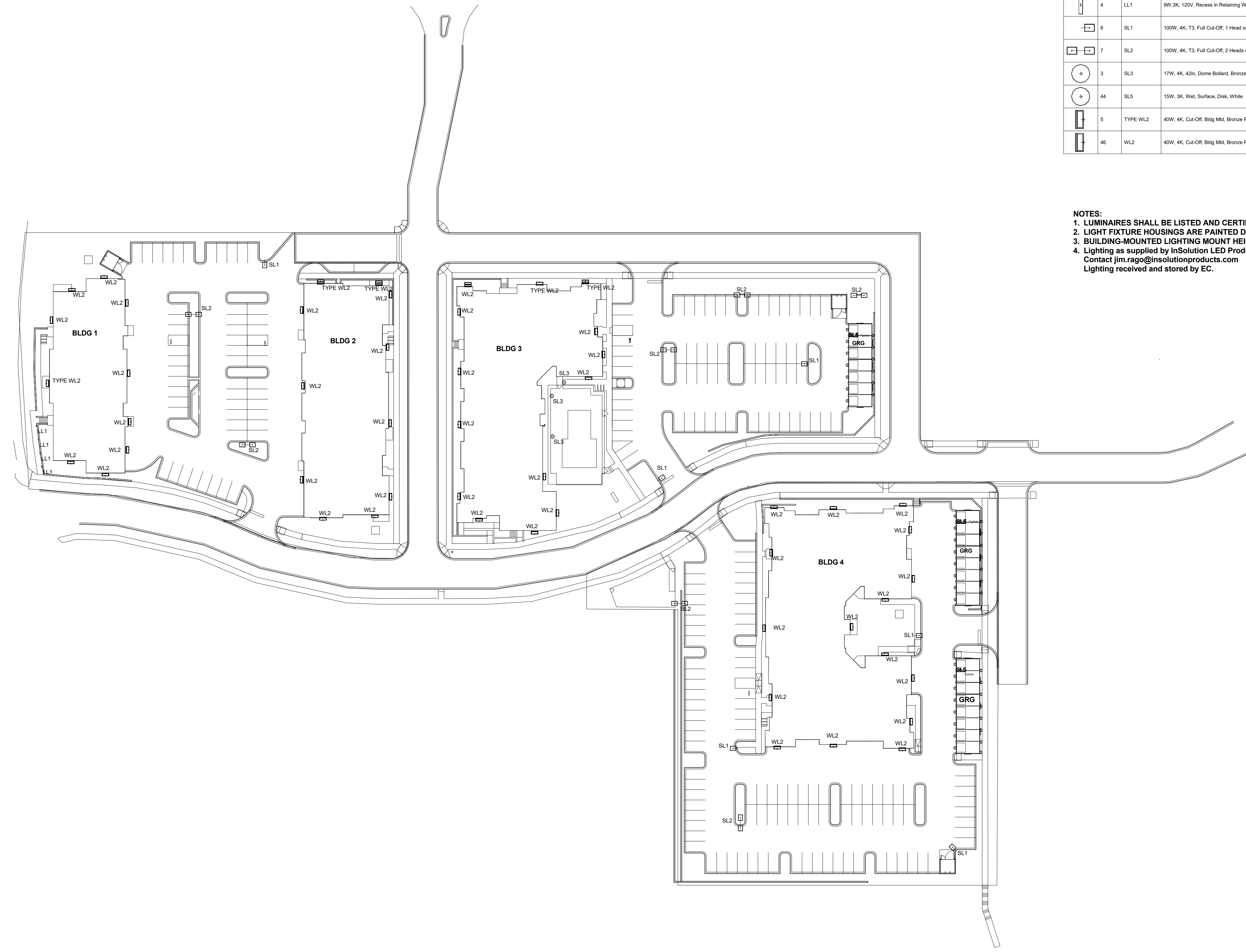
#	Date	Comments

Drawn By: jrago  
 Checked By: jrago  
 04/19/2021

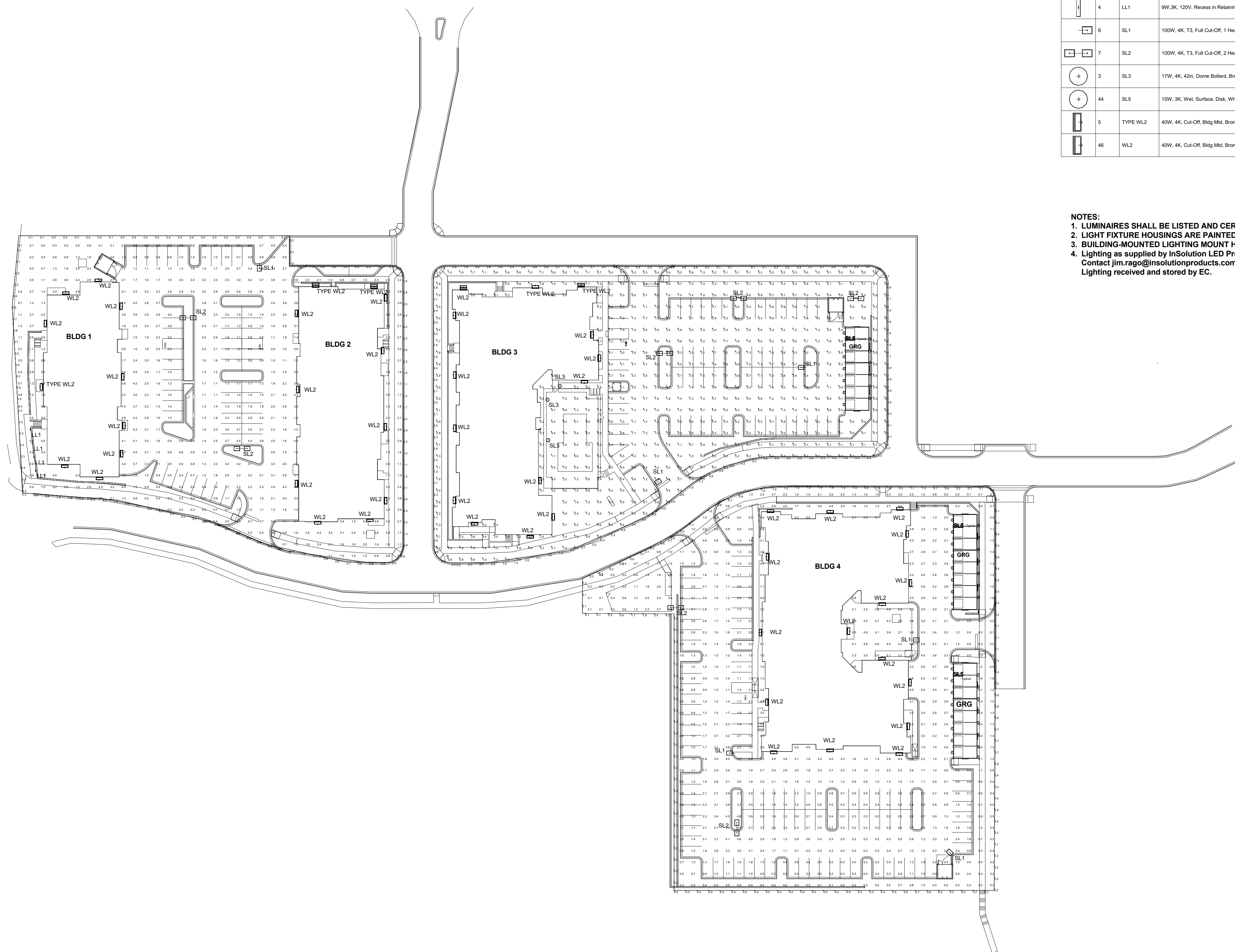
Scale: 1in = 50ft

Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
	4	LL1	9W, 3K, 120V, Recess in Retaining Wall, Ptd Bk	8.18	372	B0-U3-G1	1.5
	6	SL1	100W, 4K, T3, Full Cut-Off, 1 Head on Embedded FBGL	100	11188	B2-U0-G2	25
	7	SL2	100W, 4K, T3, Full Cut-Off, 2 Heads on Embedded FBGL	100	11188	B2-U0-G2	25
	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229	B1-U3-G1	3.5
	44	SL5	15W, 3K, Wet, Surface, Disk, White	15	1025	B1-U2-G1	8
	5	TYPE WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	20
	46	WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	20

**NOTES:**  
 1. LUMINAIRES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.  
 2. LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.  
 3. BUILDING-MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.  
 4. Lighting as supplied by InSolution LED Products.  
 Contact jim.rago@insolutionproducts.com  
 Lighting received and stored by EC.



PARKER COLORADO  
 Final Document  
 Subject To Conditions In Approval Letter  
 APPROVED DATE: 07/16/2021  
 Planning Approval By: S. Nerger



Site Lighting Schedule - 21-0525 Parker Site INS-LITE

Symbol	Qty	Label	Description	Lum. Watts	LED Lumens	BUG Rating	HEIGHT AFG
[Symbol]	4	LL1	9W, 3K, 120V, Recess in Retaining Wall, Ptd Bk	8.18	372	B0-U3-G1	1.5
[Symbol]	6	SL1	100W, 4K, T3, Full Cut-Off, 1 Head on Embedded FBGL	100	11188	B2-U0-G2	25
[Symbol]	7	SL2	100W, 4K, T3, Full Cut-Off, 2 Heads on Embedded FBGL	100	11188	B2-U0-G2	25
[Symbol]	3	SL3	17W, 4K, 42in, Dome Bollard, Bronze Paint	18	1229	B1-U3-G1	3.5
[Symbol]	44	SL5	15W, 3K, Wet Surface, Disk, White	15	1025	B1-U2-G1	8
[Symbol]	5	TYPE WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	20
[Symbol]	46	WL2	40W, 4K, Cut-Off, Bldg Mtd, Bronze Paint	43	4991	B1-U0-G1	20

- NOTES:
- LUMINAIRES SHALL BE LISTED AND CERTIFIED BY ENERGY STAR or DESIGNLIGHTS CONSORTIUM.
  - LIGHT FIXTURE HOUSINGS ARE PAINTED DARK BRONZE.
  - BUILDING-MOUNTED LIGHTING MOUNT HEIGHT TO BE COORDINATED WITH ALL TRADES AND OWNER REP.
  - Lighting as supplied by InSolution LED Products. Contact jim.rago@insolutionproducts.com Lighting received and stored by EC.

SITE ILLUMINANCE		
MINIMUM	MAXIMUM	AVERAGE
0.1	7.8	1.73

SITE UNIFORMITY RATIOS		
RESIDENTIAL AREA	AVG:MIN	MAX:MIN
DRIVEWAYS	4:1	11:1
WALKWAYS	2:1	3:1
PARKING	4:1	6:1



InSolution LLC  
 5157 E 64th St  
 Indianapolis, IN 46220  
 jim.rago@insolutionproducts.com

#	Date	Comments
	04/19/2021	Lighting Responses to Staff Comments 03
	05/28/2021	Lighting Responses to Staff Comments 04

Revisions	

Drawn By: jrago  
 Checked By: jrago  
 04/19/2021

Scale: 1in = 50ft



Final Document  
 Subject To Conditions In Approval Letter

APPROVED DATE: 07/16/2021

Planning Approval By: S. Nergler

PARKER AND PINE FILING NO.2  
 PLOTS 1-3 PARKER, CO  
 SITE LIGHTING CALCULATIONS

**PARKER MULTI-FAMILY - TYPE SL2**  
 4000, 4000K, 120-277V, BRONZE FINISH  
 KELVIN SELECTION TO BE SET TO 4000K IN FIELD BY INSTALLER.

**PERFORMANCE:**

- Available in lower packages ranging from 12,400lm to 36,400lm
- Classified beam spread of 60° to 120°
- 100W, 150W, 200W, 250W, 300W
- LED-Driver dimming available
- 100W, 150W, 200W, 250W, 300W

**CONSTRUCTION:**

- Die Cast Aluminum housing
- Tempered glass
- IP65 rated
- Mounting: Flush mount, and 3-5/8" adjustable height
- Systems available

**WARRANTY:**

10-year standard warranty with labor allowance\* (Further details available at [www.maxlite.com](http://www.maxlite.com))

**INSTALLATION:**

- 1" of recessed cutout hole in the center of the back housing and 2" on the top of the housing
- Flush in level where straight mounting

**ORDER STRUCTURE:**

FAMILY	WATTAGE	COLOR	TEMPERATURE	FINISH	OPTIONAL
SL2	100W	4000K	120-277V	BRONZE	None
SL2	150W	4000K	120-277V	BRONZE	None
SL2	200W	4000K	120-277V	BRONZE	None
SL2	250W	4000K	120-277V	BRONZE	None
SL2	300W	4000K	120-277V	BRONZE	None

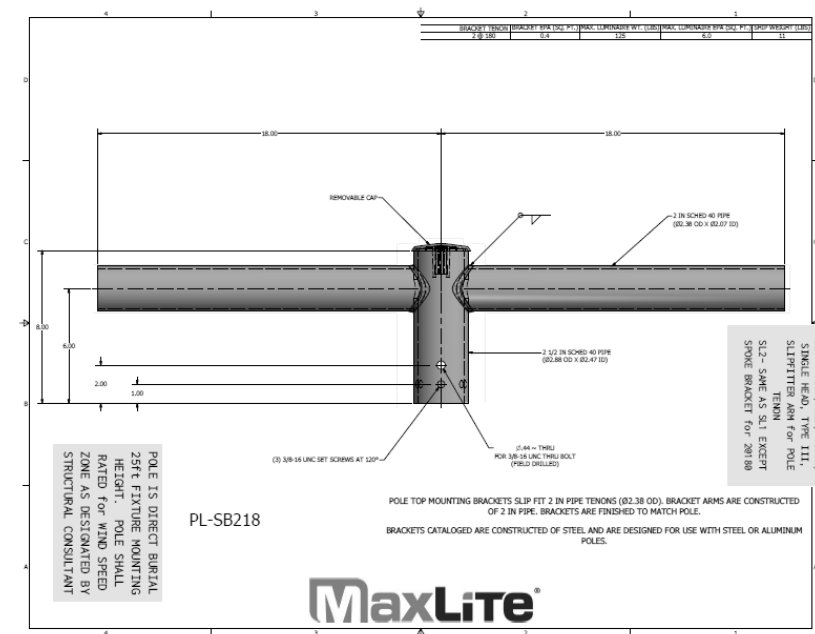
**NOTES:**

PARKER MULTI-FAMILY - TYPE SL2  
 4000, 4000K, 120-277V, BRONZE FINISH  
 KELVIN SELECTION TO BE SET TO 4000K IN FIELD BY INSTALLER.

**POLE IS DIRECT BURIAL 25FT FEATURE MOUNTING HEIGHT. POLE SHALL BE RATED FOR WIND SPEED ZONE AS DICTATED BY STRUCTURAL CONSULTANT.**

**POLE IS DIRECT BURIAL 25FT FEATURE MOUNTING HEIGHT. POLE SHALL BE RATED FOR WIND SPEED ZONE AS DICTATED BY STRUCTURAL CONSULTANT.**

**CATALOG# DS3KSF02**  
**EPA 10.0**  
**COLOR BRONZE**  
**WINDZONE 90 MPH**  
**FINISH NATURAL**  
**BUILD STANDARD**



**MaxLite**  
 A NEW WAY OF LIGHT

**DISC LIGHT CCT SELECTABLE SERIES**

**PRODUCT DESCRIPTION:**

The LED Disc Light is available as a flush-mount fixture and surface-mount fixture with electrical connections, labor and space by making it possible to install custom downlights without a recessed can. This luminaire is available in CCT selectable (2700K, 3000K, 4000K, 5000K, 6000K, 7000K, 8000K, 9000K, 10000K) and is available in a variety of sizes and finishes. The slim profile Disc Light is available in two sizes, and mounts directly to a 2" x 2" hole and standard 4" hole. In other words, more options and lower prices to stock on distribute channels and job sites.

**FEATURES:**

- LED screw-base connector included
- Listed as a fixture and a retrofit
- Flush and recess with luminaire

**CONSTRUCTION:**

- Die-cast aluminum housing
- Plastic lens

**LISTINGS:**

- UL Listed for wall locations
- ENERGY STAR Certified
- Supports CSA Part 6 high efficiency lighting requirements
- UL Listed for CCT's 4000K

**WARRANTY:**

10-year standard warranty (further details available at [www.maxlite.com](http://www.maxlite.com))

**ORDER STRUCTURE:**

FAMILY	WATTAGE	WATTAGE	TEMPERATURE	CCT	FINISH
DL6	100W	150W	200W	2700K	None
DL6	100W	150W	200W	3000K	None
DL6	100W	150W	200W	4000K	None
DL6	100W	150W	200W	5000K	None
DL6	100W	150W	200W	6000K	None
DL6	100W	150W	200W	7000K	None
DL6	100W	150W	200W	8000K	None
DL6	100W	150W	200W	9000K	None
DL6	100W	150W	200W	10000K	None

**DISC LIGHT CCT SELECTABLE SERIES**

	DL6 (100W)	DL7 (150W)
Beam Spread (°)	60	110
Lumens Delivered (lm)	800	1600
Equivalent	40W inc.	80W inc.
Beam Angle	37°	36°
CCT	2700K	3000K
Color Temperature (K)	CCT Selectable (2700K, 3000K, 4000K, 5000K, 6000K, 7000K, 8000K, 9000K, 10000K)	4000K
Life Expectancy (hrs)	50,000 hrs	50,000 hrs
Finish	None	None
Power Factor	0.95	0.95
Power	100W	150W
Mounting	Flush Mount	Flush Mount
Operating Temperature	32°F to 104°F	32°F to 104°F
Lighting	General Purpose	General Purpose
Warranty	10 Year Standard	10 Year Standard

**PRODUCT DIMENSIONS:**

**MaxLite**  
 A NEW WAY OF LIGHT

**WALLMAX™ LARGE CUTOFF WFCV SERIES**

**PRODUCT DESCRIPTION:**

Wallmax Large Cutoff WFCV Series is a high output, adjustable wall-mount fixture ideal for commercial offices, schools and other public administrative buildings. It offers a wide range of output and options including CCT selectability for the customer can choose between 3000K, 4000K and 5000K color temperatures.

**FEATURES:**

- 120V, 277V, 347V, 480V available
- 0-10V dimming
- Color Selectable between 3000K, 4000K or 5000K

**CONSTRUCTION:**

- Die Cast Aluminum housing with polycarbonate LED lens

**WARRANTY:**

10-year standard warranty with labor allowance\* (Further details available at [www.maxlite.com](http://www.maxlite.com))

**INSTALLATION:**

- 1" of recessed cutout hole in the center of the back housing and 2" on the top of the housing
- Flush in level where straight mounting

**ORDER STRUCTURE:**

FAMILY	WATTAGE	COLOR	TEMPERATURE	FINISH	OPTIONAL
WFCV	100W	4000K	120-277V	BRONZE	None
WFCV	150W	4000K	120-277V	BRONZE	None
WFCV	200W	4000K	120-277V	BRONZE	None
WFCV	250W	4000K	120-277V	BRONZE	None
WFCV	300W	4000K	120-277V	BRONZE	None

**MaxLite**  
 A NEW WAY OF LIGHT

**WALLMAX™ LARGE WFCV SERIES**

**PARKER MULTI-FAMILY - TYPE ML2**  
 4000, 4000K, 120-277V, BRONZE FINISH  
 KELVIN SELECTION TO BE SET TO 4000K IN FIELD BY INSTALLER.

**PRODUCT DESCRIPTION:**

Wallmax Large WFCV Series is a high output, adjustable wall-mount fixture ideal for commercial offices, schools and other public administrative buildings. It offers a wide range of output and options including CCT selectability for the customer can choose between 3000K, 4000K and 5000K color temperatures.

**FEATURES:**

- 120V, 277V, 347V, 480V available
- 0-10V dimming
- Color Selectable between 3000K, 4000K or 5000K

**CONSTRUCTION:**

- Die Cast Aluminum housing with polycarbonate LED lens

**WARRANTY:**

10-year standard warranty with labor allowance\* (Further details available at [www.maxlite.com](http://www.maxlite.com))

**INSTALLATION:**

- 1" of recessed cutout hole in the center of the back housing and 2" on the top of the housing
- Flush in level where straight mounting

**ORDER STRUCTURE:**

FAMILY	WATTAGE	COLOR	TEMPERATURE	FINISH	OPTIONAL
WFCV	100W	4000K	120-277V	BRONZE	None
WFCV	150W	4000K	120-277V	BRONZE	None
WFCV	200W	4000K	120-277V	BRONZE	None
WFCV	250W	4000K	120-277V	BRONZE	None
WFCV	300W	4000K	120-277V	BRONZE	None

**FXLuminaire**

**PARKER MULTI-FAMILY - LL1**  
 150, 150W, 120-277V, PA OPTIC, BRONZE  
 Verify Bronze Finish, CONDUIT MOUNTING HEIGHT WITH LANDSCAPE, ARCHITECT, AND OTHER BEFORE INSTALLATION.

**A-HS Wall Light LINE-VOLTAGE**

With distinctive performance and a low-profile package, the A-HS recessed wall light adds a layer of elegance to any commercial space.

**Quick Facts:**

- Unique Floor Glare (FG) or Performance Floor Wash (PFW) optics
- Die-cast aluminum
- Two dimming options for glare-free illumination
- IP65 and IP69
- Two types: remote-gate protrusion and powder-coat finish

**LANDSCAPE & ARCHITECTURAL LIGHTING**

**MaxLite**  
 A NEW WAY OF LIGHT

**PATHMAX™ LED BOLLARDS CLASSIC SERIES DONE TOP**

**PRODUCT DESCRIPTION:**

The new Classic LED Bollard is an economical and energy efficient choice for lighting walkways, plazas and other pedestrian areas in commercial and residential applications.

**FEATURES:**

- 120V/277V with dimming capability
- Dimming driver standard
- CR1 300
- 10 year warranty
- Up to 60,000 hour L70 lifetime, TM-21 standards @ 25°C

**CONSTRUCTION:**

- Extruded Aluminum housing
- Clear Polycarbonate lens
- An optional IP65 can be installed and centered 1/2" from the top of the shaft

**ENVIRONMENT:**

- CSA Group for wet locations
- IP65 rated Optical system

**INSTALLATION:**

- Flush Mounting Base with Vandal Resistant Screws
- Installation Kit with 4" Anchor Bolts included

**WARRANTY:**

10-year standard warranty with labor allowance\* (Further details available at [www.maxlite.com](http://www.maxlite.com))

**ORDER STRUCTURE:**

MODEL	WATTAGE	TEMPERATURE	FINISH	OPTIONAL
LL1	150W	4000K	BRONZE	None
LL1	150W	5000K	BRONZE	None
LL1	150W	6000K	BRONZE	None
LL1	150W	7000K	BRONZE	None
LL1	150W	8000K	BRONZE	None
LL1	150W	9000K	BRONZE	None
LL1	150W	10000K	BRONZE	None

**MaxLite**  
 A NEW WAY OF LIGHT

**PARKER and PINE MULTI-FAMILY TYPE SL3**  
 DARK BRONZE FINISH, 4000 KELVIN

**PRODUCT DESCRIPTION:**

The LED Disc Light is available as a flush-mount fixture and surface-mount fixture with electrical connections, labor and space by making it possible to install custom downlights without a recessed can. This luminaire is available in CCT selectable (2700K, 3000K, 4000K, 5000K, 6000K, 7000K, 8000K, 9000K, 10000K) and is available in a variety of sizes and finishes. The slim profile Disc Light is available in two sizes, and mounts directly to a 2" x 2" hole and standard 4" hole. In other words, more options and lower prices to stock on distribute channels and job sites.

**FEATURES:**

- LED screw-base connector included
- Listed as a fixture and a retrofit
- Flush and recess with luminaire

**CONSTRUCTION:**

- Die-cast aluminum housing
- Plastic lens

**LISTINGS:**

- UL Listed for wall locations
- ENERGY STAR Certified
- Supports CSA Part 6 high efficiency lighting requirements
- UL Listed for CCT's 4000K

**WARRANTY:**

10-year standard warranty (further details available at [www.maxlite.com](http://www.maxlite.com))

**ORDER STRUCTURE:**

FAMILY	WATTAGE	WATTAGE	TEMPERATURE	CCT	FINISH
SL3	100W	150W	200W	2700K	None
SL3	100W	150W	200W	3000K	None
SL3	100W	150W	200W	4000K	None
SL3	100W	150W	200W	5000K	None
SL3	100W	150W	200W	6000K	None
SL3	100W	150W	200W	7000K	None
SL3	100W	150W	200W	8000K	None
SL3	100W	150W	200W	9000K	None
SL3	100W	150W	200W	10000K	None

**MaxLite**  
 A NEW WAY OF LIGHT

**WALLMAX™ LARGE CUTOFF WFCV SERIES**

**PRODUCT DESCRIPTION:**

Wallmax Large Cutoff WFCV Series is a high output, adjustable wall-mount fixture ideal for commercial offices, schools and other public administrative buildings. It offers a wide range of output and options including CCT selectability for the customer can choose between 3000K, 4000K and 5000K color temperatures.

**FEATURES:**

- 120V, 277V, 347V, 480V available
- 0-10V dimming
- Color Selectable between 3000K, 4000K or 5000K

**CONSTRUCTION:**

- Die Cast Aluminum housing with polycarbonate LED lens

**WARRANTY:**

10-year standard warranty with labor allowance\* (Further details available at [www.maxlite.com](http://www.maxlite.com))

**INSTALLATION:**

- 1" of recessed cutout hole in the center of the back housing and 2" on the top of the housing
- Flush in level where straight mounting

**ORDER STRUCTURE:**

FAMILY	WATTAGE	COLOR	TEMPERATURE	FINISH	OPTIONAL
WFCV	100W	4000K	120-277V	BRONZE	None
WFCV	150W	4000K	120-277V	BRONZE	None
WFCV	200W	4000K	120-277V	BRONZE	None
WFCV	250W	4000K	120-277V	BRONZE	None
WFCV	300W	4000K	120-277V	BRONZE	None

**MaxLite**  
 A NEW WAY OF LIGHT

**WALLMAX™ LARGE WFCV SERIES**

**PARKER MULTI-FAMILY - TYPE ML2**  
 4000, 4000K, 120-277V, BRONZE FINISH  
 KELVIN SELECTION TO BE SET TO 4000K IN FIELD BY INSTALLER.

**PRODUCT DESCRIPTION:**

Wallmax Large WFCV Series is a high output, adjustable wall-mount fixture ideal for commercial offices, schools and other public administrative buildings. It offers a wide range of output and options including CCT selectability for the customer can choose between 3000K, 4000K and 5000K color temperatures.

**FEATURES:**

- 120V, 277V, 347V, 480V available
- 0-10V dimming
- Color Selectable between 3000K, 4000K or 5000K

**CONSTRUCTION:**

- Die Cast Aluminum housing with polycarbonate LED lens

**WARRANTY:**

10-year standard warranty with labor allowance\* (Further details available at [www.maxlite.com](http://www.maxlite.com))

**INSTALLATION:**

- 1" of recessed cutout hole in the center of the back housing and 2" on the top of the housing
- Flush in level where straight mounting

**ORDER STRUCTURE:**

FAMILY	WATTAGE	COLOR	TEMPERATURE	FINISH	OPTIONAL
WFCV	100W	4000K	120-277V	BRONZE	None
WFCV	150W	4000K	120-277V	BRONZE	None
WFCV	200W	4000K	120-277V	BRONZE	None
WFCV	250W	4000K	120-277V	BRONZE	None
WFCV	300W	4000K	120-277V	BRONZE	None

**FXLuminaire**

**PARKER MULTI-FAMILY - LL1**  
 150, 150W, 120-277V, PA OPTIC, BRONZE  
 Verify Bronze Finish, CONDUIT MOUNTING HEIGHT WITH LANDSCAPE, ARCHITECT, AND OTHER BEFORE INSTALLATION.

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With distinctive performance and a low-profile package, the A-HS recessed wall light adds a layer of elegance to any commercial space.

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- Die-cast aluminum
- Two dimming options for glare-free illumination
- IP65 and IP69
- Two types: remote-gate protrusion and powder-coat finish

**LANDSCAPE & ARCHITECTURAL LIGHTING**

**MaxLite**  
 A NEW WAY OF LIGHT

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The new Classic LED Bollard is an economical and energy efficient choice for lighting walkways, plazas and other pedestrian areas in commercial and residential applications.

**FEATURES:**

- 120V/277V with dimming capability
- Dimming driver standard
- CR1 300
- 10 year warranty
- Up to 60,000 hour L70 lifetime, TM-21 standards @ 25°C

**CONSTRUCTION:**

- Extruded Aluminum housing
- Clear Polycarbonate lens
- An optional IP65 can be installed and centered 1/2" from the top of the shaft

**ENVIRONMENT:**

- CSA Group for wet locations
- IP65 rated Optical system

**INSTALLATION:**

- Flush Mounting Base with Vandal Resistant Screws
- Installation Kit with 4" Anchor Bolts included

**WARRANTY:**

10-year standard warranty with labor allowance\* (Further details available at [www.maxlite.com](http://www.maxlite.com))

**ORDER STRUCTURE:**

MODEL	WATTAGE	TEMPERATURE	FINISH	OPTIONAL
LL1	150W	4000K	BRONZE	None
LL1	150W	5000K	BRONZE	None
LL1	150W	6000K	BRONZE	None
LL1	150W	7000K	BRONZE	None
LL1	150W	8000K	BRONZE	None
LL1	150W	9000K	BRONZE	None
LL1	150W	10000K	BRONZE	None

**MaxLite**  
 A NEW WAY OF LIGHT

**PARKER and PINE MULTI-FAMILY TYPE SL3**  
 DARK BRONZE FINISH, 4000 KELVIN

**PRODUCT DESCRIPTION:**

The LED Disc Light is available as a flush-mount fixture and surface-mount fixture with electrical connections, labor and space by making it possible to install custom downlights without a recessed can. This luminaire is available in CCT selectable (2700K, 3000K, 4000K, 5000K, 6000K, 7000K, 8000K, 9000K, 10000K) and is available in a variety of sizes and finishes. The slim profile Disc Light is available in two sizes, and mounts directly to a 2" x 2" hole and standard 4" hole. In other words, more options and lower prices to stock on distribute channels and job sites.

**FEATURES:**

- LED screw-base connector included
- Listed as a fixture and a retrofit
- Flush and recess with luminaire

**CONSTRUCTION:**

- Die-cast aluminum housing
- Plastic lens

**LISTINGS:**

- UL Listed for wall locations
- ENERGY STAR Certified
- Supports CSA Part 6 high efficiency lighting requirements
- UL Listed for CCT's 4000K

**WARRANTY:**

10-year standard warranty (further details available at [www.maxlite.com](http://www.maxlite.com))

**ORDER STRUCTURE:**

FAMILY	WATTAGE	WATTAGE	TEMPERATURE	CCT	FINISH
SL3	100W	150W	200W	2700K	None
SL3	100W	150W	200W	3000K	None
SL3	100W	150W	200W	4000K	None
SL3	100W	150W	200W	5000K	None
SL3	100W	150W	200W	6000K	None
SL3	100W	150W	200W	7000K	None
SL3	100W	150W	200W	8000K	None
SL3	100W	150W	200W	9000K	None
SL3	100W	150W	200W	10000K	None



Comments	Date	#
Lighting Responses to Staff Comments 03	04/19/2021	
Lighting Responses to Staff Comments 04	06/28/2021	
Revisions		

Drawn By: jrago  
 Checked By: jrago  
 Date: 5/28/2021  
 Scale: NTS

Parker and Pine Multi-Family  
 Site Lighting Details

**PARKER COLORADO**

Final Document  
 Subject To Conditions In Approval Letter

APPROVED DATE: 07/16/2021

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Planning Approval By: S. Nerger

# ABBREVIATIONS

<b>A</b>	AD ADJ AFS ALT ALUM APPROX ARCH	AREA DRAIN ADJACENT ABOVE FINISHED GRADE ALTERNATE ALUMINUM APPROXIMATE ARCHITECT(URAL)	<b>L</b>	L LT LP	LENGTH LIGHT LOW POINT
<b>B</b>	BC BLDG BLKG BOC BOT BR BS BW	BOTTOM OF CURB BUILDING BLOCKING BACK OF CURB BOTTOM BOTTOM OF RAMP BOTTOM OF STAIR BOTTOM OF WALL	<b>M</b>	MAS MATL MAX MECH MED MFR MIN MISC MTL	MASONRY MATERIAL MAXIMUM MECHANICAL MEDIUM MANUFACTURER MINIMUM MISCELLANEOUS METAL
<b>C</b>	CEM CIP CJ CO COL CONT CONC CU FT	CEMENT CAST IN PLACE CONTROL JOINT CONCRETE MASONRY UNIT CLEANOUT COLUMN CONTINUOUS CONCRETE CUBIC FEET	<b>N</b>	N NIC NO NOM NTS	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
<b>D</b>	DD DE DI DIA DIAG DIM DN DS DWG(S)	DECK DRAIN DRAINAGE EASEMENT DRAIN INLET DIAMETER DIAGONAL DIMENSION DOWN DOWN SPOUT DRAWING(S)	<b>O</b>	OC OD OPNG OPP	ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE
<b>E</b>	E EA EJ EL ELEC EOP EQ EQIP ESMT EW EXP EXIST EXT	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL EDGE OF PAVEMENT EQUAL EQUIPMENT EASEMENT EACH WAY EXPANSION EXISTING EXTERIOR	<b>P</b>	PB PERF PNL PNT PSI PT POB POC PROP	PLANT BED PERFORATED PANEL PAINT(ED) POUNDS/SQUARE INCH PRESSURE TREATED POINT OF BEGINNING POINT OF CURVATURE PROPOSED
<b>F</b>	FAB FDC FH FIN FOC FT FTG	FABRIC FIRE DEPT. CONNECTION FIRE HYDRANT FINISH FACE OF CURB FOOT, FEET FOOTING	<b>Q</b>	QTY	QUANTITY
<b>G</b>	GAL GALV GC GV	GALLON GALVANIZED GENERAL CONTRACTOR GATE VALVE	<b>R</b>	RAD REIN REQD REV R.O.W	RADIUS REINFORC(E), (ING) REQUIRED REVISION RIGHT OF WAY
<b>H</b>	HDW HDWD HORZ HP HT	HARDWARE HARDWOOD HORIZONTAL HIGH POINT HEIGHT	<b>S</b>	S SB SCHED SD SF SIM SQ SSMH STL SSTL STD SUSP SW SYM	SOUTH SETBACK SCHEDULE(E), (ED) STORM DRAIN SQUARE FOOT, FEET SIMILAR SQUARE SANITARY SEWER MANHOLE STEEL STAINLESS STEEL STANDARD SUSPENDED SIDEWALK SYMBOL
<b>I</b>	ID INCL INSUL INT INV	INSIDE DIAMETER INCLUDE INSULATION INTERIOR INVERT	<b>T</b>	TBD TC THK TR TS TW TYP	TO BE DETERMINED TOP OF CURB THICKNESS TOP OF RAMP TOP OF STAIR TOP OF WALL TYPICAL
<b>J</b>	JB JT	JUNCTION BOX JOINT	<b>U</b>	UE U.N.O	UTILITY EASEMENT UNLESS NOTED OTHERWISE
<b>K</b>	KO	KNOCK OUT	<b>V</b>	VERT VIF	VERTICAL VERIFY IN FIELD
<b>L</b>	L LT LP	LENGTH LIGHT LOW POINT	<b>W</b>	W W/O WD WL WM WT WWM	WEST, WIDE, WIDTH WITH WITHOUT WOOD WATER LINE WATER METER WEIGHT WELDED WIRE MESH

NOTE: ABBREVIATIONS APPLY TO LANDDESIGN NOTATIONS ONLY. SURVEY, ARCHITECTURAL AND OTHER ABBREVIATIONS MAY VARY.

# MATERIALS + PAVING NOTES:

- ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT SERVICES AND TESTING FOR ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- SUBGRADE PREPARATION, PAVEMENT STRENGTH AND THICKNESS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
  - PROOF-ROLL SUBGRADE: PRIOR TO PREPARATION OF THE SUBBASE, THE SUBGRADE SHALL BE PROOF-ROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED TO FIRM SUBGRADE AND BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
  - PAVEMENT SUBGRADE SHALL BE GRADED TO PREVENT PONDING AND INFILTRATION OF EXCESSIVE MOISTURE ON OR ADJACENT TO THE PAVEMENT SUBGRADE.
- THE USE OF "LEVEL UP" SAND UNDER PAVEMENT WILL NOT BE ACCEPTED, UNLESS NOTED OTHERWISE..
- CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AND FALLING, BUT MAY BE PLACED WHEN THE TEMPERATURE IS ABOVE 35 DEGREES FAHRENHEIT AND RISING. THE TEMPERATURE READING SHALL BE TAKEN IN THE SHADE AWAY FROM ARTIFICIAL HEAT.
  - DO NOT PLACE CONCRETE WHILE IT IS RAINING OR WHEN RAIN IS IMMINENT.
- CAST IN PLACE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:
  - MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE.
  - AGGREGATES: ASTM C33 MAX 3/4" IN SIZE, UNLESS NOTED OTHERWISE
  - SLUMP: 3 TO 5 INCHES
  - AIR CONTENT: 4 TO 6 PERCENT BY VOLUME
- CONCRETE THICKNESS:
  - PEDESTRIAN AREA: 4" THICK, UNLESS NOTED OTHERWISE.
  - ALL OTHER CONCRETE COMPONENTS INSTALL PER SIZE SPECIFIED IN DRAWINGS
- CONCRETE REINFORCING:
  - 4" THICK PAVING; #3s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
  - 6" THICK PAVING; #4s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
  - 8" THICK PAVING; #5s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
  - ALL PAVEMENT REINFORCING BARS SHALL BE GRADE 60 KSI DEFORMED BILLET STEEL BARS, UNCOATED FINISH. SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE PAVING PLAN AND DETAILS.
  - ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS.
- CONTROL JOINTS (TROWEL OR SAW CUT)
  - TO BE PLACED AS INDICATED ON PLANS AND DETAILS TO A MINIMUM DEPTH OF 1/8 OF CONCRETE THICKNESS.
  - SAW CUT JOINTS TO BE EXECUTED WITHIN 12 HOURS OF CONCRETE PLACEMENT.
  - SAWN JOINTS ARE TO BE TRUE IN ALIGNMENT AND SHALL CONTINUE THROUGH ADJACENT CURBS. RADIAL JOINTS SHALL BE NO SHORTER THAN 18".
  - SAWN JOINTS TO BE CLEANED OF DEBRIS, DIRT, DUST, SCALE, CURING COMPOUND AND CONCRETE, BLOWN DRY AND IMMEDIATELY SEALED. SEALANT MATERIAL SHALL BE SONNEBORN SONOLASTIC SL2 MULTI-COMPONENT, SELF-LEVELING, ELASTOMERIC POLYURETHANE OR EQUIVALENT. SEALANT COLOR SHALL MATCH PAVEMENT.
- EXPANSION JOINTS
  - PLACE AT A MAXIMUM SPACING OF 30' O.C. AND COORDINATE WITH OVERALL PAVING PATTERN AND COLOR.
  - PROVIDE DOWELS AS SPECIFIED IN DRAWING DETAILS.
  - CONTRACTOR SHALL PREPARE A JOINT LAYOUT AND PROVIDE IT TO THE ENGINEER FOR REVIEW. THE JOINT LAYOUT SHALL BE PROVIDED A MINIMUM OF ONE WEEK PRIOR TO PLACING CONCRETE. PATTERN SHALL BE CAREFULLY DESIGNED BY THE CONTRACTOR TO AVOID IRREGULAR SHAPES. EXPANSION JOINTS SHALL NOT BE LOCATED ALONG VALLEYS IN PAVEMENT.
- ALL CONSTRUCTION JOINTS SHALL BE SAWN. CONCRETE FINISHES TO BE PER DRAWING DETAILS AND SPECIFICATIONS.
- CONCRETE SHALL BE BROOM FINISHED AND CURED FOR A MINIMUM OF 72 HOURS UNLESS NOTED OTHERWISE.
- BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY FULL DEPTH SAW CUT WHEN ADJACENT TO PROPOSED PAVEMENT AND/OR CURBS.
- PROPOSED PAVEMENT AND/OR CURBS INTENDED TO TIE INTO EXISTING SHALL MATCH SHALL MATCH THE ELEVATION OF EXISTING PAVEMENT AND/OR CURBS.
- PAVEMENT MARKINGS
  - PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE LOCAL STANDARDS.
  - FIRE LANES SHALL BE STRIPED AND/OR SIGNED IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' REGULATIONS.
  - ALL ACCESSIBLE PAVEMENT MARKINGS SHALL COMPLY WITH ADAAG STANDARDS AND STATE AND LOCAL CODES.
  - PARKING SPACE STRIPES, ACCESSIBLE SPACES, PEDESTRIAN STRIPING, DIRECTIONAL ARROWS AND LETTERING SHALL BE SOLID WHITE, UNLESS A SPECIFIC COLOR IS REQUIRED BY LOCAL CODE. TWO (2) COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDILUTED, SOLVENT BASED OR LATEX TRAFFIC PAINT SHALL BE APPLIED. USE MANUFACTURER'S RECOMMENDED APPLICATION RATE, WITHOUT ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED, PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7 MILS DRY FILM THICKNESS PER COAT WITH A MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF THE LINE FOR A MINIMUM TOTAL DRY FILM THICKNESS OF 15 MILS.
- CONTRACTOR SHALL REFER TO THE SITE CIVIL, MEP AND IRRIGATION PLANS FOR CONDUIT TO BE INSTALLED UNDER PAVEMENT PRIOR TO COMMENCING PAVEMENT SUBGRADE PREPARATION.
- ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY, EMPLOYED AND PAID DIRECTLY BY THE OWNER. TESTING SHALL BE PERFORMED, AT A MINIMUM, IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THE RESULTS OF THE INITIAL TESTING DO NOT COMPLY WITH THE PLANS AND THE SPECIFICATIONS, SUBSEQUENT TEST NECESSARY TO DETERMINE THE ACCEPTABILITY OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE. PAVEMENT FOUND TO BE DEFICIENT IN STRENGTH OR THICKNESS SHALL BE REMOVED AND REPLACED SOLELY AT THE EXPENSE OF THE CONTRACTOR.

## ACCESSIBILITY NOTES:

- MAX CROSS SLOPE ON PAVED SURFACES SHALL BE 2% MAXIMUM, UNLESS NOTED OTHERWISE.
- MAX RUNNING SLOPE ON PAVED SURFACES SHALL BE 5% MAXIMUM, UNLESS NOTED OTHERWISE.
- ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- ALL CURB RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE.
- ALL CURB RAMPS SHALL HAVE A 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL, 2% MAX CROSS SLOPE.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO COMPLY WITH ALL APPROPRIATE FAIR HOUSING ACCESSIBILITY GUIDELINES AND GENERAL NOTES FOR PUBLIC AND COMMON USE FACILITIES. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT.

# GENERAL NOTES:

- BASE INFORMATION, INCLUDING EXISTING CONDITIONS, TOPOGRAPHY, EXISTING UTILITIES, AND BOUNDARY INFORMATION IS FROM PLANS BY: KIMLEY-HORN AND ASSOCIATES, INC.
- ARCHITECTURAL INFORMATION IS FROM PLANS BY: SEEBREE ARCHITECTS, INC.
- WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- DIMENSIONS ARE TO FACE OF OBJECT, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING UTILITIES ARE TO BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER. LANDDESIGN ASSUMES NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS.
- ALL PROPOSED FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
- PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN THE FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ITEMS PER DRAWINGS AND SPECIFICATION. NOTIFY LANDSCAPE ARCHITECT OF ANY MAJOR DISCREPANCIES BETWEEN CONTRACTOR'S VERIFIED QUANTITIES, BID BOOK, AND INTENT OF DRAWING.
- CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS ANY QUANTITIES PROVIDED BY THE LANDSCAPE ARCHITECT ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY GRADING DISCREPANCIES.
- THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED, SHALL BE VERIFIED WITH THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES AND NOTIFY OWNER & LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL EMPLOY, AS REQUIRED BY GOVERNING AUTHORITIES, AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FROM CONCRETE, SOIL COMPACTION AND WELDING TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES. COST SHALL BE INCLUDED AS INCIDENTAL TO THE CONTRACT.
- ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR(S) SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR ANY DAMAGE TO EXISTING CONDITIONS, OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATION, ADDITIONS OR REMOVAL.

## LAYOUT NOTES:

- ALL MATERIALS AND CONSTRUCTION WITHIN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE TOWN OF PARKER STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS, AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST VERSION)
- EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
- ALL CURB RADII AND SIDEWALK RETURNS ARE 2' UNLESS NOTED OTHERWISE.
- ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE PROJECT GEOTECHNICAL REPORT.
- BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE BOUNDARY SURVEY PREPARED BY ENGINEERING SERVICE COMPANY. REFER TO THE BOUNDARY SURVEY AND PLAT TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
- BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
- LAY PAVERS IN PATTERN(S) SHOWN ON DRAWINGS. PLACE UNITS HAND TIGHT WITHOUT USING HAMMERS. MAKE HORIZONTAL ADJUSTMENTS TO PLACEMENT OF LAID PAVERS WITH RUBBER HAMMERS AS REQUIRED.
- PROVIDE JOINTS BETWEEN PAVERS BETWEEN 1/16 IN. AND 3/16 IN. (2 AND 5 MM) WIDE. NO MORE THAN 5% OF THE JOINTS SHALL EXCEED 1/4" WIDE TO ACHIEVE STRAIGHT BOND LINES.
- JOINT (BOND) LINES SHALL NOT DEVIATE MORE THAN ±1/2 IN. (±15 MM) OVER 50 FT. (15 M) FROM STRING LINES.
- FILL GAPS AT THE EDGES OF THE PAVED AREA WITH CUT PAVERS OR EDGE UNITS.
- CUT PAVERS TO BE PLACED ALONG THE EDGE WITH A MASONRY SAW.
- ADJUST BOND PATTERN AT PAVEMENT EDGES SUCH THAT CUTTING OF EDGE PAVERS IS MINIMIZED.
- IN NO CASE SHALL A CUT PAVES BE LESS THAN 1/3 FULL PAVES SIZE.
- PAVER DIMENSIONS ARE NOMINAL. PRIOR TO POURING SLABS, BANDING, OR OTHERWISE SETTING PAVES FIELDS, VERIFY ACTUAL PAVES SIZES AND LAYOUT OF THE PAVES FIELDS. MAKE MINOR ADJUSTMENTS TO EDGE CONSTRAINTS AS REQUIRED TO ACCOMMODATE ACTUAL PAVES SIZES. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF DISCREPANCIES AND/OR ADJUSTMENTS.

## GRADING NOTES:

- STAKE PER SPOT ELEVATIONS AND NOTED SLOPES. CONTOURS ARE PROVIDED FOR MASS GRADING/INTENT ONLY.
- WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL SPOT ELEVATIONS SHOWN ON GRADING PLAN ARE TO BOTTOM OF CURB/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE TO EDGE OF PAVEMENT.
- REFER TO GEOTECHNICAL ENGINEER AND GEOTECH REPORT FOR INFORMATION ON SUBSURFACE MATERIALS, TOPSOIL, STRUCTURAL MATERIAL, DEEP FILLS, EXCAVATION, AND FOUNDATIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF .5% SLOPE ON THE CURB.
- ALL PLANTING ISLANDS SHALL BE GRADED TO MOUND TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR TO VERIFY 2% MAX. CROSS-SLOPE ON ALL SIDEWALKS.
- CONTRACTOR TO VERIFY THAT ALL SIDEWALK SLOPES, HANDICAP RAMPS, AND HANDICAP PARKING SPACES MEET ADA REQUIREMENTS.
- CONCRETE SIDEWALKS ADJACENT TO TREE SAVE LOCATIONS SHOULD BE POURED ON TOP OF EXISTING GRADE.
- REFER TO LANDSCAPE PLAN FOR ALL TREE PROTECTION FENCE LOCATIONS AND INSTALLATION PROCEDURES. BEFORE GRADING/CONSTRUCTION BEGINS, CALL FOR INSPECTION OF TREE PROTECTION BARRICADES, NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING, OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.
- DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.
- GRADING CONTRACTORS SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.
- GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.

  
**Final Document**  
**Subject to Conditions in Approval Letter**  
  
**APPROVED DATE: 07/16/2021**  
  
**Planning Approval By: S. Nergler**

NO.	REVISION	BY	DATE

  
**THE GARRETT COMPANIES**  
 1051 GREENWOOD SPRINGS  
 BLD. GREENWOOD, IN 46143 317-866-7923

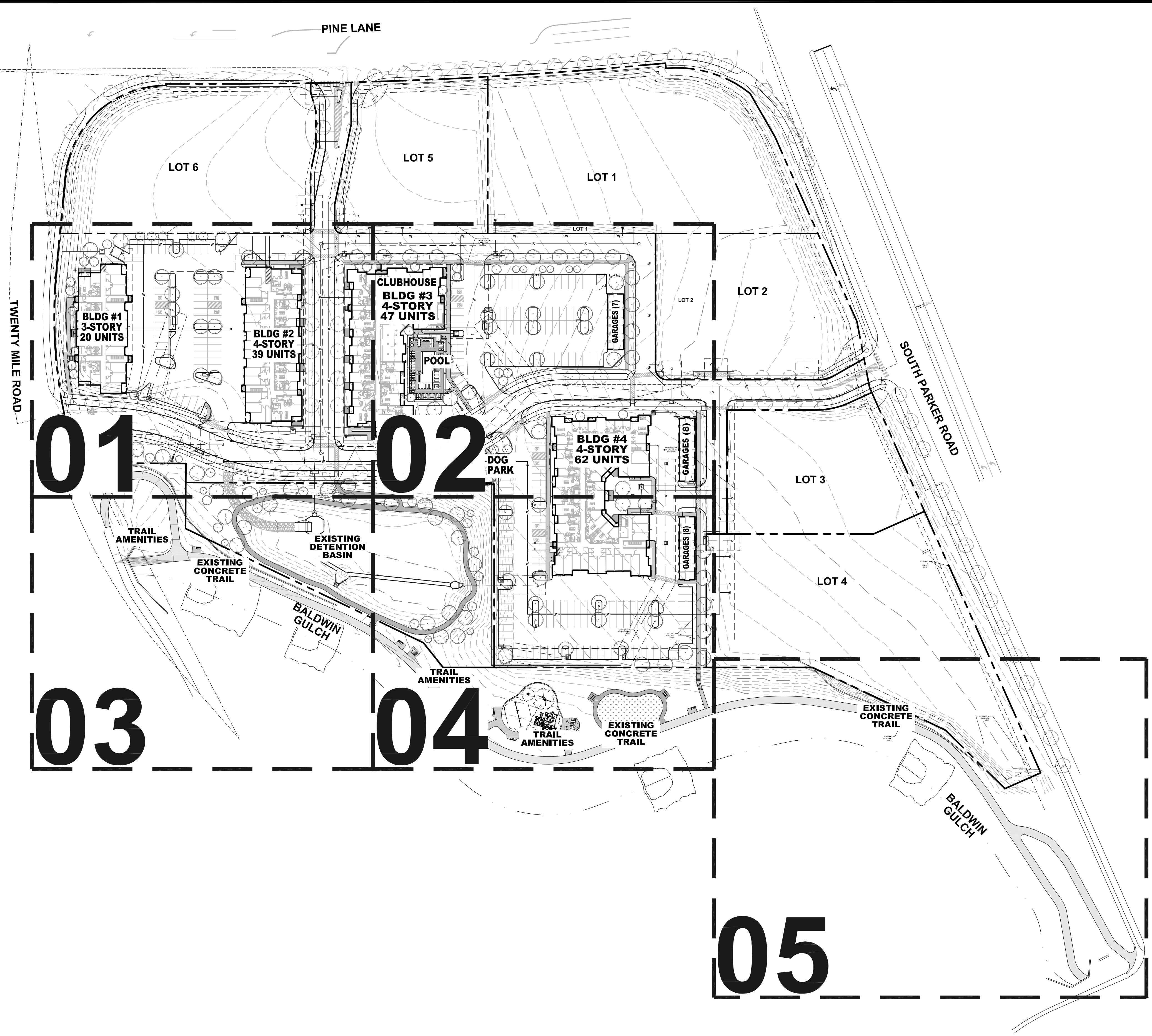
DESIGNED BY: NAS  
 DRAWN BY: NAS  
 CHECKED BY: TGC  
 DATE: 05/27/21

PARKER AND PINE FILING NO. 2 LOTS 1-3  
 PARKER, CO  
 MULTI-FAMILY SITE PLAN  
 GENERAL NOTES & LEGEND

PRELIMINARY  
 FOR REVIEW PURPOSES ONLY  
 AND SHALL NOT BE USED FOR  
 BIDDING, PERMITTING OR  
 CONSTRUCTION.  
 Nicholas Allen Smith  
 Registered Landscape Architect of the  
 State of COLORADO  
 Registration Number: 1436

**NOT FOR CONSTRUCTION**  
 PROJECT NO.  
 096481002





01

02

03

04

05

01 OVERALL PLAN

Scale In Feet: 1" = 70'-0"  
 0' 35' 70' 105' 175'

**PARKER COLORADO**  
 Final Document  
 Subject To Conditions In Approval Letter  
 APPROVED DATE: 07/16/2021  
 Planning Approval: **S. Nolas**  
 Call before you dig.

NO.	REVISION	BY	DATE	APPR

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SITE DATA TABLE						
SITE DATA	ACTUAL SF	MIN. AREA SF REQUIRED	% REQUIRED	% MAX.	% PROVIDED	CY COMPOST REQ'D @ 3/1000 SF
GROSS SITE AREA	413,536	N/A	N/A	N/A	100%	N/A
BUILDING COVERAGE	64,778	N/A	N/A	N/A	15.5%	N/A
HARD SURFACE AREA	156,381	N/A	N/A	N/A	38.0%	N/A
TOTAL LANDSCAPED AREA (EXCLUDING R.O.W.)	192,377	N/A	N/A	N/A	46.5%	SEE BELOW
LANDSCAPED AREA (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	16,836	N/A	N/A	N/A	N/A	SEE BELOW
IRRIGATED SOD (EXCLUDES R.O.W.)	29,201	N/A	N/A	N/A	8.1%	N/A
NATIVE GRASS - DETENTION POND (INSTALLED BY MASTER DEVELOPER)	69,855	N/A	N/A	N/A	N/A	175
DOG PARK & DOG YARD AREAS	2,432	N/A	N/A	N/A	.6%	N/A
POOL AREA	6,364	N/A	N/A	N/A	1.6%	N/A
PERMANENTLY IRRIGATED LANDSCAPE (INCLUDING R.O.W.)	53,682	N/A	N/A	N/A	N/A	161
IRRIGATED SOD (R.O.W.)	50	N/A	N/A	N/A	N/A	N/A
LANDSCAPE AREA (R.O.W.) (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES)	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL CY OF COMPOST: 325						
LANDSCAPE AREA - USED FOR PASSIVE AND/OR ACTIVE RECREATION	115,426	115,426	60% OF TOTAL LANDSCAPE AREA	N/A	60%	N/A
OPEN SPACE (INCLUDING LANDSCAPE, AMENITY AREAS & SIDEWALKS)	76,951	76,951	40%	N/A	40%	N/A

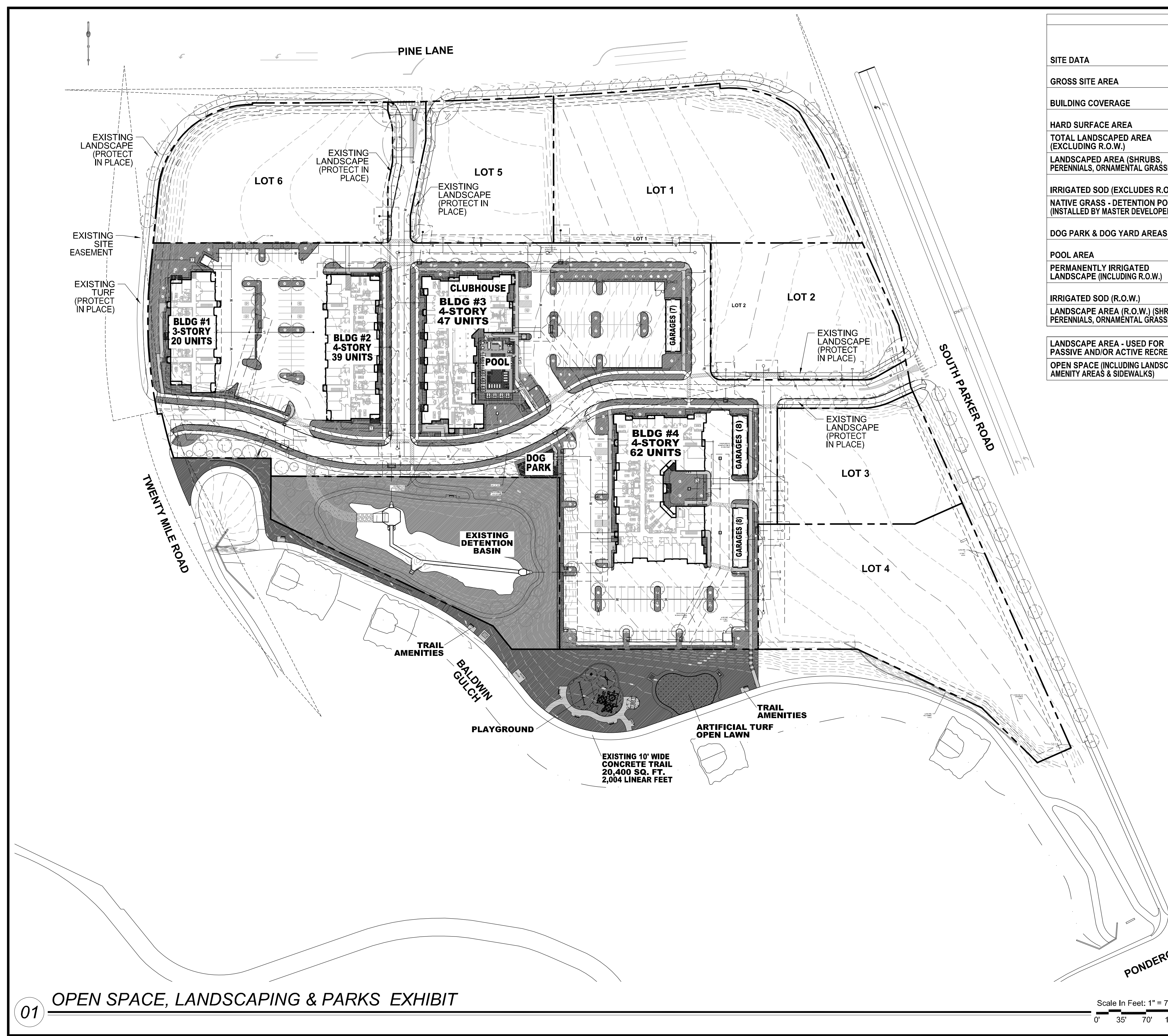
**OPEN SPACE EXHIBIT LEGEND:**

- IRRIGATED SOD: (EXCLUDES ROW) 33,781 SQ. FT.
- LANDSCAPED AREA: (SHRUBS, PERENNIALS, ORNAMENTAL GRASSES) 16,836 SQ. FT.
- NATIVE GRASS: (DETENTION BASIN TEMP-IRRIGATED) 69,855 SQ. FT.
- POOL AREA: 3,561 SQ. FT.
- DOG PARK & DOG YARD AREAS 2,432 SQ. FT.
- SIDEWALKS & TRAILS: 16,366 SQ. FT.
- OFF-SITE AMENITIES: (LANDSCAPE, SITE FURNISHINGS AND TRAIL IMPROVEMENTS) (PARK) 41,933 SQ. FT.

**ACTIVE & PASSIVE AMENITIES:**

**ON-SITE:** 1,150 SQ. FT. POOL, 81 SQ. FT. HOT TUB, TWO NATURAL GAS GRILLS, NATURAL GAS FIRE FEATURE, 1,600 SQ. FT. FENCE DOG PARK, 1,000 LINEAR FEET DECOMPOSED GRANITE WALKING TRAIL WITH ONE BENCH, ONCE PET WASTE STATION AND ONE TRASH RECEPTACLE.

**OFF-SITE:** SIX BENCHES, FOUR EXERCISE STATIONS, TWO PET WASTE STATIONS, TWO TRASH RECEPTACLES, PLAYGROUND AND SMALL SHELTER LOCATED ADJACENT TO EXISTING BALDWIN GULCH CONCRETE TRAIL. SECTIONS OF THE TRAIL IN NEED OF REPAIR WILL ALSO BE REPLACED AS PART OF THIS PROJECT.



NO.	REVISION	BY	DATE	APPR.

**THE GARRETT COMPANIES**  
 1051 GREENWOOD SPRINGS BLVD., GREENWOOD, IN 46143 317-866-7923

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