

PARKER AND PINE FILING NO. 2 LOTS 1-3 MULTI-FAMILY CONSTRUCTION DOCUMENTS

LOTS 1-3 AND TRACTS A-C, PARKER AND PINE FILING NO. 2
SITUATED IN THE SE 1/4 OF SECTION 9 AND THE SW 1/4 OF
SECTION 10, T.6S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS,
STATE OF COLORADO

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PARKER WATER AND SANITATION DISTRICT
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PARKER, CO 80134
TEL: 303-841-4627
CONTACT: DRAYTON SANDERSON

ELECTRICAL SERVICE:
IREA
5486 US HWY 85
SEDALIA, CO 80135
TEL: (303) 688-7431
CONTACT: AMANDA STEINER

TOWN OF PARKER:
TOWN OF PARKER
20120 EAST MAINSTREET
PARKER, CO 80138-7334
TEL: (303) 805-3199
CONTACT: STACEY NERGER

FIRE DEPARTMENT:
SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOVE

TOWN OF PARKER PLAN REVIEW:
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PARKER, CO 80138
TEL: (303) 805-3174
CONTACT: BRYCE MATTHEWS



VICINITY MAP
1" = 2,000'

LEGAL DESCRIPTION

LOTS 1-3 AND TRACTS A-C, PARKER AND PINE FILING NO. 2,
SITUATED IN THE SOUTHEAST 1/4 OF SECTION 9 AND THE
SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66
WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS,
STATE OF COLORADO.

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3 1/2" ALUMINUM
CAP.
ELEVATION = 5906.34 FEET (NAVD 1988), AS PUBLISHED BY
DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF
THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66
WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N00°17'51"E AS
REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO. 1
AND BOUND BY THE MONUMENTS SHOWN HEREON.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE
TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS
BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF
RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE
PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING
CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE
RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND
SIGNATURE ARE AFFIXED TO THIS DOCUMENT.
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE
IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE
UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT
PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE
COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.
TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

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FLOODPLAIN NOTE


BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS
PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP,
COMMUNITY PANEL NUMBER 08035C0067G AND DATED MARCH 16,
2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD
AREA.

SIGHT DISTANCE CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED
PARKER AND PINE MULTI-FAMILY PROJECT IS DESIGNED WITH
ADEQUATE CORNER SIGHT DISTANCE FOR ALL INTERSECTIONS AND
THE PEDESTRIAN CROSSING LOCATIONS. CONSIDERATION OF
LANDSCAPING IMPACTS TO THE CORNER SIGHT DISTANCE AT BOTH
INITIAL, AND MATURE GROWTH HAS BEEN REVIEWED. THE MINIMUM
CORNER SIGHT DISTANCE IS IN COMPLIANCE WITH AASHTO POLICY
ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS.

ENGINEER'S STATEMENT

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE
PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH
ALL APPLICABLE TOWN OF PARKER STANDARDS AND STATUTES,
RESPECTIVELY; AND THAT I AM FULLY RESPONSIBLE FOR THE
ACCURACY OF ALL DESIGN, REVISIONS, AND RECORD CONDITIONS
THAT I HAVE NOTED ON THESE PLANS.

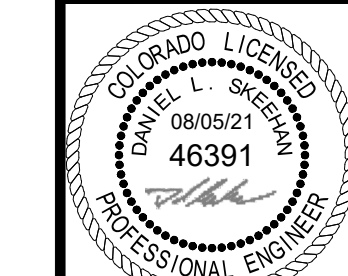

DANIEL L. SKEEHAN, P.E.
CO REGISTERED PROFESSIONAL NO. 46391
KIMLEY-HORN AND ASSOCIATES, INC.
4582 S. ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2318

NO.	REVISION	BY	DATE

Kimley»Horn
2020 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
DRAWN BY: JRK
CHECKED BY: DLS
DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY CONSTRUCTION DOCUMENTS
COVER SHEET



PROJECT NO.
096481002

DRAWING NAME
096481002CD_CD

C1.0



I:\projects\2021\08\05\096481002_CD_CD\096481002_CD_CD.dwg - Parker & Pine Multi-Family Project - Final Construction Documents - 08/05/21 - 10:57 AM
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TOWN OF PARKER CONSTRUCTION NOTES

- 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION...

GENERAL NOTES FOR CONTRACTOR

- 1. THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF THE PLANS. THE TOWN ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES...

TOWN OF PARKER STORM DRAINAGE INFRASTRUCTURE NOTES

- 1. ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION...

TOWN OF PARKER SIGNAGE AND STRIPING NOTES

- 1. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), COLORADO SUPPLEMENTAL MUTCD, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL...

\\parker-horn\acct\parker\draw\096481002D - Parker & Pines, MEY CADVA PLS (Sheets) CD\096481002D - CIV.dwg - Sheet 01 of 01 10/10/2010 10:57 AM

Table with columns: NO., REVISION, BY, DATE

Kimley»Horn logo and address: 2020 KIMLEY-HORN AND ASSOCIATES, INC. 4682 South Ulster Street, Suite 1500, Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS DRAWN BY: JRK CHECKED BY: DLS DATE: 08/05/21

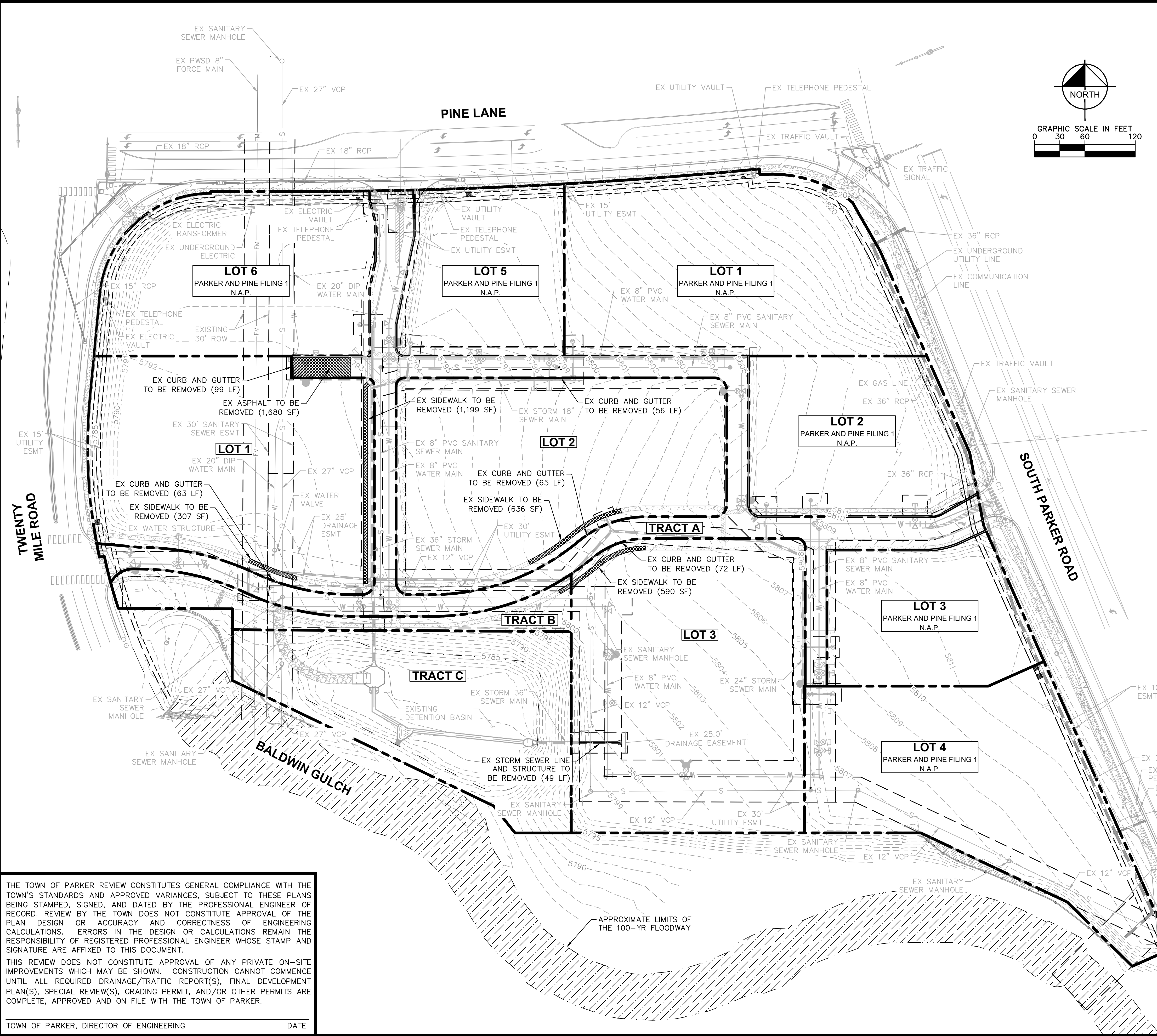
PARKER AND PINE FILING NO. 2 LOTS 1-3 PARKER, CO MULTI-FAMILY CONSTRUCTION DOCUMENTS GENERAL NOTES



PROJECT NO. 096481002 DRAWING NAME 096481002CD_CV C1.1

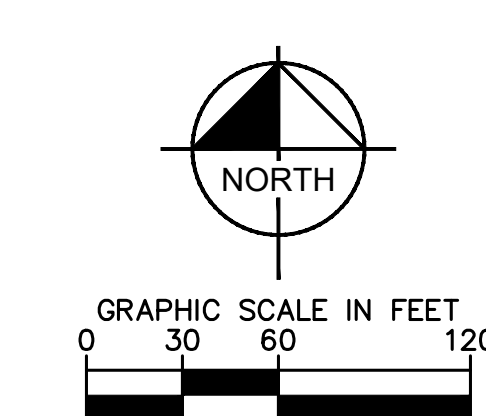


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LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING STORM SEWER LINE
- EXISTING UNDERGROUND POWER LINE
- E --- EXISTING FORCE PIPE
- W --- EXISTING WATER LINE
- G --- EXISTING GAS LINE
- T --- EXISTING TELECOMM LINE
- FO --- EXISTING COMMUNICATIONS LINE
- COM --- EXISTING CABLE LINE
- S --- EXISTING SANITARY SEWER LINE
- CTV --- EXISTING CCTV LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- ⊕ EXISTING WATER BEND
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER SERVICE
- ⊕ EXISTING SANITARY SEWER SERVICE
- ⊕ EXISTING SANITARY SEWER BEND
- ⊕ EXISTING STORM INLET
- ⊕ EXISTING OUTLET STRUCTURE
- ▨ DEMO CURB AND GUTTER
- ▨ DEMO SIDEWALK



DEMOLITION NOTES

1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
2. CONTRACTOR TO CONFIRM ALL UTILITY DISCONNECTS HAVE BEEN COMPLETED PRIOR TO DEMOLITION. DISCONNECTS SHALL BE MADE AT THE MAIN AND ANY UTILITY LINES REMOVED FROM THE SITE AS REQUIRED BY PARKER WATER & SANITATION DISTRICT OR THE TOWN OF PARKER ENGINEERING.
3. CONTRACTOR TO ENSURE UTILITY LOCATES HAVE BEEN PERFORMED PRIOR TO DEMOLITION ACTIVITIES.
4. ALL APPLICABLE PARKER WATER & SANITATION DISTRICT STANDARDS FOR REMOVAL/ABANDONMENT AND TAP CUT OFFS SHALL BE MAINTAINED.
5. ALL DRY UTILITY RELOCATIONS, DEMOLITION, SERVICE DISRUPTIONS AND NEW CONSTRUCTION SHALL BE COORDINATED BY THE CONTRACTOR WITH ALL UTILITY PROVIDERS AND ADJACENT PROPERTIES (XCEL ENERGY, COMCAST, CENTURYLINK, IREA, ADJACENT OWNERSHIP) IN ADVANCE OF THESE ACTIVITIES.
6. IMPROVEMENTS NOT NOTED FOR DEMOLITION/REMOVAL SHALL BE PROTECTED IN PLACE. CONTRACTOR SHALL CONTACT ENGINEER OF RECORD SHOULD ANY CONFLICTS EXIST.
7. CONTRACTOR TO TAKE CARE WHILE CONDUCTING DEMOLITION AND CONSTRUCTION ACTIVITIES IN PROXIMITY OF EXISTING GAS LINES. LICENSE AGREEMENT IS REQUIRED WITH XCEL ENERGY PRIOR TO CONSTRUCTION WITHIN EXISTING GAS EASEMENTS. CONTRACTOR TO POTHOLE EXISTING UTILITIES AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION AND CONSTRUCTION AS NECESSARY.
8. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH SITE CONDITIONS AT TIME OF PRICING. THIS DEMOLITION PLAN IS INTENDED TO DEPICT THE OBSERVABLE IMPROVEMENTS. ANY MISCELLANEOUS UTILITIES OR DEBRIS ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED AS A PART OF THE BASE SCOPE OF WORK.
9. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014. LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED.

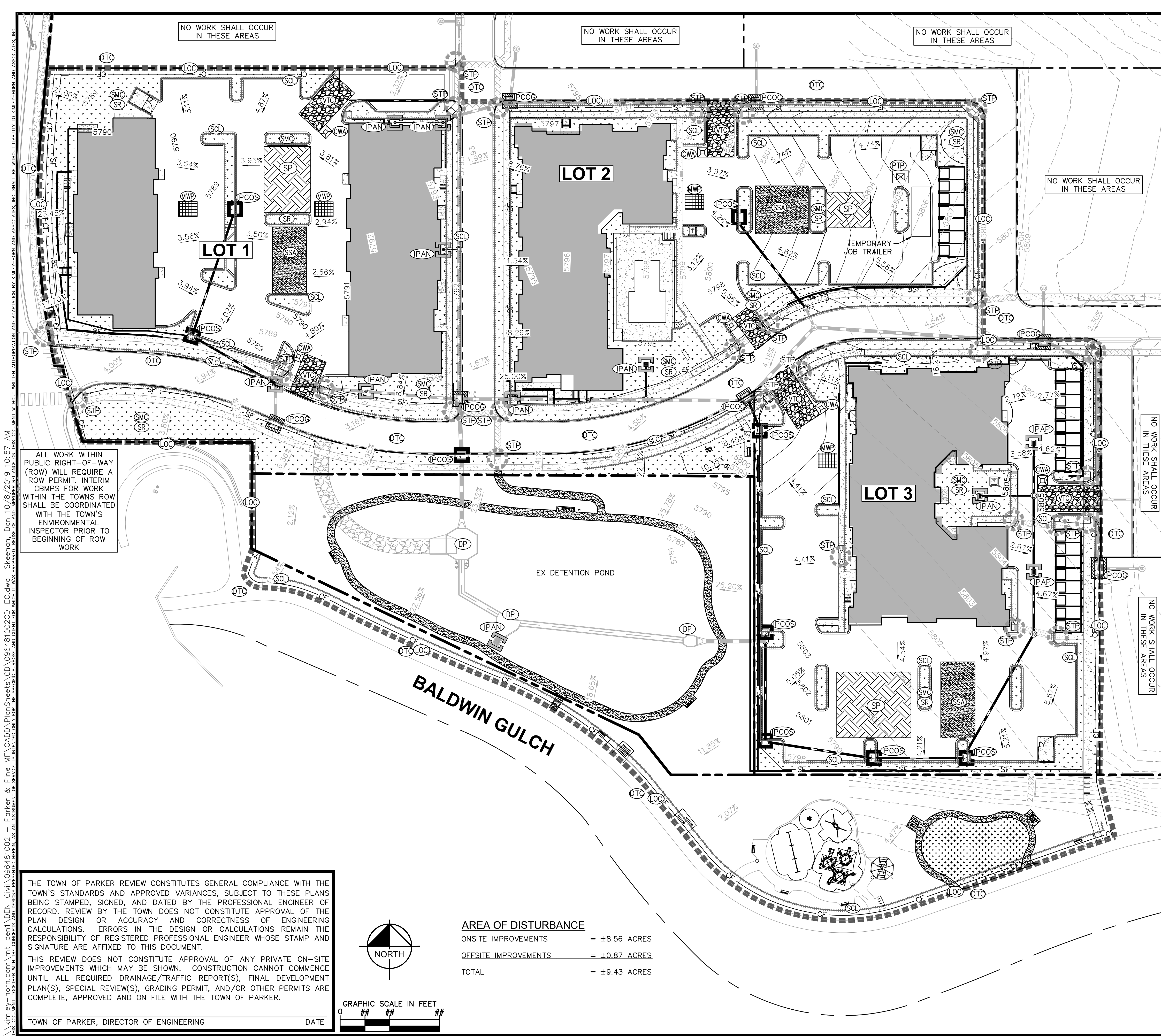
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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

<p>2020 KIMLEY-HORN AND ASSOCIATES, INC. 4582 South Ulster Street, Suite 1500 Denver, Colorado 80237 (303) 228-2300</p>	<p>DESIGNED BY: DLS DRAWN BY: JRK CHECKED BY: DLS DATE: 08/05/21</p>
<p>PARKER AND PINE FILING NO. 2 LOTS 1-3 PARKER, CO</p>	<p>PROJECT NO. 096481002</p>
<p>MULTI-FAMILY CONSTRUCTION DOCUMENTS EXISTING CONDITIONS AND DEMO PLAN</p>	<p>DRAWING NAME 096481002CD_DM</p>
	<p>C2.0</p>





LEGEND

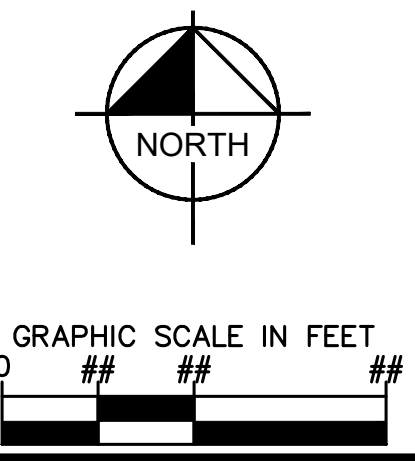
	LIMITS OF CONSTRUCTION
	CONSTRUCTION FENCE
	SILT FENCE
	STABILIZED STAGING AREA
	CONCRETE WASHOUT
	VEHICLE TRACKING CONTROL
	SOIL STOCKPILE
	PORTABLE TOILET PROTECTION
	EROSION CONTROL BLANKET (ROLLMAX S150 BY NORTH AMERICAN GREEN OR APPROVED EQUAL)
	CONTRACTOR TO SURFACE ROUGHING DISTURBED AREAS THAT REMAIN INACTIVE FOR 15 DAYS. SEEDING, MULCHING, AND CRIMPING TO BE TOWN OF PARKER SEED MIX PER THE LANDSCAPE PLANS
	INLET PROTECTION, CURB ON SUMP, TYPE R INLET
	INLET PROTECTION, CURB ON GRADE, TYPE R INLET
	INLET PROTECTION, AREA INLET NOT IN A PAVEMENT AREA
	INLET PROTECTION, AREA INLET IN PAVEMENT AREA
	SIDEWALK TRANSITION PROTECTION
	DEBRIS TRASH CONTROL
	MASONRY WORK PROTECTION
	SEDIMENT CONTROL LOG
	PROPOSED SLOPE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER

- ### GENERAL NOTES
- THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AS NEEDED DURING ACTIVE TRACKING.
 - TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
 - PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
 - CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
 - CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
 - CONTRACTOR TO UPDATE EROSION CONTROL LIVING DOCUMENT AS ADJUSTMENTS ARE MADE ON SITE.
 - THIS STORMWATER MANAGEMENT PLAN PROVIDES AN INITIAL RECOMMENDATION OF SITE EROSION CONTROL BEST MANAGEMENT PRACTICES BASED UPON REVIEW OF EXISTING SITE TOPOGRAPHY AND PROPOSED SITE CONDITIONS. THE OPERATOR MAY MODIFY INLET PROTECTION MEASURES SHOULD ACTUAL SITE CONDITIONS VARY. THE STORMWATER MANAGEMENT PLAN AND NARRATIVE SHALL BE AMENDED TO REFLECT SAID CHANGES.
 - SEE SHEET C3.2 FOR PHASING SEQUENCE DETAILS.
 - REFER TO LANDSCAPE AND IRRIGATION PLANS FOR PERMANENT STABILIZATION MEASURES.
 - TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GRATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN. INSTEAD, EROSION CONTROL BLANKET SHALL BE INSTALLED FOR A WIDTH OF AT LEAST 6- FEET ON BOTH SIDES OF THE CONCRETE LOW FLOW CHANNELS OR UP TO A DEPTH OF 1-FOOT IN SOIL RIPRAP OR BENCHED LOW FLOW CHANNELS. ADDITIONALLY, HYDRAULICALLY-APPLIED WOOD FIBER MULCH, STABILIZED FIBER MATRIX, BONDED FIBER MATRIX, OR FLEXIBLE GROWTH MEDIUM SHALL BE USED IN ALL OTHER AREAS WITHIN THE EXCESS URBAN RUNOFF VOLUME OF THE DETENTION BASIN. THE BLANKET AND HYDRAULICALLY-APPLIED MULCH SHALL COMPLY WITH THE MATERIALS AND INSTALLATION REQUIREMENTS FOR EROSION CONTROL BLANKETS AS REQUIRED BY THE TOWN'S CBMP PROGRAM, AND WHERE APPLICABLE, THE PRODUCT MANUFACTURER.
 - NO WORK SHALL OCCUR OUTSIDE THE DESIGNATED LIMITS OF CONSTRUCTION.
 - ALL PERIMETER PROTECTION TO REMAIN IN PLACE UNTIL THE SITE IS FULLY STABILIZED.
 - LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.
 - CONTRACTOR SHALL INSTALL SEDIMENT CONTROL LOGS ALONG ALL PAVED AREAS ADJACENT TO LANDSCAPE/PERVIOUS AREAS. THIS INCLUDES LANDSCAPE ISLANDS, PEDESTRIAN WALKS, AND TOP OF BACK OF CURB.

ALL WORK WITHIN PUBLIC RIGHT-OF-WAY (ROW) WILL REQUIRE A ROW PERMIT. INTERIM CBMPS FOR WORK WITHIN THE TOWN'S ROW SHALL BE COORDINATED WITH THE TOWN'S ENVIRONMENTAL INSPECTOR PRIOR TO BEGINNING OF ROW WORK

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AREA OF DISTURBANCE

ONSITE IMPROVEMENTS	= ±8.56 ACRES
OFFSITE IMPROVEMENTS	= ±0.87 ACRES
TOTAL	= ±9.43 ACRES

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

NO.	REVISION	BY	DATE

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 INTERIM-FINAL CBMP PLAN

PROFESSIONAL ENGINEER
 COLORADO LICENSED
 08/05/21
 46391

PROJECT NO.
 096481002

DRAWING NAME
 096481002CD_EC

C3.1



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PHASED BMP IMPLEMENTATION – INITIAL PHASE
THE INITIAL PHASE SHALL CONSIST OF THE TEMPORARY CONSTRUCTION BMPs TO MINIMIZE POTENTIAL FOR EROSION AND SEDIMENT TRANSFER WHILE MOBILIZING AND PREPARING THE SITE FOR CONSTRUCTION ACTIVITIES. THE SITE SUPERVISOR SHALL COMPLETE THE ANTICIPATED INITIAL PHASE SEQUENCING AS FOLLOWS:

1. CONTRACTOR TO OBTAIN TOWN EROSION CONTROL PERMIT AND STATE CONSTRUCTION ACTIVITIES DISCHARGE PERMIT IN ADVANCE OF START OF CONSTRUCTION.
2. INSTALL CONSTRUCTION FENCE AROUND LIMITS OF CONSTRUCTION (LOC) AT PROPERTY LINE OR LIMITS OF DISTURBANCE.
3. INSTALL STABILIZED VEHICLE TRACKING CONTROL PAD. THIS WILL BE THE FIRST CONSTRUCTION WORK ON THE PROJECT.
4. PREPARE STABILIZED STAGING AREA AND CONCRETE WASHOUT.
5. INSTALL PERIMETER SILT FENCE, AT DOWN GRADIENT LOCATIONS.
6. CONSTRUCT AND STABILIZE TEMPORARY SEDIMENT BASIN WITH APPROPRIATE OUT FALL STRUCTURES AFTER RECEIPT OF GRADING PERMIT (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL THE BASIN). TEMPORARY SEDIMENT BASINS SHALL REMAIN IN PLACE UNTIL ALL STORM SEWER AND PAVEMENT BASE COURSE HAVE BEEN INSTALLED OR INSTRUCTED IN THE SEQUENCE OF NOTES, DUE TO FIELD CONDITIONS OR INSPECTOR INPUT.
7. INSTALL DIVERSION DITCHES.
8. CALL TOWN OF PARKER FOR EROSION CONTROL INSPECTION.

PHASED BMP IMPLEMENTATION – INTERIM PHASE
THE INTERIM PHASE SHALL CONSIST OF THE TEMPORARY CONSTRUCTION BMPs TO MINIMIZE POTENTIAL FOR EROSION AND SEDIMENT TRANSFER DURING THE CONSTRUCTION UTILITIES AND SITE GRADING ASSOCIATED WITH THE PROPOSED RESIDENTIAL BUILDING. THE SITE SUPERVISOR SHALL COMPLETE THE ANTICIPATED INTERIM PHASE SEQUENCING AS FOLLOWS:

1. CONFIRM EXISTING BMPs WHICH ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION ARE IN WORKING ORDER AND COMPLIANT WITH APPLICABLE REGULATIONS.
2. REPAIR AND/OR REPLACE ANY EXISTING BMPs WHICH ARE DEEMED INADEQUATE.
3. STOCKPILE MATERIALS IN ACCORDANCE WITH THE STOCKPILE MANAGEMENT (SP) CBMP.

NOTE: SOIL STOCKPILES ARE DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES OR IS ANTICIPATED TO BE CEASED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITH TEMPORARY SEEDING OR OTHER STABILIZATION METHODS WITHIN 7 DAYS OF TEMPORARILY CEASING CONSTRUCTION.

NOTE: STOCKPILE AREAS SHOWN ON THE PLAN FOR REFERENCE ONLY. DUE TO THE CONSTRUCTION PHASES, REUSE OF DEMOLITION MATERIALS AND IMPORT REQUIRED, IT IS ANTICIPATED THAT ONSITE STOCKPILES WILL BE REQUIRED. CONTRACTOR SHALL IMPLEMENT STOCKPILE MANAGEMENT (SP) BMPs AT LOCATIONS REQUIRED BY CONSTRUCTION PHASING AND SEQUENCING AND NOTE SUCH ON THE STORMWATER MANAGEMENT SITE MAP.

4. INSTALL PRIVATE STORM, SANITARY, AND WATER FACILITIES.
5. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED. CONDUCT PERIODIC INSPECTIONS AT NOTED INTERVALS AS REQUIRED BY THE TOWN AND STATE OF COLORADO.

PHASED BMP IMPLEMENTATION – FINAL PHASE
THE FINAL PHASE SHALL CONSIST OF THE TEMPORARY CONSTRUCTION BMPs TO MINIMIZE POTENTIAL FOR EROSION AND SEDIMENT TRANSFER DURING THE CONSTRUCTION OF THE PROPOSED LIMITED SITE IMPROVEMENTS. THE SITE SUPERVISOR SHALL COMPLETE THE ANTICIPATED FINAL PHASE SEQUENCING AS FOLLOWS:

1. INSTALL DRY UTILITIES AND SET TRANSFORMERS AND METER BANKS IN COORDINATION WITH XCEL ENERGY AND IREA.
2. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
3. UPON COMPLETION OF STORM DRAINAGE SYSTEM, CONTRACTOR SHALL TAKE THE SEDIMENT BASIN OFF-LINE AND ESTABLISH DETAILED CONSTRUCTION OF DRAINAGE FACILITIES.
4. COMPLETE GRADING AND INSTALLATION OF POND.
5. PREPARE SITE FOR CURB, GUTTER, AND PAVING INSTALLATION.
6. PAVE SITE AND INSTALL HARDSCAPE.
7. REFER TO LANDSCAPING PLAN FOR PLANTING INFORMATION AND INSTALL FINAL STABILIZATION MEASURES.
8. CONTACT THE TOWN OF PARKER FOR FINAL INSPECTION.
9. REMOVE BMPs.
10. REFER TO LANDSCAPING PLAN FOR PLANTING INFORMATION AND INSTALL FINAL STABILIZATION MEASURES.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

	CD	CHECK DAM
	CF	CONSTRUCTION FENCE
	CP	CULVERT PROTECTION
	CWA	CONCRETE WASHOUT AREA
	D	DEWATERING
	DD	DIVERSION DITCH
	DP	DETENTION POND PROTECTION
	DTC	DEBRIS TRASH CONTROL
	ECB	EROSION CONTROL BLANKET
	IPAN	INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
	IPAP	INLET PROTECTION FOR AREA INLETS IN PAVEMENT
	IPCOG	INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
	IPCOS	INLET PROTECTION, CURB ON SUMP, TYPE R INLET

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

1. GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
2. THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
3. ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
4. THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
5. THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
6. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (a.k.a. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
7. THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
8. IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
9. AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
10. AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
 - (i) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - (ii) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - (iii) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

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CONSTRUCTION BEST MANAGEMENT PRACTICES
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	LP	LOT PROTECTION
	MWP	MASONRY WORK PROTECTION
	PTP	PORTABLE TOILET PROTECTION
	RCSC	ROUGH CUT STREET CONTROL
	RS	ROCK SOCK
	RSS	ROCK SOCK IN SWALE
	SB	STRAW BALE
	SCL	SEDIMENT CONTROL LOGS
	SF	SILT FENCE
	SMC	SEEDING, MULCHING AND CRIMPING
	SR	SURFACE ROUGHING
	SSA	STABILIZED STAGING AREA
	STP	SIDEWALK TRANSITION PROTECTION

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
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Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

11. ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
12. ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
13. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
14. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
15. ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
16. ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
17. ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
18. ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
19. THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
20. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
21. NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
22. ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
23. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
24. A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

	TI	TEMPORARY IRRIGATION
	TSB	TEMPORARY SEDIMENT BASIN
	VTC	VEHICLE TRACKING CONTROL

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
3 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

25. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
26. THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
27. VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
28. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
29. HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
30. APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
31. GRADING SECURITY RELEASE REQUIREMENTS:
 - 1) DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
 - A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - B. UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
 - C. ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - D. IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
 - E. WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
 - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
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3 OF 4
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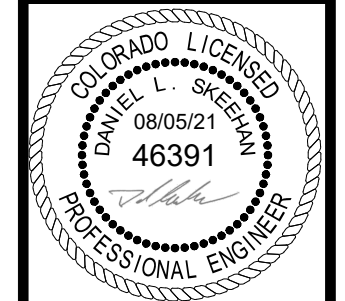


NO.	REVISION	BY	DATE

Kimley»Horn
2020 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

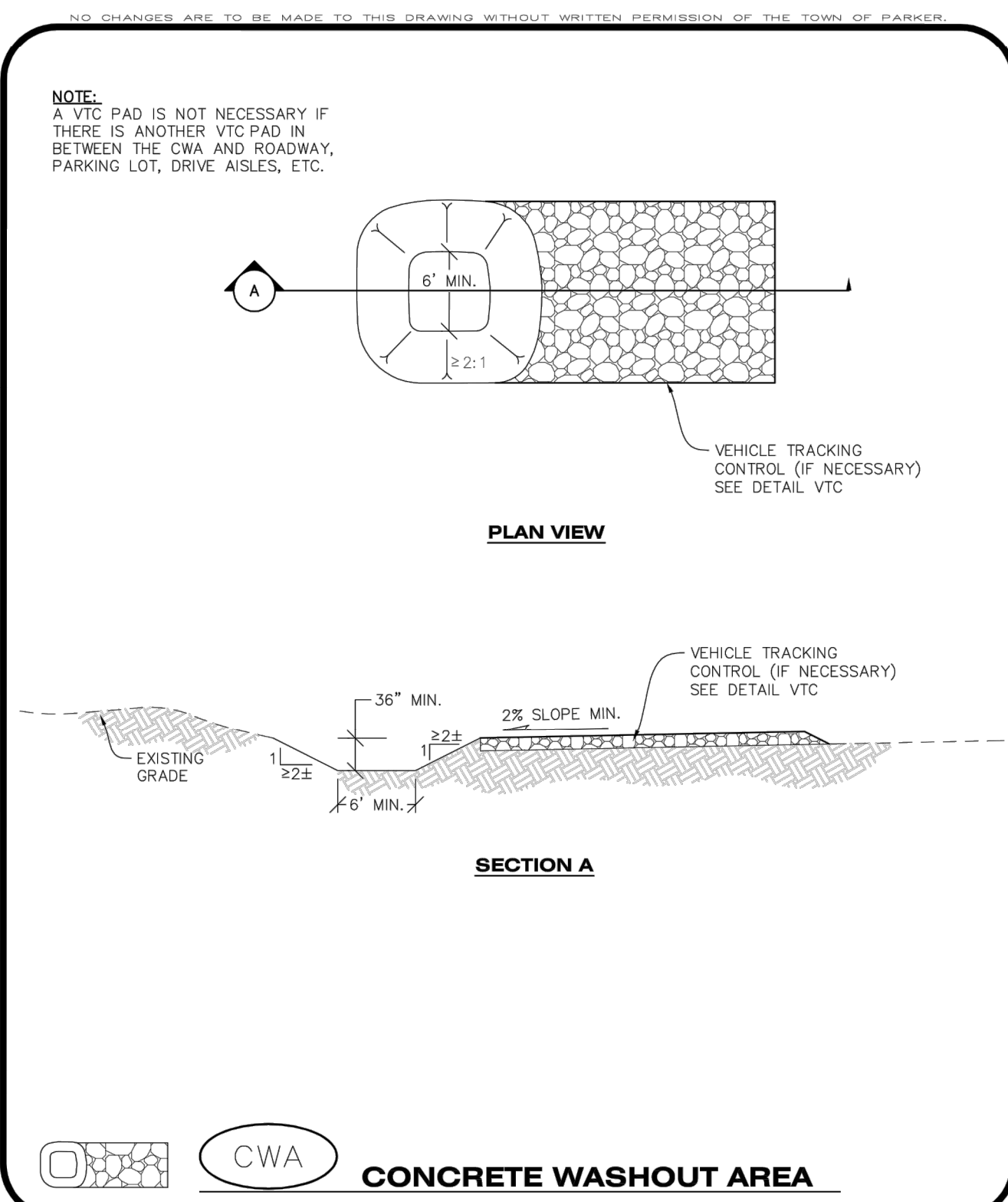
DESIGNED BY: DLS
DRAWN BY: JRK
CHECKED BY: DLS
DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY CONSTRUCTION DOCUMENTS
CBMP DETAILS

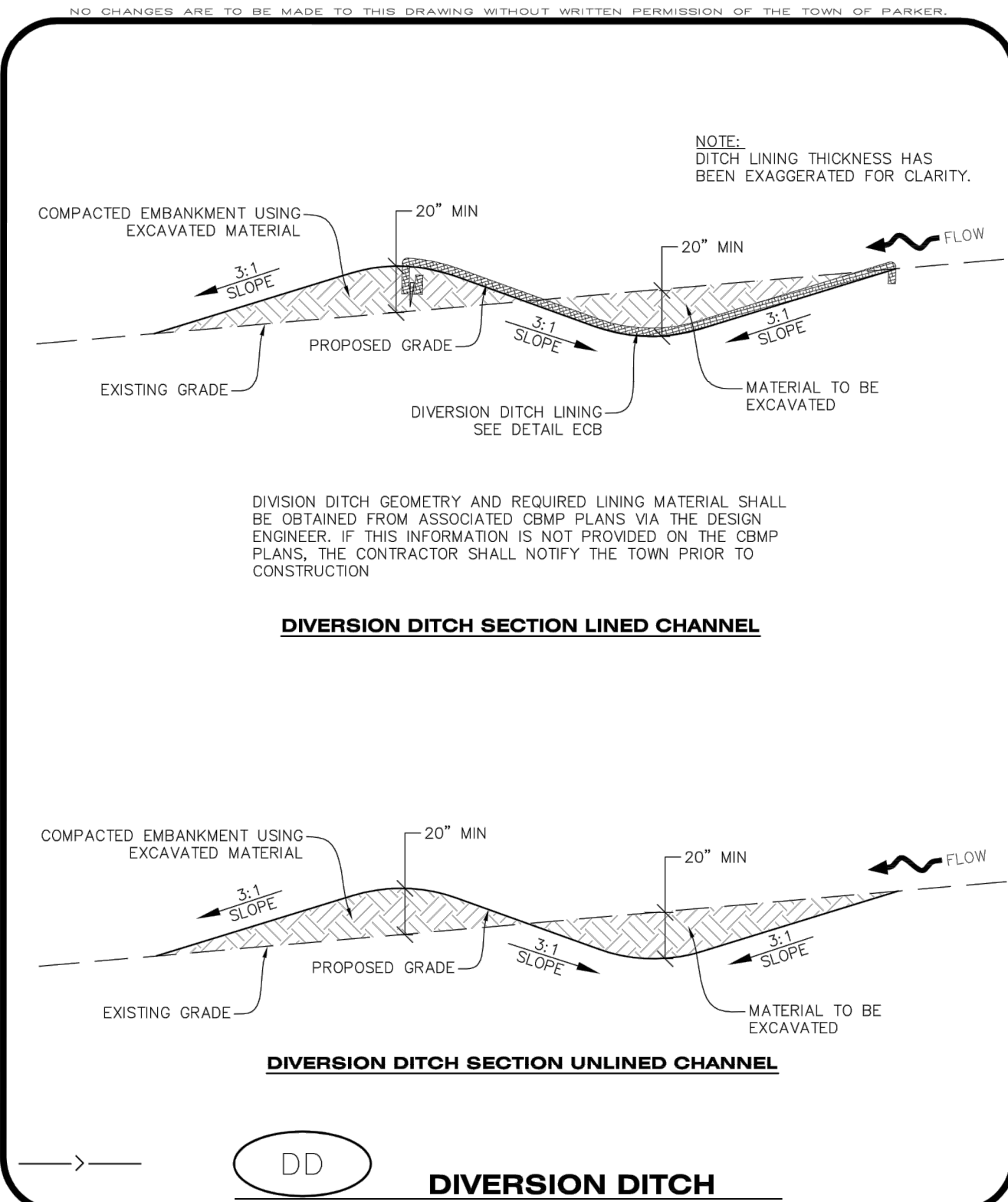


PROJECT NO.
096481002
DRAWING NAME
096481002EC_DT
C3.2

1. THE TOWN OF PARKER, COLORADO, IS PROVIDING THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
 2. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSES WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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Parker COLORADO | **CBMP** | **CWA**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013



Parker COLORADO | **CBMP** | **DD**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

CONCRETE WASHOUT AREA INSTALLATION NOTES

1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

Parker COLORADO | **CBMP** | **CWA**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

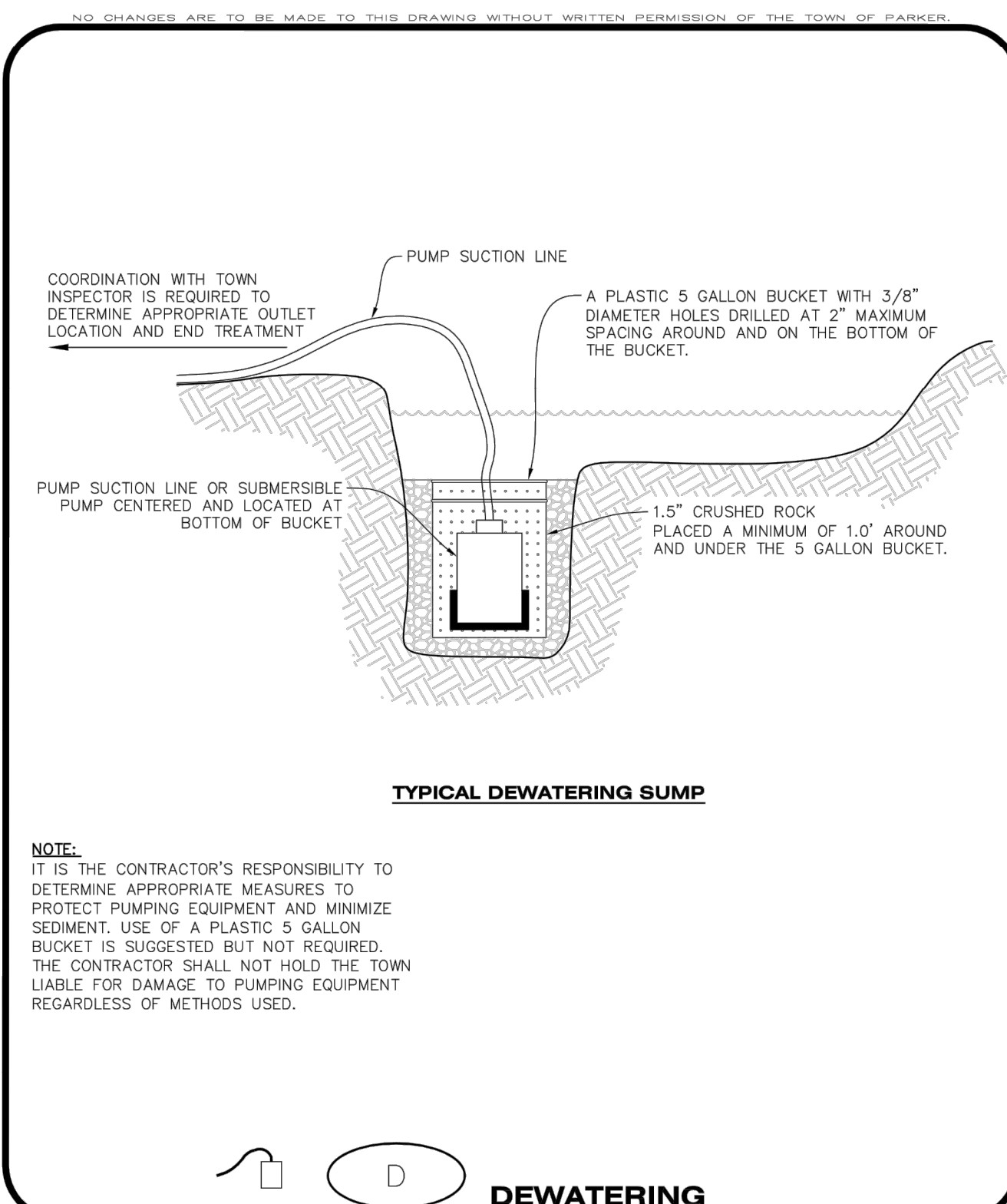
DIVERSION DITCH INSTALLATION NOTES

1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
2. A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
3. ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
4. THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
5. THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

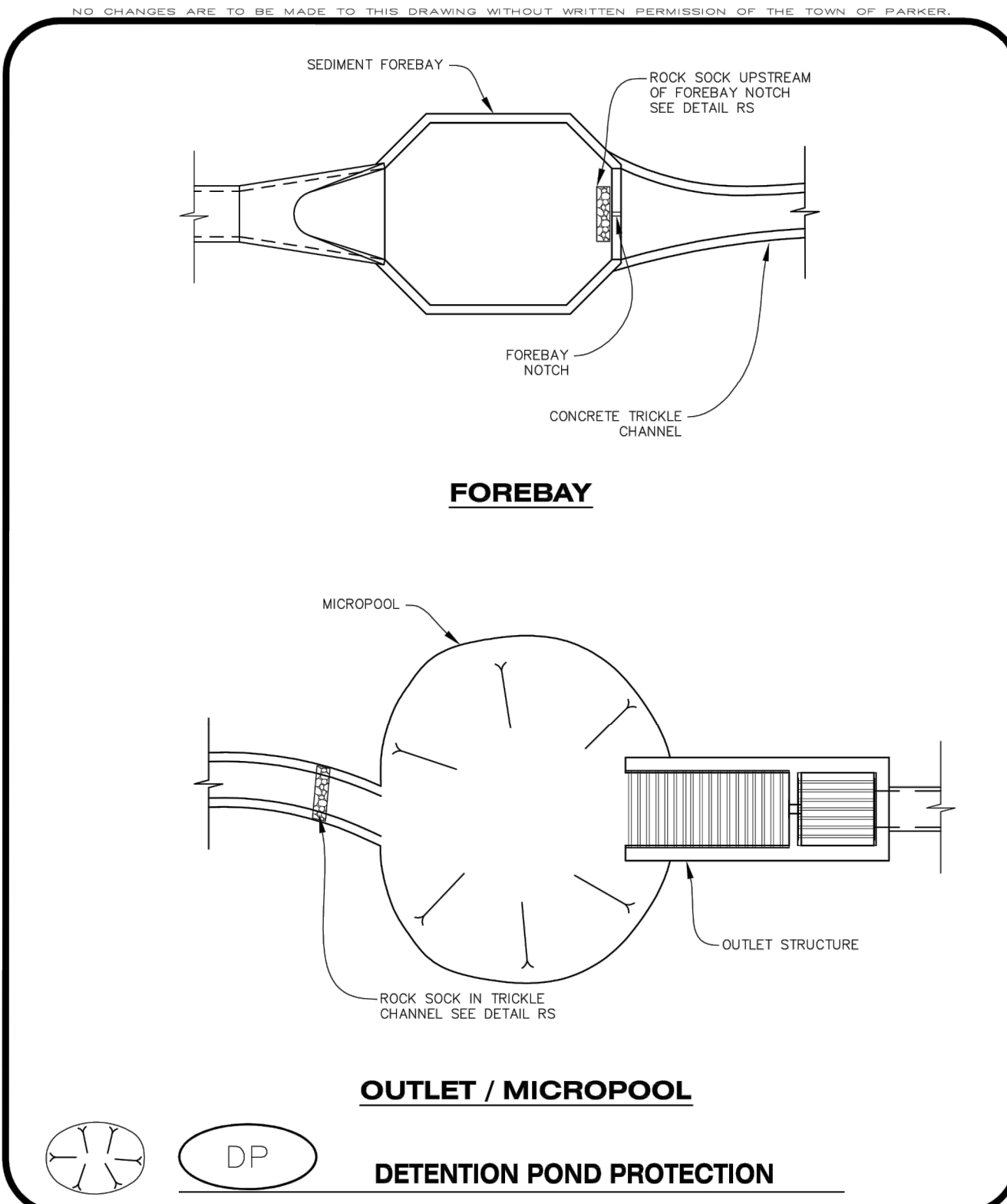
DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
3. DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
4. DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

Parker COLORADO | **CBMP** | **DD**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013



Parker COLORADO | **CBMP** | **D**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013



Parker COLORADO | **CBMP** | **DP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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DEWATERING INSTALLATION NOTES

1. IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

DEWATERING MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

Parker COLORADO | **CBMP** | **D**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DETENTION POND PROTECTION INSTALLATION NOTES

1. DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
3. OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

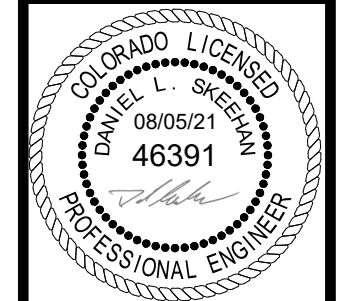
Parker COLORADO | **CBMP** | **DP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013

NO.	REVISION	BY	DATE

Kimley»Horn
2020 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

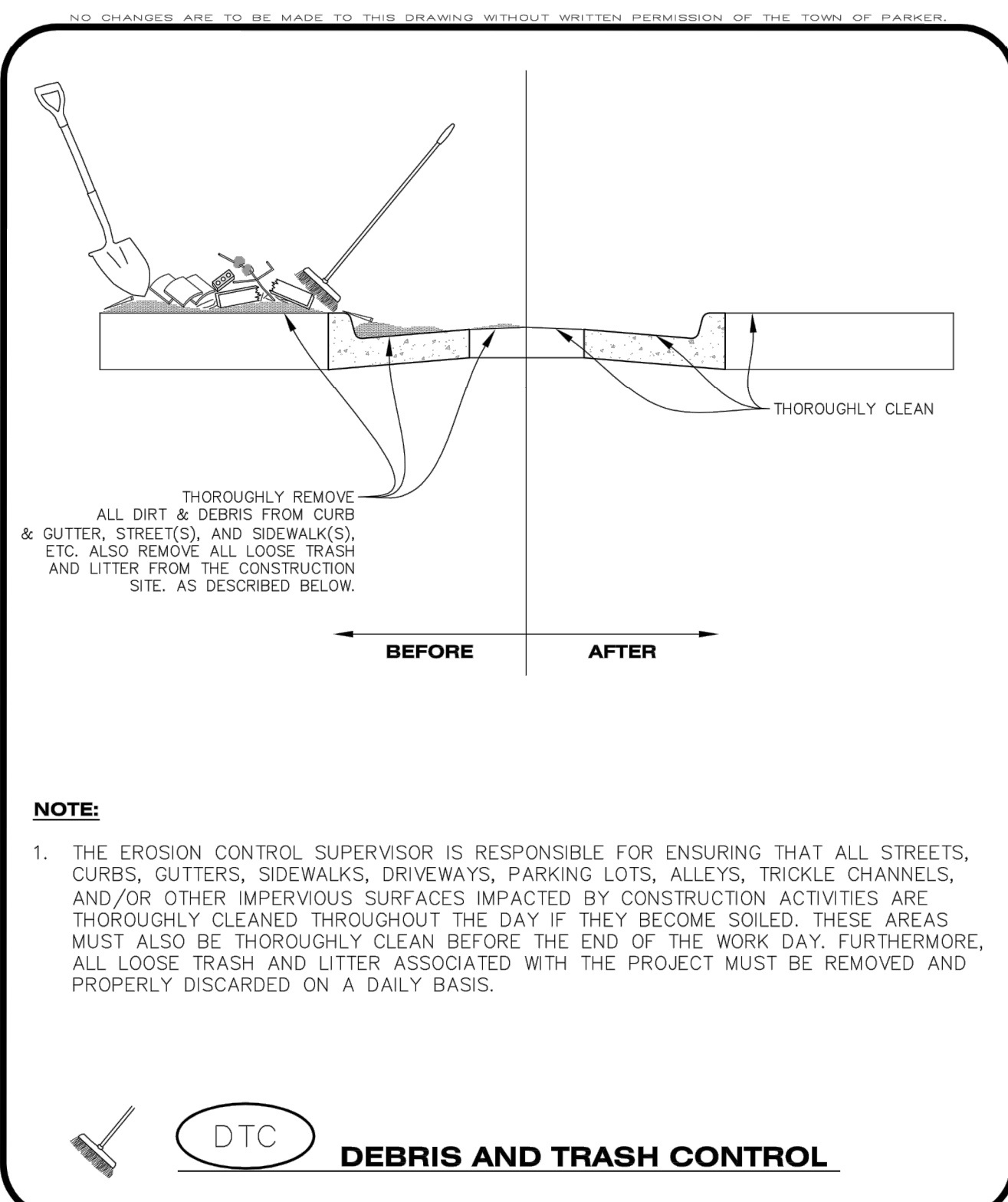
DESIGNED BY: DLS
DRAWN BY: JRK
CHECKED BY: DLS
DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY CONSTRUCTION DOCUMENTS
CBMP DETAILS

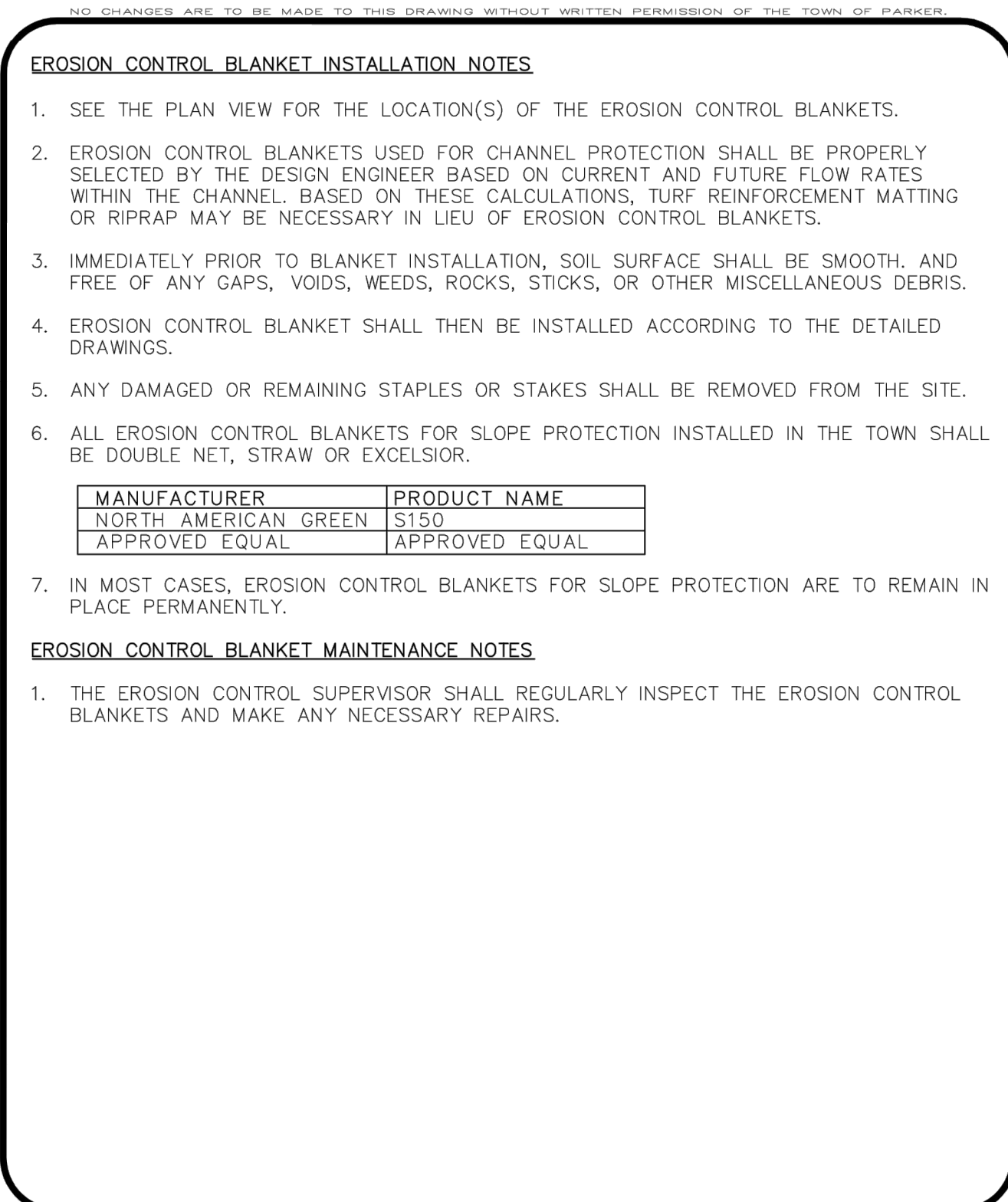


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DRAWING NAME
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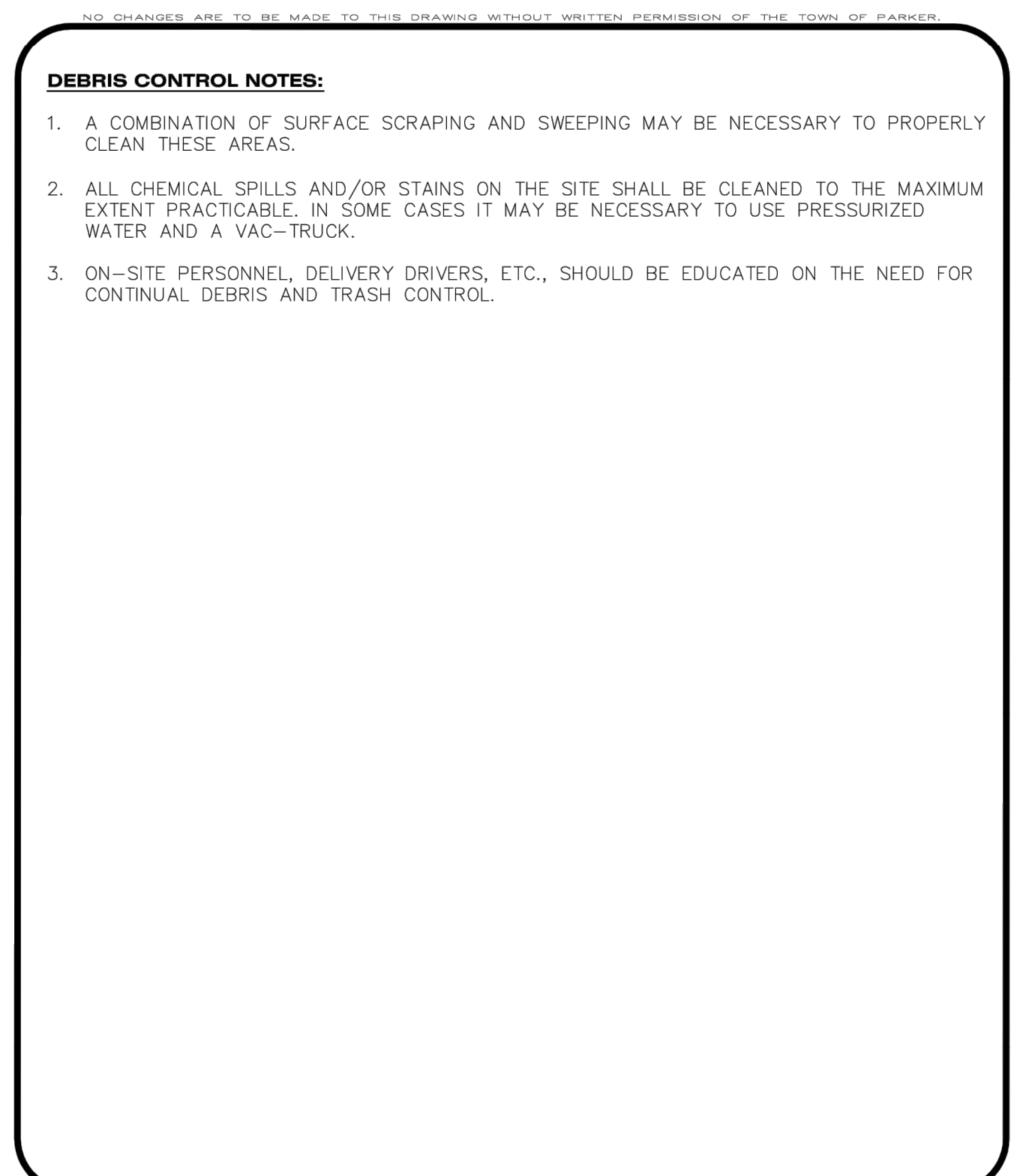




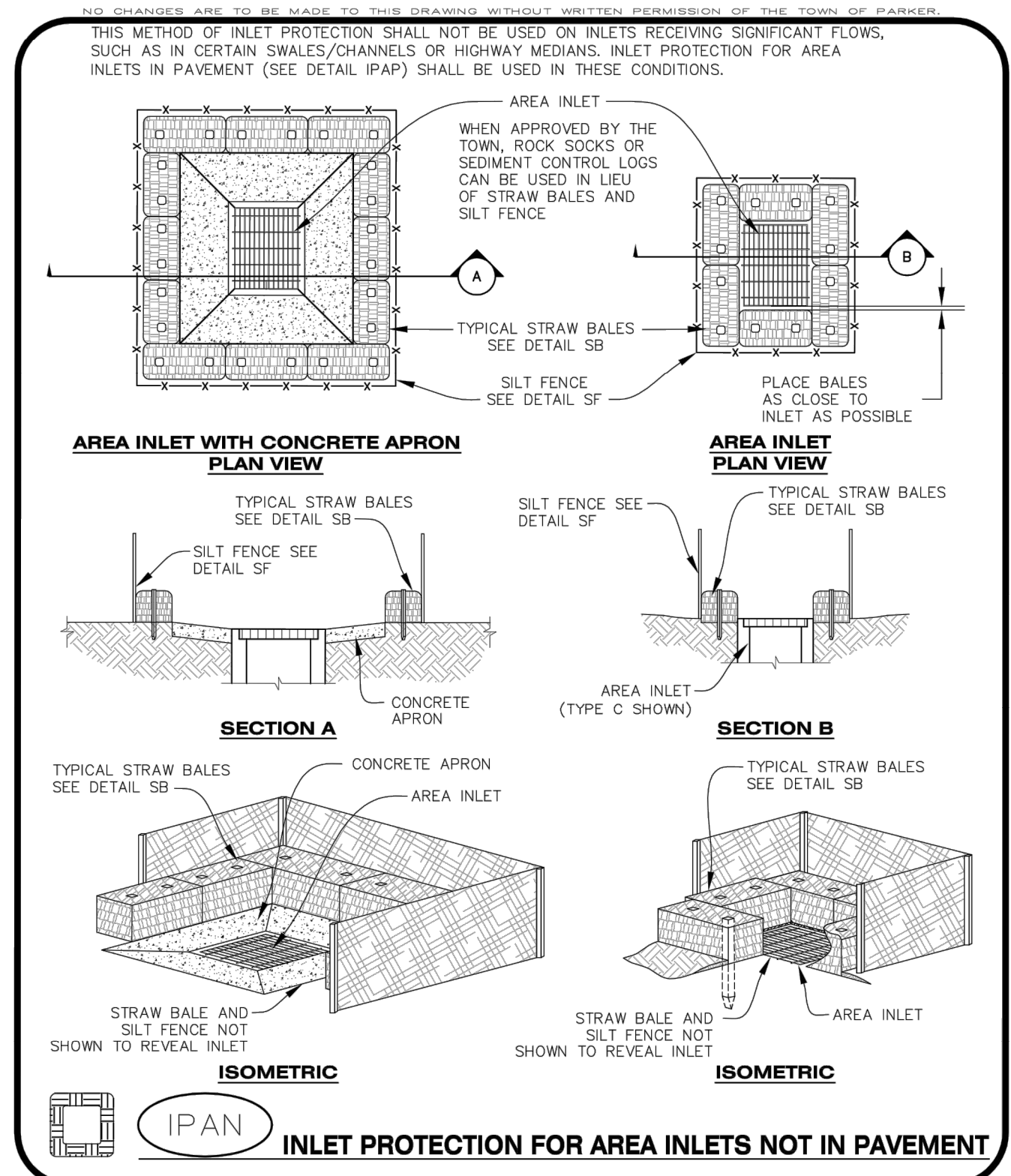
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013



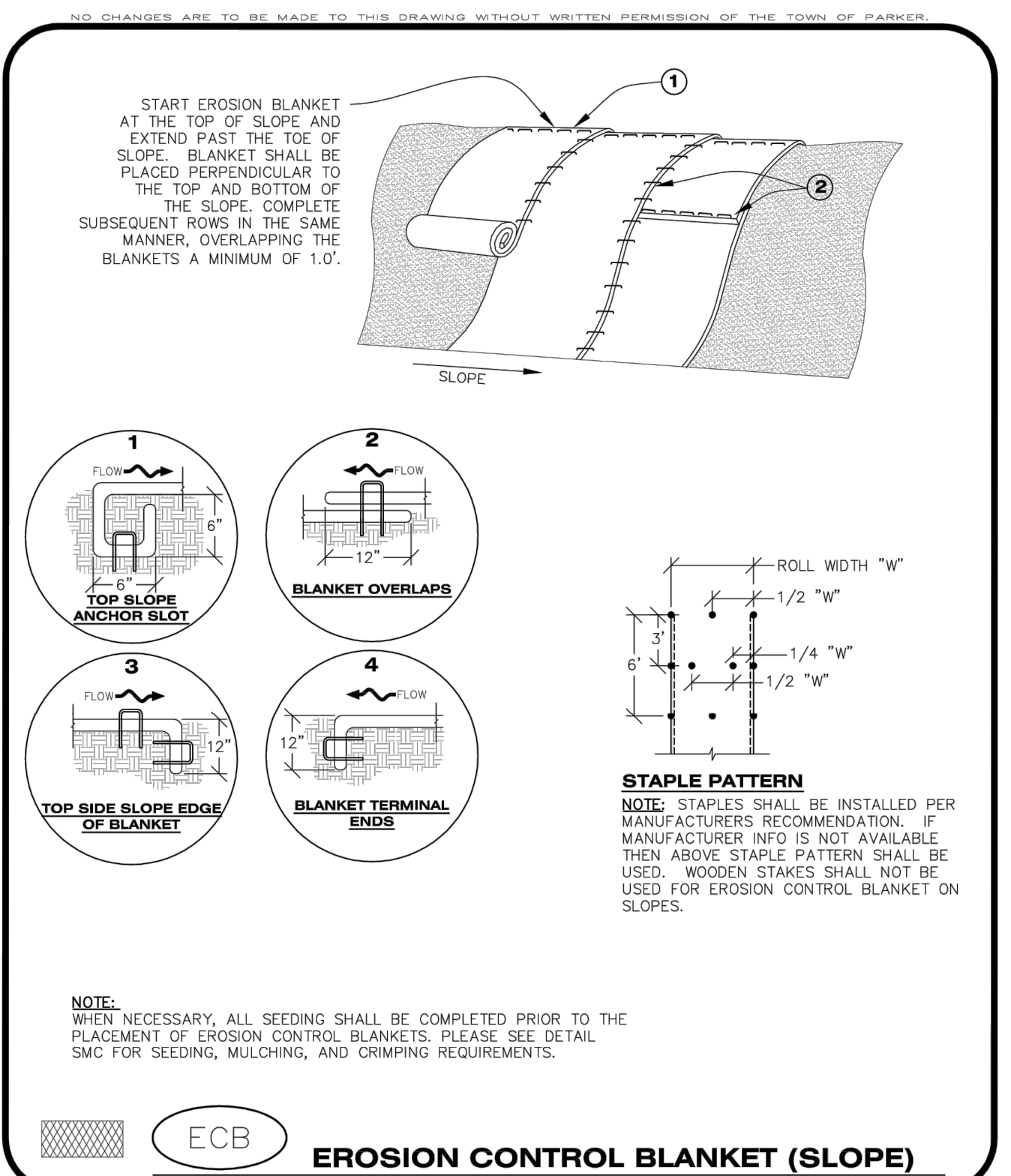
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
Oct. 2013



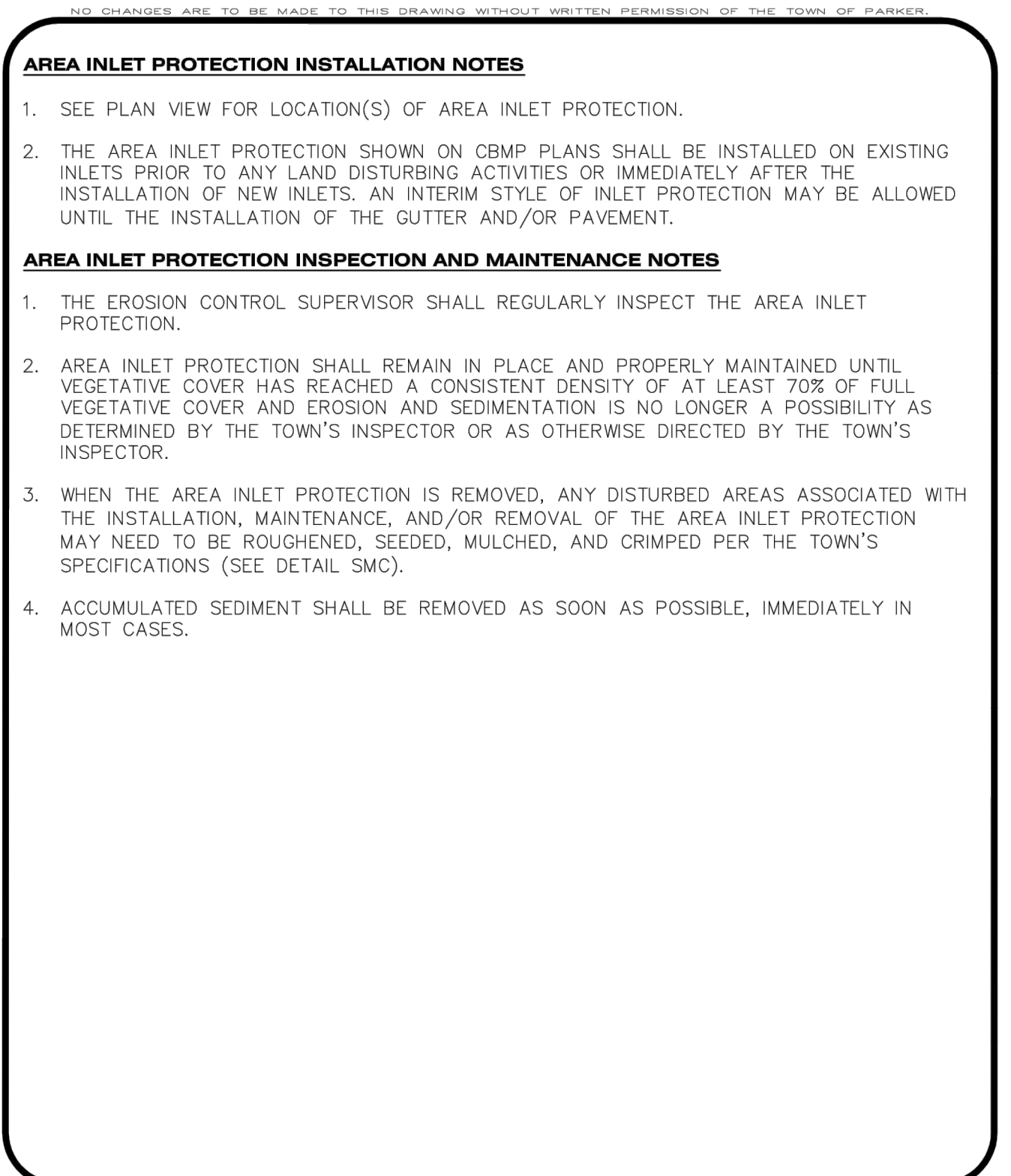
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013



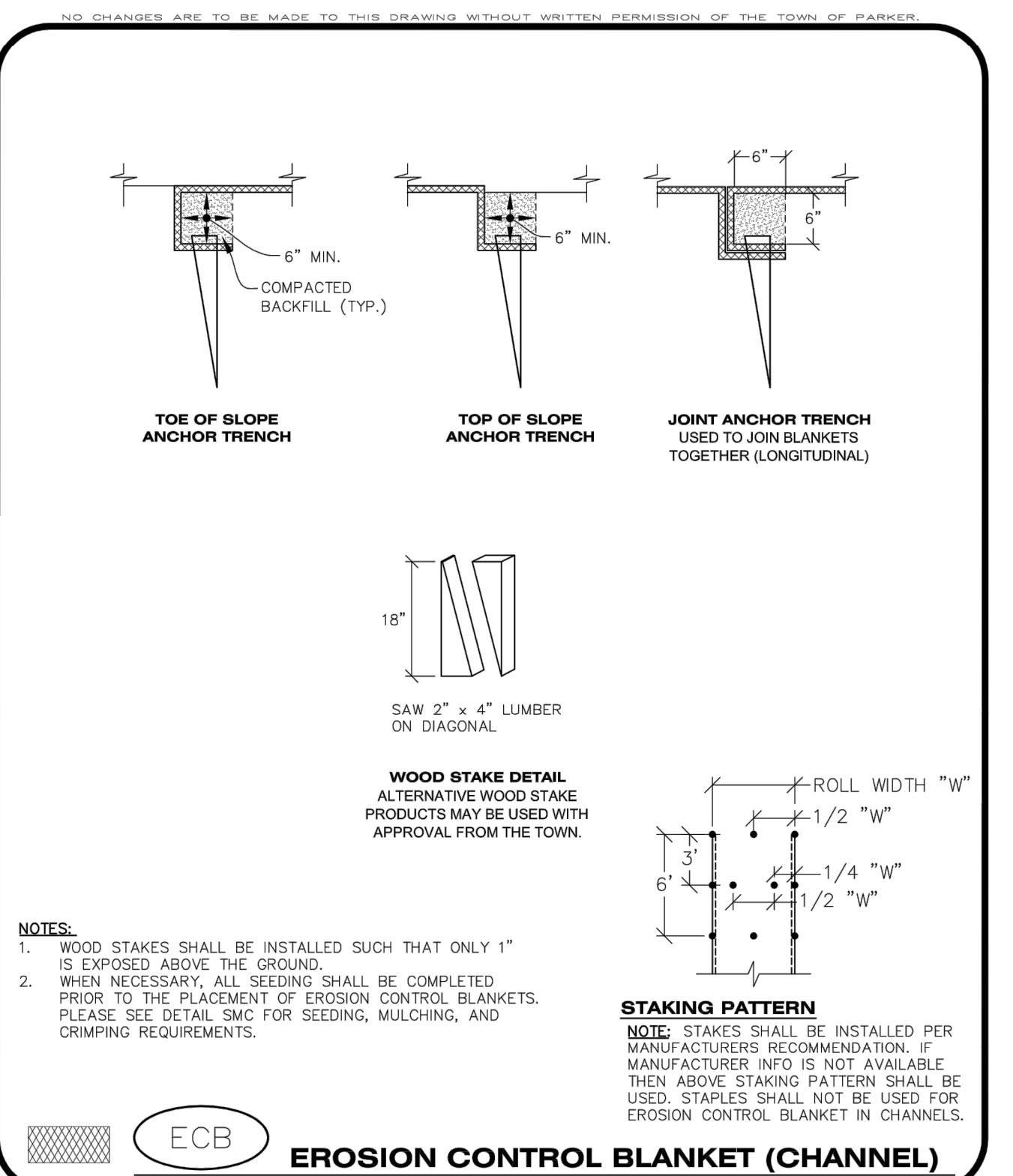
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1
Oct. 2013



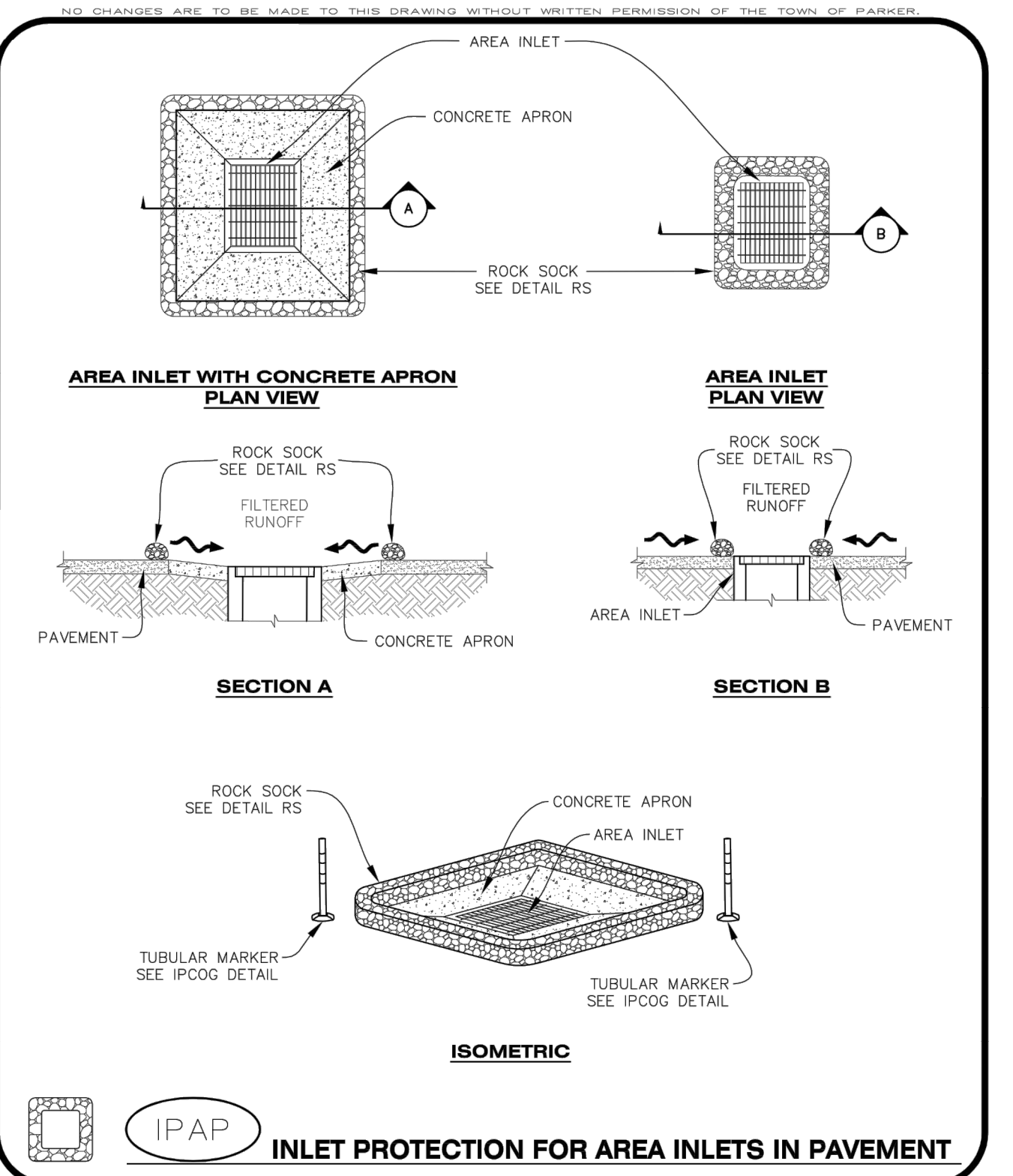
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3
Oct. 2013



Parker COLORADO | **CBMP** | **IPA**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1
Oct. 2013



Parker COLORADO | **CBMP** | **ECB**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
Oct. 2013



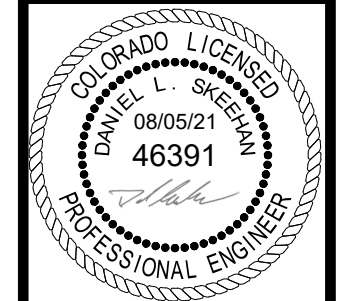
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CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1
Oct. 2013

NO.	REVISION	BY	DATE

Kimley»Horn
2020 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
DRAWN BY: JRK
CHECKED BY: DLS
DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY CONSTRUCTION DOCUMENTS
CBMP DETAILS



PROJECT NO.
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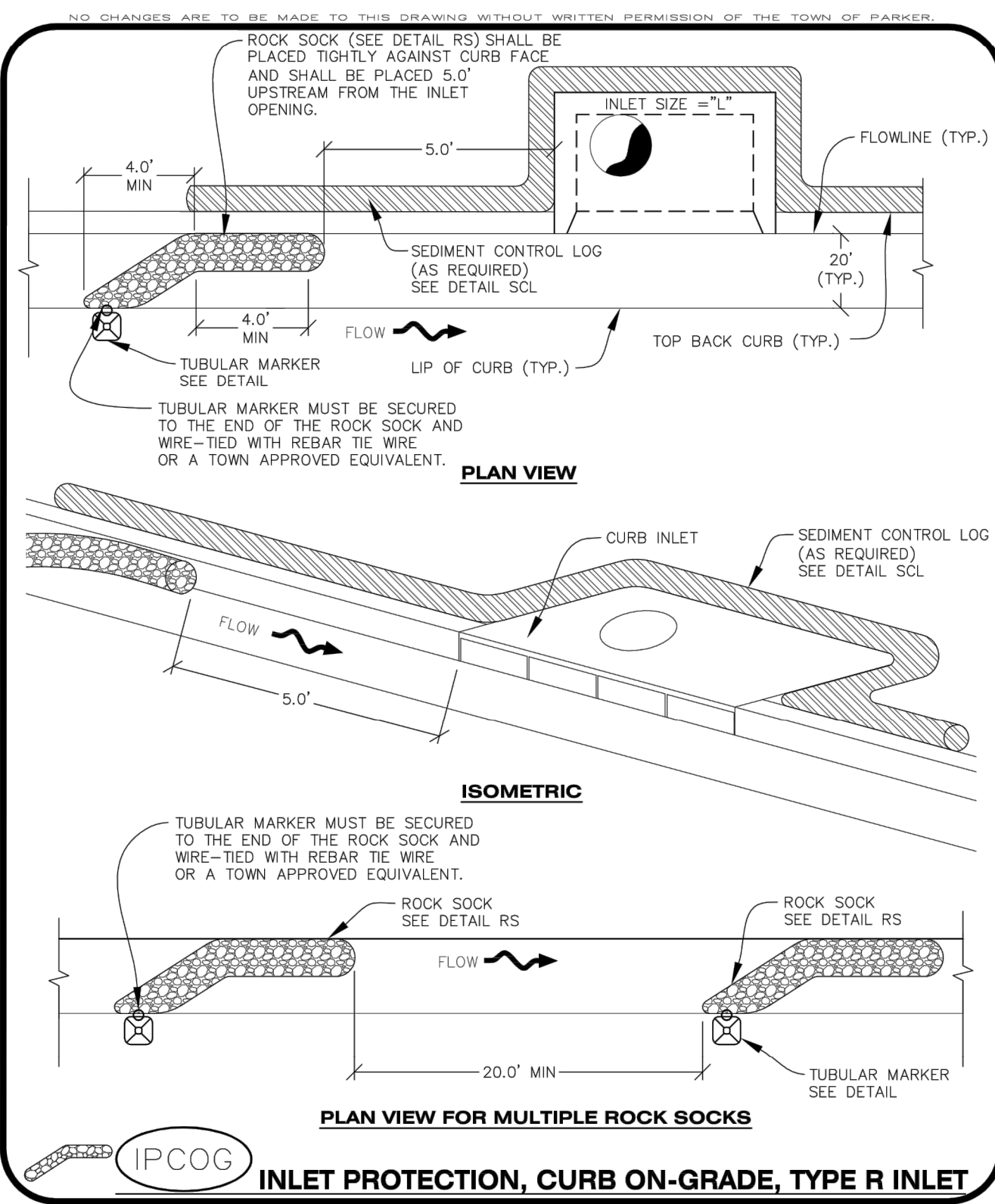
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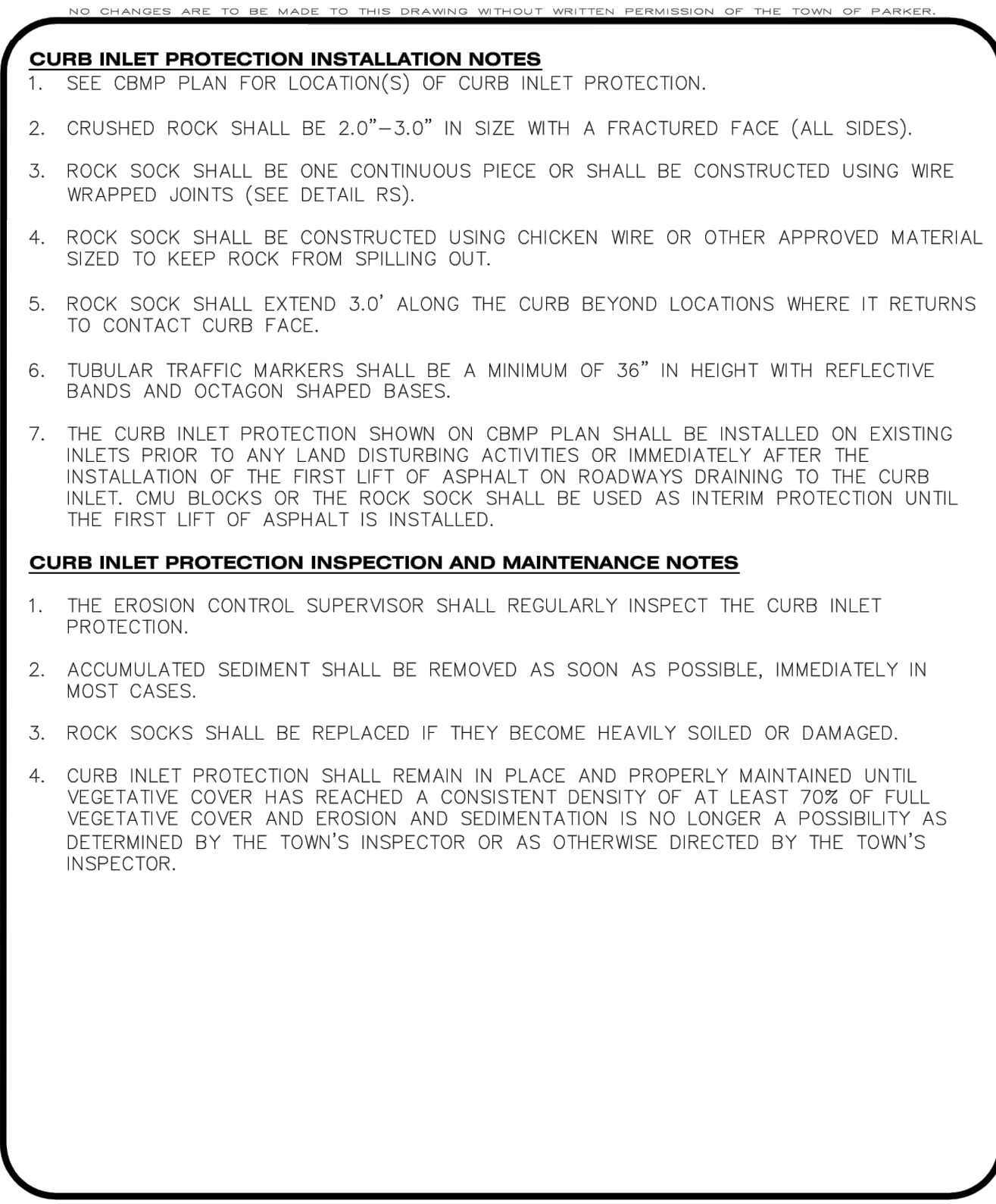


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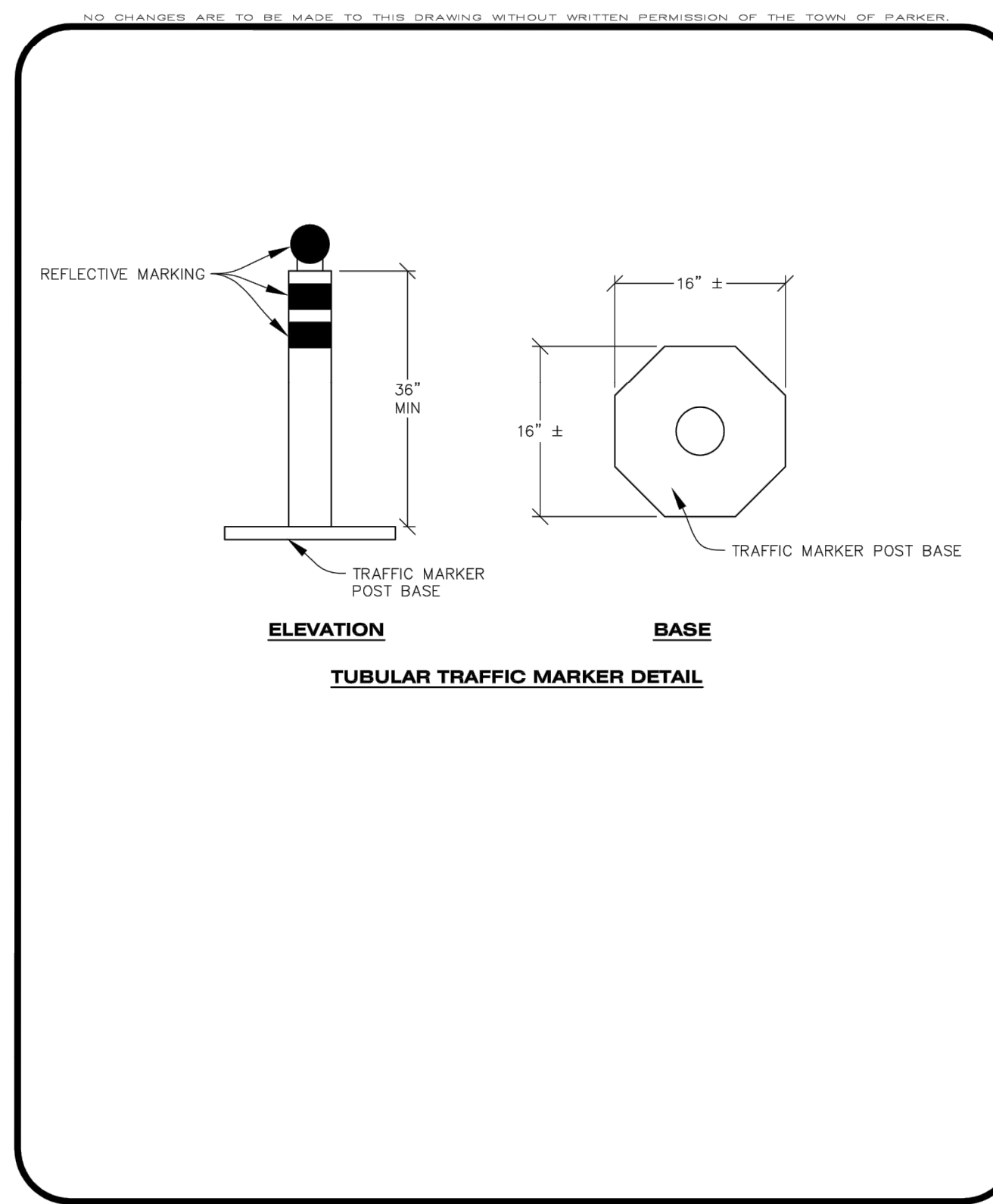
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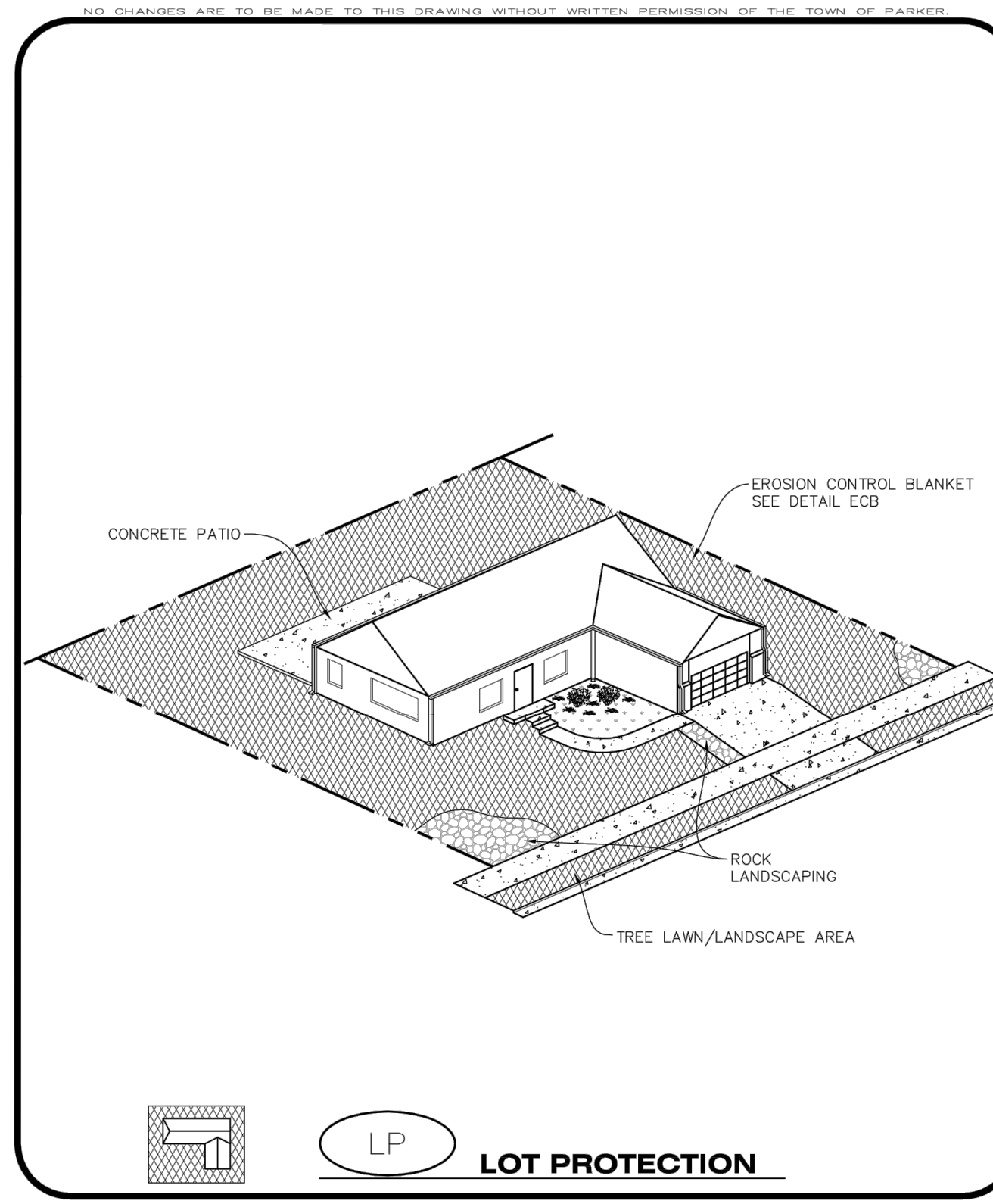
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **1 OF 3**
 Oct. 2013



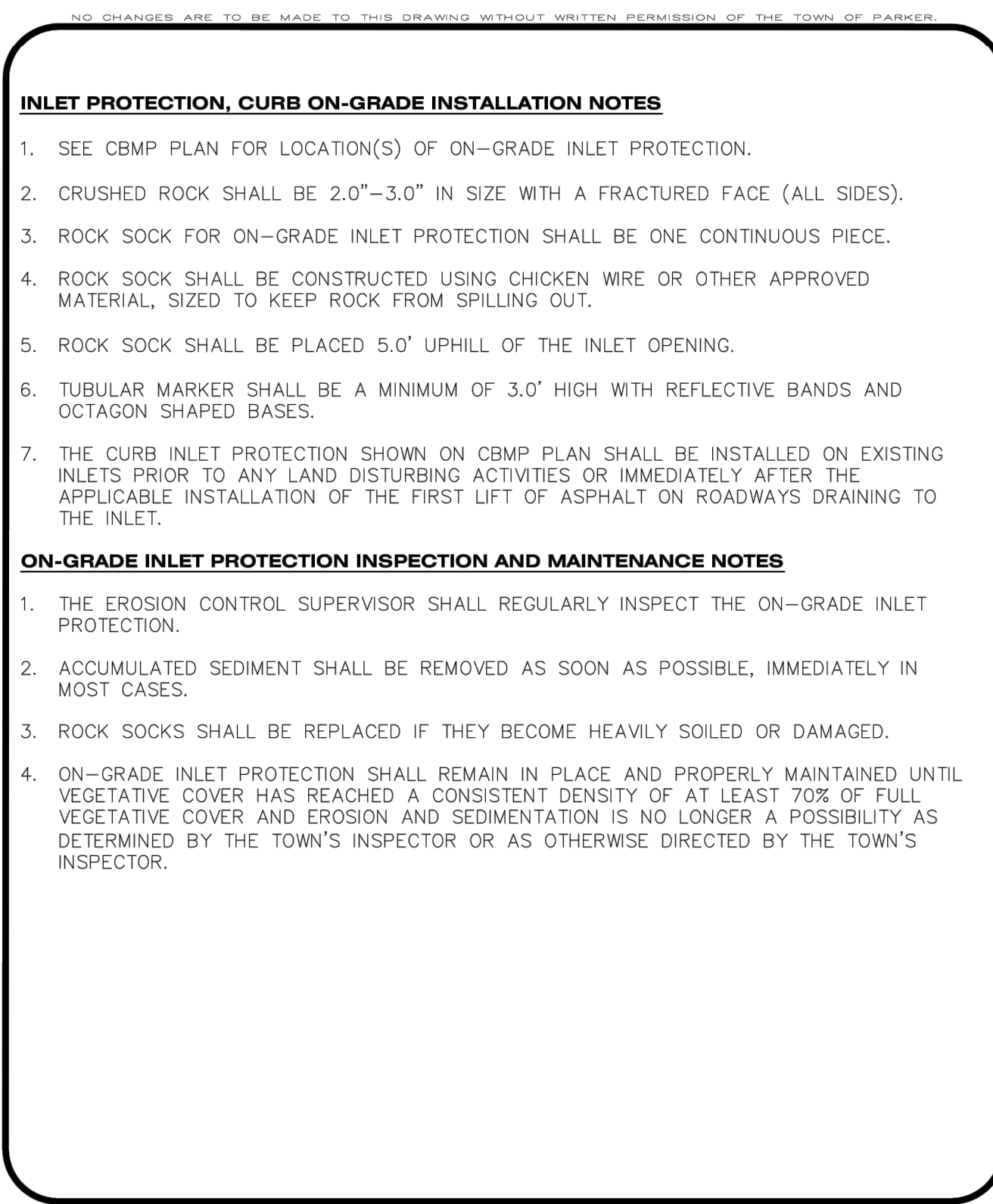
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **2 OF 2**
 Oct. 2013



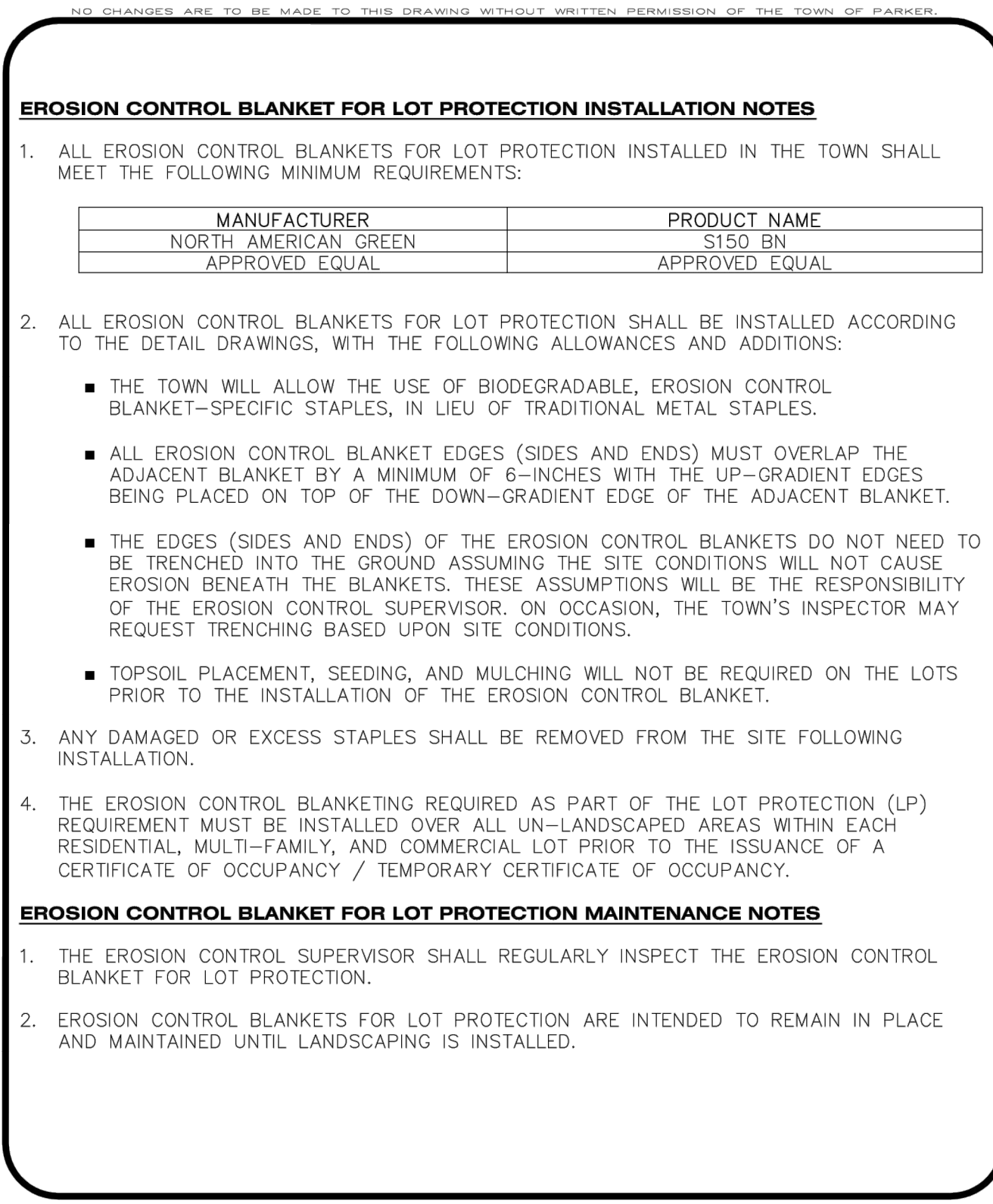
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **2 OF 3**
 Oct. 2013



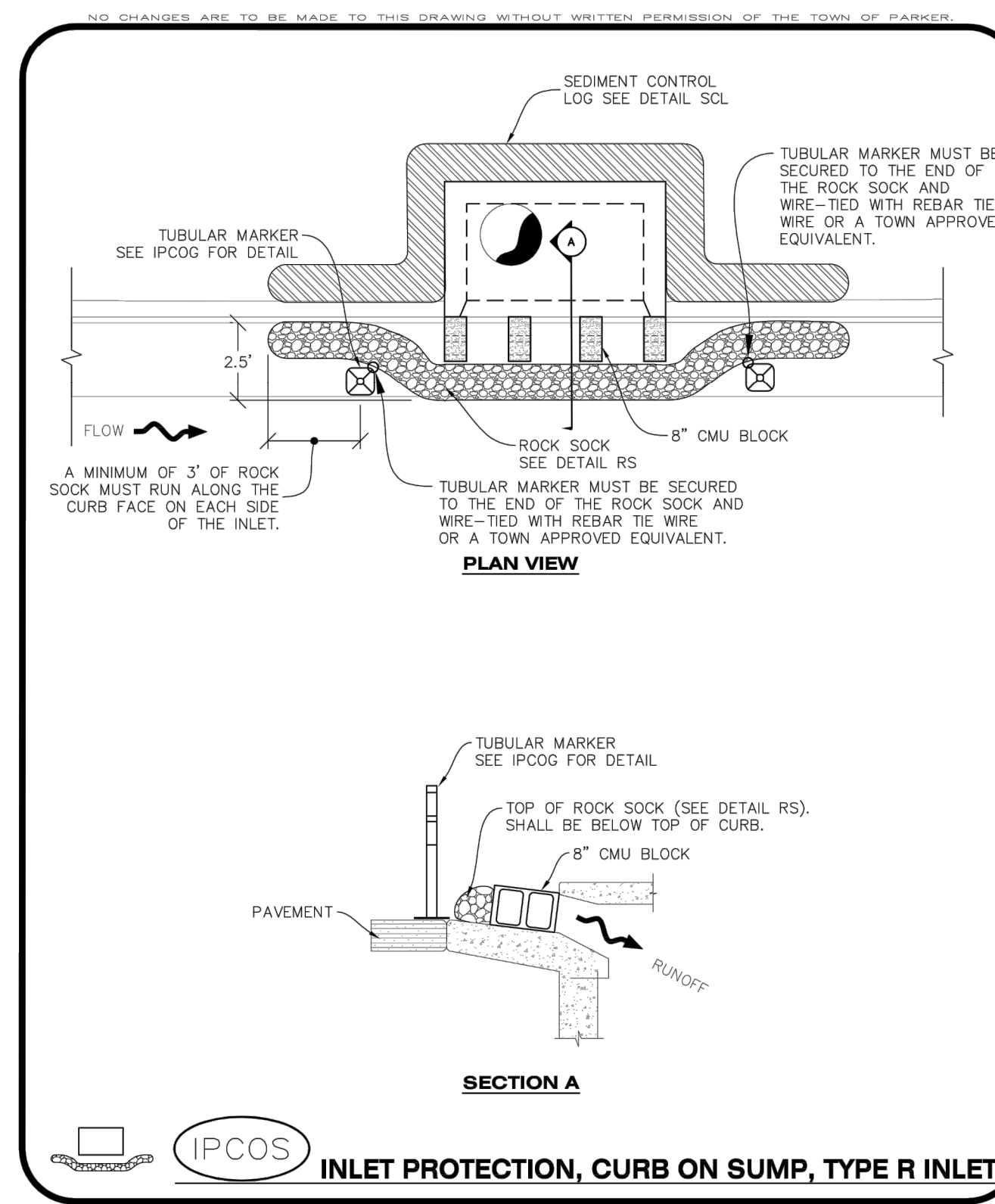
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 Oct. 2013



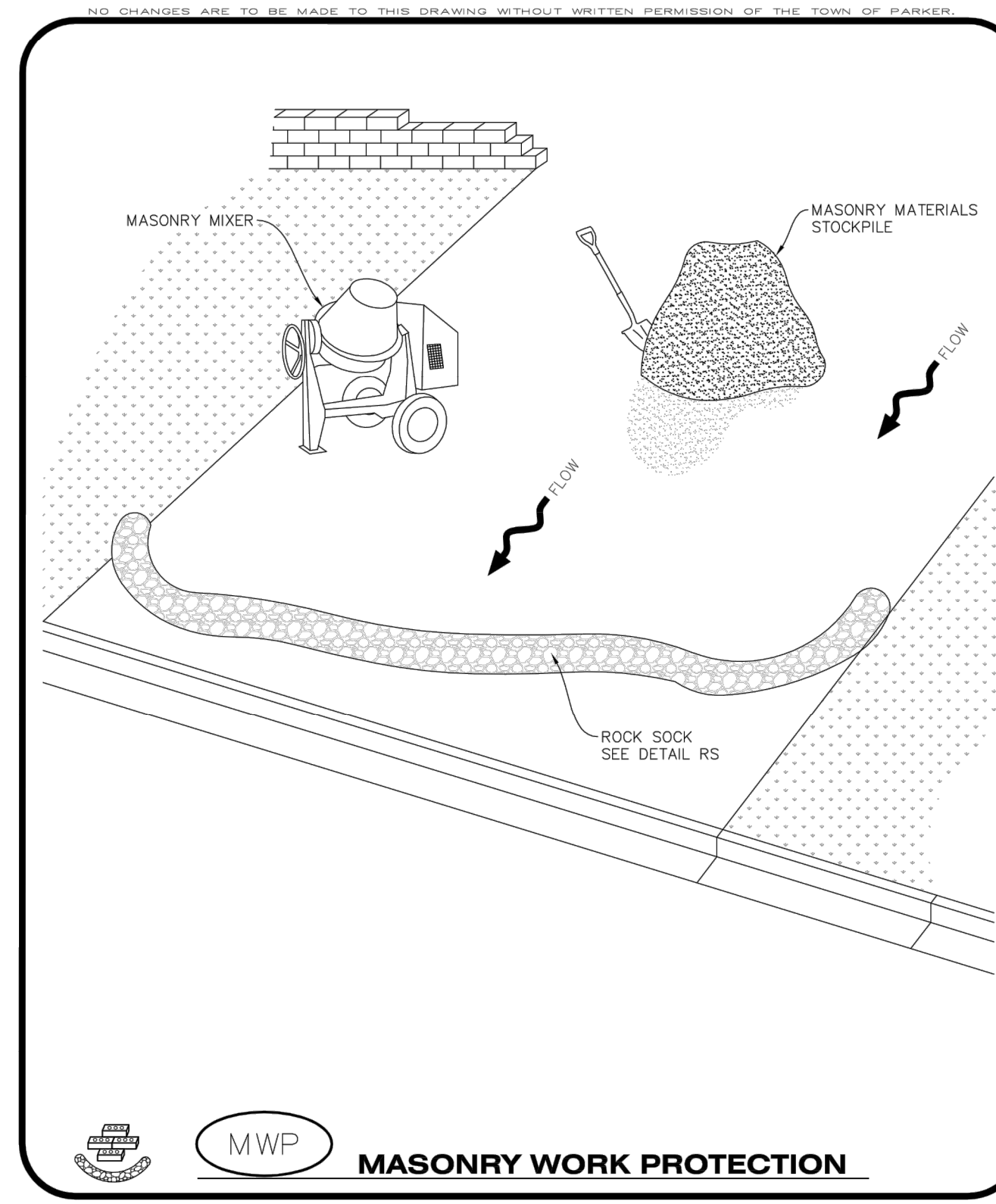
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **3 OF 3**
 Oct. 2013



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **2 OF 2**
 Oct. 2013



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **1 OF 2**
 Oct. 2013



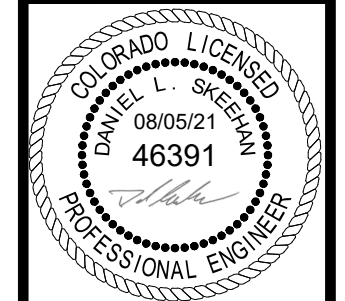
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **1 OF 2**
 Oct. 2013

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Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
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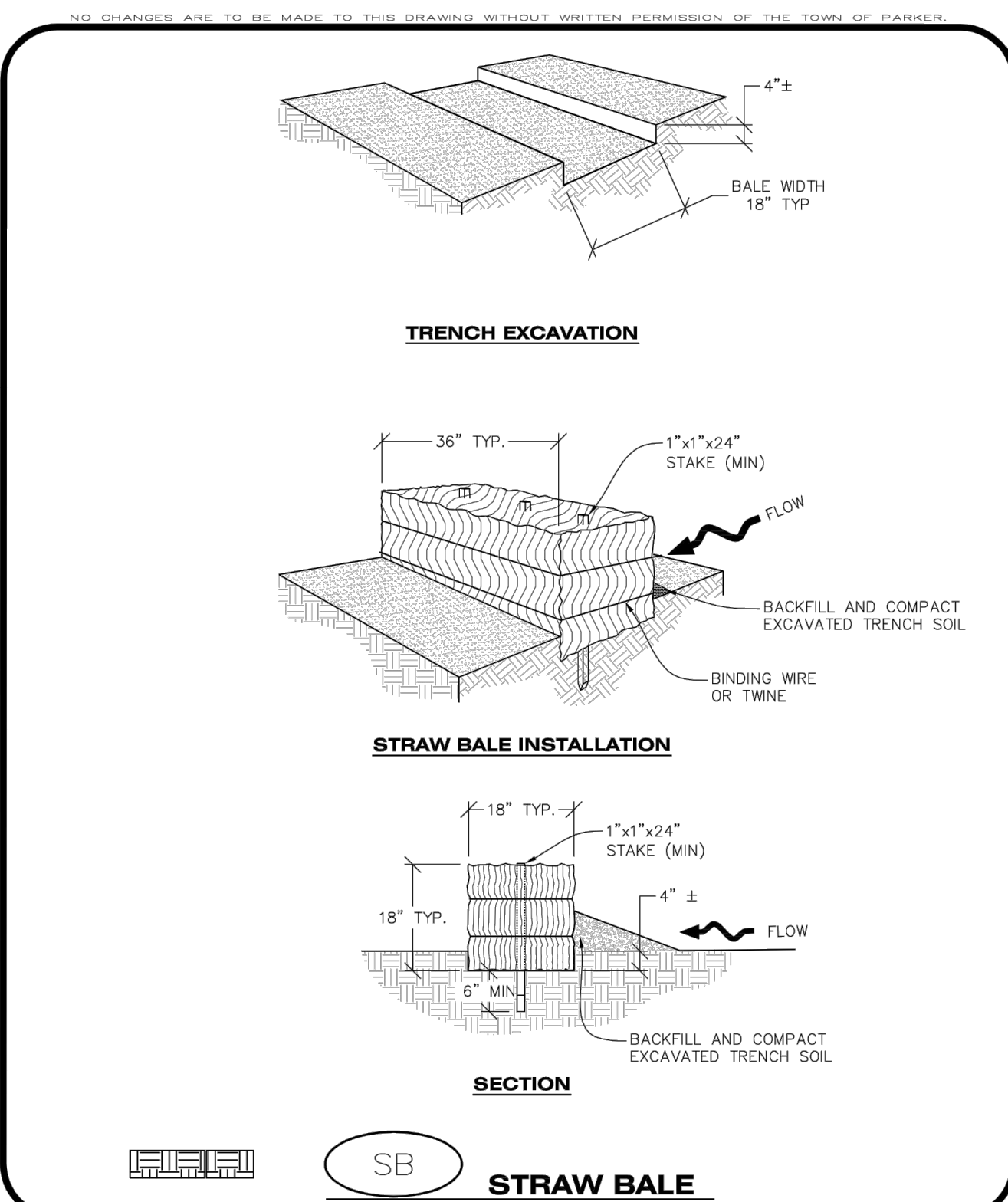
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
CBMP DETAILS



PROJECT NO.
 096481002
 DRAWING NAME
 096481002EC_DT
C3.6



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 PROJECT: PARKER AND PINE FILING NO. 2 LOTS 1-3
 DRAWING NAME: 096481002EC-DT
 DRAWING NO.: 096481002EC-DT
 PROJECT NO.: 096481002
 DATE: 08/05/21
 DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21



CBMP SB
 CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
Oct. 2013

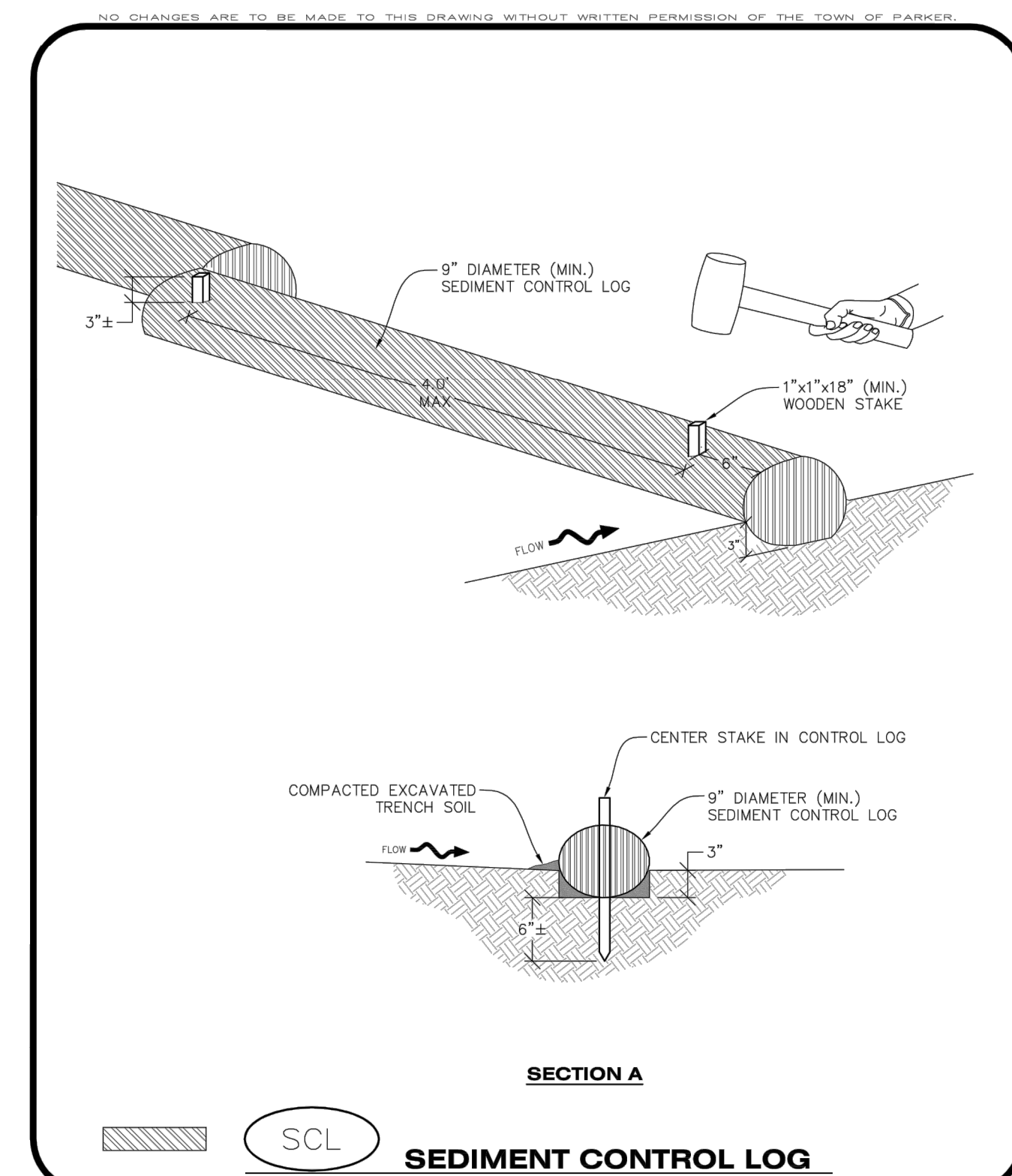
STRAW BALE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF STRAW BALES.
- TYPICAL STRAW BALES SHALL BE APPROXIMATELY 36"X18"X18".
- TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE A MINIMUM OF 1"x1"x24".
- WOODEN STAKES SHALL BE PLACED APPROXIMATELY 6" INTO THE GROUND.
- STRAW BALES SHALL BE SPACED AND POSITIONED ACCORDING TO DETAILS.

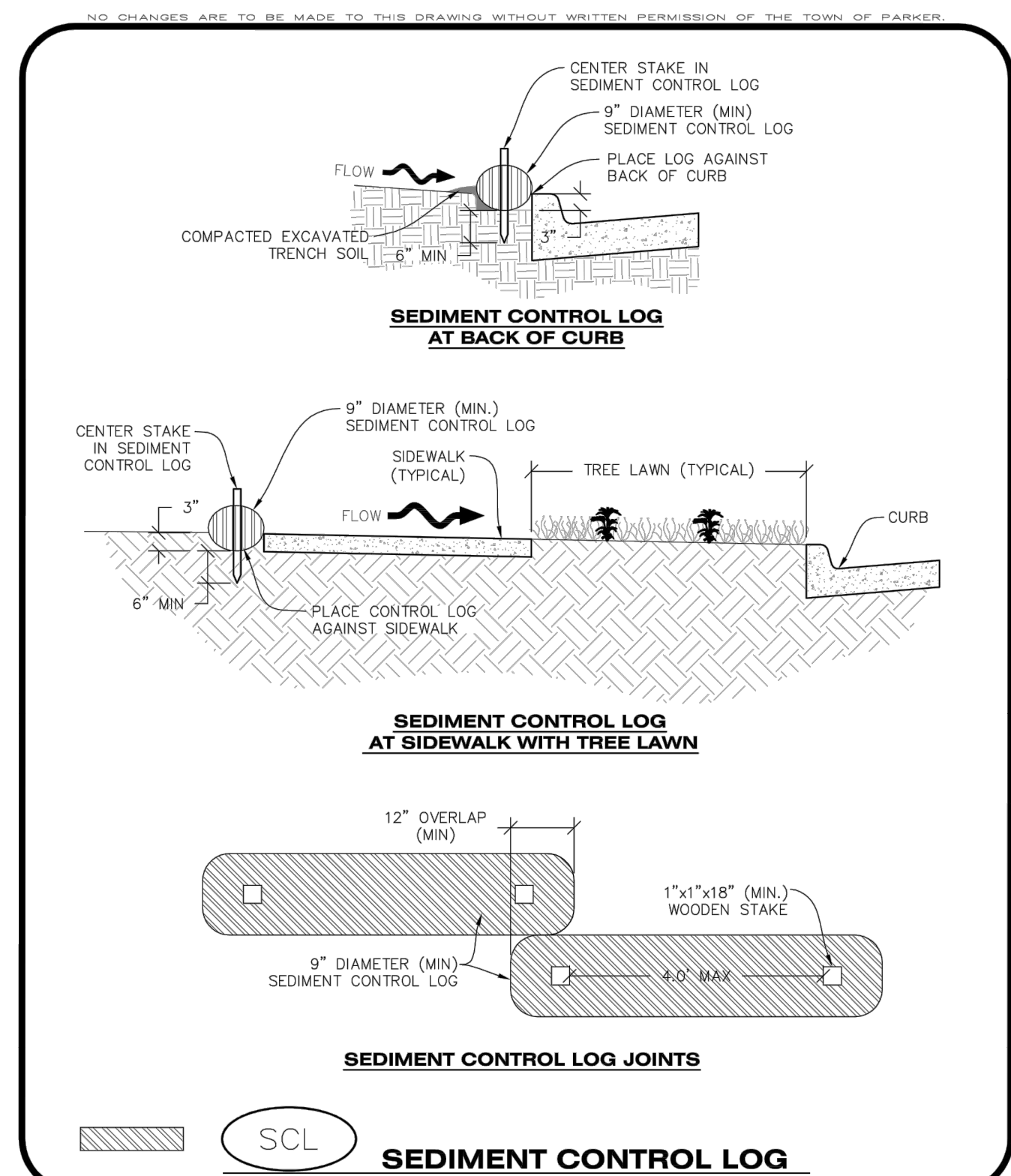
STRAW BALE INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STRAW BALES.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE STRAW BALE.
- STRAW BALES MAY NEED TO BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR OTHERWISE DAMAGED.
- STRAW BALES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN INSPECTOR.
- WHEN THE STRAW BALES ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE STRAW BALES MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP SB
 CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
Oct. 2013



CBMP SCL
 CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3
Oct. 2013



CBMP SCL
 CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3
Oct. 2013

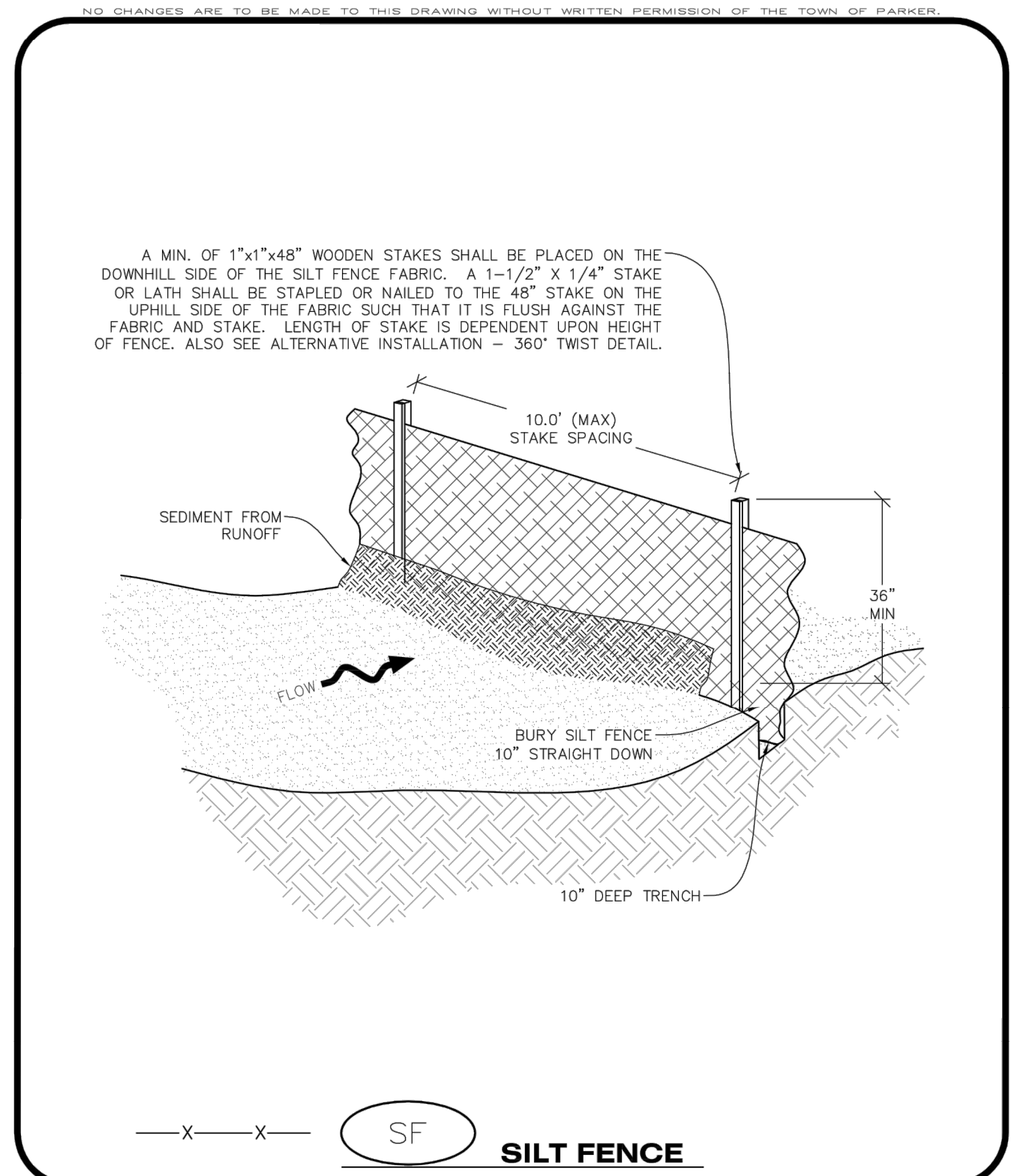
SEDIMENT CONTROL LOG INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
- ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE SUCH AS A CURB HEAD, SIDEWALK, INLET LID, ETC. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
- A UNIFORM 3" DEEP ANCHOR TRENCH (APPROX.) IN THE SHAPE OF A HALF-SPHERE SHALL BE EXCAVATED USING A TRENCHER, SPADE-SHARDED SHOVEL, OR PICK. THE ANCHOR TRENCH SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT TIGHTLY AGAINST THE ANCHOR TRENCH.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
- ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
- ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX.) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAGS.
- THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL, OR SIMILAR DEVICE.
- SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR THE SCL IN PLACE.
- STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
- SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UP-GRADE SIDE OF THE LOGS.
- SEDIMENT CONTROL LOGS SHALL BE STAKED WITHIN 6" FROM EACH END.
- SEDIMENT CONTROL LOGS THAT ARE INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE CONCRETE AND THE LOG. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

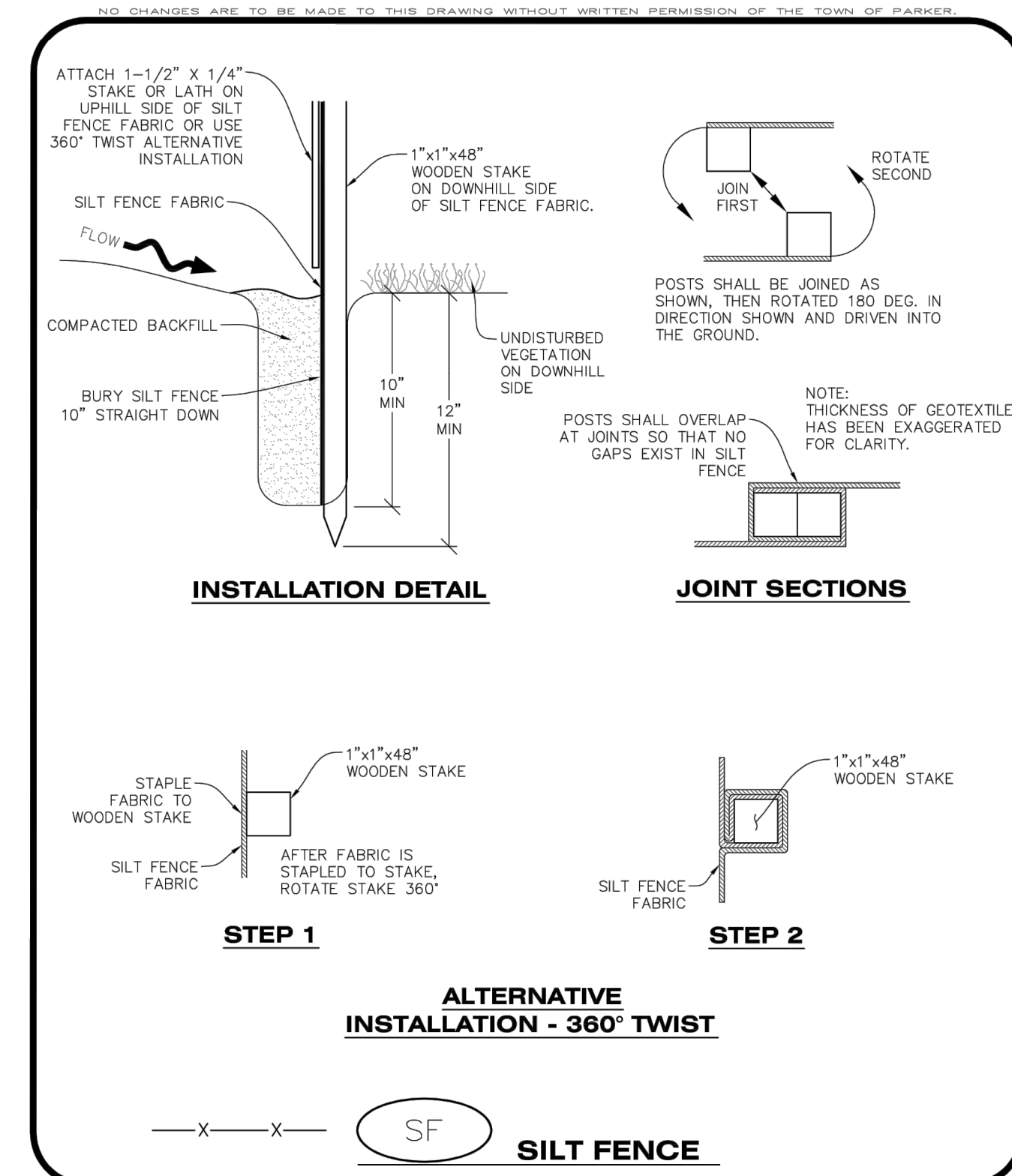
SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF EXPOSED LOG.
- SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SCL FROM FUNCTIONING AS DESIGNED.
- WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP SCL
 CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3
Oct. 2013



CBMP SF
 CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 4
Oct. 2013



CBMP SF
 CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 4
Oct. 2013

SILT FENCE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
- ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
- A 10" DEEP ANCHOR SLIT SHALL BE FORMED IF USING A STATIC SLICING METHOD.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH.
- ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
- THE ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SOIL THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-GRADE SIDE OF THE SILT FENCE.
- STAKES SHALL BE POSITIONED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON 10.0' CENTERS OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE OPPOSING (UPHILL) SIDE OF THE STAKE FOR ADDED STRENGTH AND SUPPORT. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1"x1"x24".
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROXIMATE LENGTH ENOUGH STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
- SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:

PROPERTIES	TEST METHOD	MANDATORY REQUIREMENTS
GRAB TENSILE STRENGTH	ASTM D 4632	> 124 LBS
MULLEN BURST STRENGTH	ASTM D 3786	> 300 PSI
PUNCTURE STRENGTH	ASTM D 4833	> 60 LBS
TRAPEZOID TEAR STRENGTH	ASTM D 4533	> 65 LBS
UV RESISTANCE	ASTM D 4355	> 80% AT 500 HOURS OF UV EXPOSURE
FLOW RATE	ASTM D 4491	> 10 GAL/MIN/FT2

- AN ORIGINAL PRODUCT SPECIFICATION SHEET FROM THE SILT FENCE MANUFACTURER SHALL BE MADE AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT SPECIFICATION SHEET SHALL PROVIDE THE RESULTS FOR THE TEST METHODS ABOVE.
- SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
- SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

CBMP SF
 CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 4
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

NO.	REVISION	BY	DATE

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 CBMP DETAILS

PROJECT NO. 096481002
 DRAWING NAME 096481002EC-DT
C3.8



\\kimley-horn\csm\p\096481002 - Parker & Pine\096481002 - Parker & Pine\MFCADD\Drawings\096481002_EC_DT.dwg Sheet 01 of 01 10/10/2019 10:57 AM
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- VEHICLE TRACKING CONTROL PAD INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF VEHICLE TRACKING CONTROL PAD(S).
 - ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
 - THE VEHICLE TRACKING CONTROL PAD(S) INDICATED ON CBMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 - VEHICLE TRACKING CONTROL PADS SHALL BE A MINIMUM OF 50- FEET LONG AND 10- FEET WIDE, UNLESS A VARIANCE HAS BEEN GRANTED BY THE TOWN'S INSPECTOR.
 - A BIAXIAL GEO-GRID SHALL BE PLACED UNDER THE VEHICLE TRACKING CONTROL PAD PRIOR TO THE PLACEMENT OF ROCK. THE AREA SHALL BE FREE FROM ANY VOIDS, ROCKS AND DEBRIS. THE BIAXIAL GEO-GRID SHALL BE TENSAR BX1100, MIRAFI BASKGRID II, OR AN APPROVED EQUAL. GEO-GRID SHALL BE PLACED, AND APPROPRIATELY OVERLAPPED IF NECESSARY, TO COVER THE ENTIRE LENGTH AND WIDTH OF THE VEHICLE TRACKING CONTROL PAD.
 - CRUSHED ROCK SHALL BE A MINIMUM OF 3--6" GRANITE WITH A FRACTURED FACE (ALL SIDES).
- VEHICLE TRACKING CONTROL PAD INSTALLATION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE VEHICLE TRACKING CONTROL PAD.
 - WHEN THE VEHICLE TRACKING CONTROL PAD IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE VEHICLE TRACKING CONTROL PAD SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
 - THE VEHICLE TRACKING CONTROL PAD SHALL BE MAINTAINED SUCH THAT THE ROCK REMAINS RELATIVELY LOOSE AND ACCUMULATED MUD AND OTHER DEBRIS IS REGULARLY REMOVED.



Parker
COLORADO

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

VTC
3 OF 3
Oct. 2013

Worksheet for DD - LOT 1

Project Description	
Friction Method	Manning Formula
Solve For	Normal Depth
Input Data	
Roughness Coefficient	0.022
Channel Slope	0.010 ft/ft
Left Side Slope	4.000 H:V
Right Side Slope	4.000 H:V
Discharge	3.07 cfs
Results	
Normal Depth	6.4 in
Flow Area	1.1 ft ²
Wetted Perimeter	4.4 ft
Hydraulic Radius	3.1 in
Top Width	4.24 ft
Critical Depth	6.2 in
Critical Slope	0.012 ft/ft
Velocity	2.73 ft/s
Velocity Head	0.12 ft
Specific Energy	0.65 ft
Froude Number	0.935
Flow Type	Subcritical
GVF Input Data	
Downstream Depth	0.0 in
Length	0.0 ft
Number Of Steps	0
GVF Output Data	
Upstream Depth	0.0 in
Profile Description	
Profile Headloss	0.00 ft
Downstream Velocity	Infinity ft/s
Upstream Velocity	Infinity ft/s
Normal Depth	6.4 in
Critical Depth	6.2 in
Channel Slope	0.010 ft/ft
Critical Slope	0.012 ft/ft

2-YEAR STORM
 TC: 10 MIN
 C-VALUE: 0.60
 AREA: 1.91 AC
 FLOW: 3.07 CFS

DD SIZING.mxd
8/25/2020

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 27 Siemon Company Drive Suite 200 W
 Watertown, CT 06795 USA +1-203-755-1666

FlowMaster
 [10.02.00.01]
 Page 1 of 1

Worksheet for DD - LOT 2

Project Description	
Friction Method	Manning Formula
Solve For	Normal Depth
Input Data	
Roughness Coefficient	0.022
Channel Slope	0.010 ft/ft
Left Side Slope	4.000 H:V
Right Side Slope	4.000 H:V
Discharge	3.06 cfs
Results	
Normal Depth	6.4 in
Flow Area	1.1 ft ²
Wetted Perimeter	4.4 ft
Hydraulic Radius	3.1 in
Top Width	4.24 ft
Critical Depth	6.2 in
Critical Slope	0.012 ft/ft
Velocity	2.73 ft/s
Velocity Head	0.12 ft
Specific Energy	0.65 ft
Froude Number	0.935
Flow Type	Subcritical
GVF Input Data	
Downstream Depth	0.0 in
Length	0.0 ft
Number Of Steps	0
GVF Output Data	
Upstream Depth	0.0 in
Profile Description	
Profile Headloss	0.00 ft
Downstream Velocity	Infinity ft/s
Upstream Velocity	Infinity ft/s
Normal Depth	6.4 in
Critical Depth	6.2 in
Channel Slope	0.010 ft/ft
Critical Slope	0.012 ft/ft

2-YEAR STORM
 TC: 10 MIN
 C-VALUE: 0.60
 AREA: 1.90 AC
 FLOW: 3.06 CFS

DD SIZING.mxd
8/25/2020

Bentley Systems, Inc. Haestad Methods Solution Center
 27 Siemon Company Drive Suite 200 W
 Watertown, CT 06795 USA +1-203-755-1666

FlowMaster
 [10.02.00.01]
 Page 1 of 1



NO.	REVISION	BY	DATE

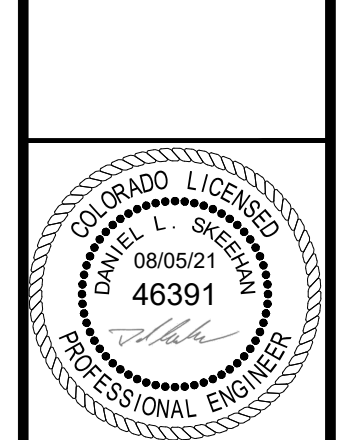


Kimley Horn

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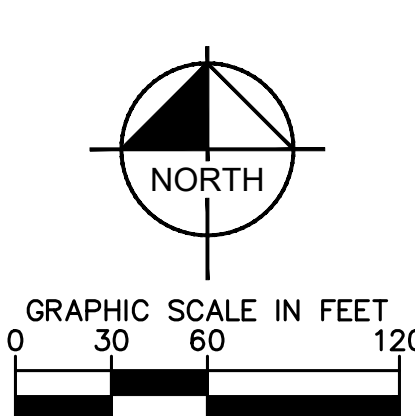
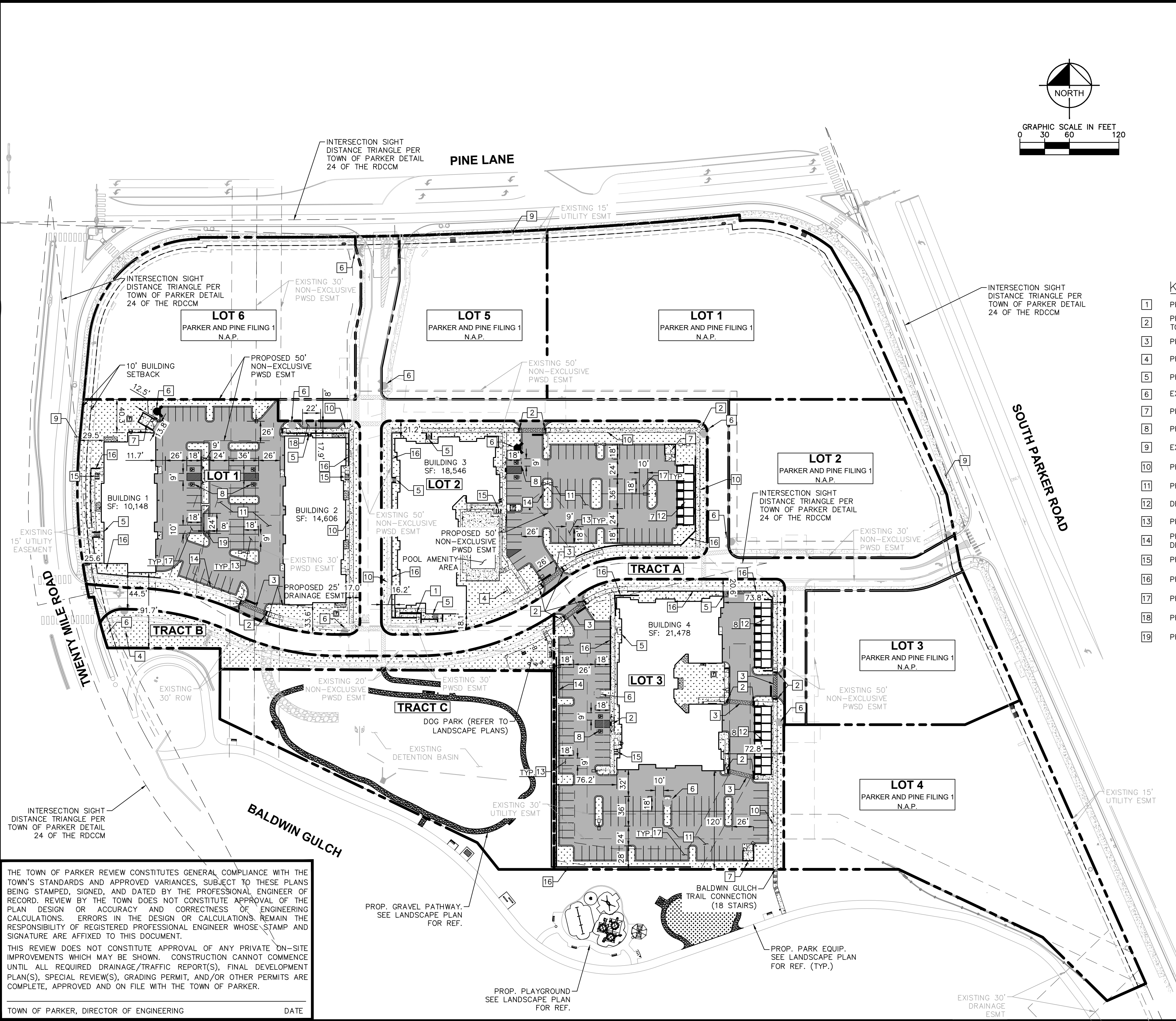
DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
CBMP DETAILS



PROJECT NO.
096481002
 DRAWING NAME
096481002EC_DT
C3.11

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LEGEND	
	PROPERTY LINE
	LIGHT POLE
	WALL MOUNTED POLE
	NUMBER OF PARKING SPACES
	ACCESSIBLE PARKING SPACES
	PROPOSED ELECTRICAL TRANSFORMER
	LANDSCAPED AREA
	STANDARD DUTY ASPHALT PAVING
	COLORLED CONCRETE
	HEAVY DUTY CONCRETE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER

- KEY NOTES**
- PROPOSED ADA ACCESSIBLE SIDEWALK RAMP. REFER TO ARCH PLANS
 - PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING PER TOWN OF PARKER STANDARD DETAIL.
 - PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
 - PROPOSED MONUMENT SIGN, UNDER SEPARATE PERMIT.
 - PROPOSED PRIVATE STAIRWAY. WIDTH PER PLAN.
 - EXISTING/PROPOSED FIRE HYDRANT.
 - PROPOSED TRASH ENCLOSURE. REFER TO ARCH PLANS.
 - PROPOSED ADA PARKING STALLS.
 - EXISTING 8' CONCRETE SIDEWALK.
 - PROPOSED 5' CONCRETE SIDEWALK PER TOWN OF PARKER STD DETAIL.
 - PROPOSED STANDARD DUTY ASPHALT PAVING.
 - DETACHED GARAGE. PARKING COUNT PER PLAN.
 - PROPOSED STANDARD 9'X18" PARKING STALL
 - PROPOSED 18" CURB AND GUTTER PER TOWN OF PARKER STANDARD DETAIL.
 - PROPOSED 6 STALL BICYCLE PARKING, REFER TO LANDSCAPE DETAILS.
 - PROPOSED RETAINING WALL
 - PROPOSED ISLAND ADJACENT 10'X18" PARKING STALL
 - PROPOSED 8'X22" PARALLEL PARKING STALL
 - PROPOSED 8'X24" PARALLEL PARKING STALL

- SITE PLAN NOTES**
- ALL DRIVE AISLE WIDTHS TO BE A MINIMUM OF 24' UNLESS NOTED OTHERWISE.
 - DIMENSIONS SHOWN ARE FROM FLOW LINE UNLESS OTHERWISE NOTED.
 - VAN-ACCESSIBLE ADA SPACE DIMENSIONS SHALL BE 18.0' L BY 9.0' W. ACCESS AISLES PROVIDED TO BE 9'.
 - PROPOSED EASEMENTS AS SHOWN TO BE DEDICATED BY PLAT OR BY SEPARATE DOCUMENT.
 - ACCESSIBLE ROUTE TO BE PROVIDED TO ALL BUILDINGS AND ON-SITE AMENITIES.
 - SIDEWALKS SHALL COMPLY UNDER CURRENT ADA CODE.
 - SEE COVER SHEET OF THE SITE PLAN SET FOR RELEVANT SITE DATA.
 - ALL PARKING ADJACENT TO LANDSCAPE ISLANDS SHALL BE 10' W.
 - REFER TO SHEETS C4.1-C4.4 FOR ALL RADII AND DIMENSIONS OF PROPOSED CURB AND GUTTER.
 - LIGHTING POLES/BOLLARDS SHOWN FOR REFERENCE ONLY. REFER TO ARCH/MEP PLANS.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

<p>2020 KIMLEY-HORN AND ASSOCIATES, INC. 4582 South Ulster Street, Suite 1500 Denver, Colorado 80237 (303) 228-2300</p>	<p>DESIGNED BY: DLS DRAWN BY: JRK CHECKED BY: DLS DATE: 08/05/21</p>
<p>PARKER AND PINE FILING NO. 2 LOTS 1-3 PARKER, CO MULTI-FAMILY CONSTRUCTION DOCUMENTS OVERALL SITE PLAN</p>	
<p>PROJECT NO. 096481002</p> <p>DRAWING NAME 096481002CD_SP</p> <p>C4.0</p>	



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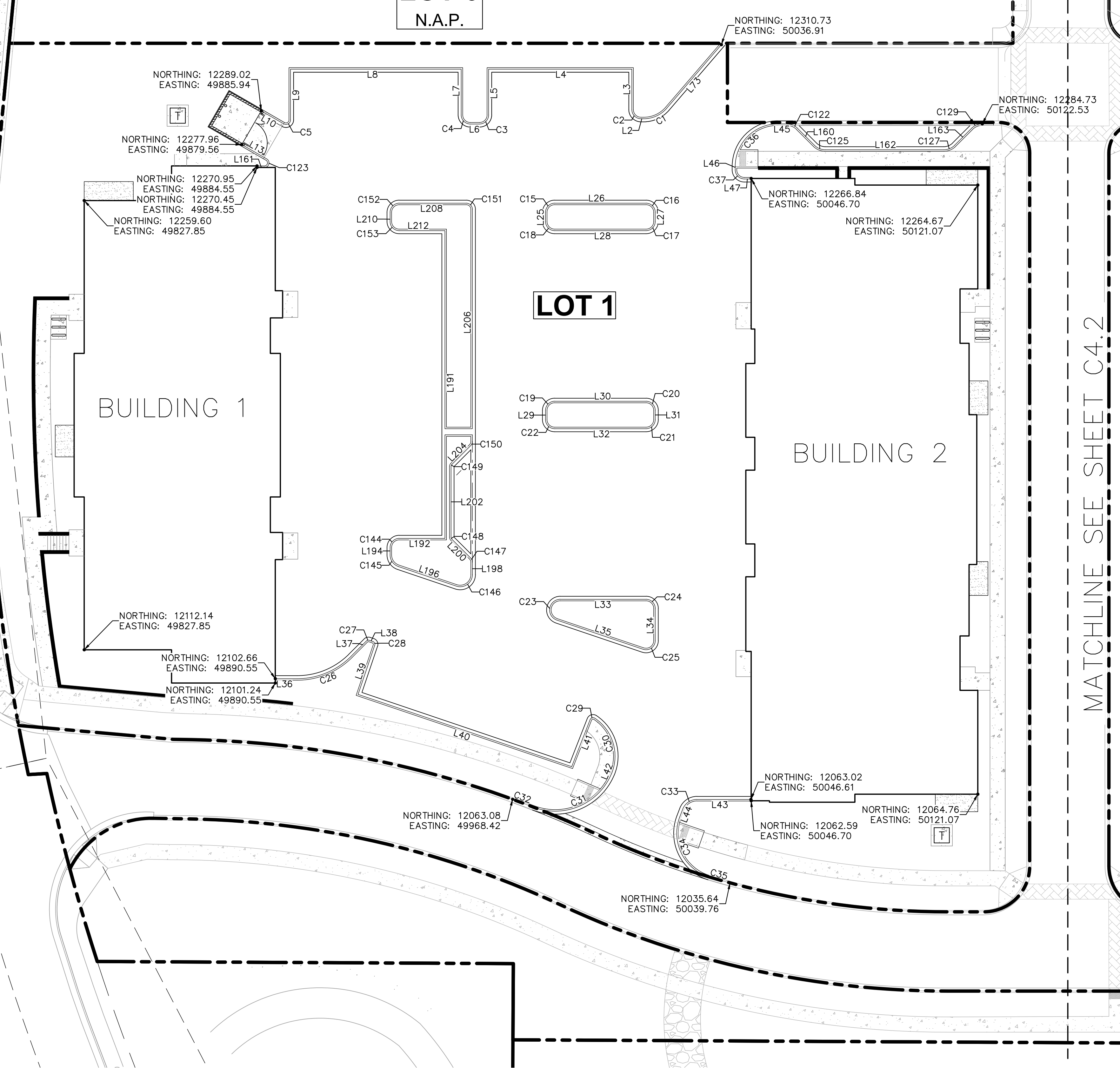
TWENTY MILE ROAD

LOT 6
N.A.P.

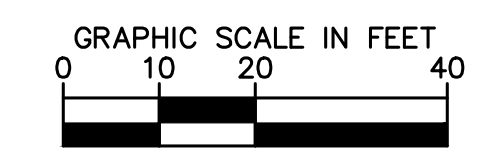
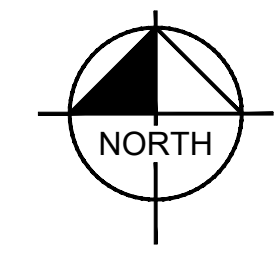
LOT 1

BUILDING 1

BUILDING 2



MATCHLINE SEE SHEET C4.2



LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE CURB
- EXISTING CURB

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

HORIZONTAL CONTROL NOTES

1. REFER TO SHEET C4.4 FOR HORIZONTAL CONTROL LINE AND CURVE TABLES

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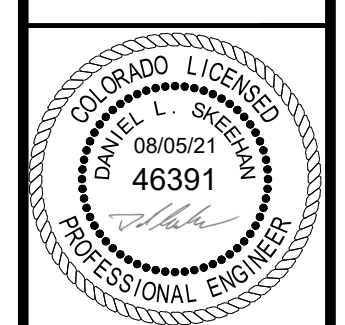
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NO.	REVISION	BY	DATE

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 4582 South Ulster Street, Suite 1500
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DESIGNED BY: DLS
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PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 HORIZONTAL CONTROL PLAN

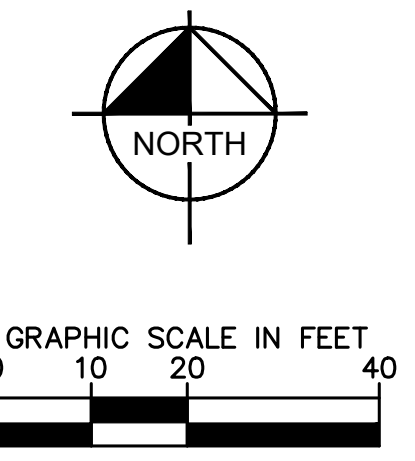
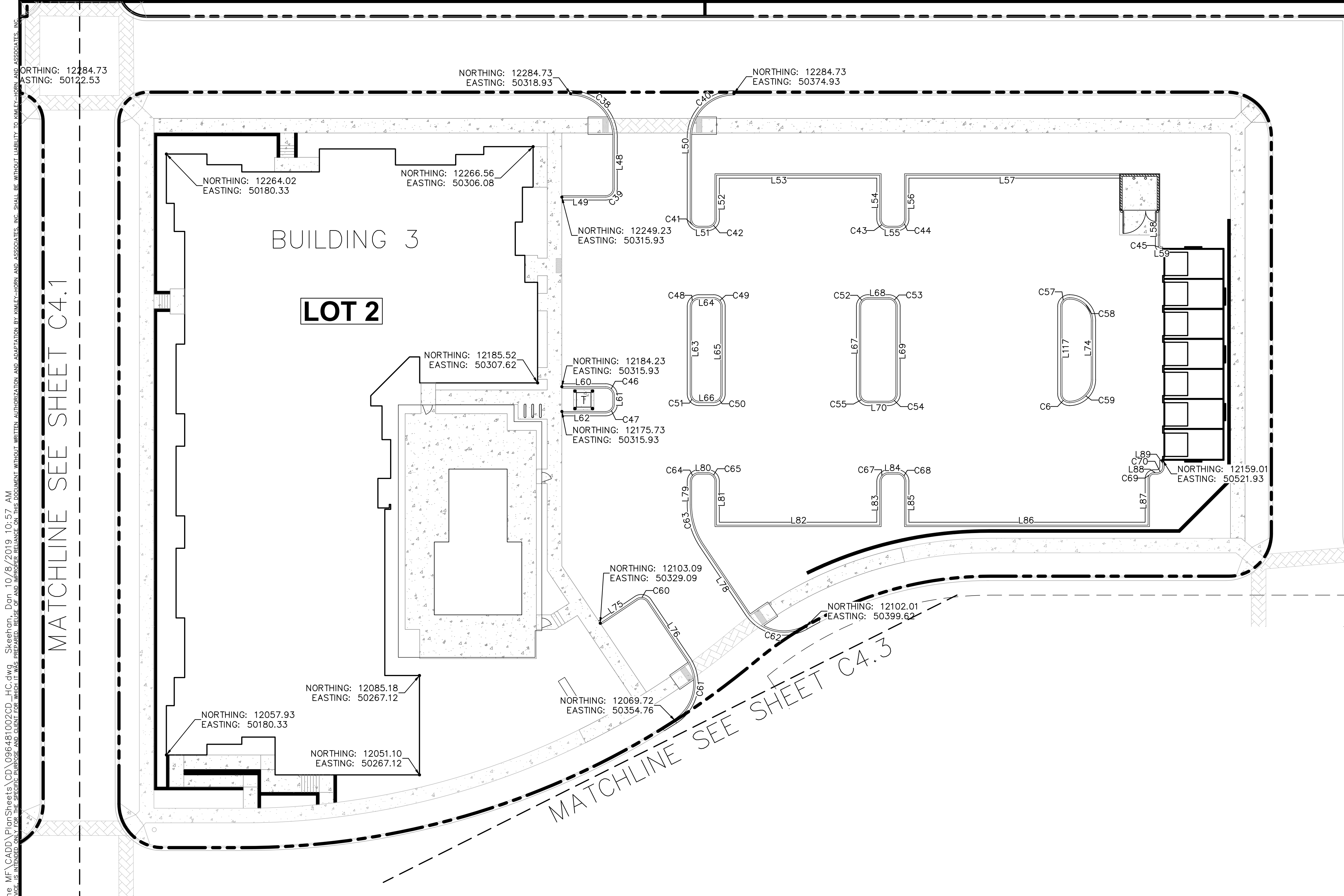


PROJECT NO.
096481002

DRAWING NAME
096481002CD_HC

C4.1





LEGEND

	PROPERTY LINE
	PROPOSED CONCRETE CURB
	EXISTING CURB

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

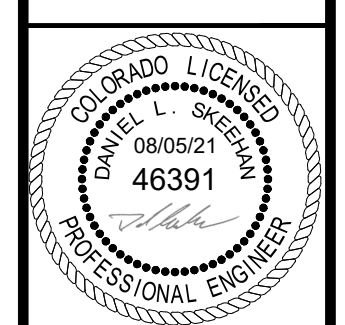
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Kimley»Horn

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 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 HORIZONTAL CONTROL PLAN



PROJECT NO.
096481002

DRAWING NAME
096481002CD_HC

C4.2

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LINE	LENGTH	BEARING
L2	0.88	N90°00'00.00"W
L3	13.29	N0°00'01.81"W
L4	47.00	S89°59'55.40"W
L5	15.00	S0°00'02.45"W
L6	3.00	N90°00'00.00"W
L7	15.00	N0°00'04.05"E
L8	56.00	S89°59'53.57"W
L9	16.63	S0°00'00.00"E
L10	8.50	N60°00'00.00"W
L13	9.43	S60°00'00.00"E
L25	3.00	N0°00'00.00"E
L26	30.00	N89°59'52.00"E
L27	3.00	S0°00'00.00"E
L28	30.00	S89°59'52.00"W
L29	3.00	N0°00'00.00"E
L30	30.00	N89°59'52.00"E
L31	3.00	S0°00'00.00"E
L32	30.00	S89°59'52.00"W
L33	28.16	S89°59'57.90"W
L34	10.55	N0°00'05.20"E

LINE	LENGTH	BEARING
L35	29.89	S71°18'42.46"E
L36	7.16	N90°00'00.00"W
L37	7.11	S45°00'00.00"W
L38	1.15	N71°18'42.46"W
L39	17.00	N18°41'17.54"E
L40	74.00	N71°18'42.46"W
L41	16.58	S21°24'10.62"W
L42	0.49	N22°01'14.62"E
L43	17.71	N90°00'00.00"W
L44	2.66	S21°04'32.34"W
L45	2.93	N90°00'00.00"W
L46	1.06	S0°00'00.00"E
L47	2.16	N90°00'00.00"E
L48	17.50	S0°00'00.00"E
L49	15.00	N90°00'00.00"W
L50	27.98	N0°00'00.00"E
L51	3.00	N90°00'00.00"W
L52	15.00	S0°00'00.00"E
L53	56.00	S90°00'00.00"W
L54	15.00	N0°00'00.00"W

LINE	LENGTH	BEARING
L55	3.00	N90°00'00.00"W
L56	15.00	S0°00'00.00"E
L57	73.23	N90°00'00.00"W
L58	12.11	N0°00'00.00"W
L59	0.50	S89°59'23.81"W
L60	15.00	N90°00'00.00"E
L61	3.00	S0°00'00.00"E
L62	15.00	N90°00'00.00"W
L63	30.00	S0°00'00.00"E
L64	5.00	N90°00'00.00"W
L65	30.00	N0°00'00.00"E
L66	5.00	N90°00'00.00"E
L67	30.00	N0°00'00.00"W
L68	7.00	S90°00'00.00"E
L69	30.00	S0°00'00.00"E
L70	7.00	N90°00'00.00"W
L73	27.45	S40°39'27.54"W
L74	20.00	N0°00'00.00"W
L75	15.00	N56°07'52.28"E
L76	24.01	S33°52'07.72"E

LINE	LENGTH	BEARING
L78	27.84	N33°52'07.72"W
L79	8.04	N0°00'00.00"E
L80	3.00	N90°00'00.00"E
L81	15.00	S0°00'00.00"E
L82	56.00	N90°00'00.00"E
L83	15.00	N0°00'00.00"E
L84	3.00	S90°00'00.00"E
L85	15.00	S0°00'00.00"E
L86	83.00	N90°00'00.00"E
L87	16.00	N0°00'00.00"W
L88	1.00	S90°00'00.00"E
L89	2.27	N0°00'00.00"E
L90	3.10	N0°00'00.00"E
L91	15.00	N90°00'00.00"E
L92	74.00	N0°00'00.00"E
L93	15.00	N90°00'00.00"W
L94	3.00	N0°00'00.00"E
L95	15.00	N90°00'00.00"E
L96	83.00	N0°00'00.00"E
L97	15.00	N90°00'00.00"W

LINE	LENGTH	BEARING
L98	7.48	N0°00'04.84"E
L99	15.00	N90°00'00.00"E
L100	74.00	N0°00'00.00"E
L101	15.00	N90°00'00.00"W
L102	14.96	N0°00'00.00"E
L103	65.00	N90°00'00.00"W
L104	15.00	S0°00'00.00"E
L105	3.50	N90°00'00.00"W
L106	15.00	N0°00'00.00"E
L107	65.00	N90°00'00.00"W
L108	15.00	S0°00'00.00"E
L109	3.00	N90°00'00.00"W
L110	15.00	N0°00'00.00"E
L111	56.23	N90°00'00.00"W
L112	6.50	S0°00'00.00"E
L113	15.00	N90°00'00.00"W
L114	74.00	S0°00'00.00"E
L115	15.00	N90°00'00.00"E
L117	30.00	S0°00'00.00"E
L118	17.24	N90°00'00.00"E

LINE	LENGTH	BEARING
L119	5.04	N0°00'00.00"E
L120	0.74	S89°58'31.91"W
L124	3.19	S89°58'31.91"W
L125	4.71	N0°00'00.00"E
L126	26.00	N89°59'55.66"W
L127	2.18	S0°00'00.00"E
L128	5.08	N90°00'00.00"W
L129	2.33	N90°00'00.00"E
L130	38.63	S0°00'00.00"E
L131	2.50	S89°59'26.64"W
L132	4.94	N90°00'00.00"E
L133	48.04	S0°00'00.00"E
L137	14.83	N90°00'00.00"W
L138	15.00	S90°00'00.00"E
L139	3.00	S0°00'00.00"W
L140	15.00	N90°00'00.00"W
L141	16.73	S89°59'26.86"E
L142	19.68	S33°52'07.72"E
L143	30.00	S0°00'00.00"E
L144	3.00	N90°00'00.00"W

LINE	LENGTH	BEARING
L145	30.00	N0°00'00.00"E
L146	3.00	N90°00'00.00"E
L147	30.00	N0°00'00.00"E
L148	3.00	N90°00'00.00"E
L149	30.00	S0°00'00.00"E
L150	3.00	N90°00'00.00"W
L151	30.00	N0°00'00.00"E
L152	3.00	N90°00'00.00"E
L153	30.00	S0°00'00.00"E
L154	3.00	N90°00'00.00"W
L155	4.66	S0°04'42.50"E
L156	0.78	S89°58'31.91"W
L157	1.00	S0°01'28.09"E
L158	17.22	N90°00'00.00"W
L159	1.50	N0°00'00.00"E
L160	7.85	S45°00'00.00"E
L161	2.42	N90°00'00.00"W
L162	38.90	N90°00'00.00"E
L163	7.85	N45°00'00.00"E
L180	7.82	N33°52'07.72"W

LINE	LENGTH	BEARING
L183	6.25	N90°00'00.00"W
L185	2.16	N0°00'00.00"E
L188	17.17	N90°00'00.00"E
L190	3.37	N0°02'18.75"W
L191	101.00	S0°00'00.12"W
L192	15.00	N90°00'00.00"W
L194	2.43	S0°00'00.00"E
L196	20.06	S71°18'42.46"E
L198	4.03	N0°00'00.00"E
L200	8.66	N45°00'00.00"W
L202	23.17	N0°00'00.00"E
L204	8.66	N45°00'00.00"E
L206	76.17	N0°00'00.02"E
L208	22.00	S89°59'54.89"W
L210	3.00	S0°00'00.00"E
L212	15.00	N89°59'52.00"E

CURVE	RADIUS	LENGTH	DELTA	TANGENT
C1	10.00'	8.61'	49°20'32"	4.59'
C2	3.00'	4.71'	90°00'00"	3.00'
C3	3.00'	4.71'	90°00'00"	3.00'
C4	3.00'	4.71'	90°00'00"	3.00'
C5	1.50'	3.14'	120°00'00"	2.60'
C6	3.00'	4.71'	90°00'00"	3.00'
C15	3.00'	4.71'	89°59'52"	3.00'
C16	3.00'	4.71'	90°00'08"	3.00'
C17	3.00'	4.71'	89°59'52"	3.00'
C18	3.00'	4.71'	90°00'08"	3.00'
C19	3.00'	4.71'	89°59'52"	3.00'
C20	3.00'	4.71'	90°00'08"	3.00'
C21	3.00'	4.71'	89°59'52"	3.00'
C22	3.00'	4.71'	90°00'08"	3.00'
C23	3.50'	9.85'	161°18'40"	21.27'
C24	3.00'	4.71'	90°00'02"	3.00'
C25	3.00'	5.69'	108°42'19"	4.18'
C26	25.00'	19.63'	45°00'00"	10.36'
C27	1.00'	1.11'	63°41'18"	0.62'
C28	1.00'	1.57'	90°00'00"	1.00'

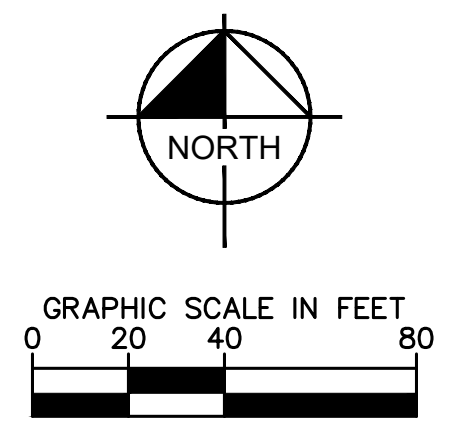
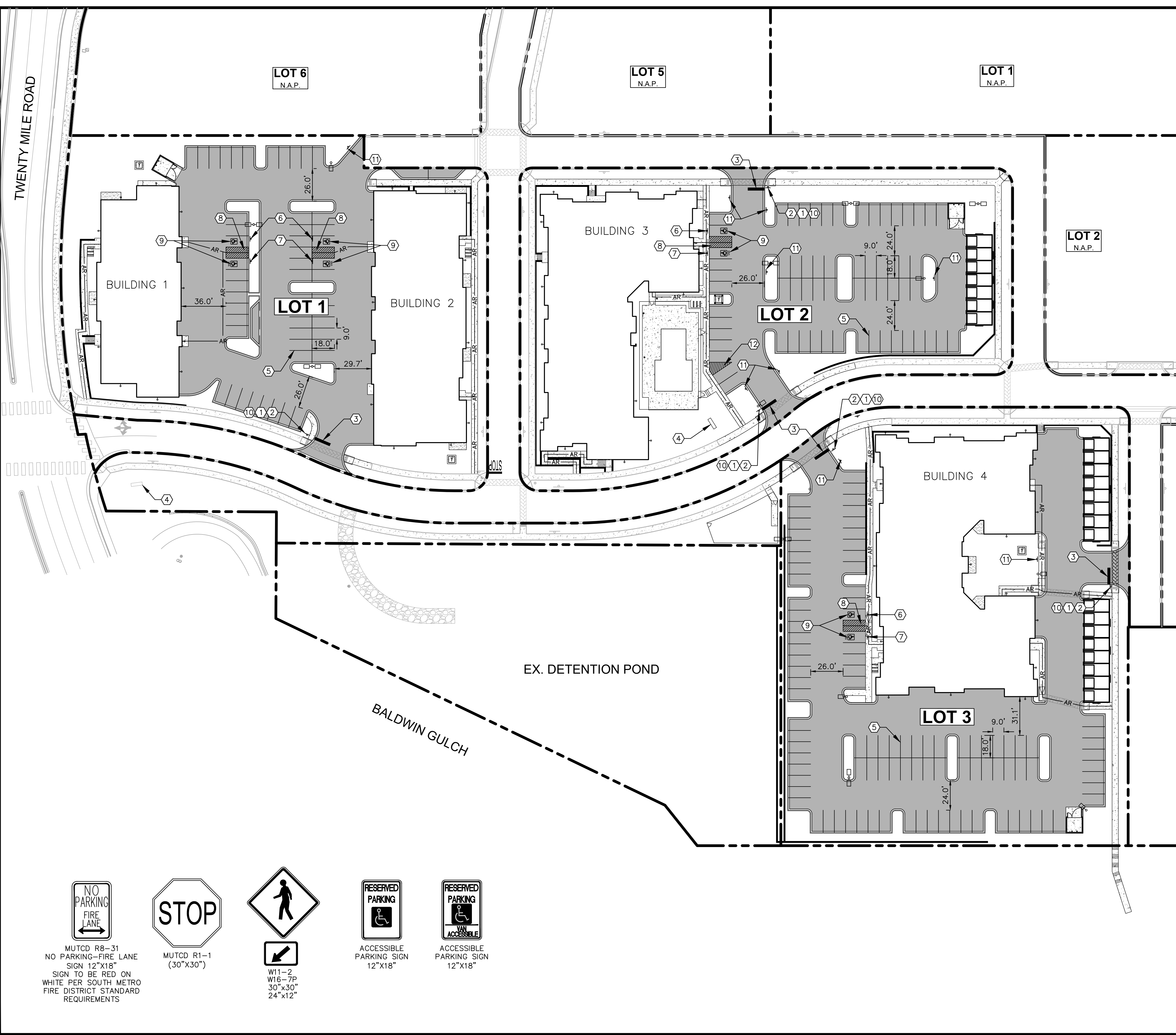
CURVE	RADIUS	LENGTH	DELTA	TANGENT
C29	1.00'	1.79'	102°22'21"	1.24'
C30	15.00'	20.24'	77°18'00"	12.00'
C31	20.00'	30.81'	88°16'04"	19.40'
C32	327.30'	7.21'	1°15'42"	3.60'
C33	5.00'	6.01'	68°55'28"	3.43'
C34	15.00'	24.73'	94°26'35"	16.21'
C35	273.03'	7.05'	1°28'47"	3.53'
C36	14.00'	21.99'	90°00'00"	14.00'
C37	3.00'	4.71'	90°00'00"	3.00'
C38	15.00'	23.56'	90°00'00"	15.00'
C39	3.00'	4.71'	90°00'00"	3.00'
C40	15.00'	23.56'	90°00'00"	15.00'
C41	3.00'	4.71'	90°00'00"	3.00'
C42	3.00'	4.71'	90°00'00"	3.00'
C43	3.00'	4.71'	90°00'00"	3.00'
C44	3.00'	4.71'	90°00'00"	3.00'
C45	1.00'	1.57'	90°00'01"	1.00'
C46	3.00'	4.71'	90°00'00"	3.00'
C47	3.00'	4.71'	90°00'00"	3.00'
C48	3.00'	4.71'	90°00'00"	3.00'

CURVE	RADIUS	LENGTH	DELTA	TANGENT
C49	3.00'	4.71'	90°00'00"	3.00'
C50	3.00'	4.71'	90°00'00"	3.00'
C51	3.00'	4.71'	90°00'00"	3.00'
C52	3.00'	4.71'	90°00'00"	3.00'
C53	3.00'	4.71'	90°00'00"	3.00'
C54	3.00'	4.71'	90°00'00"	3.00'
C55	3.00'	4.71'	90°00'00"	3.00'
C57	3.00'	4.71'	90°00'00"	3.00'
C58	8.00'	12.57'	90°00'00"	8.00'
C59	8.00'	12.57'	90°00'00"	8.00'
C60	3.00'	4.71'	90°00'00"	3.00'
C61	15.00'	23.85'	91°05'31"	15.29'
C62	15.00'	22.52'	86°00'14"	13.99'
C63	25.00'	14.78'	33°52'08"	7.61'
C64	3.00'	4.71'	90°00'00"	3.00'
C65	3.00'	4.71'	90°00'00"	3.00'
C67	3.00'	4.71'	90°00'00"	3.00'
C68	3.00'	4.71'	90°00'00"	3.00'
C69	2.00'	3.14'	90°00'00"	2.00'
C70	2.00'	3.14'	90°00'00"	2.00'

CURVE	RADIUS	LENGTH	DELTA	TANGENT
C72	3.00'	4.71'	90°00'00"	3.00'
C73	3.00'	4.71'	90°00'00"	3.00'
C74	3.00'	4.71'	90°00'00"	3.00'
C75	3.00'	4.71'	90°00'00"	3.00'
C76	3.00'	4.71'	90°00'00"	3.00'
C77	3.00'	4.71'	90°00'00"	3.00'
C78	3.00'	4.71'	90°00'00"	3.00'
C79	3.00'	4.71'	90°00'00"	3.00'
C80	3.00'	4.71'	90°00'00"	3.00'
C81	3.00'	4.71'	90°00'00"	3.00'
C82	3.09'	4.23'	78°23'33"	2.52'
C83	4.00'	6.05'	86°43'05"	3.78'
C87	15.00'	23.56'	89°58'32"	14.99'
C88	6.00'	9.42'	90°00'00"	6.00'
C89	1.00'	1.57'	90°04'06"	1.00'
C92	3.00'	4.71'	90°01'28"	3.00'
C93	1.50'	2.36'	90°00'00"	1.50'
C94	6.00'	9.47'	90°24'14"	6.04'
C95	6.00'	9.46'	90°18'27"	6.03'
C96	3.50'	5.50'	90°00'00"	3.50'

CURVE	RADIUS	LENGTH	DELTA	TANGENT
C101	3.00'	5.22'	99°46'35"	3.56'
C102	3.00'	4.71'	90°00'00"	3.00'
C103	3.00'	4.71'	90°00'00"	3.00'
C104	3.00'	2.94'	56°07'19"	1.60'
C105	15.00'	25.30'	96°38'18"	16.85'
C106	3.00'	4.71'	90°00'00"	3.00'
C107	3.00'	4.71'	90°00'00"	3.00'
C108	3.00'	4.71'	90°00'00"	3.00'
C109	3.00'	4.71'	90°00'00"	3.00'
C110	3.00'	4.71'	90°00'00"	3.00'
C111	3.00'	4.71'	90°00'00"	3.00'
C112	3.00'	4.71'	90°00'00"	3.00'
C113	3.00'	4.71'	90°00'00"	3.00'
C114	3.00'	4.71'	90°00'00"	3.00'
C115	3.00'	4.71'	90°00'00"	

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- LEGEND**
- PROPERTY LINE
 - SIGN
 - ACCESSIBLE ROUTE

- SIGNING AND STRIPING NOTES**
- ① ALL SIGNS AND ROADWAY MARKINGS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - ② PROPOSED R1-1 STOP SIGN
 - ③ 12" STOP BAR. SEE DETAIL ON SHEET C4.6
 - ④ PROPOSED MONUMENT SIGN (REFER TO ARCH. PLANS)
 - ⑤ 4" SOLID WHITE PARKING STALL STRIPING
 - ⑥ PROPOSED ACCESSIBLE PARKING SIGN
 - ⑦ PROPOSED VAN ACCESSIBLE PARKING SIGN
 - ⑧ SOLID 4" BLUE STRIPING AT 4' O.C.
 - ⑨ ACCESSIBLE STALL PAVEMENT MARKING
 - ⑩ PROPOSED CROSSWALK SIGN W11-2 AND W11-7P
 - ⑪ PROPOSED R8-31 "NO PARKING - FIRE LANE" SIGN
 - ⑫ SOLID 4" WHITE STRIPING AT 4' O.C.

- NOTES:**
1. SEE SIGN POST DETAIL ON SHEET C4.6 FOR INSTALLATION AND POST/BASE DIMENSIONS.
 2. ALL PARKING ADJACENT TO LANDSCAPE ISLANDS SHALL BE 10' WIDE FROM STRIPE TO FACE OF CURB.
 3. CONTRACTOR TO REMOVE ALL EXISTING PAVEMENT MARKINGS IN CONFLICT WITH THE FINAL SIGNAGE AND STRIPING PLAN.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

MUTCD R8-31
NO PARKING-FIRE LANE
SIGN 12"x18"
SIGN TO BE RED ON
WHITE PER SOUTH METRO
FIRE DISTRICT STANDARD
REQUIREMENTS

MUTCD R1-1
(30"x30")

W11-2
W16-7P
30"x30"
24"x12"

ACCESSIBLE
PARKING SIGN
12"x18"

ACCESSIBLE
PARKING SIGN
12"x18"

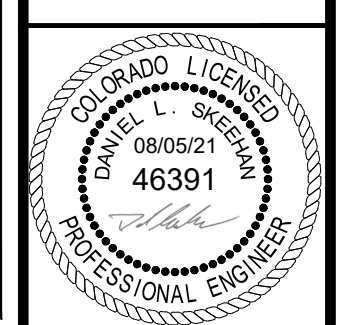
NO.	REVISION	BY	DATE	APPR

Kimley»Horn

2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

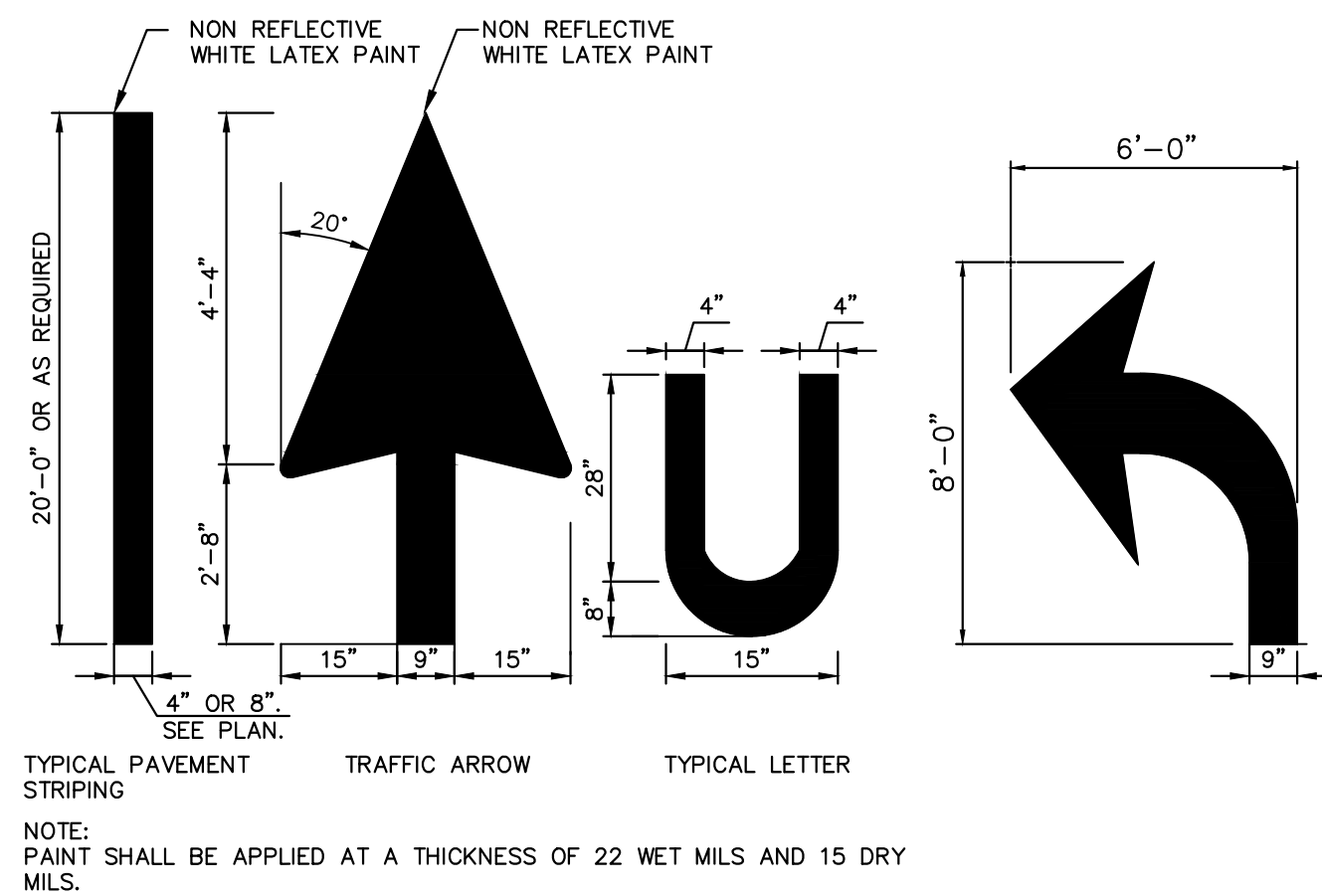
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
SIGNAGE AND STRIPING PLAN



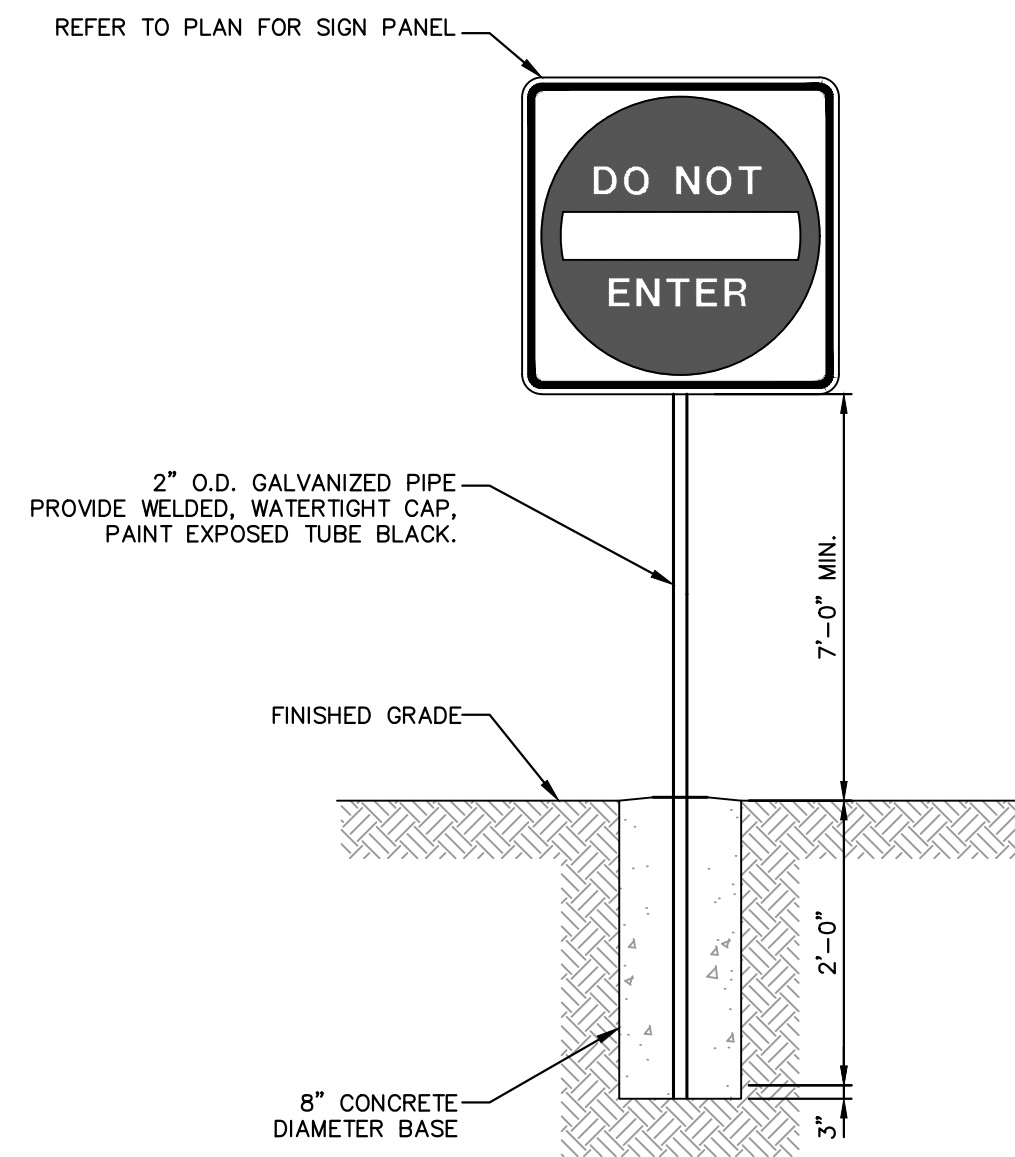
PROJECT NO.
096481002
 DRAWING NAME
096481002SIGN
C4.5



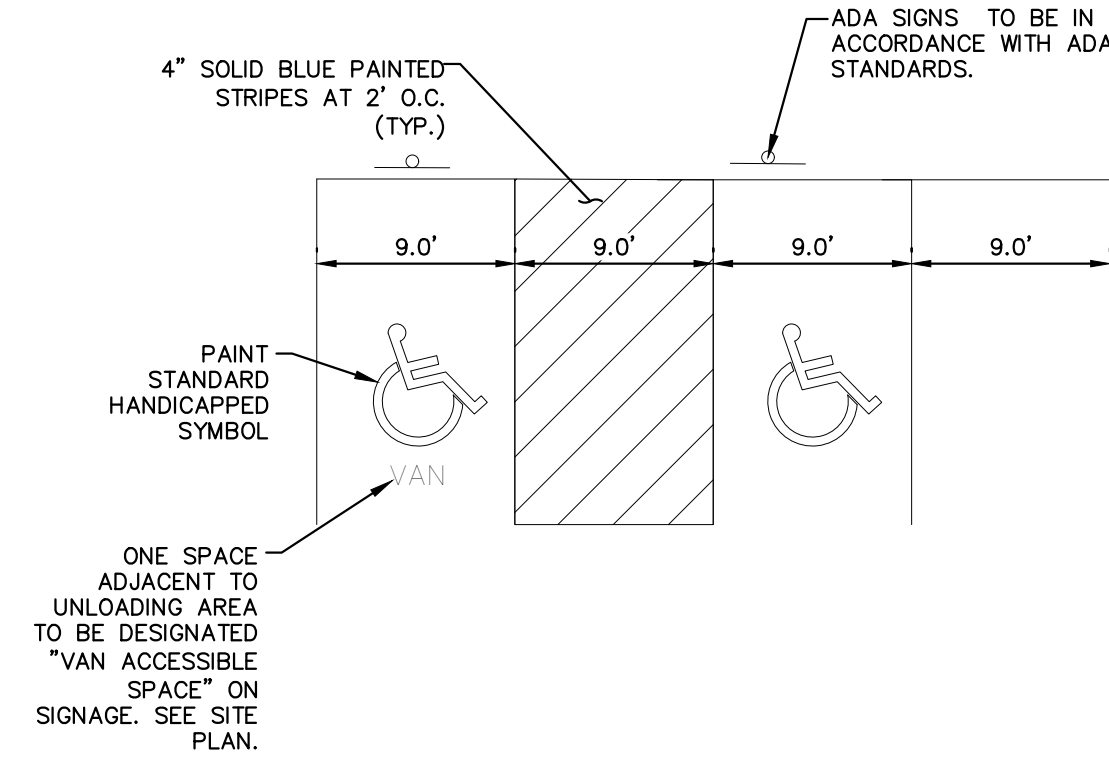
\\parker-horn.com\Users\del_c\My Documents\CAD\096481002\096481002.dwg - Parker & Pines, Inc. (D:\CAD\Drawings\096481002\096481002.dwg) - Date: 10/18/2019 10:57 AM
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TYPICAL PAVEMENT MARKINGS
NOT TO SCALE

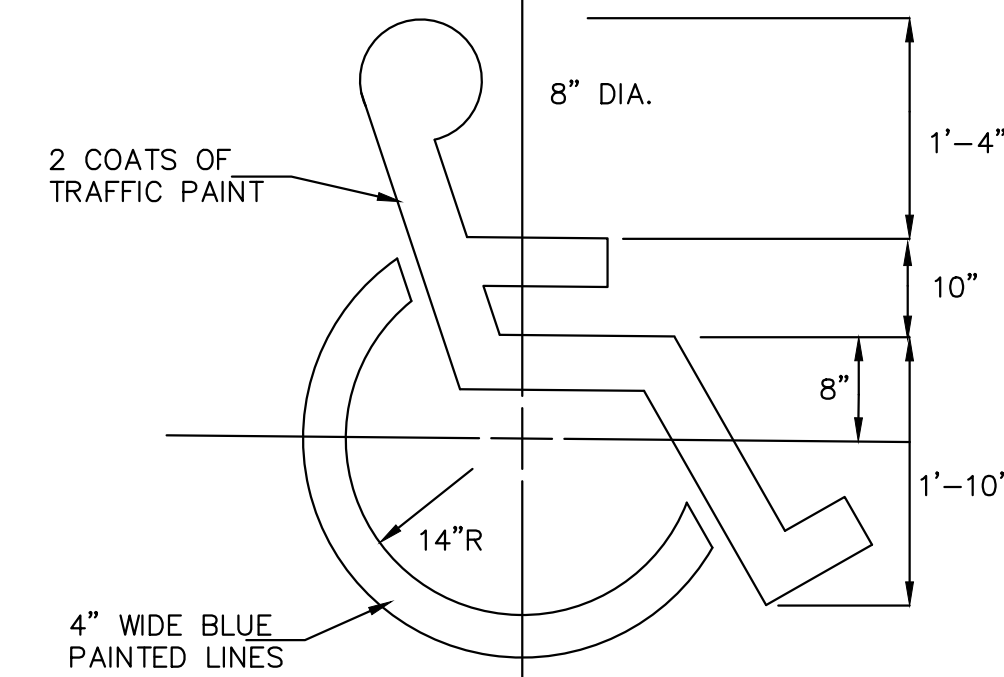


SIGN POST DETAIL
NOT TO SCALE



- NOTES:**
- DIMENSIONS MAY VARY REFER TO SITE GEOMETRICS PLAN.
 - SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

ACCESSIBLE PARKING DETAIL
NOT TO SCALE

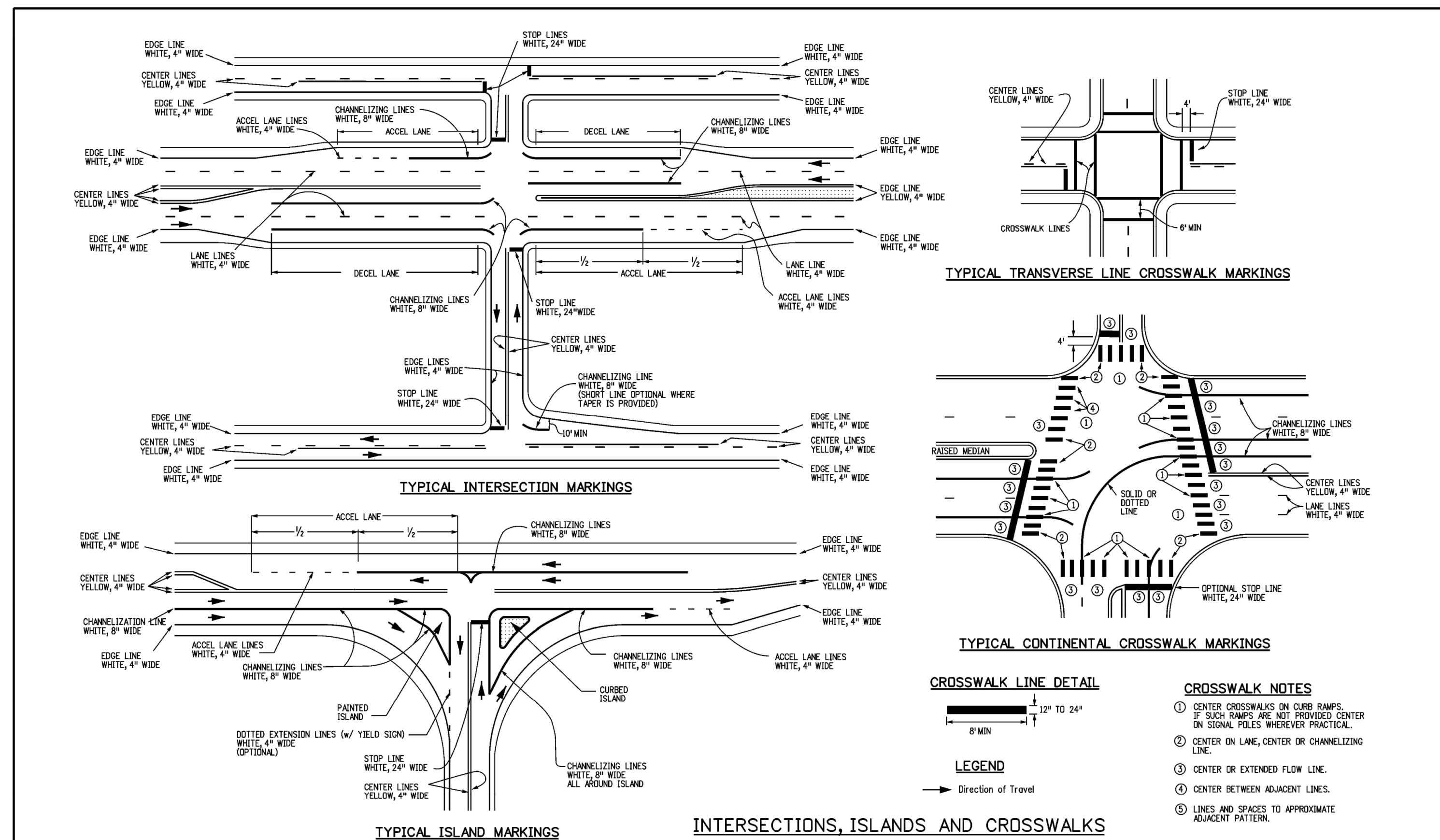


- NOTE:**
- ALL TRAFFIC MARKINGS TO BE LATEX AS PER DIMENSIONS SHOWN.

ACCESSIBLE PARKING SYMBOL
NOT TO SCALE

NOTES

- BOLLARD SHALL NOT BE USED WHEN SIGN IS LOCATED BEHIND BACK OF CURB.
- MOUNT BOTTOM OF LOWEST SIGN 84" ABOVE PARKING SURFACE.



Computer File Information		Sheet Revisions		Colorado Department of Transportation 2829 W. Howard Pl. Denver, CO 80204 Phone: 303-757-9436 FAX: 303-757-9219 Traffic & Safety Engineering MKB	PAVEMENT MARKINGS STANDARD PLAN NO. S-627-1 Standard Sheet No. 3 of 9 Project Sheet Number:
Creation Date: 07/04/12	Created By: JSW	Date:	Comments:		
Last Modification Date: 02/08/17	Last Modified By: MBhat				
CAD Ver: MicroStation V8	Scale: Not to Scale	Units: English			

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 SIGNAGE AND STRIPING DETAILS

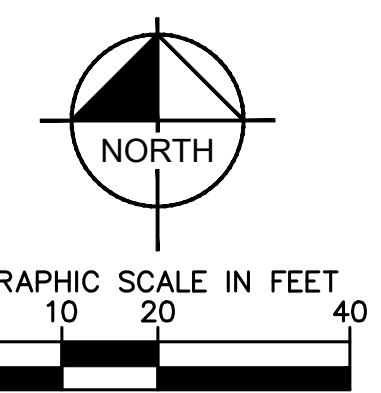
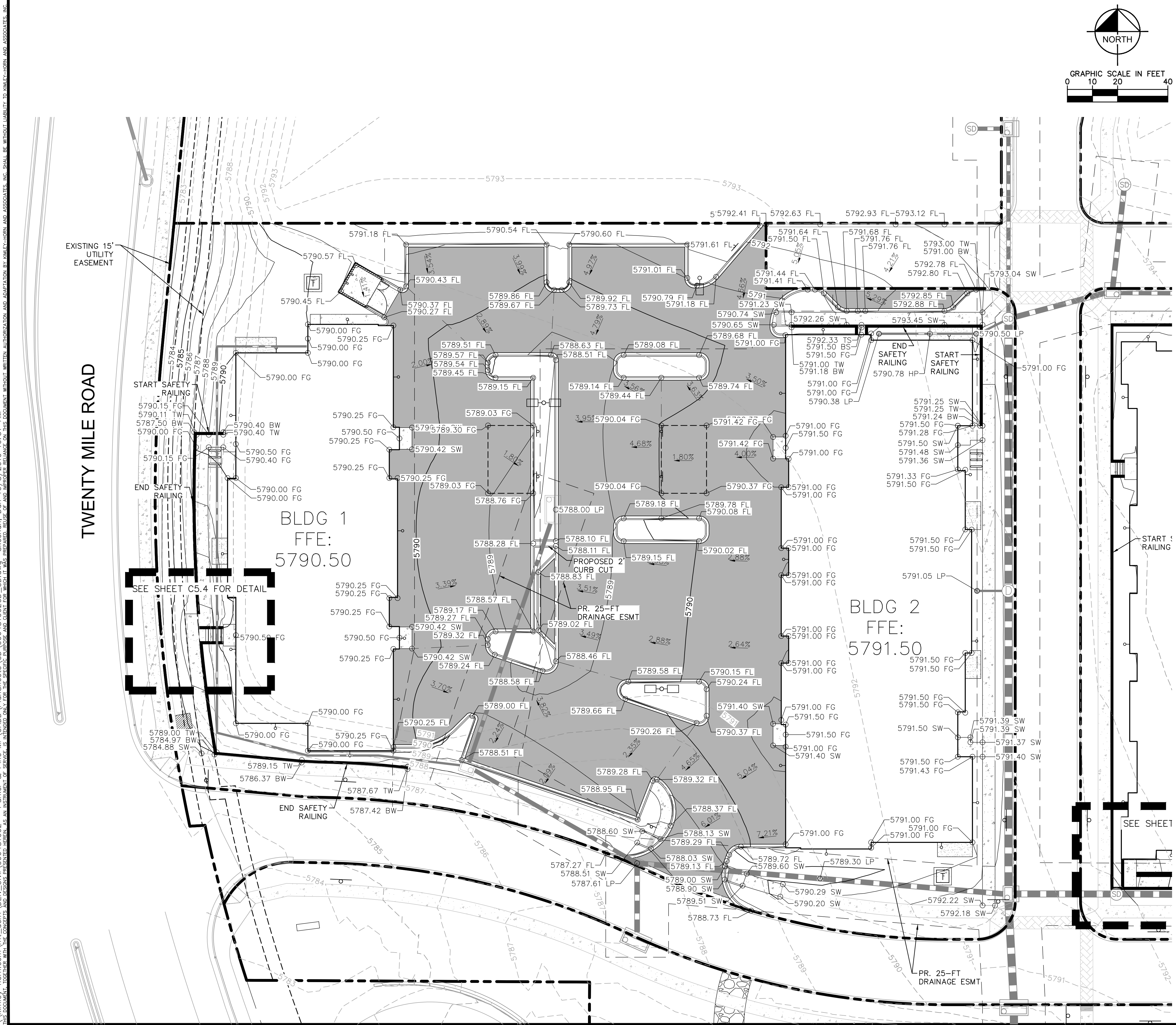


PROJECT NO. 096481002
 DRAWING NAME 096481002SIGN
C4.6



NO.	REVISION	BY	DATE

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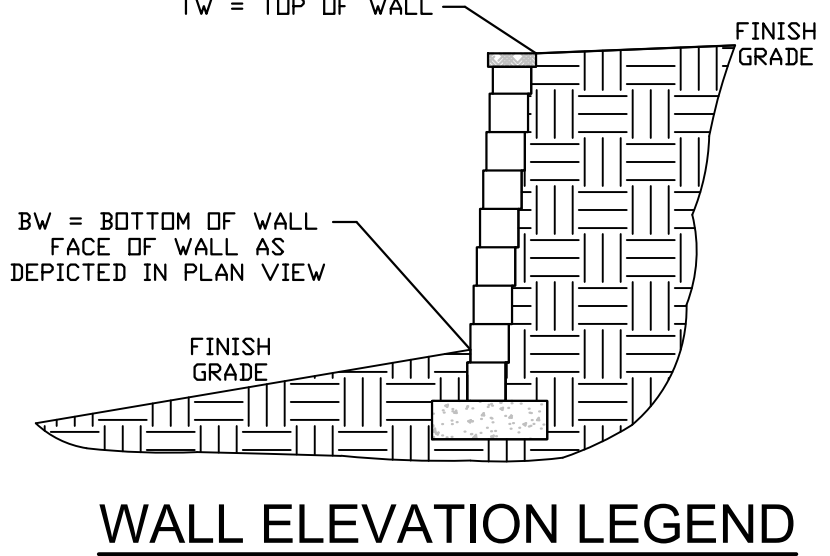
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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGEND

---	EXISTING MAJOR CONTOURS
---	EXISTING MINOR CONTOURS
---	PROPOSED MAJOR CONTOURS
---	PROPOSED MINOR CONTOURS
---	PROPOSED GRADE BREAK
• 00.00	PROPOSED SPOT ELEVATION
• (00.00)	EXISTING SPOT ELEVATION
X.XX%	PROPOSED SLOPE
X.XX%	EXISTING SLOPE
FL	FLOW LINE ELEVATION
FFE	FINISHED FLOOR ELEVATION
SW	SIDEWALK ELEVATION
TW	TOP OF WALL ELEVATION
ME	MATCH EXISTING ELEVATION
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---	RETAINING WALL
X.XX%	FLOW ARROW
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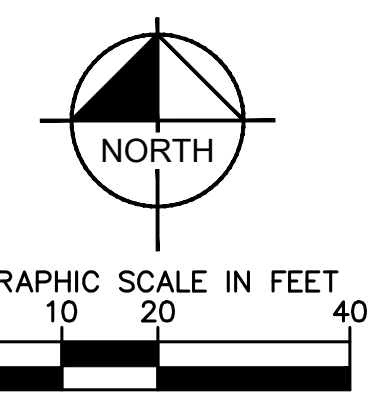
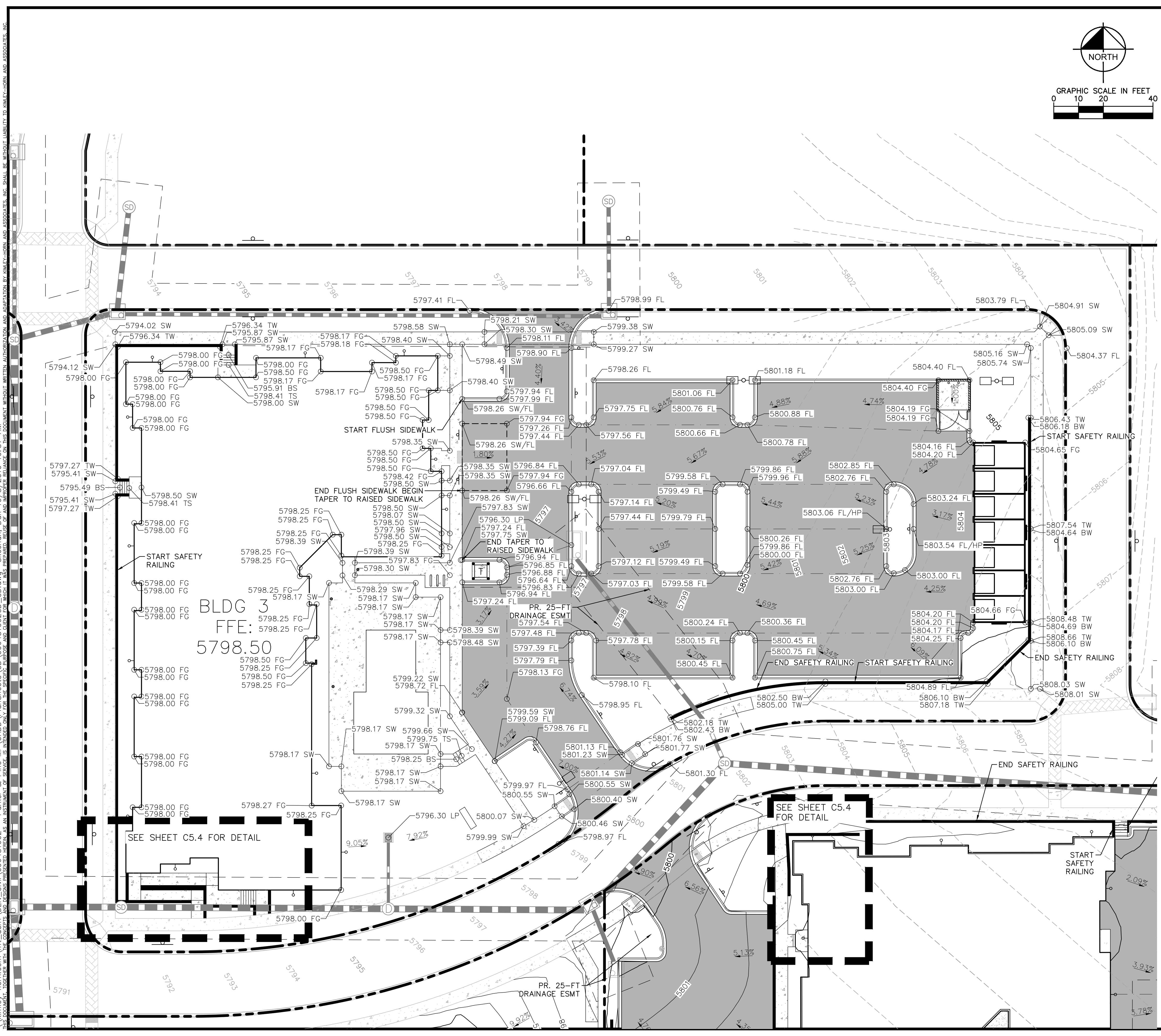
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<p> 2020 KIMLEY-HORN AND ASSOCIATES, INC. 4582 South Ulster Street, Suite 1500 Denver, Colorado 80237 (303) 228-2300 </p>	NO. _____ BY _____ DATE _____ REVISION _____
DESIGNED BY: DLS DRAWN BY: JRK CHECKED BY: DLS DATE: 08/05/21	
PARKER AND PINE FILING NO. 2 LOTS 1-3 PARKER, CO MULTI-FAMILY CONSTRUCTION DOCUMENTS DETAILED GRADING PLAN	
PROJECT NO. 096481002 DRAWING NAME 096481002CD_CD C5.1	



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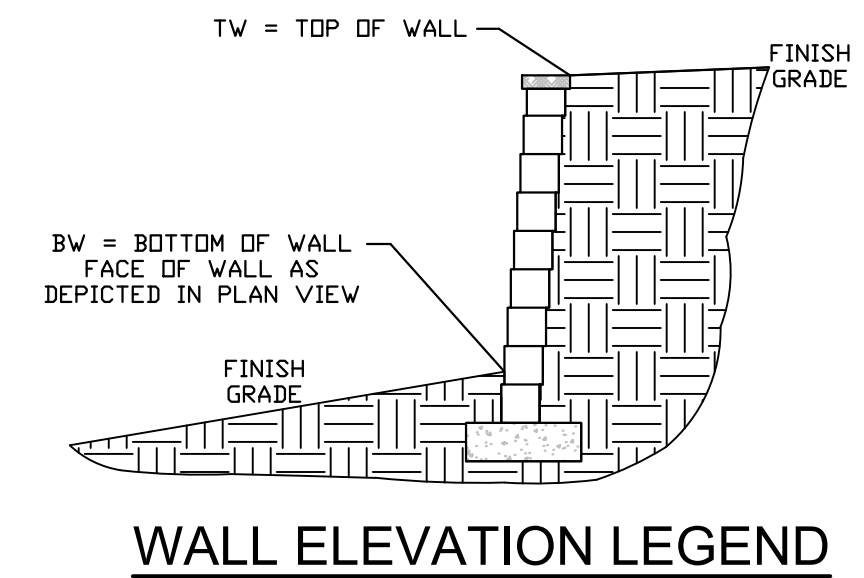
TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGEND

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- 36 --- EXISTING MINOR CONTOURS
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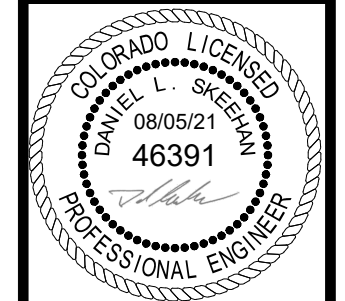


NO.	REVISION	BY	DATE

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 DETAILED GRADING PLAN

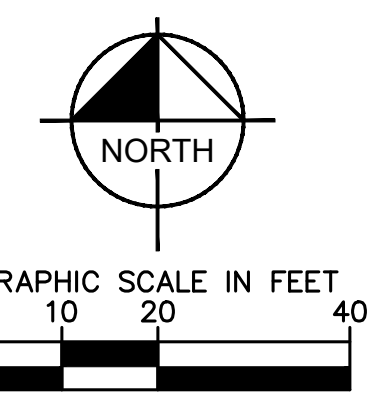
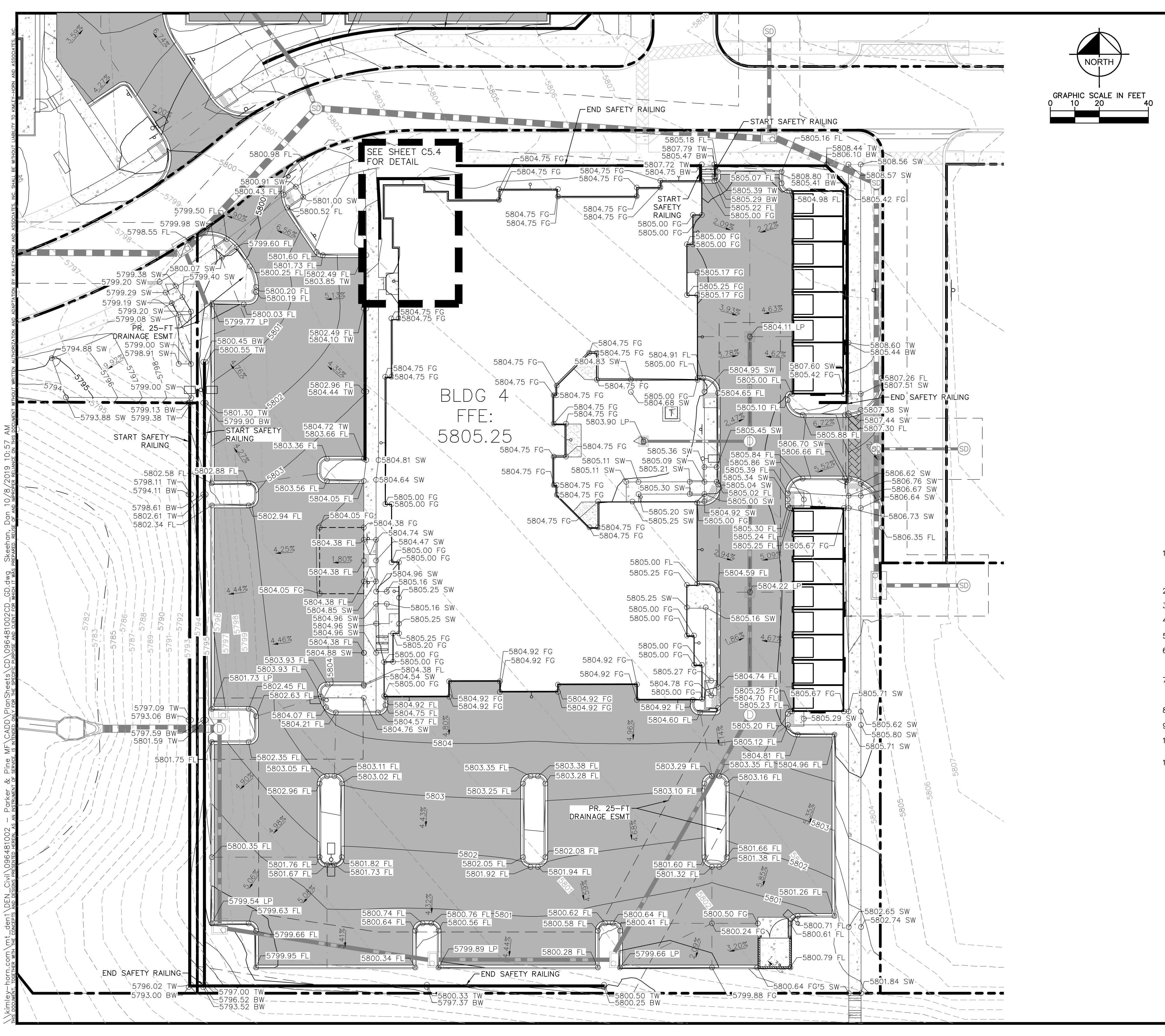


PROJECT NO.
 096481002

DRAWING NAME
 096481002CD_CD

C5.2





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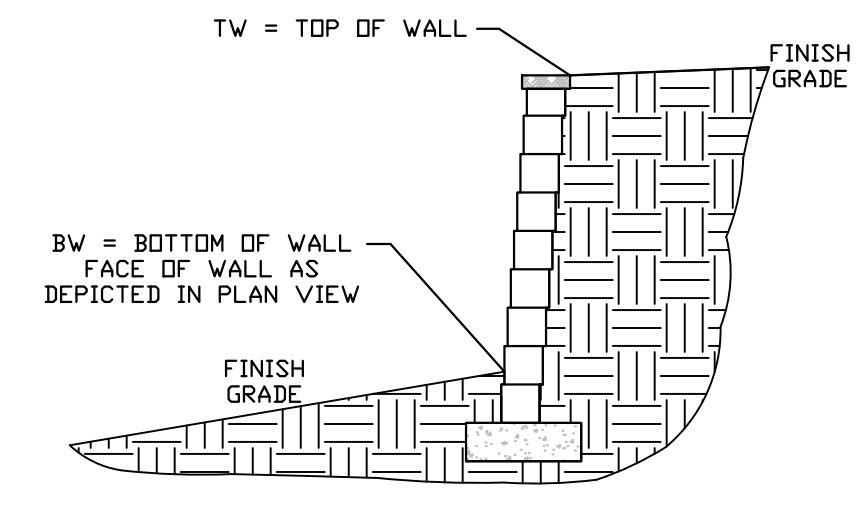
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WALL ELEVATION LEGEND

NO.	REVISION	BY	DATE

Kimley»Horn
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 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 DETAILED GRADING PLAN



PROJECT NO.
096481002

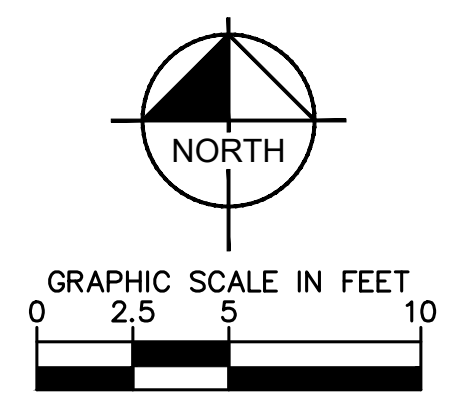
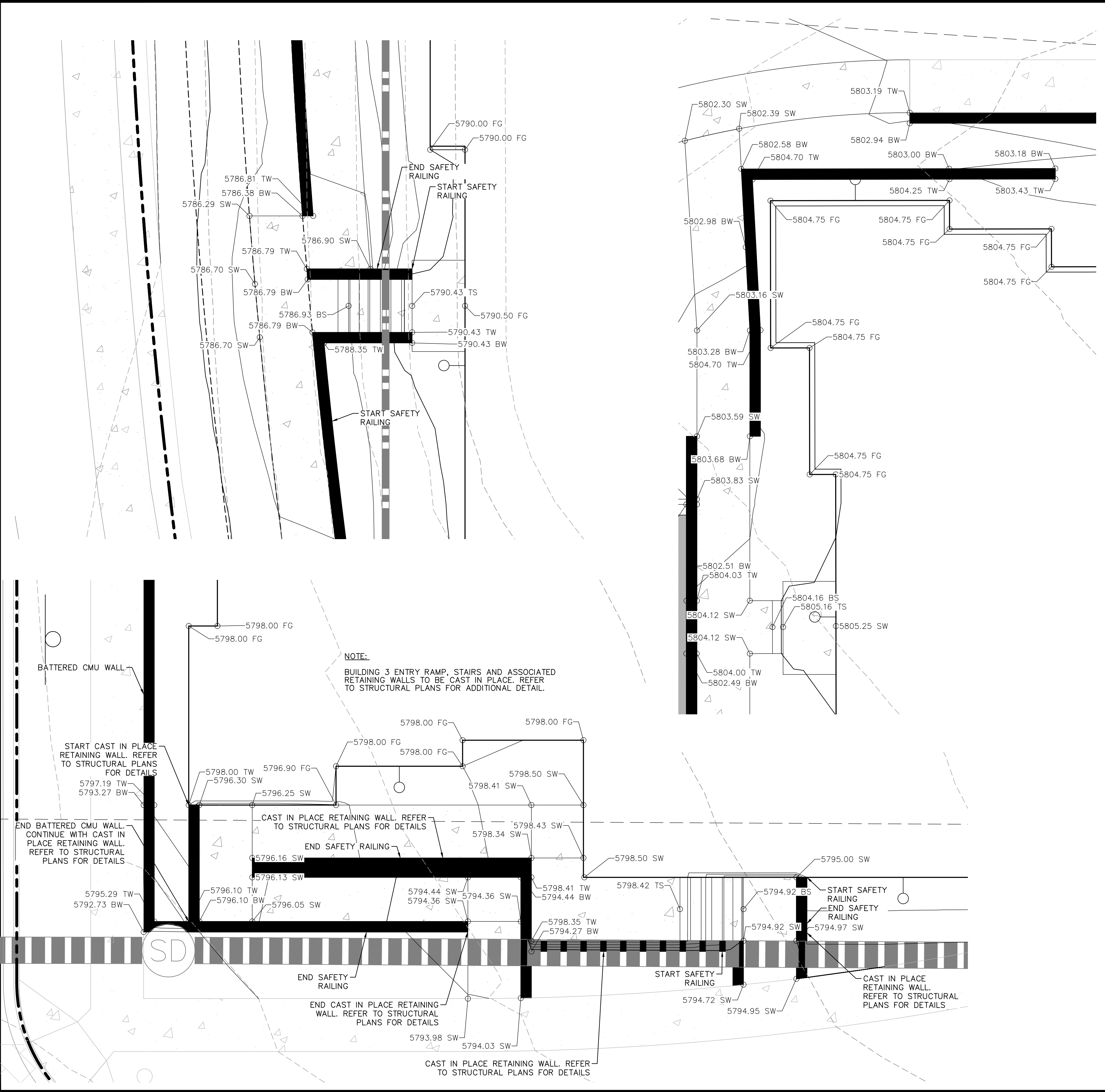
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096481002CD_GD

C5.3



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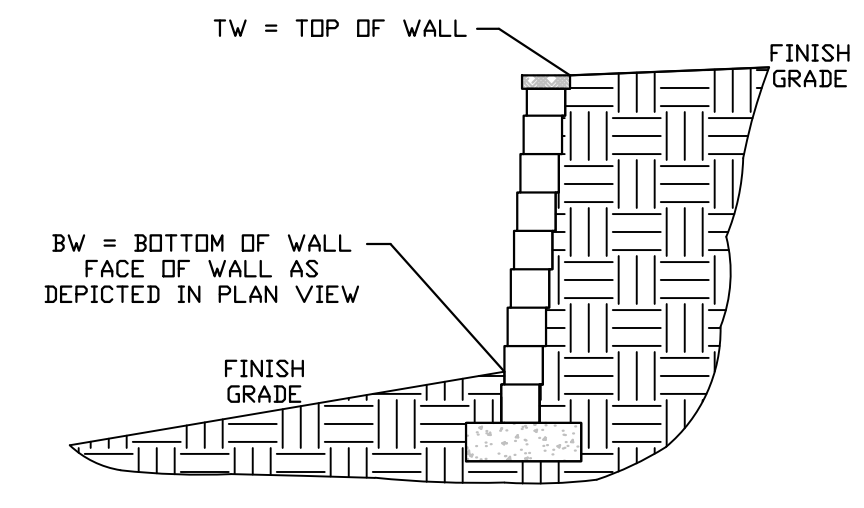
TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

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WALL ELEVATION LEGEND

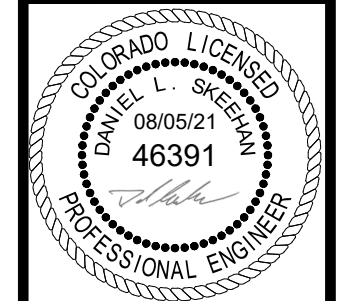
NOTE:
 BUILDING 3 ENTRY RAMP, STAIRS AND ASSOCIATED RETAINING WALLS TO BE CAST IN PLACE. REFER TO STRUCTURAL PLANS FOR ADDITIONAL DETAIL.

NO.	REVISION	BY	DATE	APPR

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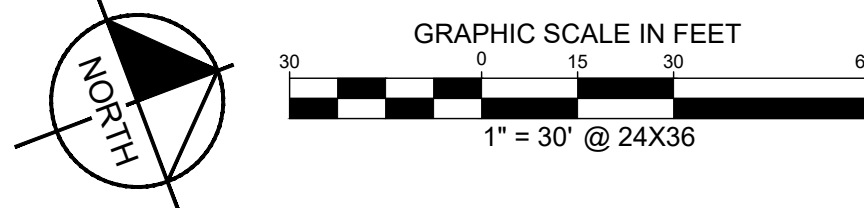
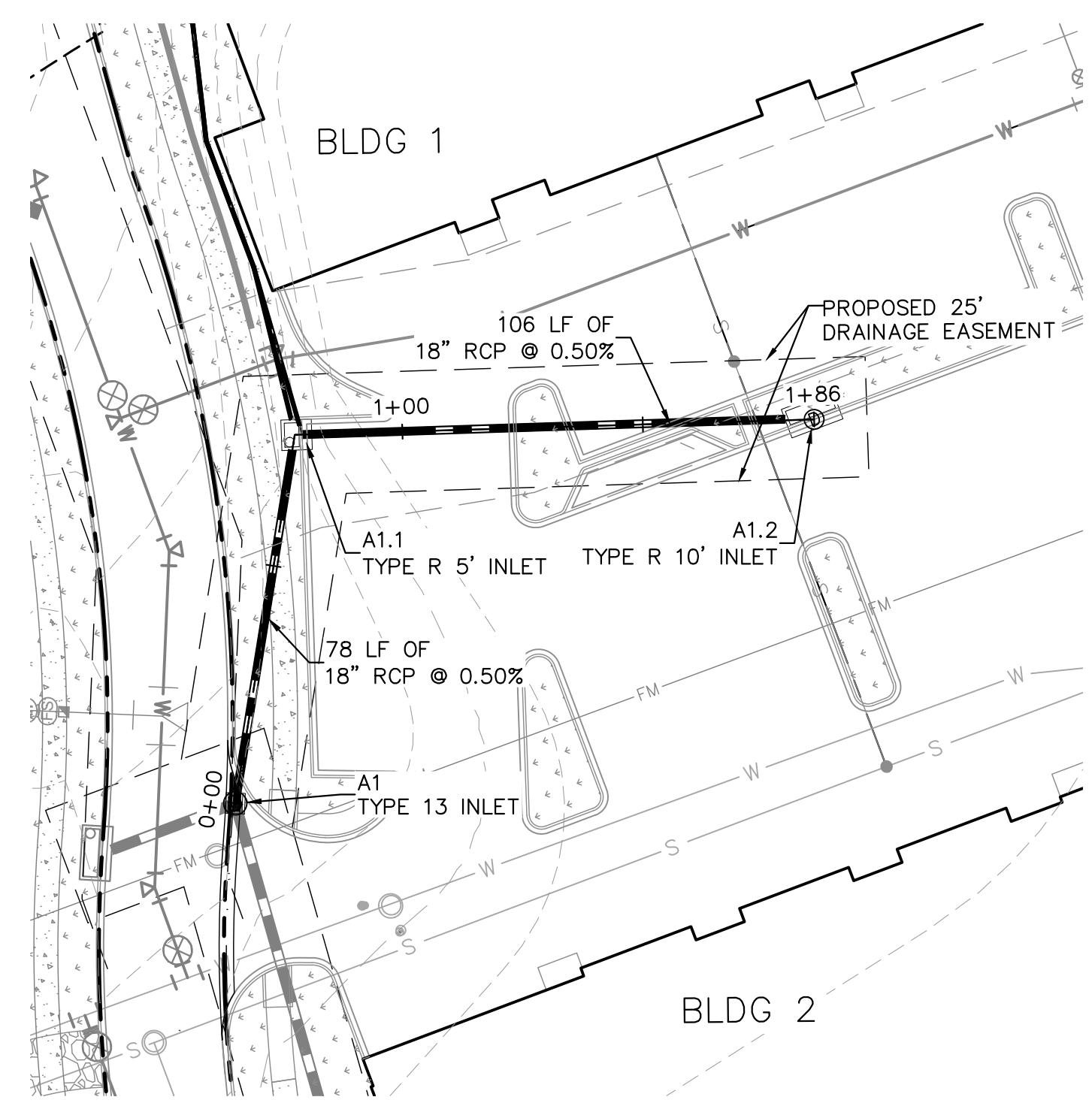
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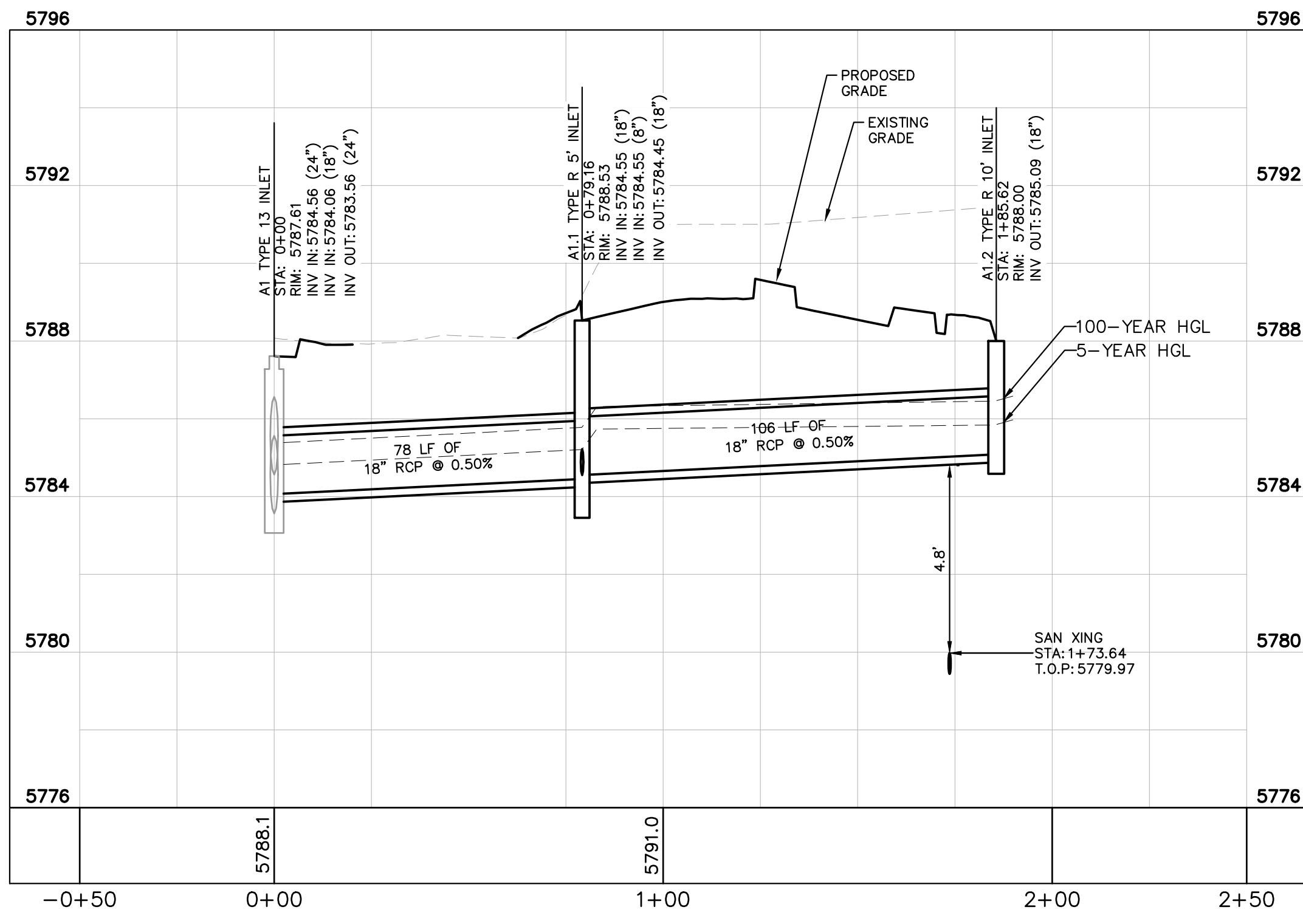
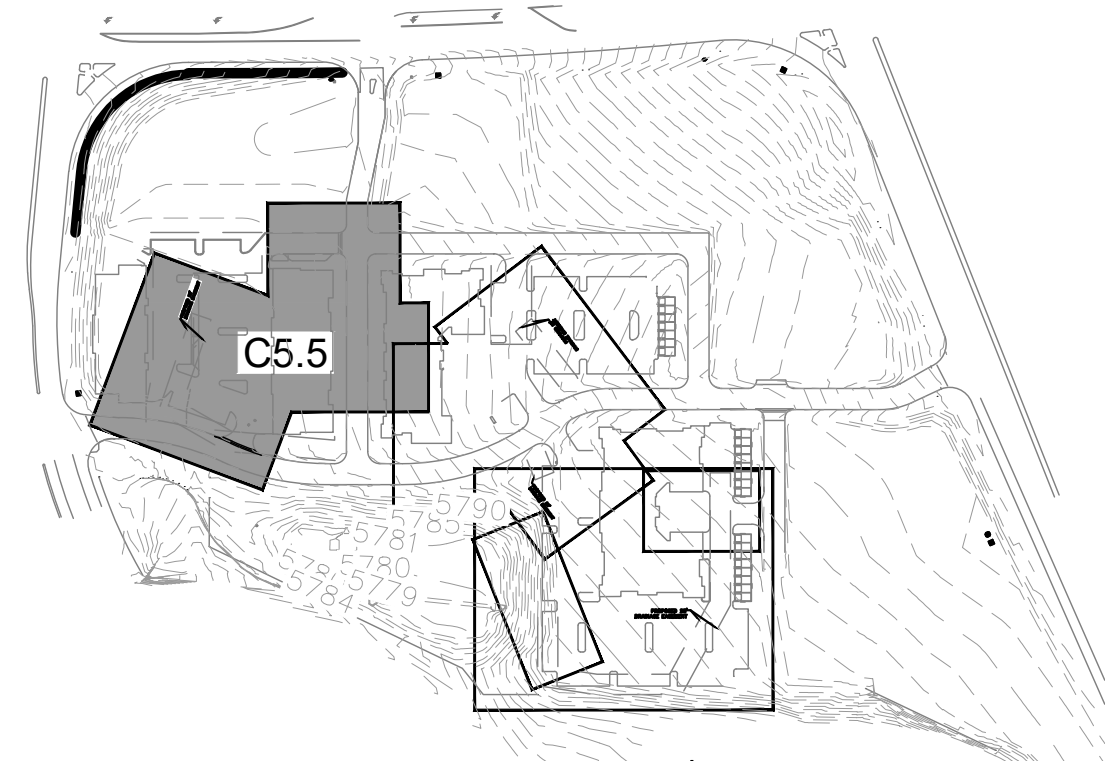
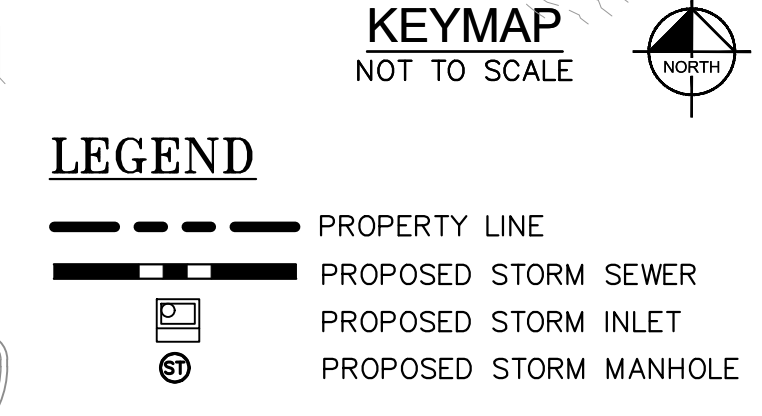
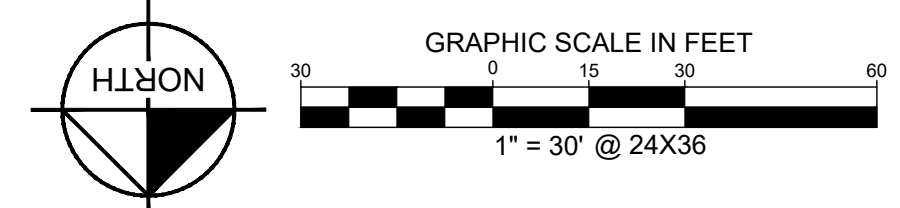
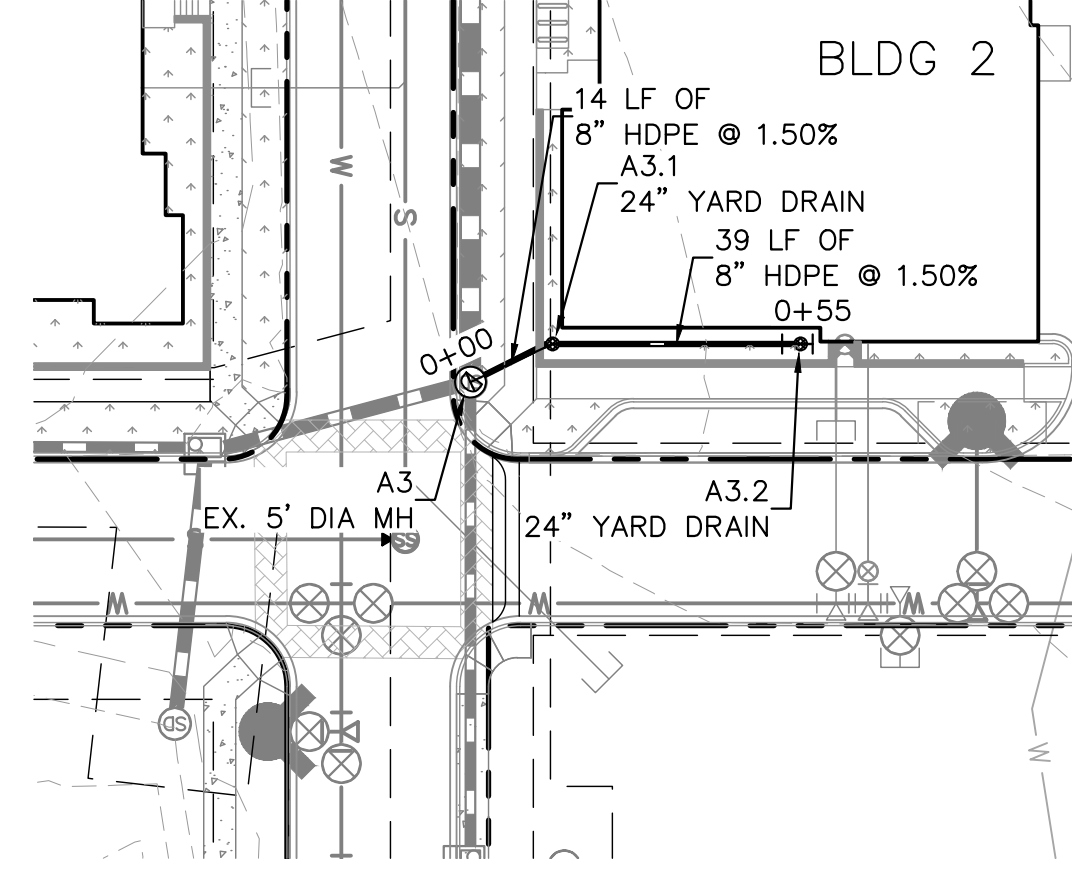
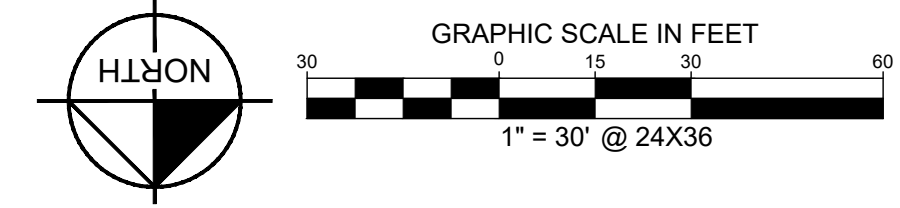
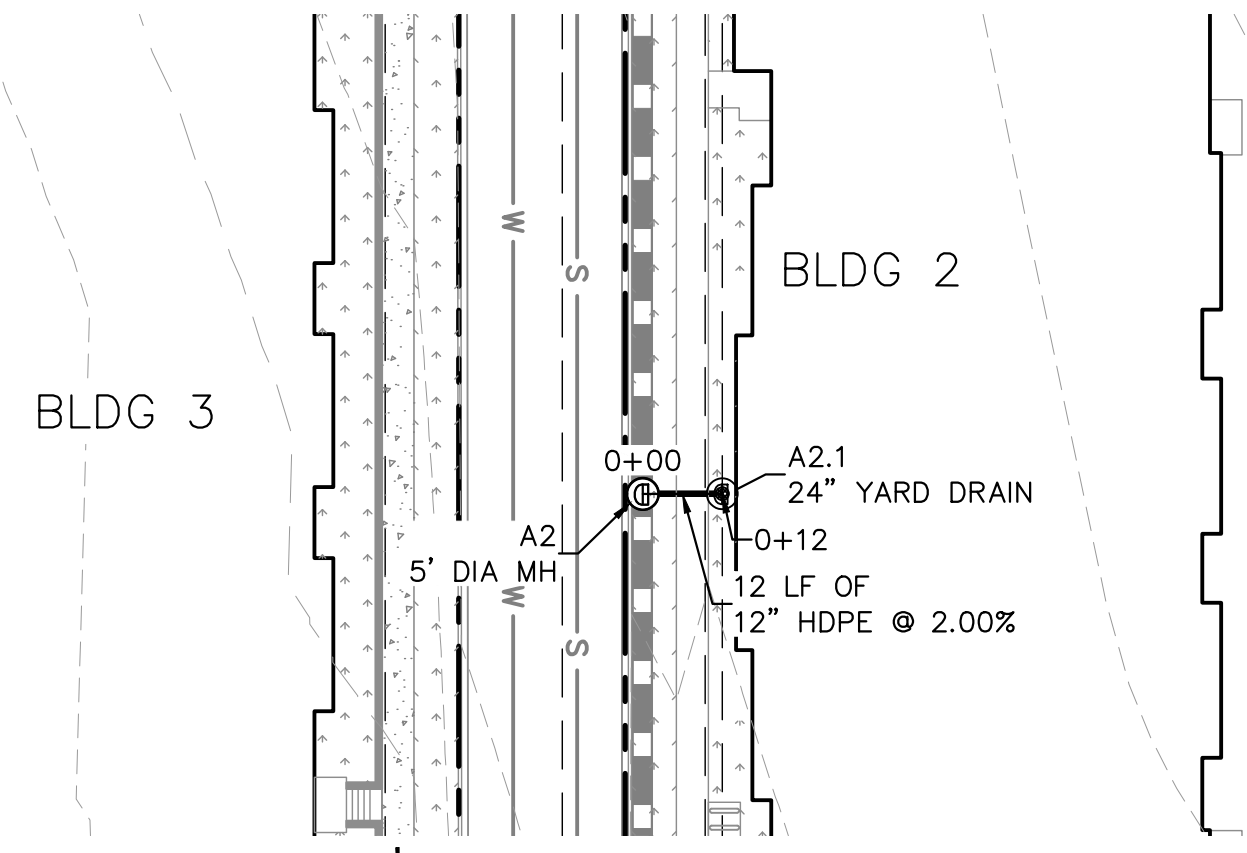
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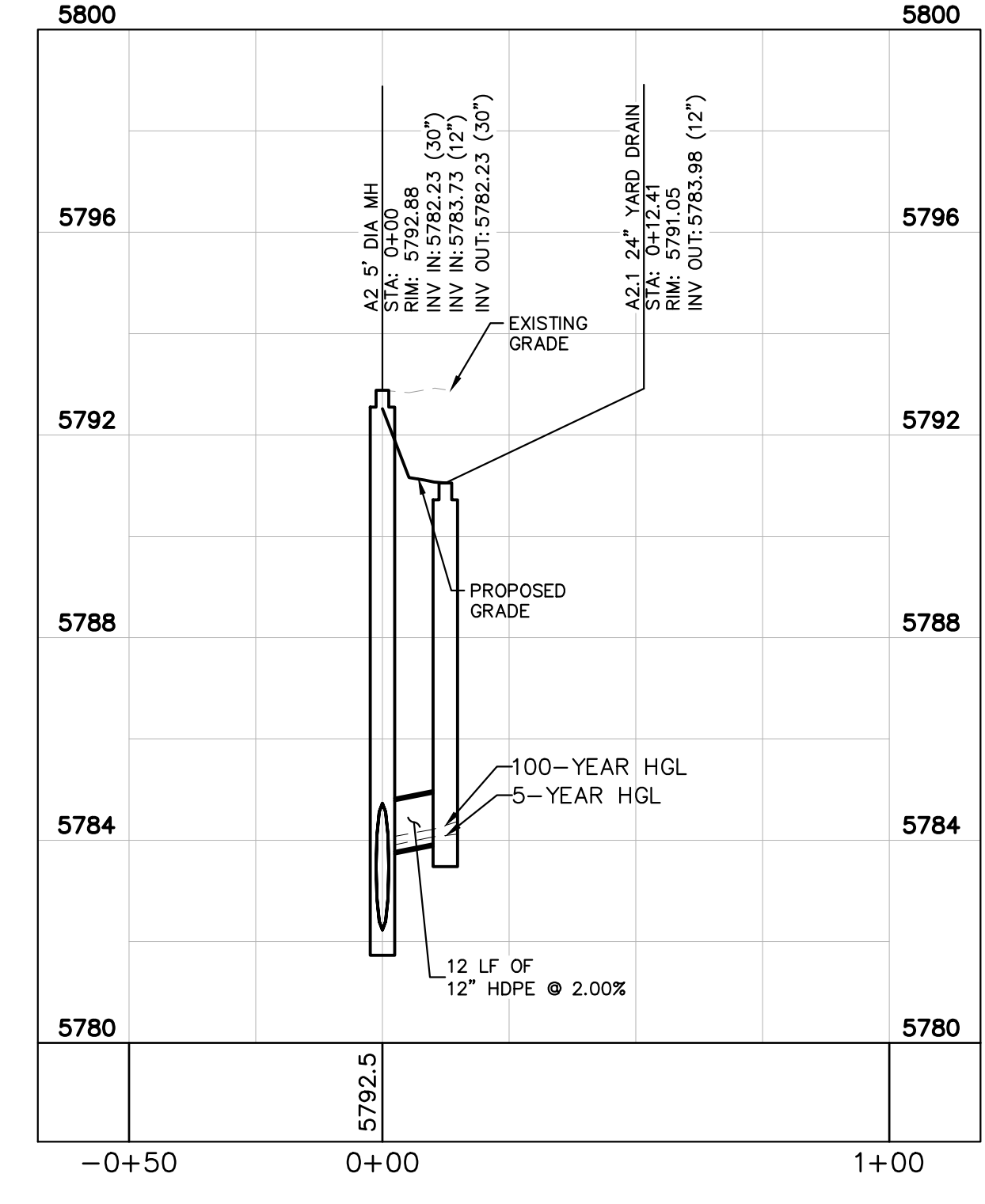
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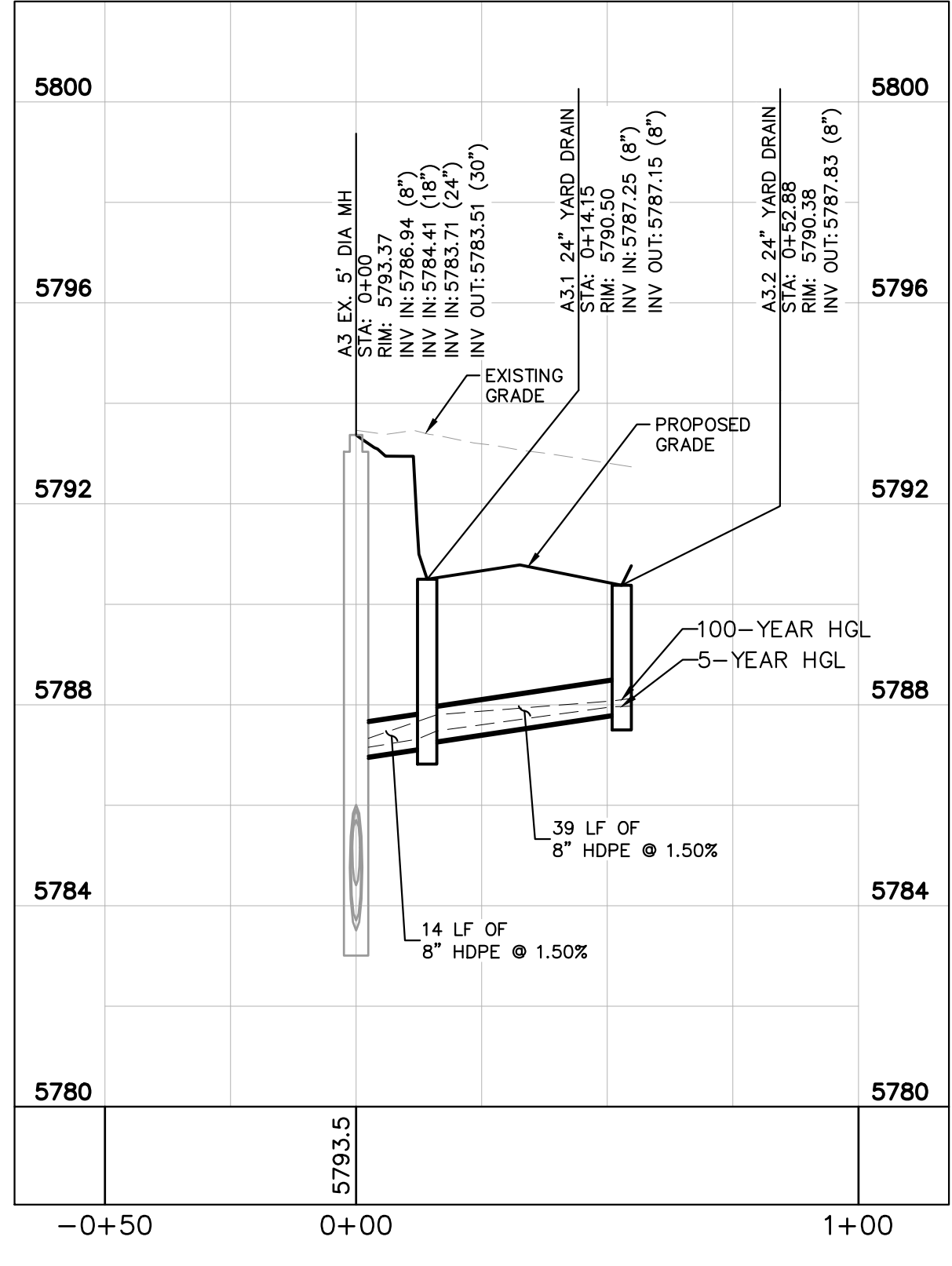
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 TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____



STORM LINE A1 PROFILE
 [STA 0+00 TO 1+88]
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=3'



STORM LINE A2 PROFILE
 [STA 0+00 TO 0+12]
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=3'



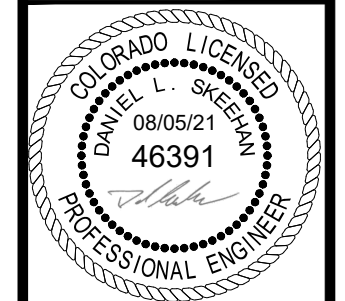
STORM LINE A3 PROFILE
 [STA 0+00 TO 0+55]
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=3'

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

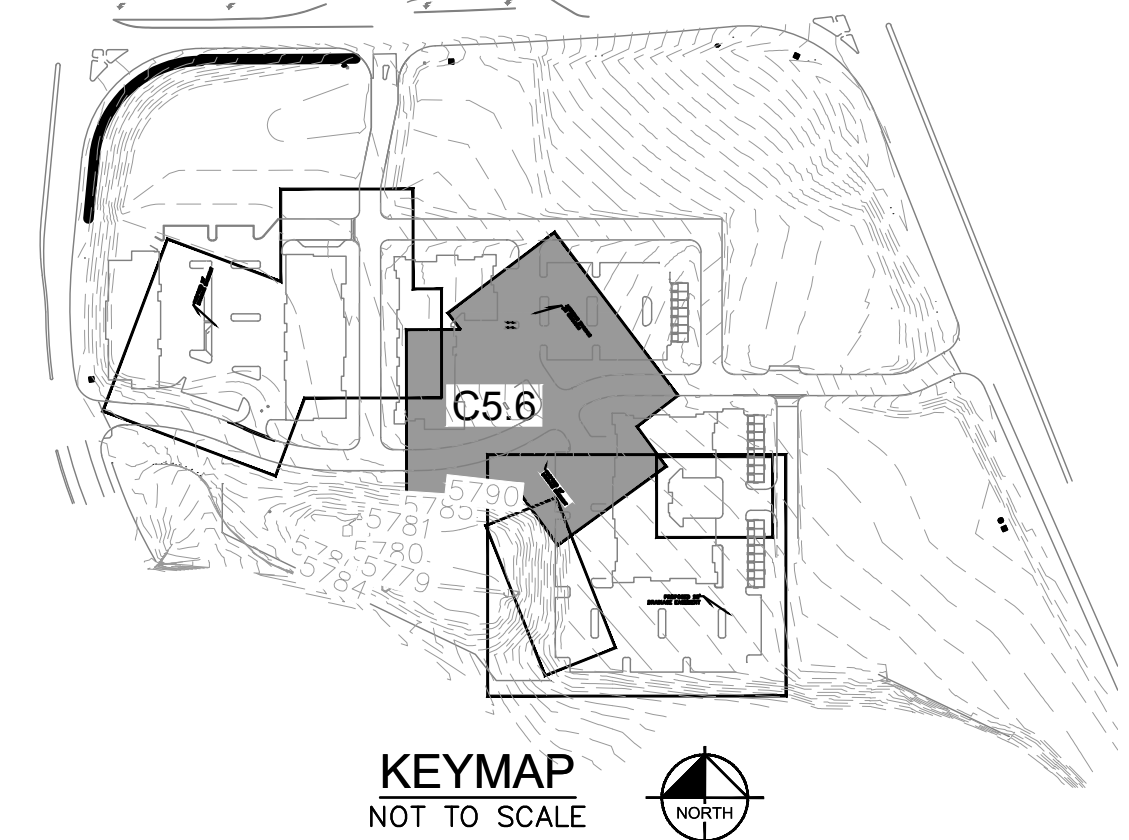
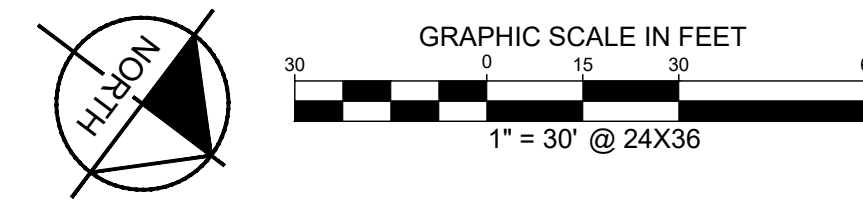
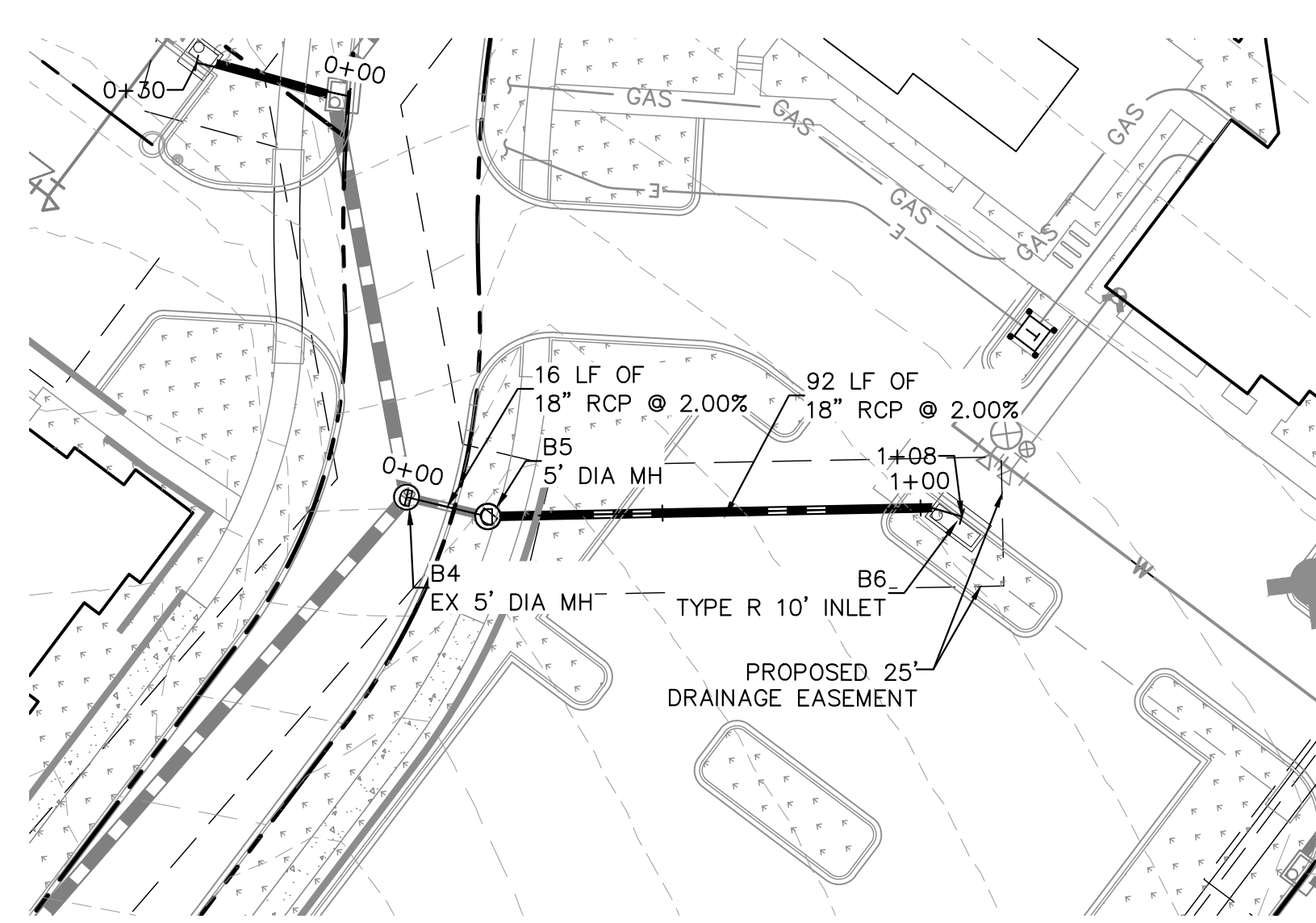
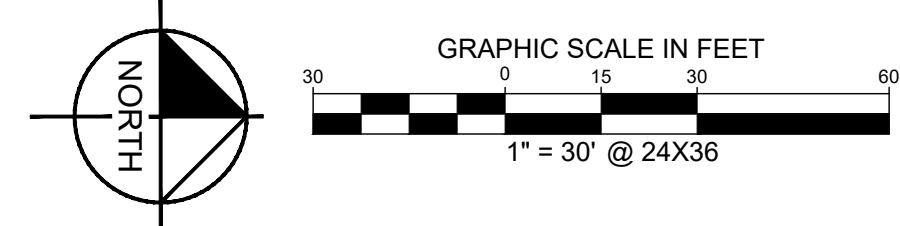
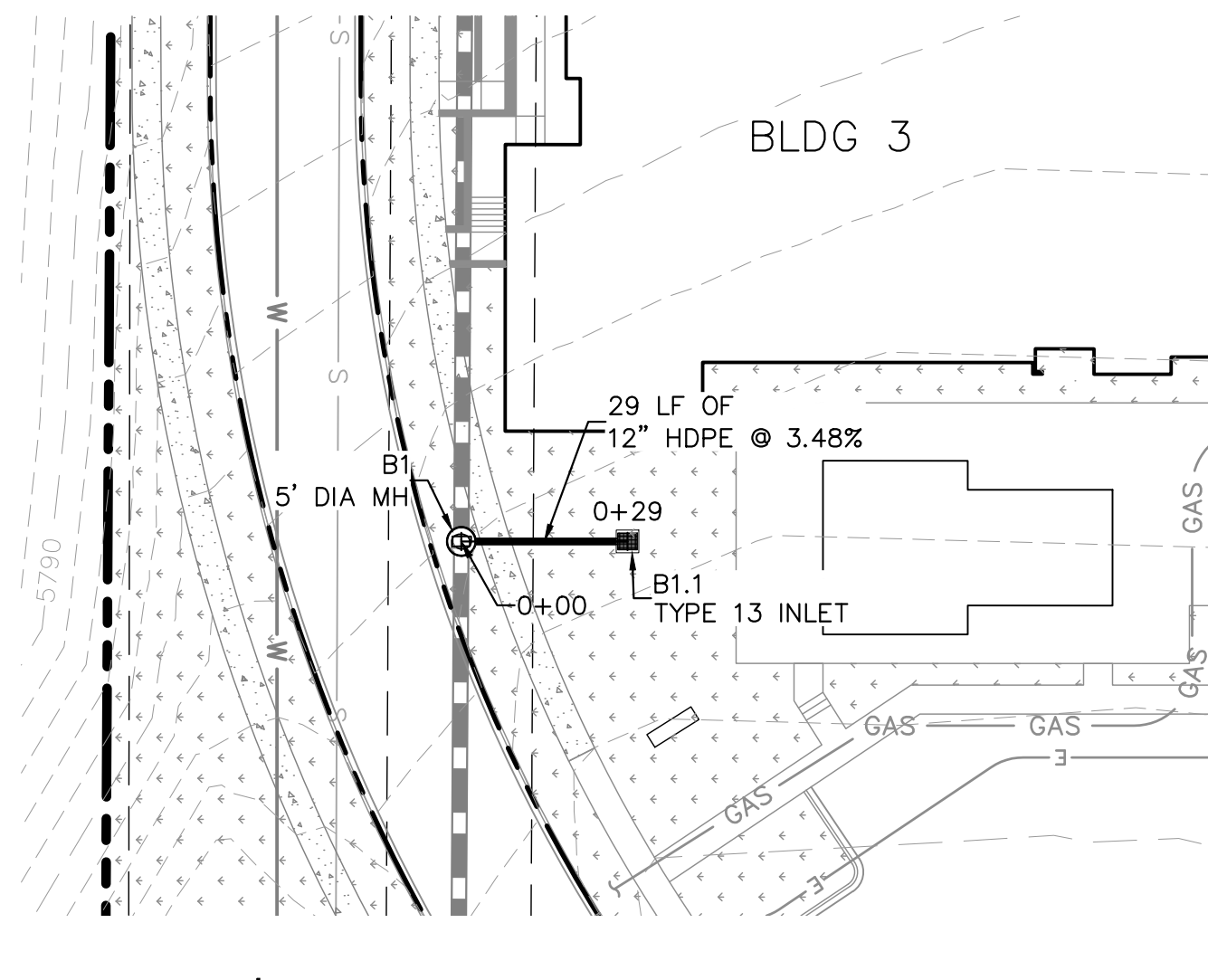
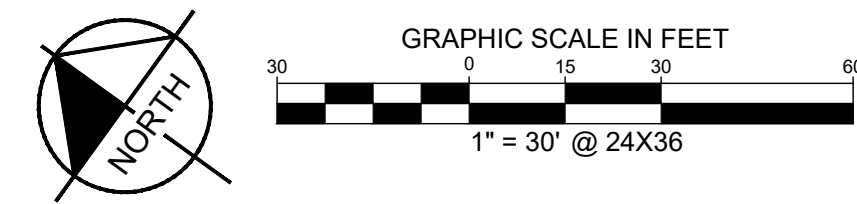
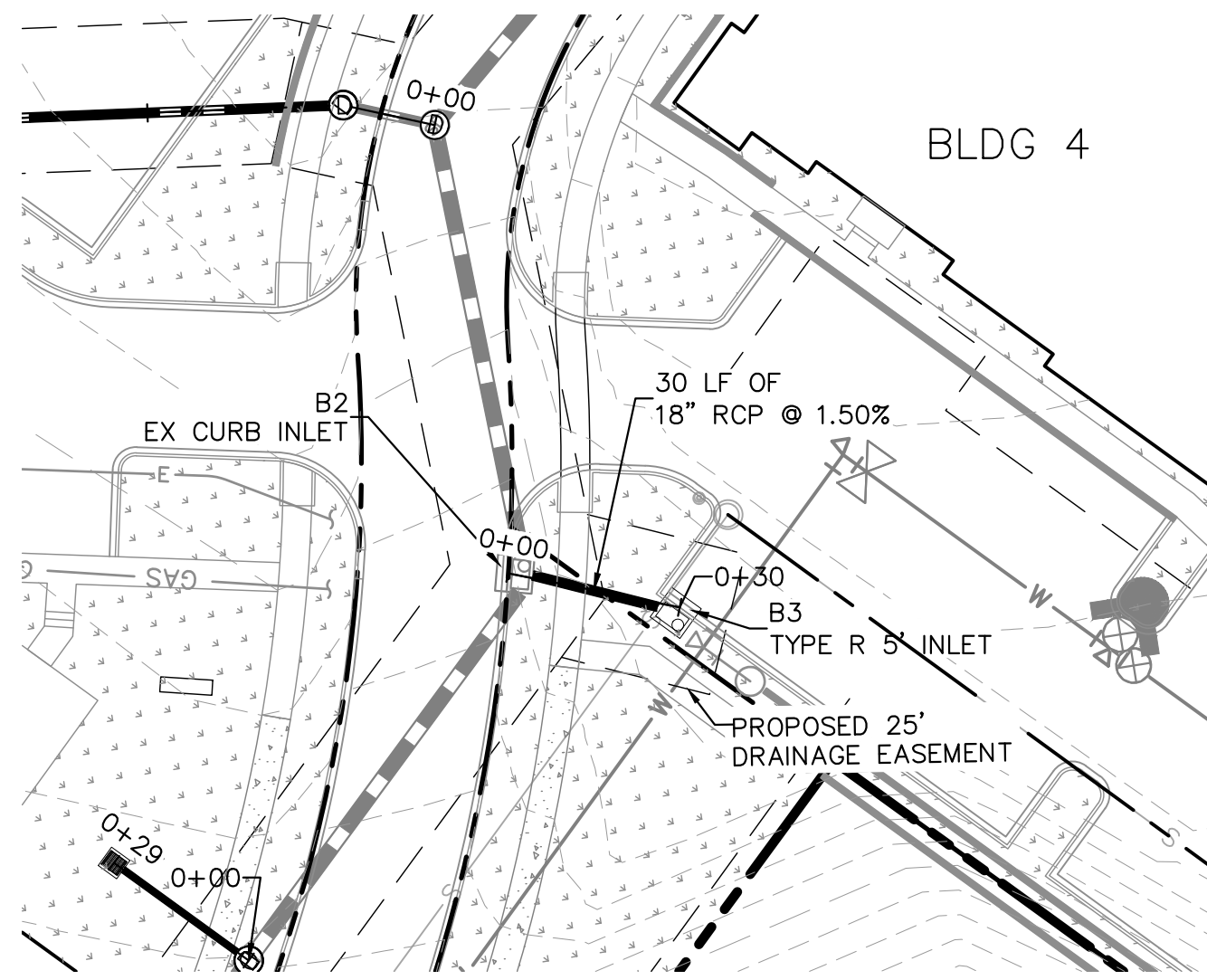
PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 STORM - A PLAN & PROFILE



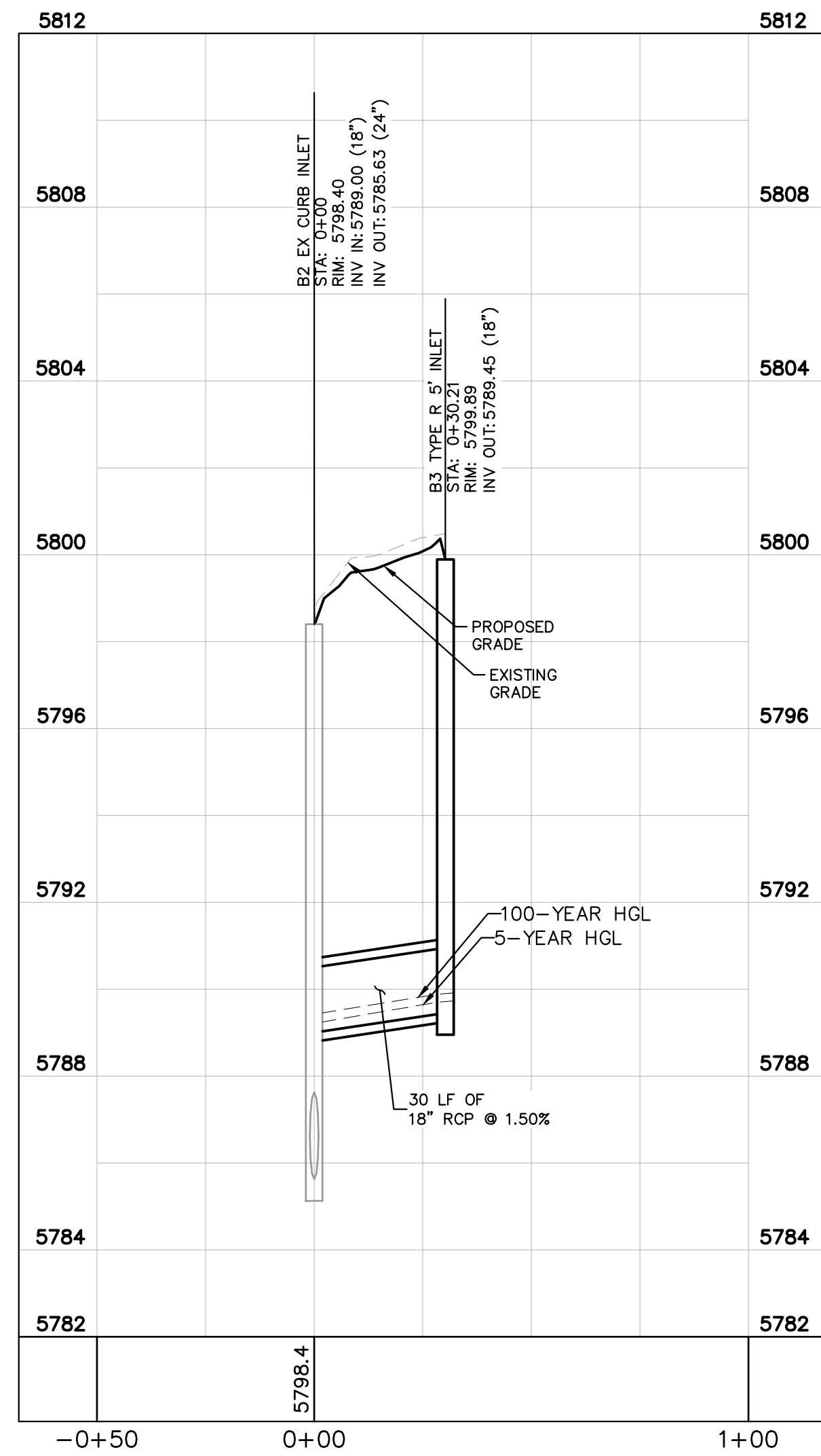
PROJECT NO.
 096481002
 DRAWING NAME
 096481002CD_STM
C5.5



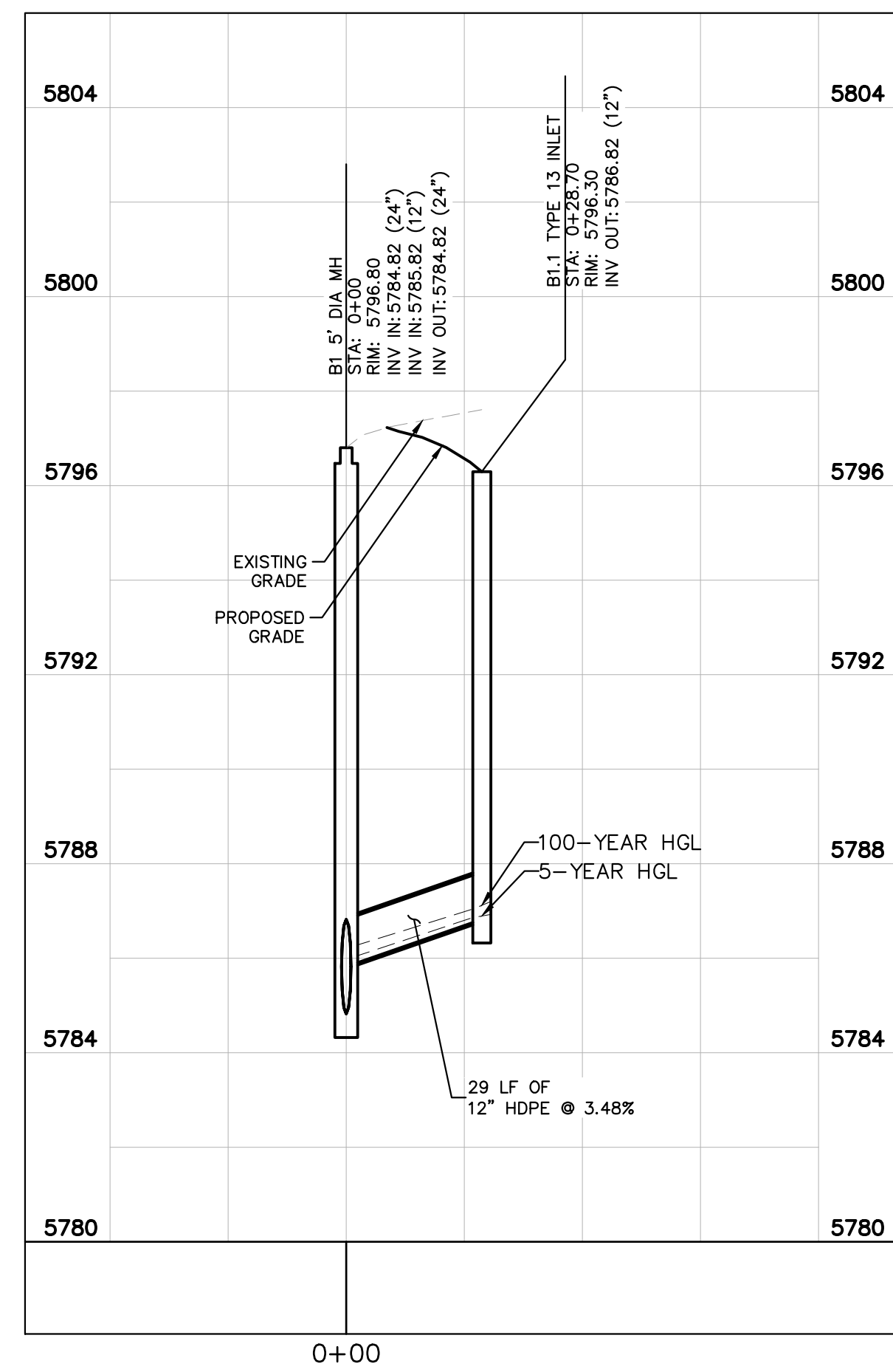
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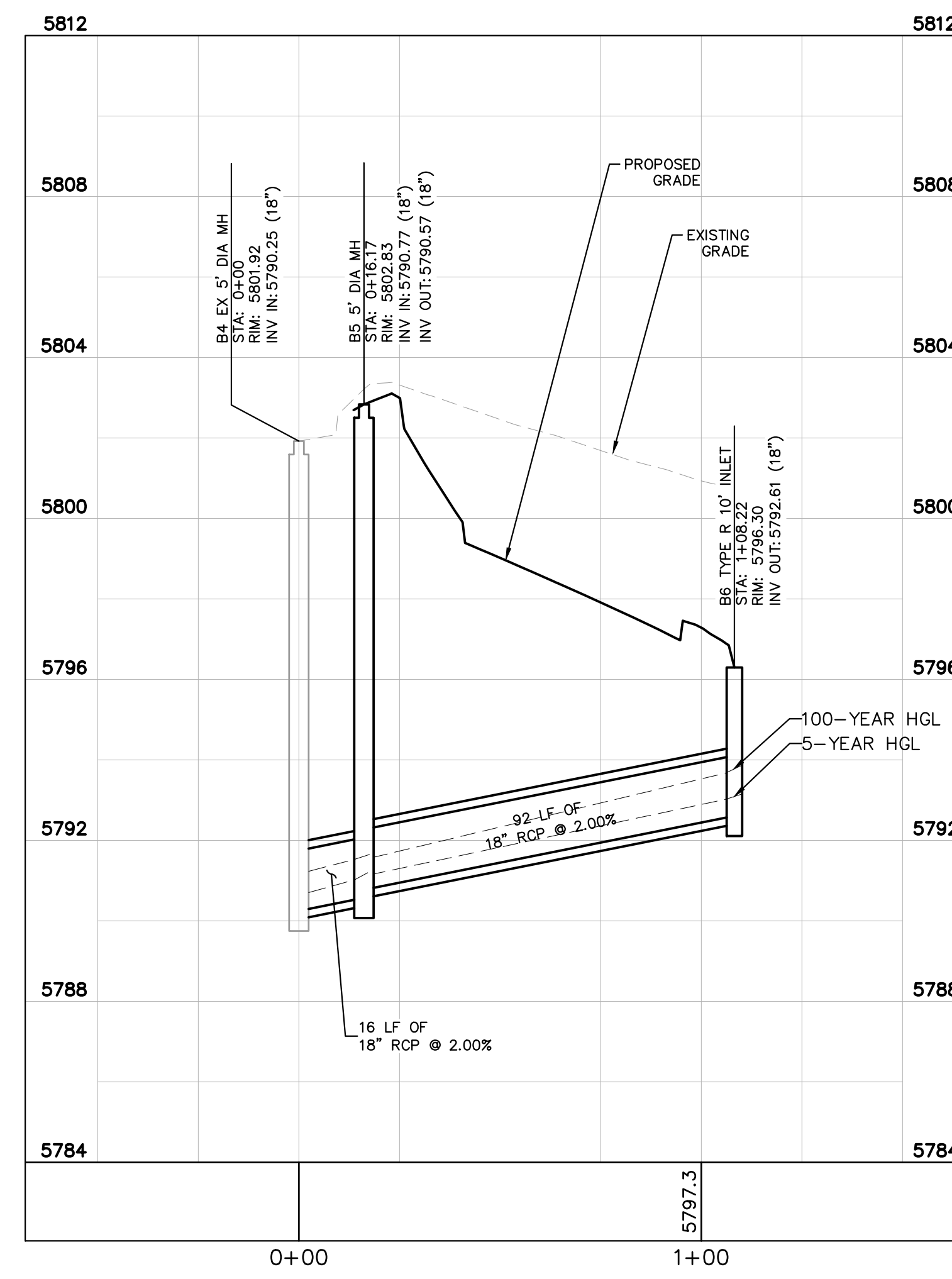
- LEGEND**
- PROPERTY LINE
 - PROPOSED STORM SEWER
 - PROPOSED STORM INLET
 - PROPOSED STORM MANHOLE



STORM LINE B1 PROFILE
[STA 0+00 TO 0+31]
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'



STORM LINE B2 PROFILE
[STA 0+00 TO 0+29]
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'



STORM LINE B3 PROFILE
[STA 0+00 TO 1+08]
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY OR CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

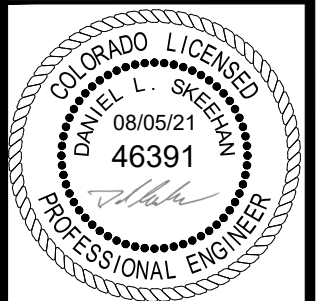


NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 STORM - B PLAN & PROFILE

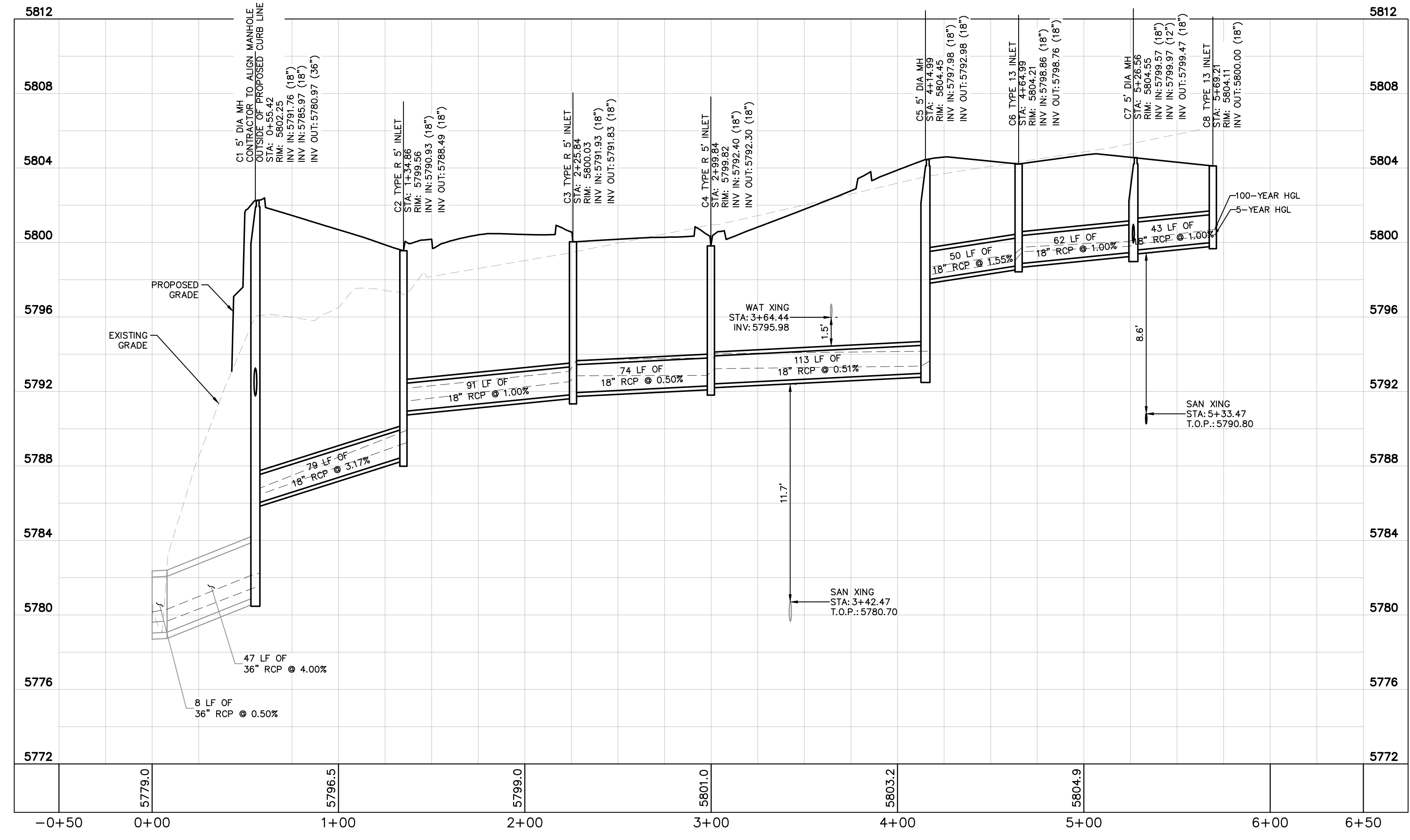
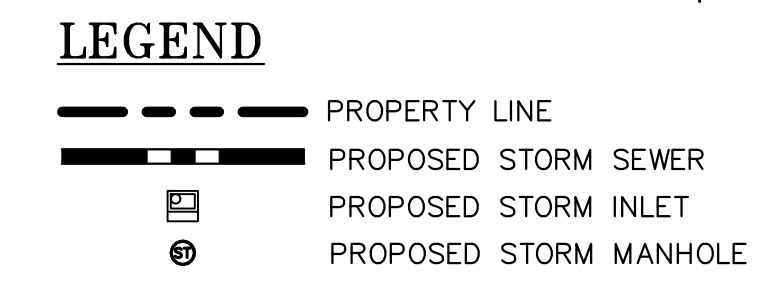
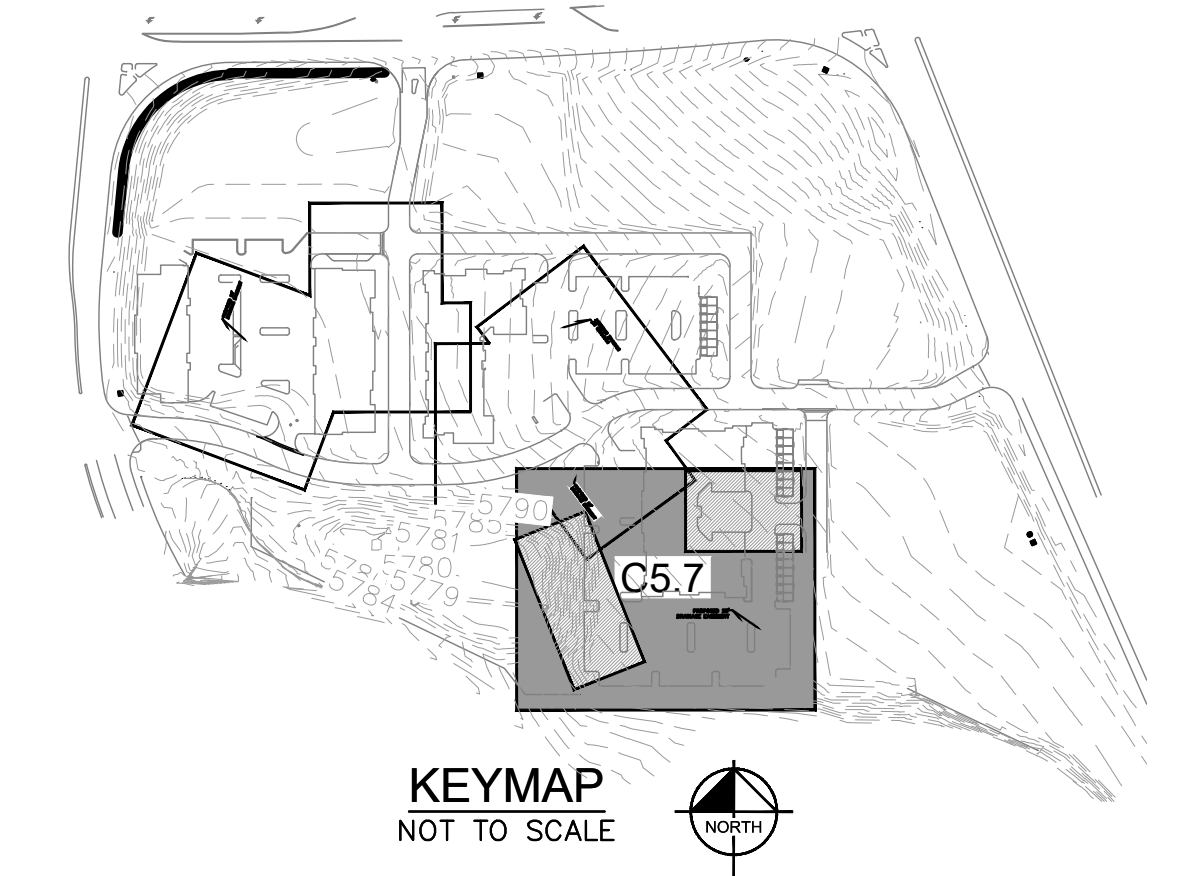
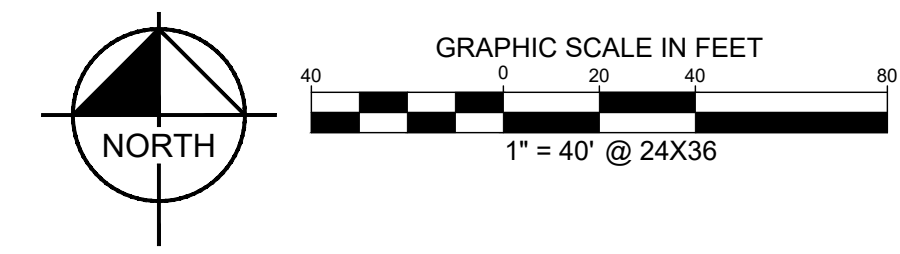
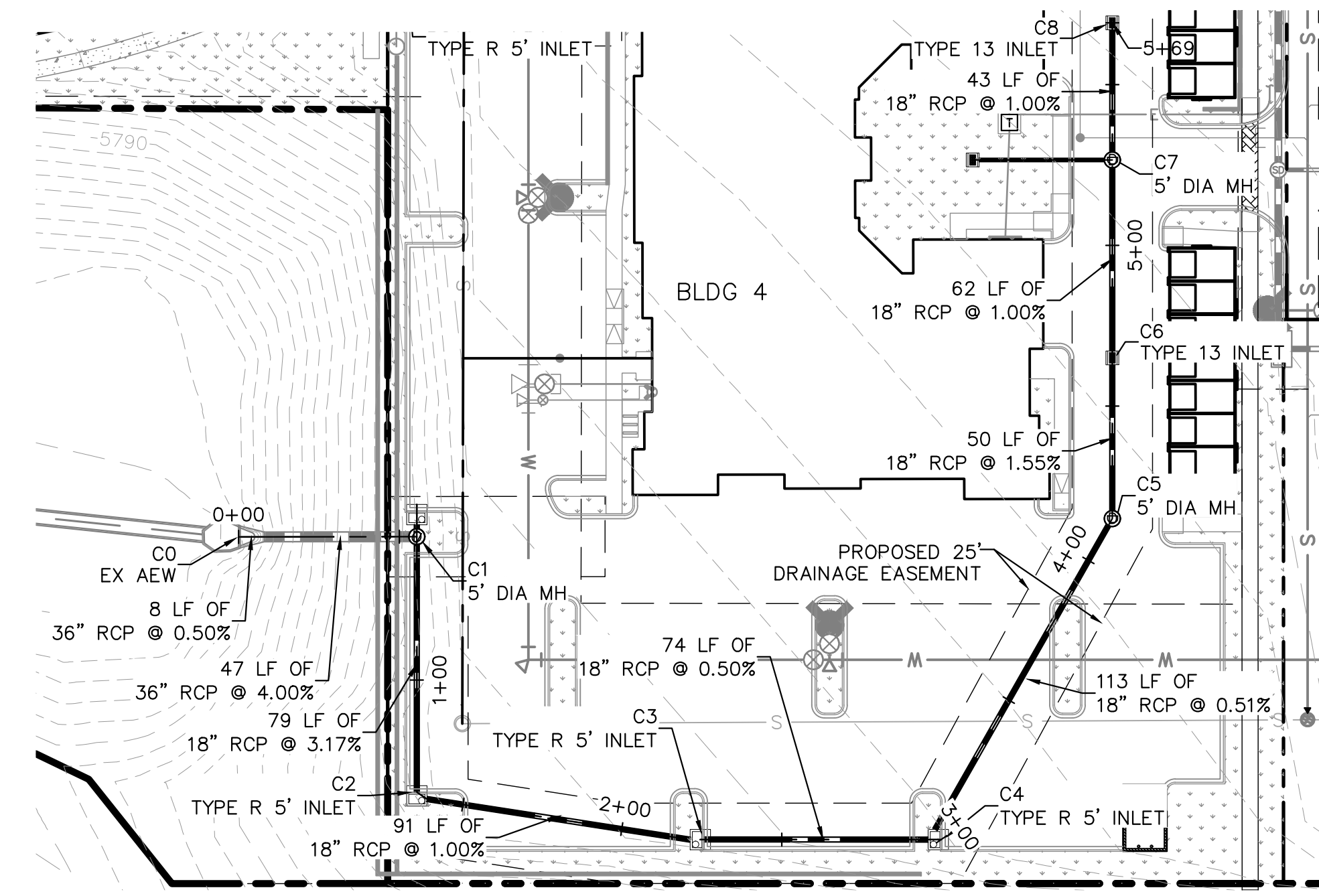


PROJECT NO.
096481002

DRAWING NAME
096481002CD_STM

C5.6

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STORM LINE C1 PROFILE
 [STA 0+00 TO 5+70]
 HORIZONTAL SCALE: 1"=40'
 VERTICAL SCALE: 1"=4'

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.
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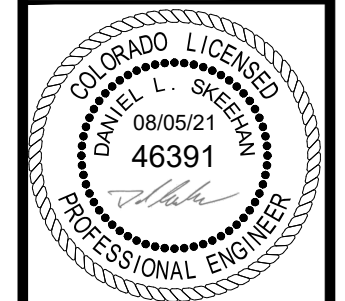
TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

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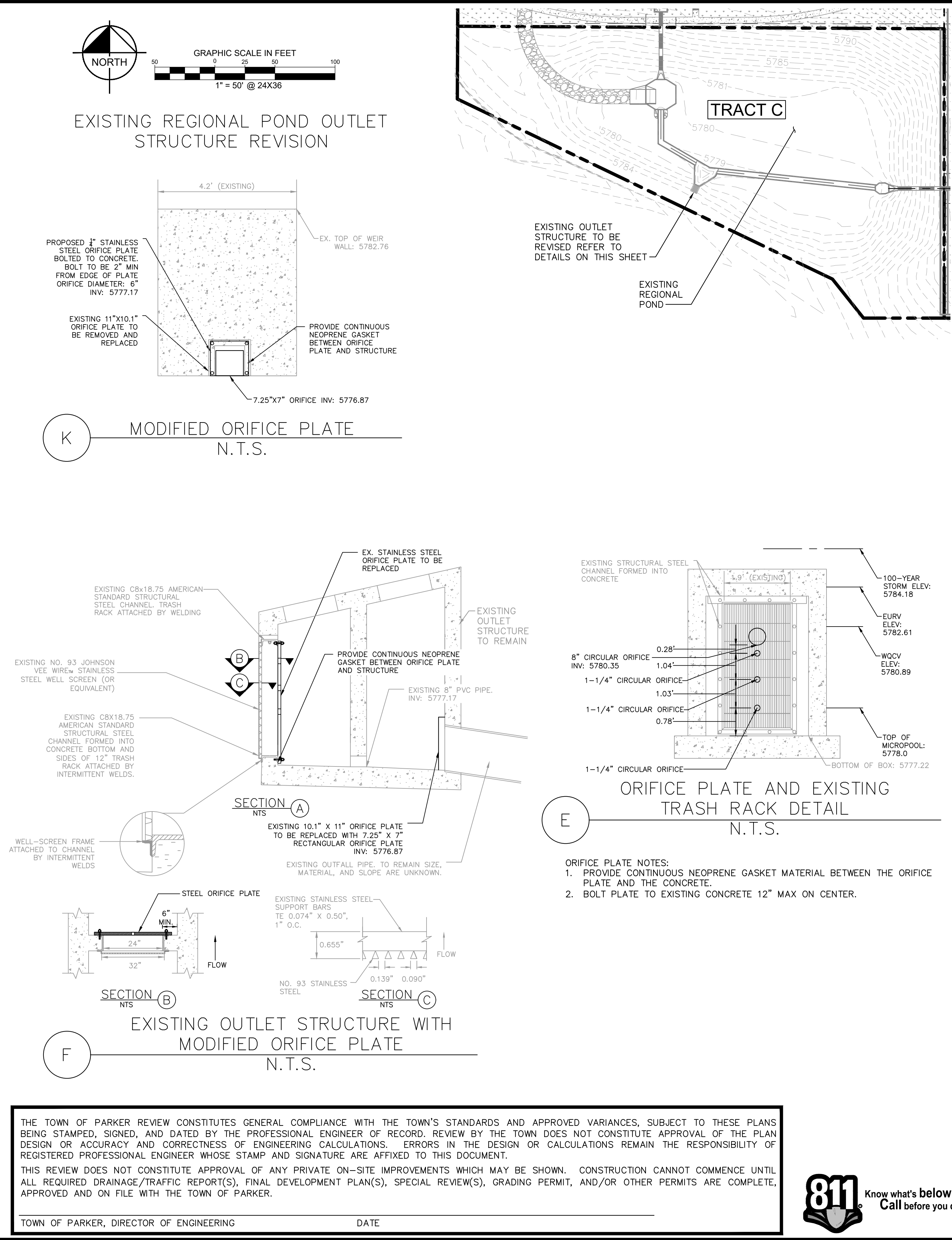
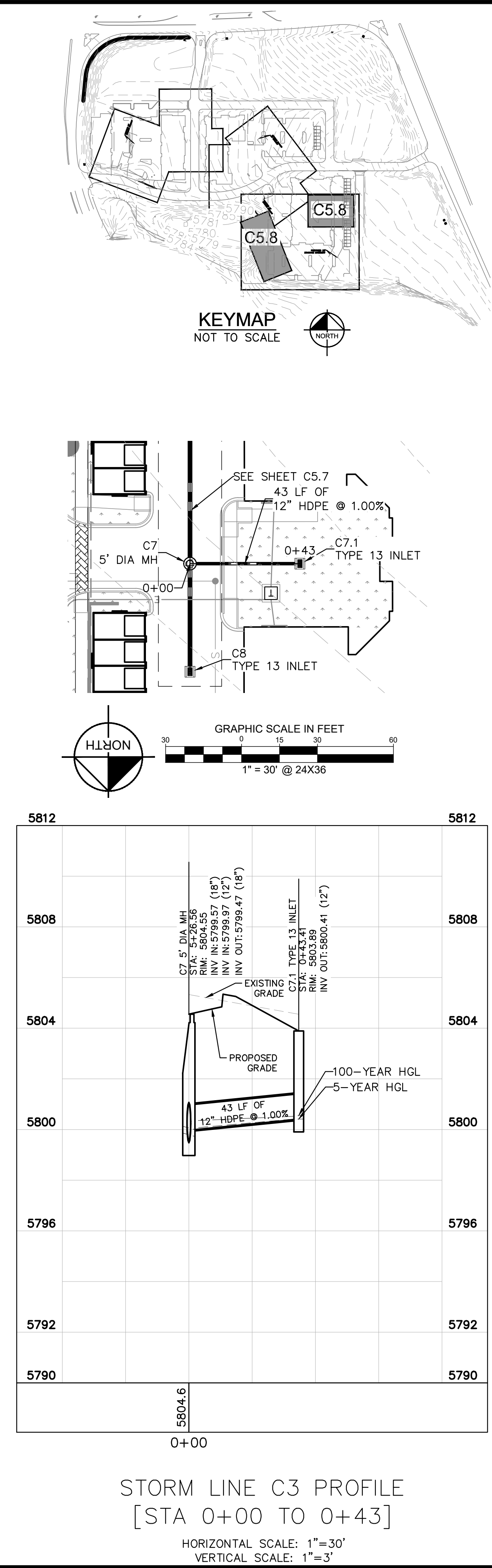
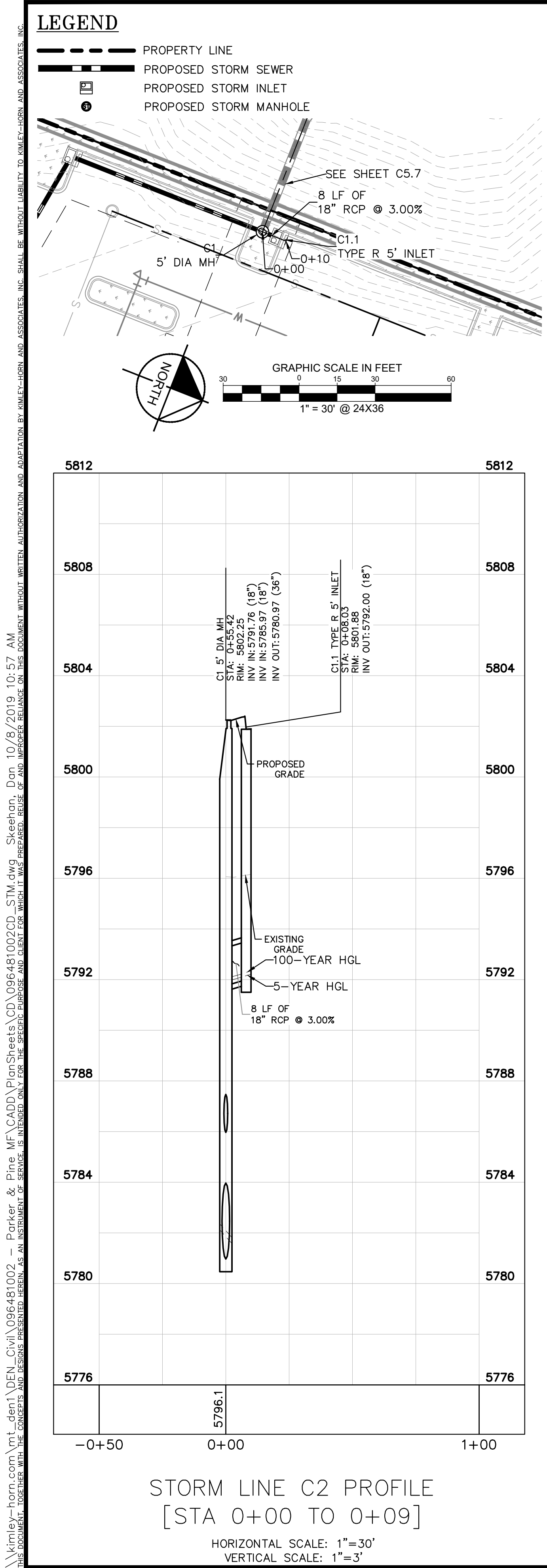
DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
STORM - C PLAN & PROFILE



PROJECT NO.
 096481002
 DRAWING NAME
 096481002CD_STM
C5.7





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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____



NO.	REVISION	BY	DATE

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4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: DLS
DRAWN BY: JRK
CHECKED BY: DLS
DATE: 08/05/21

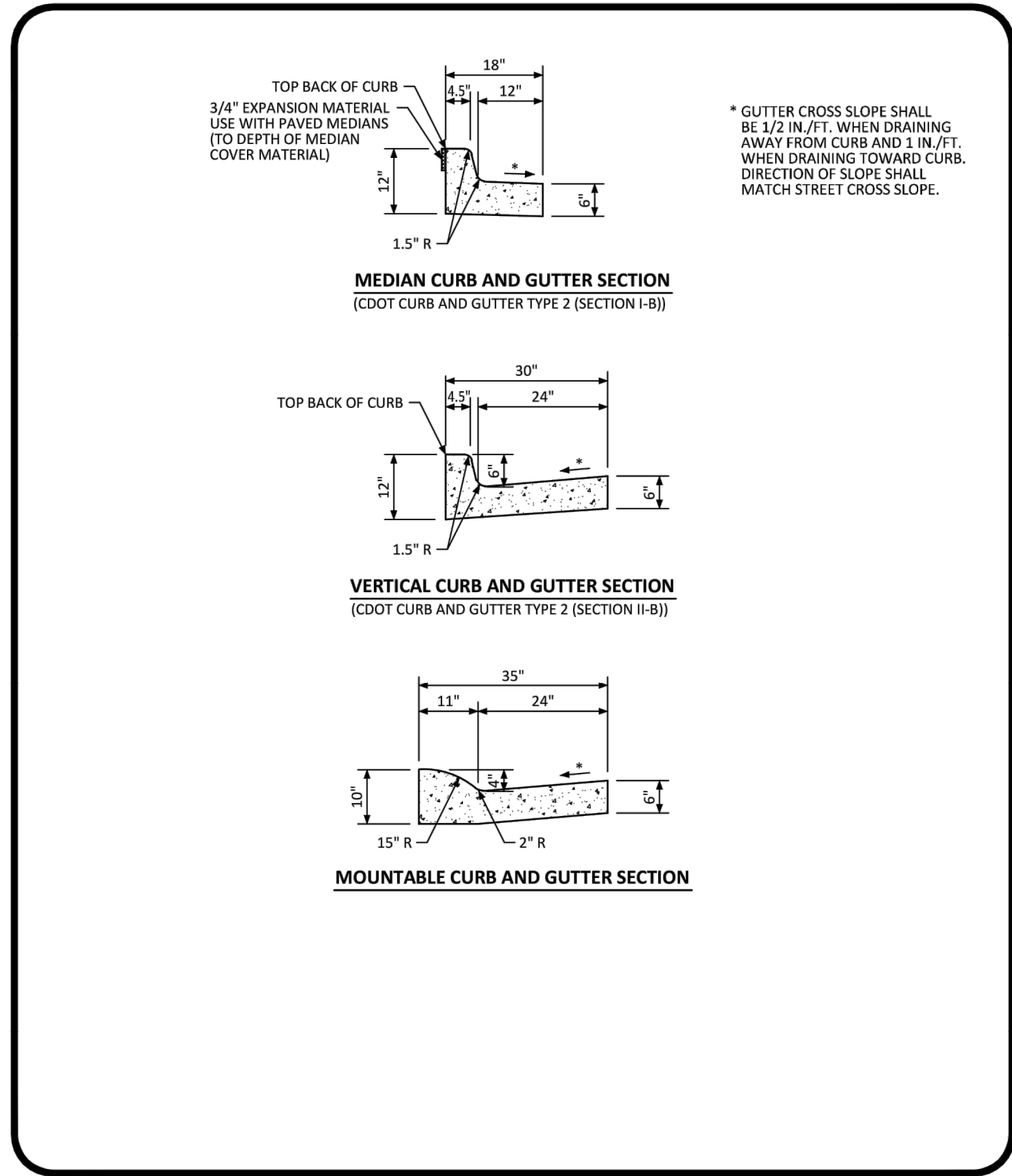
PARKER AND PINE FILING NO. 2 LOTS 1-3
PARKER, CO
MULTI-FAMILY CONSTRUCTION DOCUMENTS
STORM - D PLAN & PROFILE AND OUTLET STRUCTURE REVISION

PROFESSIONAL ENGINEER
STATE OF COLORADO LICENSE NO. 46391
08/05/21

PROJECT NO.
096481002

DRAWING NAME
096481002CD_STM

C5.8

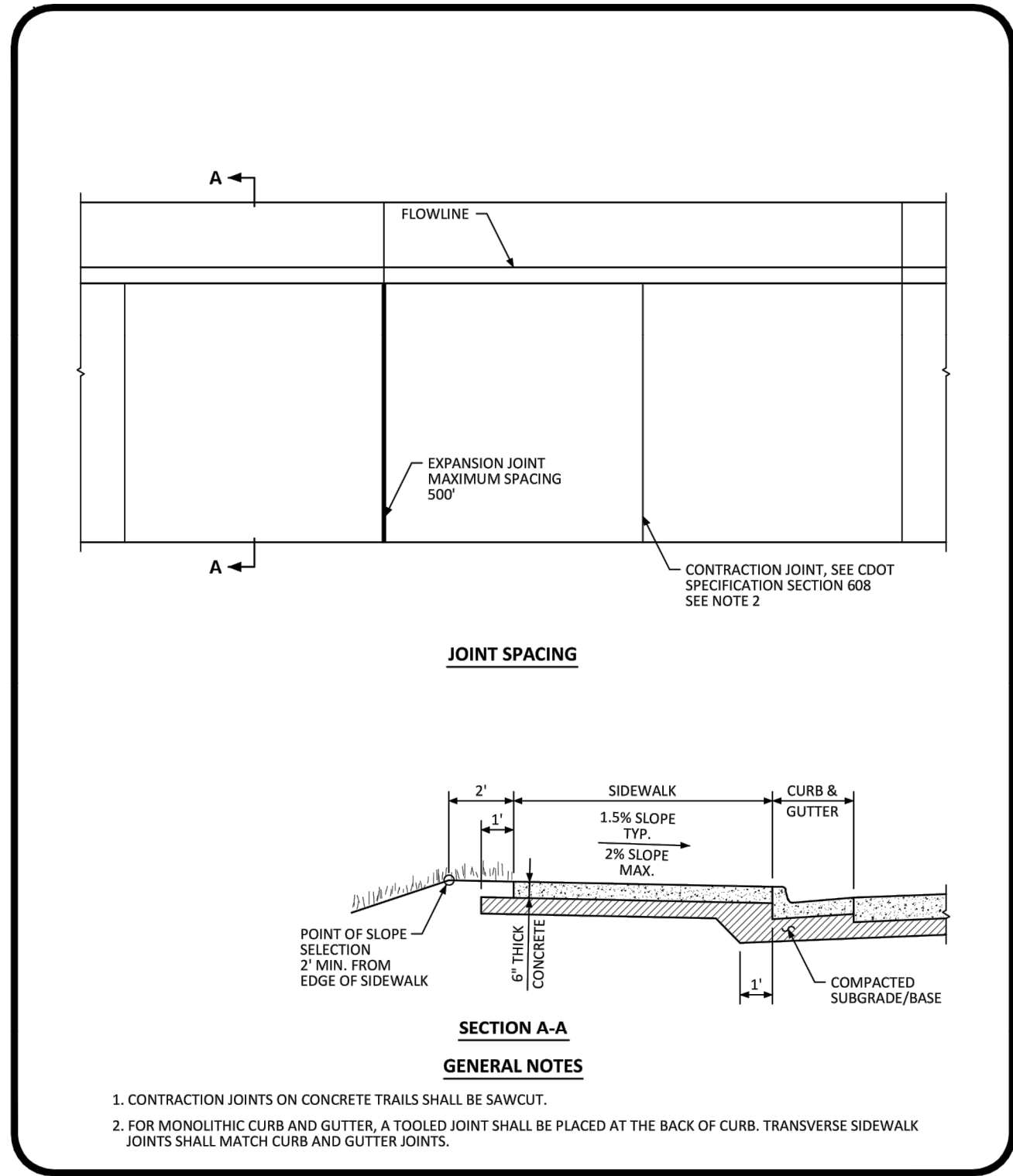


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CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL

DATE AUGUST 2014

DETAIL 3 OF 1

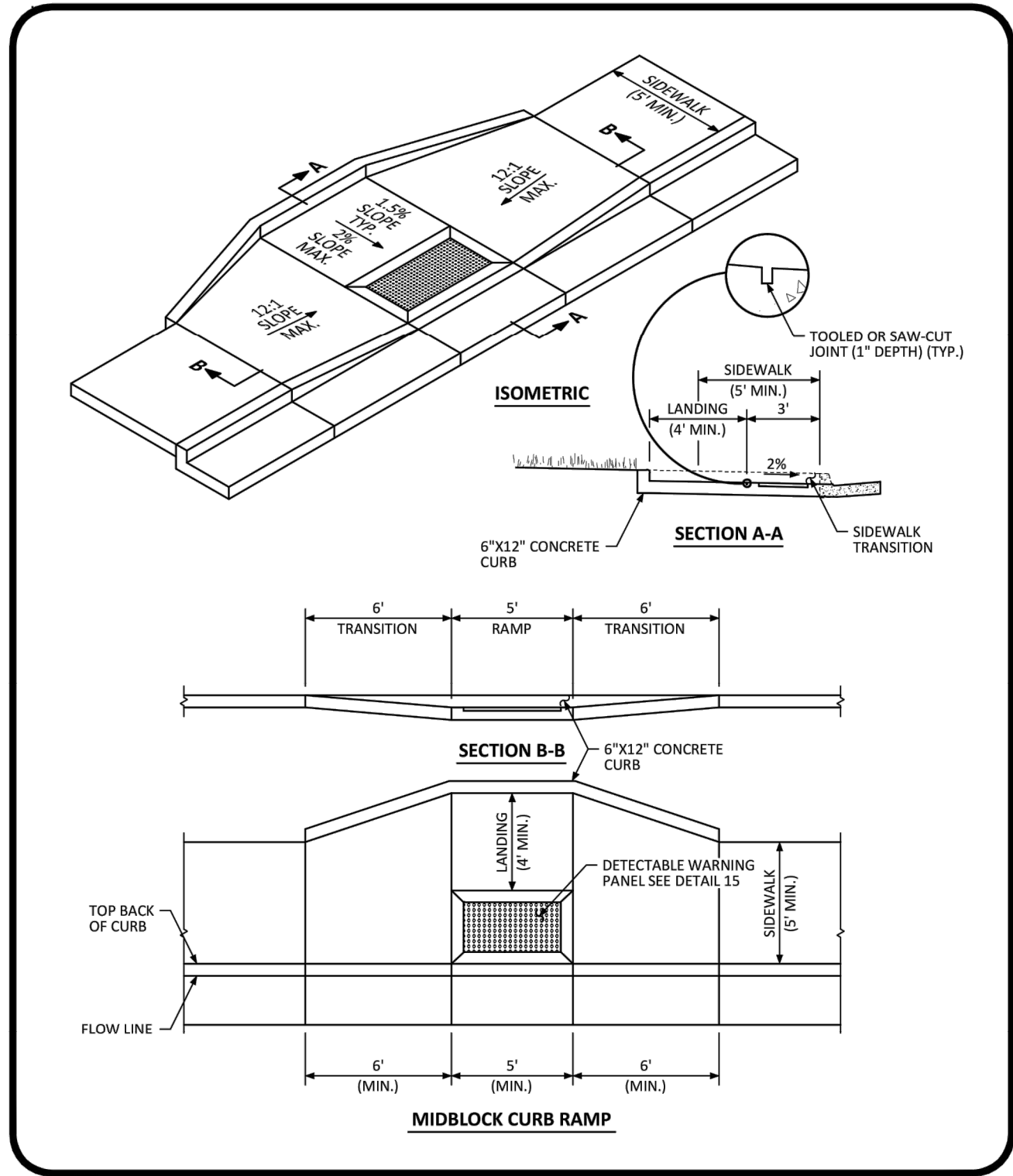


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ATTACHED SIDEWALK STANDARD DETAIL

DATE AUGUST 2014

DETAIL 4 OF 2

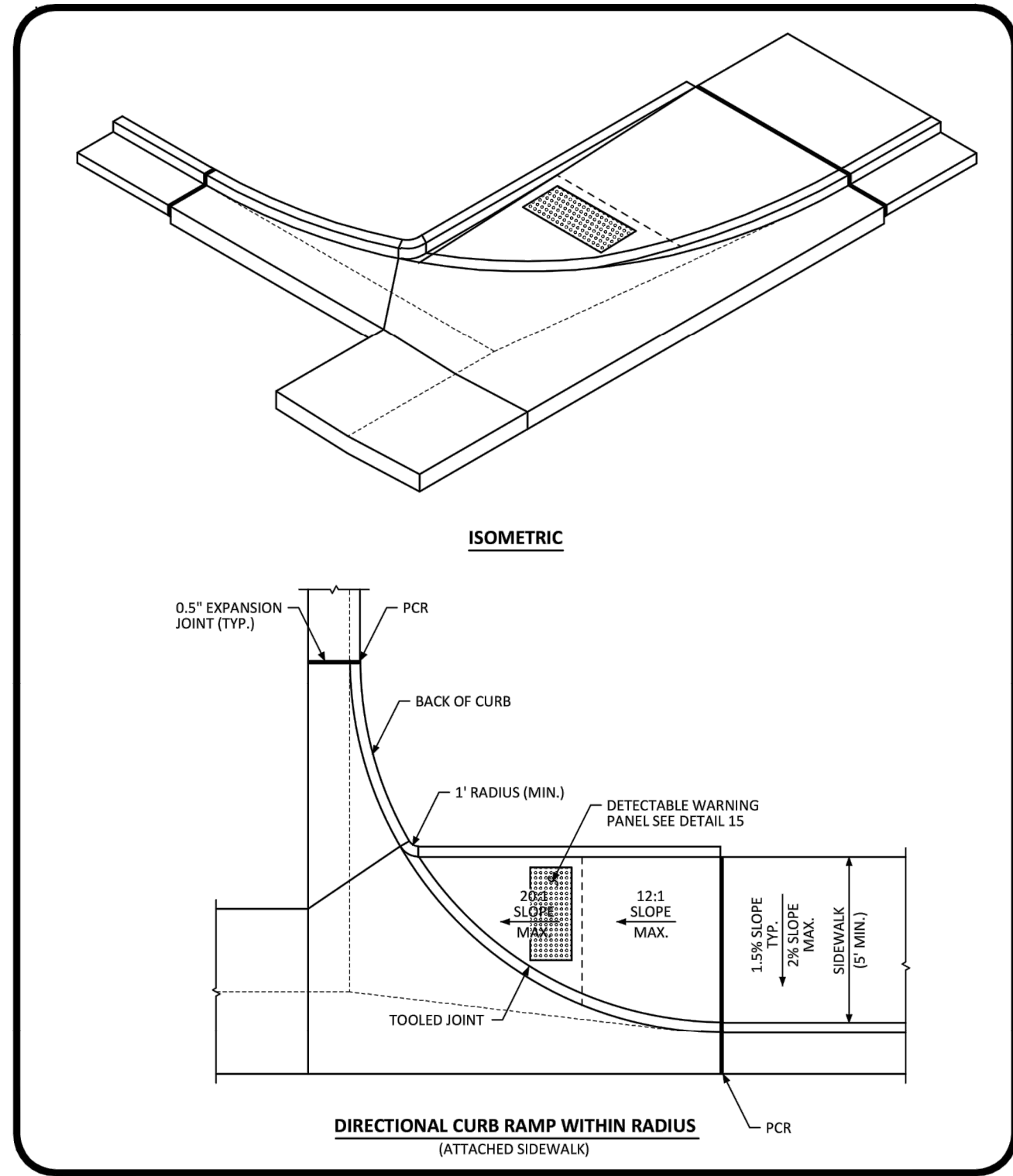


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MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL

DATE AUGUST 2014

DETAIL 17 OF 2

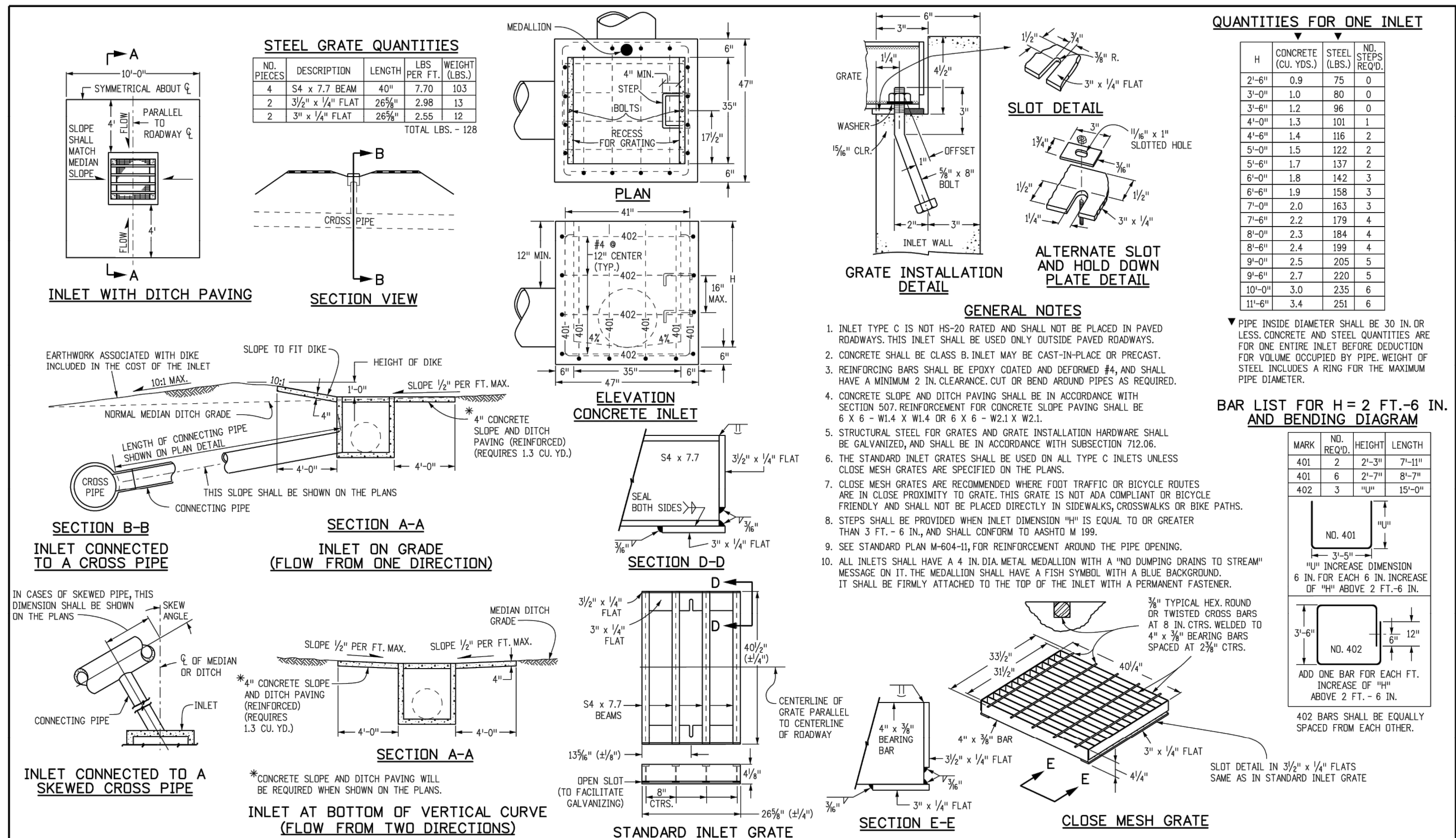


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DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL

DATE AUGUST 2014

DETAIL 18 OF 2



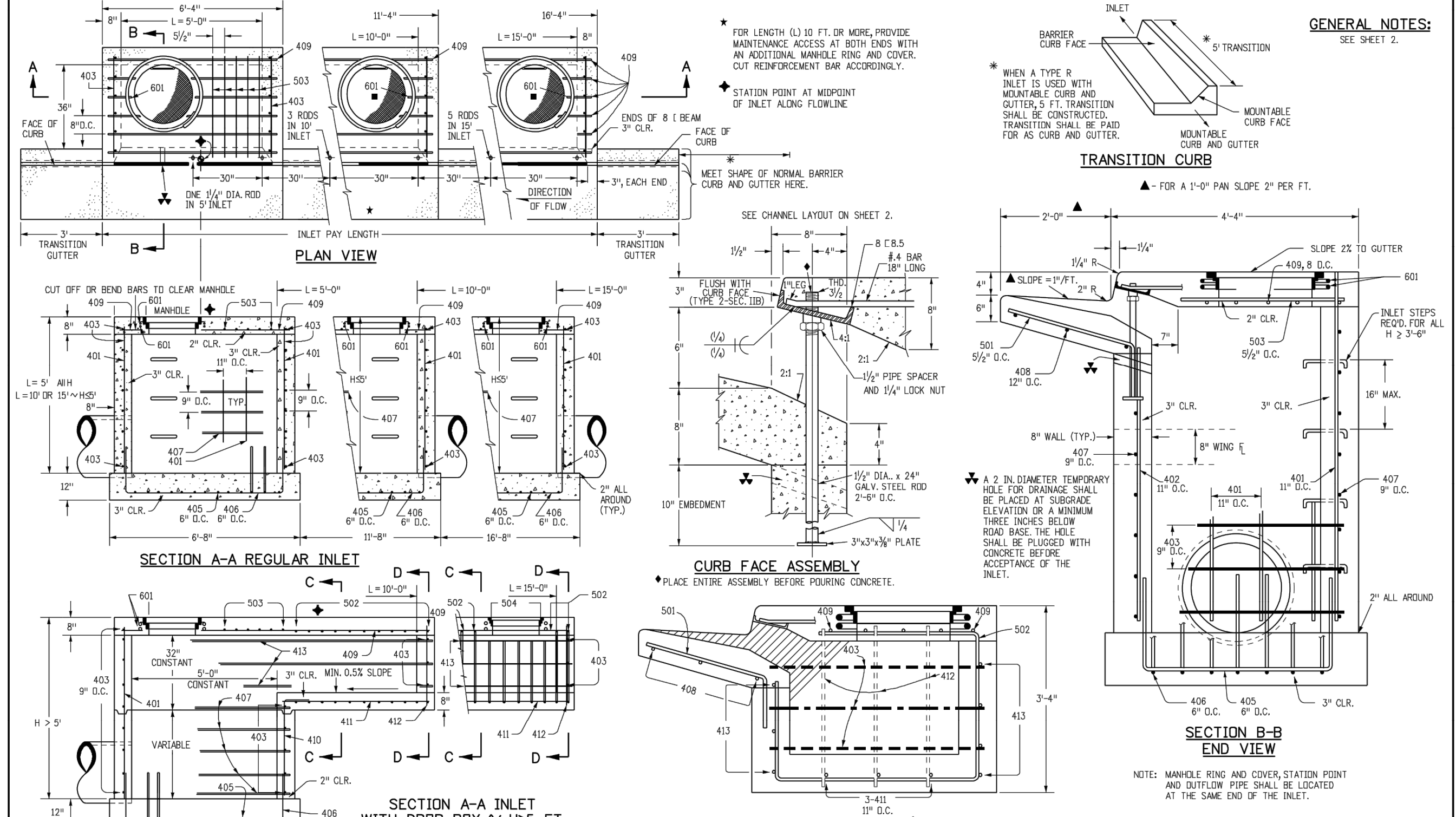
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Sheet Revisions: Colorado Department of Transportation, 4201 East Arkansas Avenue, Denver, Colorado 80222, Phone: (303) 757-9083, Fax: (303) 757-9820, Project Development Branch DD/LTA, Issued By: Project Development Branch July 4, 2012.

INLET, TYPE C

STANDARD PLAN NO. M-604-10

Sheet No. 1 of 1



Computer File Information: Creation Date: 07/04/12, Initiator: DD, Last Modification Date: 07/04/12, Initiator: L.T.A., Full Path: www.coloradodot.info/business/designsupport, Drawing File Name: M-604I20102.dgn, CAD Ver: MicroStation V8, Scale: Not to Scale, Units: English.

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CURB INLET TYPE R

STANDARD PLAN NO. M-604-12

Sheet No. 1 of 2

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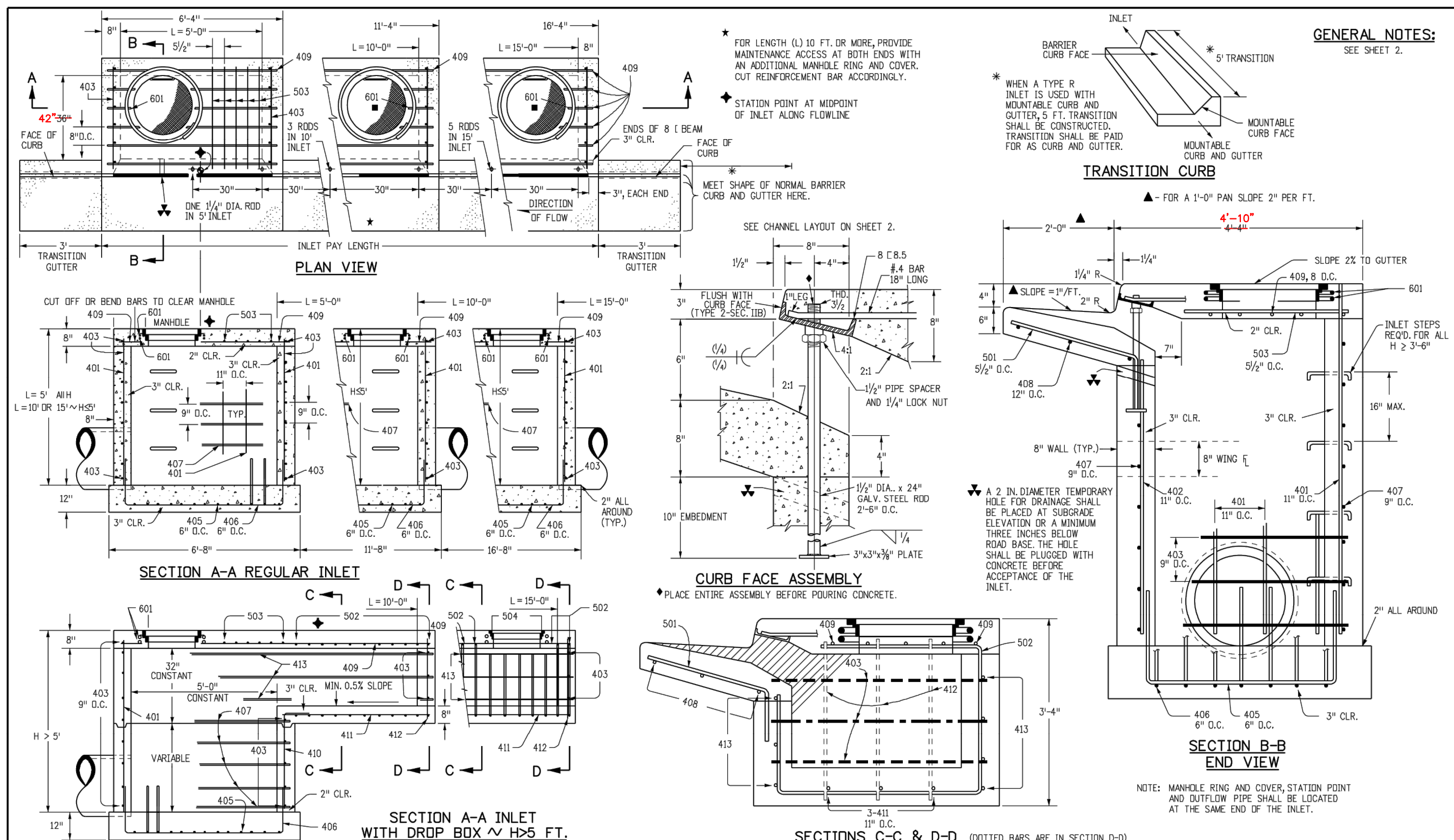
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 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 DETAILS

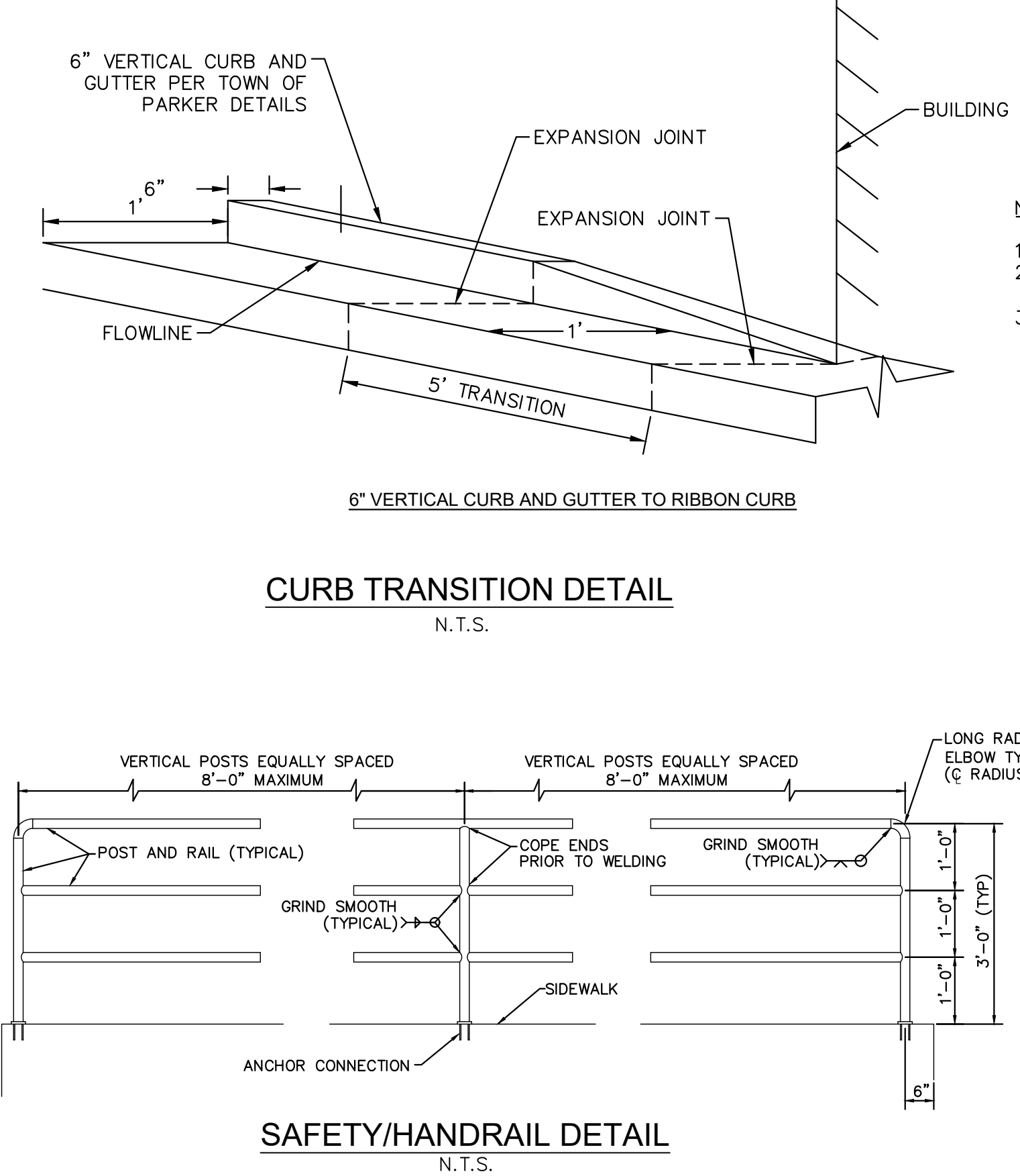


PROJECT NO. 096481002
 DRAWING NAME 096481002PW_DT
 C6.1





Colorado Department of Transportation		STANDARD PLAN NO.	
Project Development Branch DD/LTA		M-604-12	
Issued By: Project Development Branch July 4, 2012		Sheet No. 1 of 2	



MARK	BAR #	O.C. SPACING	ALL INLETS				INLETS: H < 5 FT.				INLETS: H > 5 FT.			
			NO. REQ'D	LENGTH	NO. REQ'D	LENGTH	NO. REQ'D	LENGTH	NO. REQ'D	LENGTH	NO. REQ'D	LENGTH	NO. REQ'D	LENGTH
401	4	11"	15	7	15	7	15	7	15	7	15	7	15	
402	4	11"	7	13	13	7	13	7	13	7	13	7	13	
403	4	9"	7	13	13	7	13	7	13	7	13	7	13	

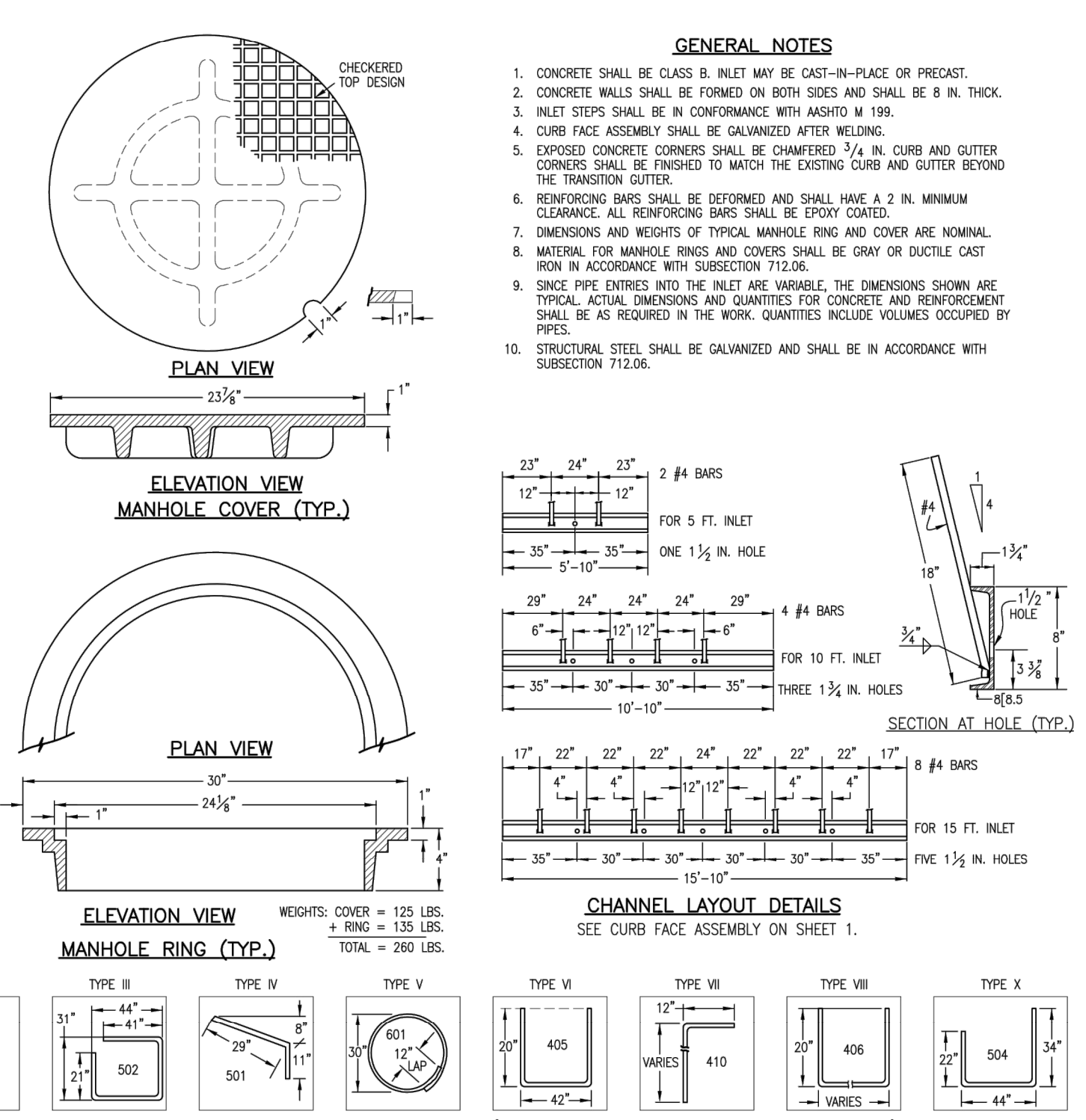


TABLE ONE ~ BAR LIST FOR CURB INLETS, TYPE "R"

Type	Length	REGULAR		DROP BOX		L = 5 FT.		L = 10 FT.		L = 15 FT.	
		NO. REQ'D	CONC. STEEL CU. YDS.	NO. REQ'D	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.
3'-0"	2'-8"	1-8"	10	7	3.2	285	5.3	497	7.4	708	
3'-0"	3'-0"	2'-8"	10	7	3.4	305	5.7	508	7.9	747	
4'-0"	3'-8"	2'-8"	12	9	3.7	326	6.0	559	8.4	788	
4'-0"	4'-2"	3'-2"	12	9	3.9	354	6.4	571	8.8	803	
5'-0"	4'-8"	3'-8"	14	11	4.1	354	6.7	602	9.3	844	
5'-0"	5'-2"	4'-2"	16	13	4.4	375	6.0	607	7.4	850	
6'-0"	5'-8"	4'-8"	16	13	4.6	382	6.2	618	7.6	860	
6'-0"	6'-2"	5'-2"	18	15	4.8	402	6.4	637	7.8	869	
7'-0"	6'-8"	4'-11"	20	17	5.0	423	6.6	654	8.0	897	
7'-0"	7'-2"	5'-5"	20	17	5.3	430	6.9	664	8.3	907	
8'-0"	7'-8"	6'-5"	22	19	5.5	451	7.1	684	8.5	927	
8'-0"	8'-2"	7'-2"	24	21	5.7	471	7.3	702	8.7	944	
9'-0"	8'-8"	7'-8"	24	21	6.0	479	7.6	711	9.0	954	
9'-0"	9'-2"	8'-5"	26	23	6.2	489	7.8	732	9.2	974	
10'-0"	9'-8"	8'-11"	28	25	6.4	520	8.0	749	9.4	992	
10'-0"	10'-2"	9'-2"	28	25	6.7	527	8.3	759	9.7	1001	
11'-0"	10'-8"	9'-8"	30	27	6.9	547	8.5	779	9.9	1022	

TABLE TWO ~ BARS AND QUANTITIES VARIABLE WITH "H"

Type	Length	REGULAR		DROP BOX		L = 5 FT.		L = 10 FT.		L = 15 FT.	
		NO. REQ'D	CONC. STEEL CU. YDS.	NO. REQ'D	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.	CONC. STEEL CU. YDS.
3'-0"	2'-8"	1-8"	10	7	3.2	285	5.3	497	7.4	708	

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 Last Modification Date: 02/04/06 Initials: LTA
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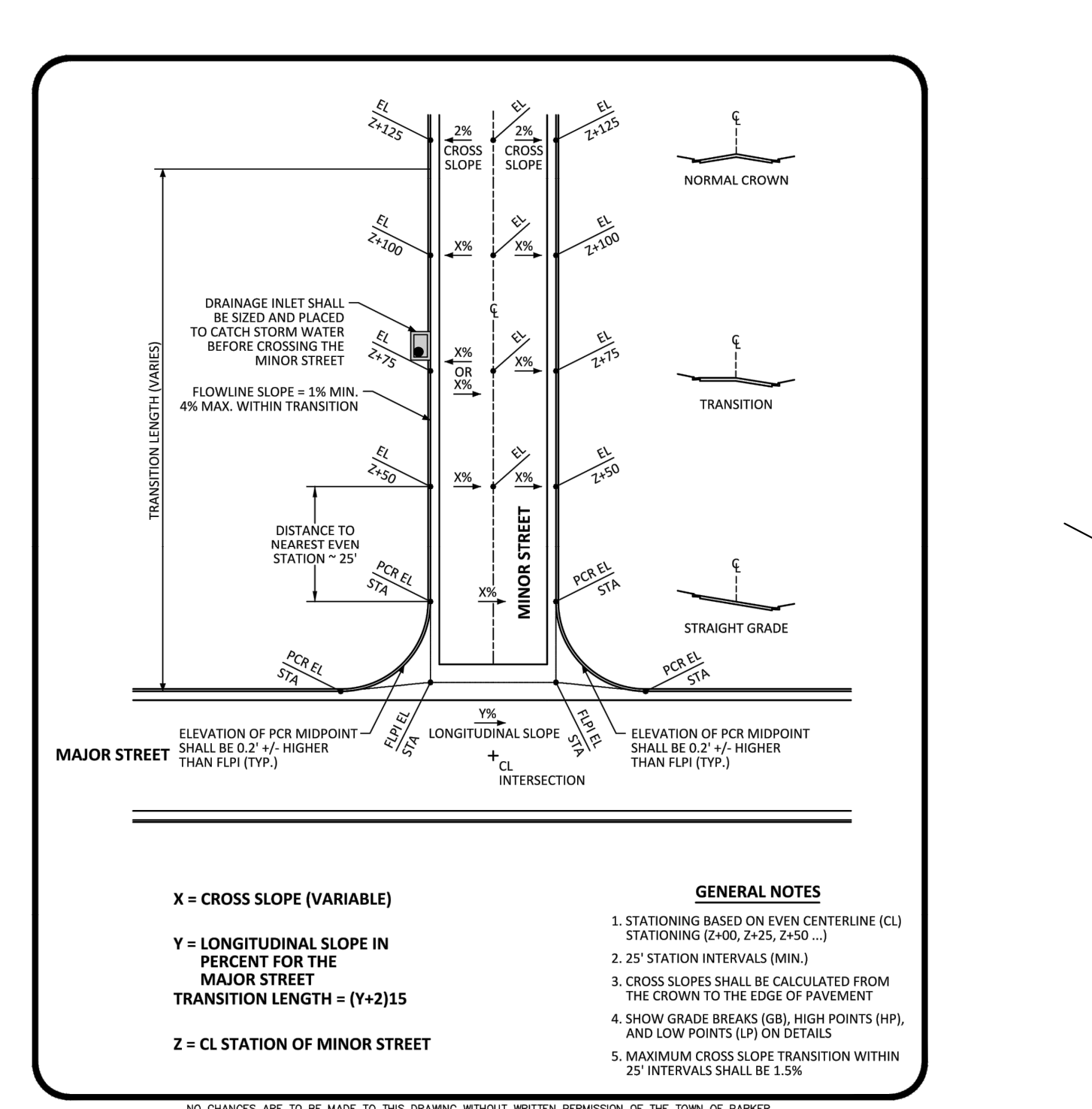
Sheet Revisions

Date:	Comments:
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Colorado Department of Transportation
 4201 East Arkansas Avenue
 Denver, Colorado 80222
 Phone: (303) 757-9083
 Fax: (303) 757-9820

Project Development Branch SRJ/LTA Issued By: Project Development Branch on July 04, 2006

STANDARD PLAN NO.
 M-604-12
 Sheet No. 2 of 2



Computer File Information
 Creation Date: 07/04/06 Initials: SRJ
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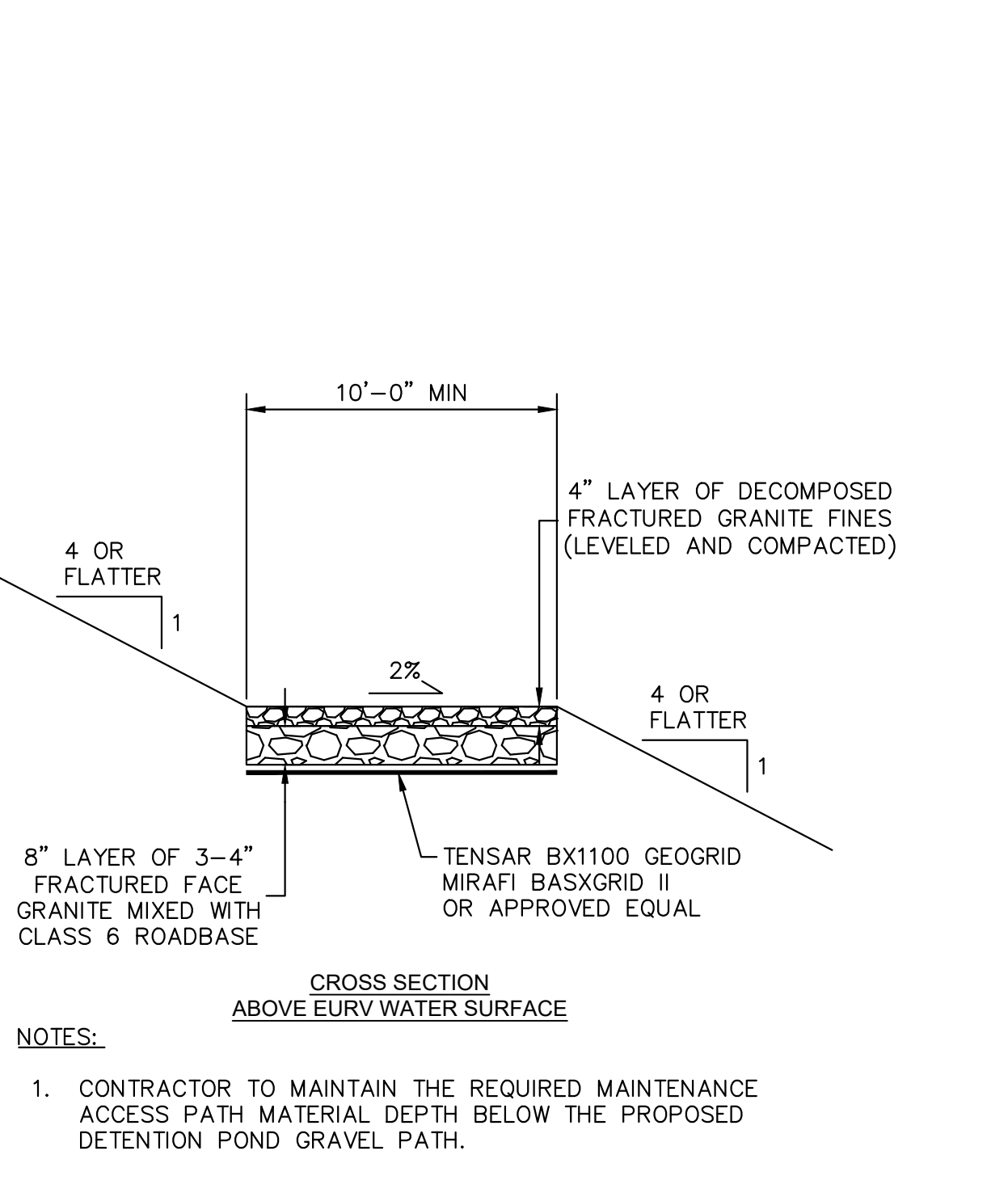
Sheet Revisions

Date:	Comments:
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Colorado Department of Transportation
 4201 East Arkansas Avenue
 Denver, Colorado 80222
 Phone: (303) 757-9083
 Fax: (303) 757-9820

Project Development Branch SRJ/LTA Issued By: Project Development Branch on July 04, 2006

STANDARD PLAN NO.
 M-604-12
 Sheet No. 2 of 2



Computer File Information
 Creation Date: 07/04/06 Initials: SRJ
 Last Modification Date: 02/04/06 Initials: LTA
 Full Path: www.dot.state.co.us/DesignSupport/
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Sheet Revisions

Date:	Comments:
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Project Development Branch SRJ/LTA Issued By: Project Development Branch on July 04, 2006

STANDARD PLAN NO.
 M-604-12
 Sheet No. 2 of 2

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DESIGNED BY: DLS
 DRAWN BY: JRK
 CHECKED BY: DLS
 DATE: 08/05/21

PARKER AND PINE FILING NO. 2 LOTS 1-3
 PARKER, CO
 MULTI-FAMILY CONSTRUCTION DOCUMENTS
 DETAILS

PROJECT NO.
 096481002

DRAWING NAME
 096481002PW_DT

C6.2