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# CONSTRUCTION DOCUMENTS

# QUICK N CLEAN

## PARKER RD. & PINE LANE AVE.

## PARKER, COLORADO

A PORTION OF THE 1/4 OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF 6TH P.M.  
COUNTY OF DOUGLAS, STATE OF COLORADO



**Vicinity Map**  
1"=2,000'

### RESOURCE LIST

<b>APPLICANT</b> 3K1 CONSULTING SERVICES, LLC 11811 N. TATUM BOULEVARD PHOENIX, AZ 85028 PH: (602) 850-8081	<b>TOWN OF PARKER PLAN REVIEW</b> 20120 E. MAIN STREET PARKER, CO 80138 CHIP KERHOVE PH: (703) 989-2244 RANDY CAPRA
<b>OWNER</b> QUICK N CLEAN 7291 E. ADOBE DRIVE, SUITE 115 SCOTTSDALE, AZ 85255 PH: (480) 707-3531	<b>TOWN OF PARKER ENGINEERING / PUBLIC WORKS</b> 20120 E. MAIN STREET PARKER, CO 80138-7335 TYLER SANDT PH: (303) 805-3182
<b>OVERALL DEVELOPER</b> EVT PARKER COLORADO, LLC 2710 E. CAMELBACK ROAD, SUITE 210 PHOENIX, AZ 85016 RYAN AMATO PH: (602) 468-6100	<b>WATER &amp; SEWER</b> PARKER WATER AND SANITATION DISTRICT 18100 E. WOODMAN ROAD PARKER, CO 80134 DRAYTON SANDERSON PH: (303) 841-4627
<b>CIVIL ENGINEER</b> CEI ENGINEERING ASSOC., INC. 710 PINE DALE AVE. FRESNO, CA JASON HATWIG, PROJECT MANAGER PH: (559) 447-3119	<b>FIRE DEPARTMENT</b> SOUTH METRO FIRE RESCUE AUTHORITY 9195 E. MINERAL AVE. CENTENNIAL, CO 80112 CHIP KERHOVE PH: (720) 989-2244
<b>LANDSCAPE ARCHITECT</b> CEI ENGINEERING ASSOC., INC. 3108 S.W. REGENCY PARKWAY, SUITE 2 BENTONVILLE, AR 72712 CHIP ASHLEY PH: (479) 273-9472	<b>ELECTRICAL</b> AREA 5496 US HWY 85 SEDALIA, CO 80135 PH: (303) 688-7431
<b>ARCHITECT</b> CHSOA 1777 S. BELLAIRE STREET, SUITE 100 DENVER, CO 80222 BILL STOW PH: (303) 962-9164	<b>NATURAL GAS</b> XCEL ENERGY 1800 LARIMER STREET DENVER, CO 80202 PH: (303) 571-7511
<b>LAND SURVEYOR</b> RUBINO SURVEYING 3312 AIRPORT ROAD BOULDER COLORADO 80301 PH: (303) 464-9515	

### LEGAL DESCRIPTION

(PER THE TITLE COMMITMENT)

LOT 4,  
PARKER AND FILING NO. 1,  
COUNTY OF DOUGLAS,  
STATE OF COLORADO.

### BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035. A 3" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988). AS PUBLISHED BY DOUGLAS COUNTY

### BASIS OF BEARINGS

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR  
S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

### FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS  
DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.  
MAP NUMBER: 08035C0067G  
EFFECTIVE DATE: MARCH 16, 2016

### SIGHT DISTANCE CERTIFICATION

NOT APPLICABLE

### ENGINEER'S STATEMENT

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT  
SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF PARKER STANDARDS AND STATUTES,  
RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE FOR THE ACCURACY OF ALL DESIGN, REVISIONS,  
AND RECORD CONDITIONS THAT I HAVE NOTED ON THESE PLANS

### SHEET INDEX

#### TOWN OF PARKER PUBLIC WORKS CONSTRUCTION PLANS

SHEET #	SHEET TITLE
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C1.1	GENERAL NOTES
C2	EXISTING CONDITION & DEMOLITION PLAN
C3	CBMP PLAN (INITIAL)
C3.1	CBMP PLAN INTERIM/FINAL
C3.2	CBMP DETAILS
C3.3	CBMP DETAILS
C3.4	CBMP DETAILS
C3.5	CBMP DETAILS
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C4	SITE PLAN
C4.1	SITE DETAILS
C4.2	HORIZONTAL CONTROL PLAN
C4.3	SIGNAGE AND STRIPING PLAN
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C5	GRADING PLAN
C5.1	STORM-A PLAN AND PROFILE
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C5.3	GRADING DETAILS
C5.4	GRADING DETAILS
C6	DRAINAGE PLAN

#### PARKER WATER AND SANITATION DISTRICT CONSTRUCTION PLANS

SHEET #	SHEET TITLE
C7	COVER SHEET
C7.1	WATER AND SANITARY SEWER NOTES
C7.2	OVERALL UTILITY PLAN
C7.3	SANITARY SEWER PLAN AND PROFILE
C7.4	UTILITY DETAILS
C7.5	UTILITY DETAILS



CEI ENGINEERING ASSOCIATES, INC.  
710 W. PINE DALE AVE.  
FRESNO, CA 93711  
PHONE: (559) 447-3119  
FAX: (559) 447-3129



CLIENT  
3K1 CONSULTING SERVICES, LLC.  
11811 N. TATUM BOULEVARD,  
PHOENIX, ARIZONA 85028  
PHONE: (602) 850-8101



PLANS PREPARED FOR  
QUICK N CLEAN  
7291 E. ADOBE DRIVE, SUITE 115  
SCOTTSDALE, AZ 85255  
PHONE: (480) 707-3531

### REVISION

NO.	DESCRIPTION	DATE

QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/7/2022
REVISION	REV-2

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING / PUBLIC WORKS DATE

### COVER SHEET

SHEET TITLE  
SHEET NUMBER

C1

DRAWING LOCATION: P:\31000\31672\DRAWINGS\DESIGN\WORKING\31672-CS.DWG, SAVED BY: JACALDERON



GENERAL COVER SHEET NOTES

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY: RUBINS SURVEYING  
3312 AIRPORT ROAD  
BOULDER, COLORADO 80301  
BOB RUBINO  
303.464.9515
- B. CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- C. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- E. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- F. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- G. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- H. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- I. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

TOWN OF PARKER DEPARTMENT OF ENGINEERING / PUBLIC WORKS

- STANDARD CONSTRUCTION NOTES
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
  - ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
  - A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
  - THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
  - LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
  - THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
  - A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
  - COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
  - THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
  - PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
  - REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
  - ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
  - ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY" FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-82, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
  - IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
  - ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

- ROADWAY NOTES
- THE FOLLOWING NOTES SHALL APPEAR ON THE COVER SHEET OF ALL SUBMITTALS CONTAINING ROADWAY PLANS. IF A COVER SHEET HAS NOT BEEN USED, THEY SHALL BE PUT ON EVERY SHEET OF THE SUBMITTAL CONTAINING ROADWAY DESIGN.
- PAVING SHALL NOT COMMENCE UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS APPROVED BY THE TOWN OF PARKER AND SUBGRADE COMPACTION TESTS ARE SUBMITTED TO AND APPROVED BY THE TOWN INSPECTOR.
  - STANDARD TOWN OF PARKER CURB RAMP ARE TO BE CONSTRUCTED AT ALL CURB RETURNS AND AT ALL "T" INTERSECTIONS IN ACCORDANCE WITH THE LATEST TOWN OF PARKER STANDARDS
  - ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
  - ALL ELEVATIONS ARE ON USGS DATUM WITH DATE, RANGE POINT OR MONUMENT SHALL BE SHOWN ON THE CONSTRUCTION PLANS.
  - EXCEPT WHERE OTHERWISE PROVIDED FOR IN THESE PLANS AND SPECIFICATIONS, THE COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE COLORADO DEPARTMENT OF HIGHWAYS M AND S STANDARDS, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, LATEST EDITION, SHALL APPLY.

- STORM DRAINAGE INFRASTRUCTURE NOTES
- ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
  - THE CONTRACTOR SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8 CRS), THE "PROTECTION OF FISHING STREAMS" (TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72 (5 CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
  - INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, FOREBAYS, TRICKLE CHANNELS, ETC), GROUDED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
  - STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEGE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
  - ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
  - TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS:
    - 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC)
    - 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
  - ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
  - ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLE AVERAGE JOINT GAP THAT EXCEEDS 3/8 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
  - JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
  - EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
  - CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
  - PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
  - TWO (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
  - ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
  - ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
  - CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
  - PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

- SIGNAGE AND STRIPING NOTES
- IN ADDITION TO THE NOTES IN THE ABOVE SECTION OF THESE ROADWAY STANDARDS, THE FOLLOWING NOTES SHALL APPEAR ON THE COVER SHEET OF ALL SUBMITTALS CONTAINING ROADWAYS. THE FOLLOWING NOTES SHALL BE ON ALL SIGNAGE AND STRIPING PLANS:
- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), COLORADO SUPPLEMENTAL MUTCD, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL. FURTHER SPECIFICATIONS AND ILLUSTRATIONS ARE LOCATED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
  - A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS AND MARKINGS SHALL BE PERFORMED BY THE TOWN OF PARKER.
  - THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR THE LOCATING AND PROTECTING OF ALL UNDERGROUND UTILITIES.
  - TYPE III (LIGHTED) BARRICADES SHALL BE SET AT THE ENDS OF ROADWAYS SEPARATING FINISHED (AND/OR ACCEPTED) AND UNFINISHED CONSTRUCTION AREAS AND SHALL BE MAINTAINED BY THE CONTRACTOR/DEVELOPER. A "ROAD CLOSED AHEAD" AND "TO BE EXTENDED" WARNING SIGNS SHALL BE INSTALLED APPROPRIATELY IN ADVANCE OF THE TYPE III BARRICADES.
  - SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATIONS TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
  - WHERE STOP SIGN CONTROL IS APPROPRIATE, 36 INCH STOP SIGNS SHALL BE USED FOR APPROACHES TO ANY ROADWAY THAT IS CLASSIFIED AS A COLLECTOR OR GREATER.
  - A 7 FOOT MINIMUM POST LENGTH SHALL BE MAINTAINED FROM THE BOTTOM OF THE SIGN PANEL TO THE GROUND. THIS REQUIREMENT FOR VERTICAL CLEARANCE IS FOR ALL SIGNS.
  - DELINEATION OF ROADWAYS SHALL BE AS SPECIFIED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
  - RAISED MEDIAN ISLAND NOSES SHALL HAVE R4-7 SIGNS AT EACH END AND A 4"x12" HIGH INTENSITY YELLOW SIGN BLANK LOCATED MIDWAY BETWEEN THE R4-7 SIGN AND FINISHED GRADE ON EACH POST.
  - SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO THE INITIATION OF ANY WARRANTY PERIOD, THE TOWN OF PARKER RESERVES THE RIGHT TO REQUIRE MODIFICATIONS TO EXISTING, OR INSTALLATION OF, ADDITIONAL SIGNAGE AND/OR PAVEMENT MARKING IF IT IS DETERMINED THAT CONDITIONS WARRANT SUCH MODIFICATION ACCORDING TO THE MUTCD OR THE CDOT M AND S STANDARDS. ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE TWO-YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION. ADDITIONALLY, ALL PAVEMENT MARKINGS SHALL NOT LIFT OR PEEL DURING THE FIRST YEAR AFTER INSTALLATION.
  - DIAMOND GRADE MATERIAL SHALL BE USED ON ALL STOP SIGNS AND OVERHEAD SIGNS. ALL OTHER ROADSIDE TRAFFIC CONTROL DEVICES SHALL USE HIGH INTENSITY GRADE SHEETING. NO FLUORESCENT YELLOW GREEN SHEETING SHALL BE USED UNLESS SPECIFICALLY APPROVED BY THE TOWN OF PARKER.
  - ALL STREET NAME SIGNS SHALL BE HIGH INTENSITY, EXTRUDED, GREEN AND WHITE BLADES. ARTERIAL AND COLLECTOR STREET NAME SIGNS SHALL BE 9 INCH BLADES AND HAVE MIXED CASE LETTERING. LOCAL STREET NAME SIGNS SHALL BE 6 INCHES BLADES WITH MIXED CASE LETTERING.
  - ALL LAYOUTS FOR INTERNALLY ILLUMINATED STREET NAME SIGNS SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
  - ALL REMOVED SIGNS SHALL BE RETURNED TO THE TOWN OF PARKER.
  - CROSSWALKS:
    - SHALL BE CONSTRUCTED USING PREFORMED THERMO-PLASTIC OR AN APPROVED EQUAL.
    - SHALL BE LONGITUDINAL 2 FEET BY 10 FEET (CONTINENTAL) TYPE OR OTHER APPROVED BY THE TOWN OF PARKER. SHALL LINE UP WITH HANDICAP RAMPS.
    - SHALL BE CENTERED WITHIN LANES AND PLACED ON LANE AND CURB LINES SO AS TO AVOID VEHICLE WHEEL PATHS.
  - ALL PAVEMENT MARKING MATERIAL (INCLUDING WORDS AND SYMBOLS) SHALL BE AS FOLLOWS:
    - FOR CONCRETE SURFACE:
      - LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC) SHALL BE EPOXY PAINT. OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER
      - WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE METHYL-MYTHACRALATE, PREFORMED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), OR AS SPECIFIED. (SAND OR WATER BLAST CURING COMPOUND PRIOR TO INSTALLATION OF MARKINGS.)
    - FOR ASPHALT SURFACE:
      - LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC) SHALL BE EPOXY PAINT. OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER.
      - WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE HOT APPLIED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), METHYL-MYTHACRALATE, OR AS SPECIFIED.
  - INSPECTION AND APPROVAL OF STRIPING AND CROSSWALK LAYOUT TO BE DONE BY TOWN OF PARKER DEVELOPMENT REVIEW ENGINEER (CALL 303-840-9546) PRIOR TO APPLICATION OF FINAL STRIPING.



CEI ENGINEERING ASSOCIATES, INC.  
710 W. PINEDALE AVE.  
FRESNO, CA 93711  
PHONE: (559) 447-3119  
FAX: (559) 447-3129



CLIENT  
3K1 CONSULTING SERVICES, LLC.  
11811 N. TATUM BOULEVARD,  
PHOENIX, ARIZONA 85028  
PHONE: (602) 850-8101



PLANS PREPARED FOR  
QUICK N CLEAN  
7291 E. ADOBE DRIVE, SUITE 115  
SCOTTSDALE, AZ 85258  
PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



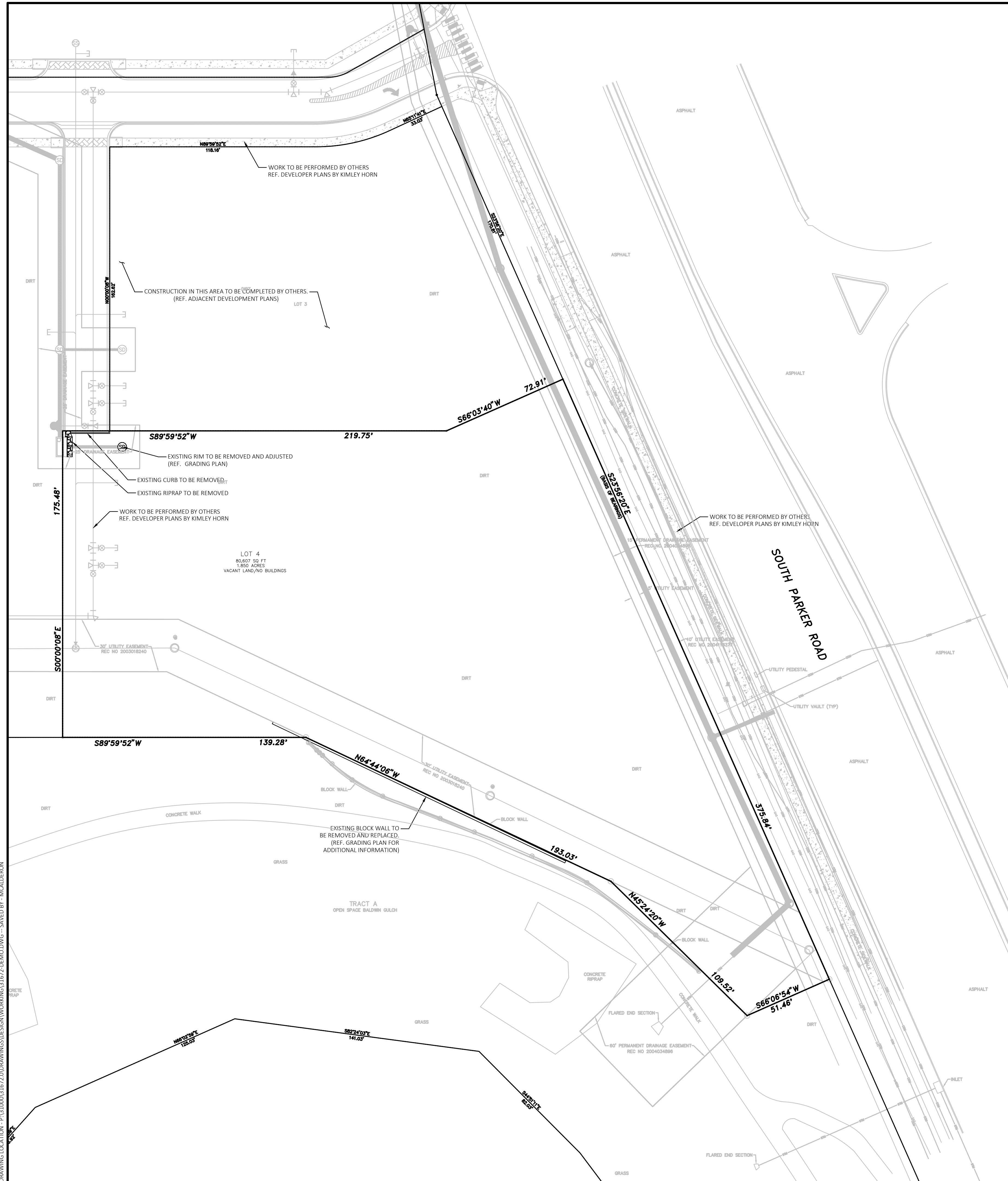
PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/7/2022
REVISION	REV-2



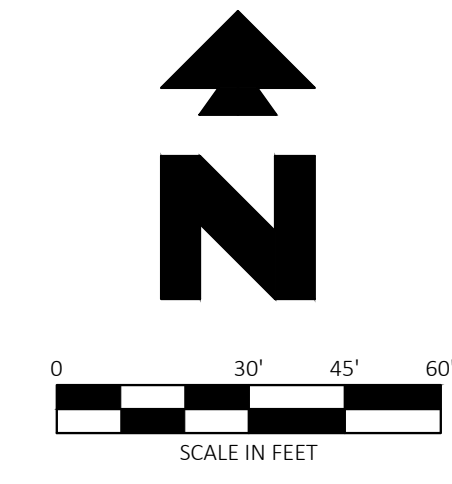
Know what's below.  
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GENERAL NOTES  
SHEET TITLE  
SHEET NUMBER

C1.1



Know what's below.  
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**BENCHMARK**  
DOUGLAS CONTROL MONUMENT #1.095035, A 3/4" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

**BASIS OF BEARINGS**  
THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

**FLOOD ZONE INFORMATION**  
SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.  
MAP NUMBER: 08035C0067G  
EFFECTIVE DATE: MARCH 16, 2016

- EXISTING LEGEND:**
- PROPERTY LINE/RIGHT OF WAY LINE
  - ⊙ COMMUNICATIONS MANHOLE
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ STORM SEWER MANHOLE
  - GAS --- UNDERGROUND GAS LINES
  - COM --- UNDERGROUND COMMUNICATIONS LINES
  - STM --- UNDERGROUND STORM SEWER LINES

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING / PUBLIC WORKS      DATE



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PARKER, COLORADO  
CONSTRUCTION DOCUMENTS

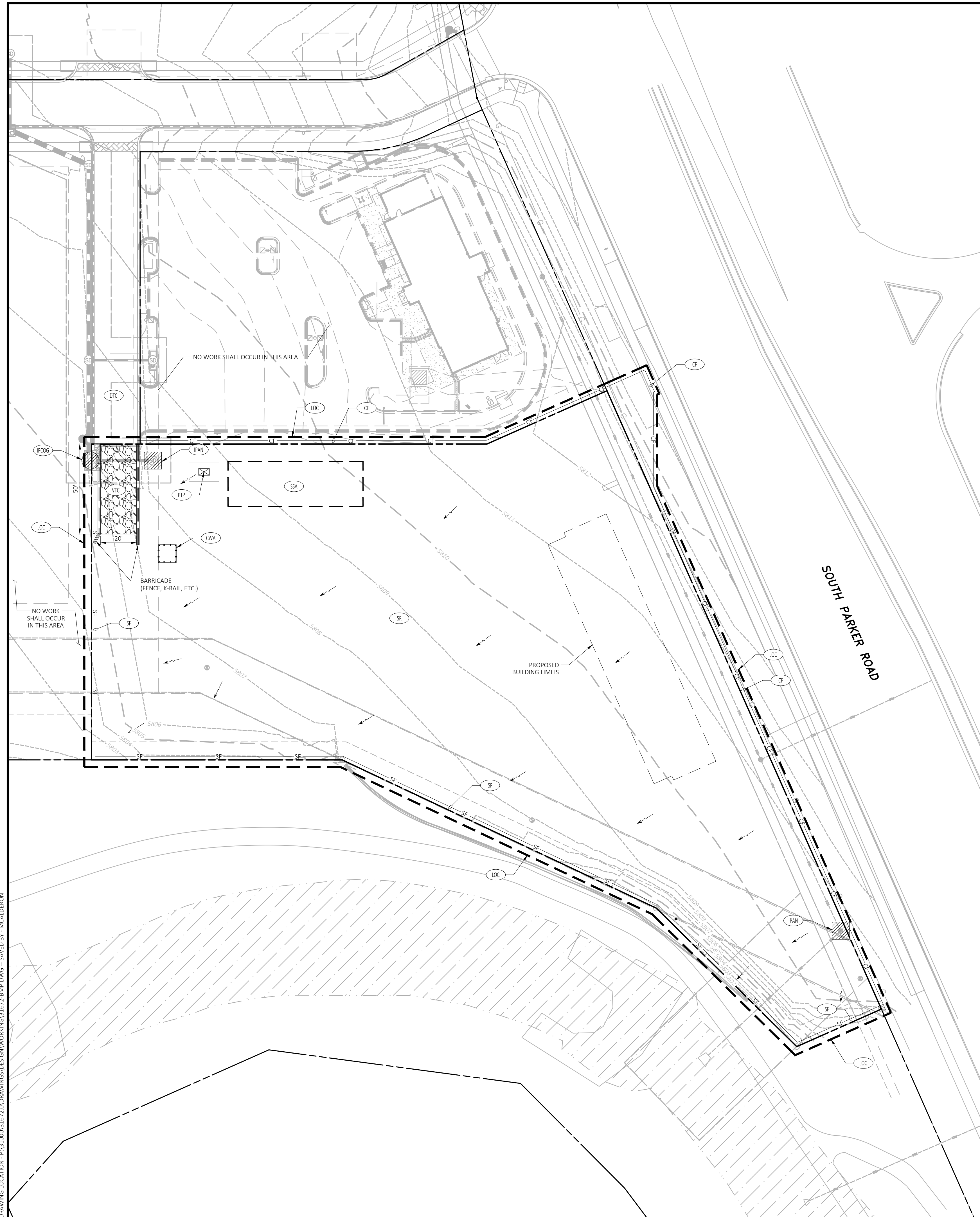


PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/2/2022
REVISION	REV-2

EXISTING CONDITION & DEMOLITION PLAN  
SHEET TITLE  
SHEET NUMBER

C2

DRAWING LOCATION: P:\31000\31672\DRAWINGS\DESIGN\WORKING\31672-REMO.DWG - SAVED BY: MACALDERON



**LEGAL DESCRIPTION**

REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.

**BENCHMARK**

DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

**BASIS OF BEARINGS**

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**FLOOD ZONE INFORMATION**

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.  
MAP NUMBER: 08055C0076  
EFFECTIVE DATE: MARCH 16, 2016

**NOTE:**

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

**GENERAL EROSION NOTES**

- A. REFERENCE C3.2 - CBMP DETAILS FOR TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICE GENERAL NOTES.
- B. LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.

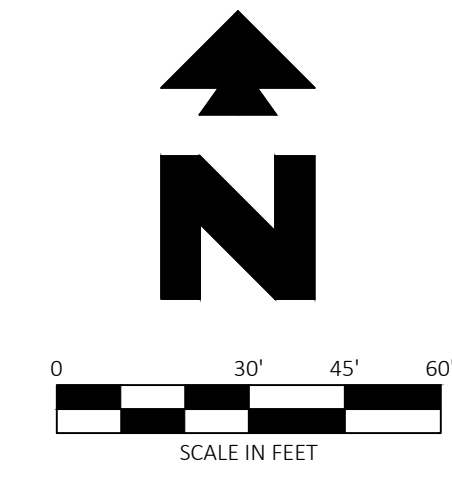
**SEQUENCE OF CONSTRUCTION**

NOTE: DOWNSLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. CONSTRUCTION STEPS CAN BE IMPLEMENTED CONCURRENTLY ONLY IF ASSOCIATED DOWNSLOPE PROTECTIVE MEASURES HAVE BEEN INSTALLED FOR EACH ACTIVITY.

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. CONSTRUCT THE SILT FENCES ON THE SITE.
3. INSTALL INLET PROTECTION DEVICES ON EXISTING INLETS.
4. PREPARE TEMPORARY PARKING AND STORAGE AREA.
5. CLEAR AND GRUB THE SITE.
6. BEGIN GRADING THE SITE.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED DENUDED AREAS.
9. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
10. INSTALL INLET PROTECTION DEVICES.
11. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
12. PREPARE SITE FOR PAVING.
13. PAVE SITE.
14. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
15. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).



Know what's below.  
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**EXISTING LEGEND**

- PROPERTY LINE/RIGHT OF WAY LINE
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- GAS --- UNDERGROUND GAS LINES
- COM --- UNDERGROUND COMMUNICATIONS LINES
- STM --- UNDERGROUND STORM SEWER LINES

**PROPOSED LEGEND**

- LOC --- LIMITS OF CONSTRUCTION BOUNDARY 1.85 AC (4' OFFSET FOR CLARITY)
- FLOW ARROW
- CF --- CONSTRUCTION FENCE (2' OFFSET FOR CLARITY) (REF. SHEET C3.2 & C3.3 - CBMP DETAILS)
- SF --- SILT FENCE (2' OFFSET FOR CLARITY) (REF. SHEET C3.5 - CBMP DETAILS)
- CWA --- CONCRETE WASHOUT AREA (REF. SHEET C3.3 - CBMP DETAILS)
- ▨ VTC --- VEHICLE TRACKING CONTROL (REF. SHEET C3.6 - CBMP DETAILS)
- ▨ PAN --- INLET PROTECTION, AREA INLETS NOT IN PAVEMENT (REF. SHEET C3.4 - CBMP DETAILS)
- ▨ PCCG --- INLET PROTECTION, CURB ON GRADE (REF. SHEET C3.4 - CBMP DETAILS)
- ⊙ DTC --- DEBRIS AND TRASH CONTROL (REF. SHEET C3.3 - CBMP DETAILS)
- ▨ EBC --- EROSION CONTROL BLANKET (REF. SHEET C3.3 - CBMP DETAILS)
- ▨ PTP --- PORTABLE TOILET PROTECTION (REF. SHEET C3.4 - CBMP DETAILS)
- ▨ SR --- SURFACE ROUGHENING (REF. SHEET C3.6 - CBMP DETAILS)
- ▨ SSA --- STABILIZING STAGING AREA (REF. SHEET C3.6 - CBMP DETAILS)



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PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



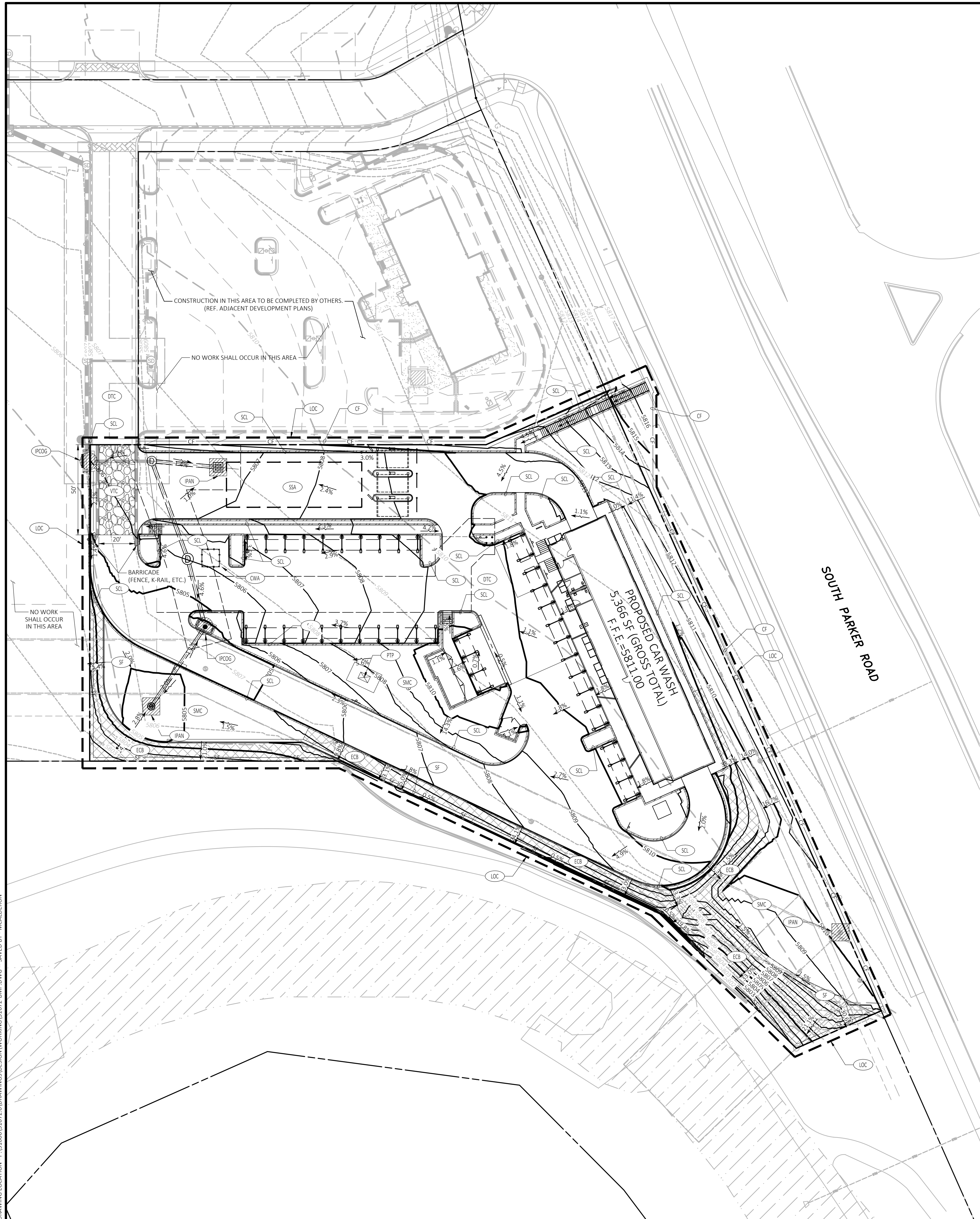
PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/7/2022
REVISION	REV-2

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TOWN OF PARKER, DIRECTOR OF ENGINEERING / PUBLIC WORKS      DATE

CBMP PLAN (INITIAL)  
SHEET TITLE  
SHEET NUMBER  
**C3**



**LEGAL DESCRIPTION**

REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.

**BENCHMARK**

DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

**BASIS OF BEARINGS**

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**FLOOD ZONE INFORMATION**

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.  
MAP NUMBER: 0805500076  
EFFECTIVE DATE: MARCH 16, 2016

**NOTE:**

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**GENERAL EROSION NOTES**

- A. REFERENCE C3.2 - CBMP DETAILS FOR TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICE GENERAL NOTES.
- B. LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.

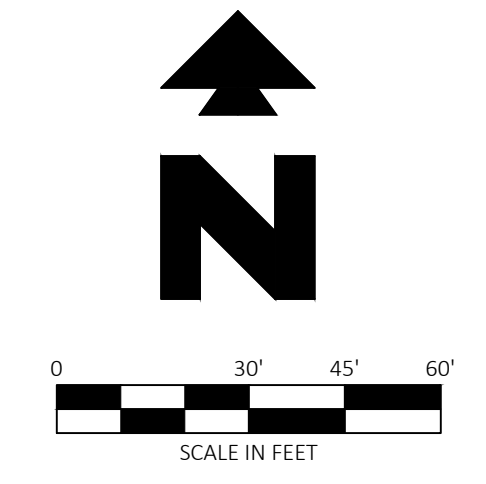
**SEQUENCE OF CONSTRUCTION**

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**EXISTING LEGEND**

- PROPERTY LINE/RIGHT OF WAY LINE
- ⊙ COMMUNICATIONS MANHOLE
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- GAS --- UNDERGROUND GAS LINES
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- STM --- UNDERGROUND STORM SEWER LINES

**PROPOSED LEGEND**

- LOC --- LIMITS OF CONSTRUCTION BOUNDARY 1.85 AC (4' OFFSET FOR CLARITY)
- XXX --- CONTOUR ELEVATIONS
- --- GRADE BREAK
- --- STORM DRAIN
- --- FLOW ARROW
- CF --- CONSTRUCTION FENCE (2' OFFSET FOR CLARITY) (REF. SHEET C3.2 & C3.3 - CBMP DETAILS)
- SF --- SILT FENCE (2' OFFSET FOR CLARITY) (REF. SHEET C3.5 - CBMP DETAILS)
- CWA --- CONCRETE WASHOUT AREA (REF. SHEET C3.3 - CBMP DETAILS)
- VTC --- VEHICLE TRACKING CONTROL (REF. SHEET C3.6 - CBMP DETAILS)
- PAN --- INLET PROTECTION, AREA INLETS NOT IN PAVEMENT (REF. SHEET C3.4 - CBMP DETAILS)
- PCOG --- INLET PROTECTION, CURB ON GRADE (REF. SHEET C3.4 - CBMP DETAILS)
- RS --- ROCK SOCK (REF. SHEET C3.4 & C3.5 - CBMP DETAILS)
- DTC --- DEBRIS AND TRASH CONTROL (REF. SHEET C3.3 - CBMP DETAILS)
- ECB --- EROSION CONTROL BLANKET (REF. SHEET C3.3 - CBMP DETAILS)
- PTP --- PORTABLE TOILET PROTECTION (REF. SHEET C3.4 - CBMP DETAILS)
- SCL --- SEDIMENT CONTROL LOGS (REF. SHEET C3.5 - CBMP DETAILS)
- SMC --- SEED MULCH CONTROL (REF. LANDSCAPING PLANS)
- SSA --- STABILIZING STAGING AREA (REF. SHEET C3.6 - CBMP DETAILS)

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TOWN OF PARKER, DIRECTOR OF ENGINEERING / PUBLIC WORKS      DATE



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REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/7/2022
REVISION	REV-2

CBMP PLAN  
INTERIM/FINAL  
SHEET TITLE  
SHEET NUMBER

C3.1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- CD CHECK DAM
- CF CONSTRUCTION FENCE
- CP CULVERT PROTECTION
- CWA CONCRETE WASHOUT AREA
- D DEWATERING
- DD DIVERSION DITCH
- DP DETENTION POND PROTECTION
- DTC DEBRIS TRASH CONTROL
- ECB EROSION CONTROL BLANKET
- IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
- IPAP INLET PROTECTION FOR AREA INLETS IN PAVEMENT
- IPCOG INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
- IPCOS INLET PROTECTION, CURB ON SUMP, TYPE R INLET

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

11. ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
12. ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
13. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
14. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
15. ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
16. ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
17. ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
18. ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
19. THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
20. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
21. NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
22. ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
23. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
24. A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

**CBMP** GEN NOTES  
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- LP LOT PROTECTION
- MWP MASONRY WORK PROTECTION
- PTP PORTABLE TOILET PROTECTION
- RCSC ROUGH CUT STREET CONTROL
- RS ROCK SOCK
- RSS ROCK SOCK IN SWALE
- SB STRAW BALE
- SCL SEDIMENT CONTROL LOGS
- SF SILT FENCE
- SMC SEEDING, MULCHING AND CRIMPING
- SR SURFACE ROUGHING
- SSA STABILIZED STAGING AREA
- STP SIDEWALK TRANSITION PROTECTION

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

25. ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
26. THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
27. VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
28. ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
29. HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
30. APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
31. GRADING SECURITY RELEASE REQUIREMENTS:
  - 1) DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
    - A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
    - B. UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
    - C. ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
    - D. IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
    - E. WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
    - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
    - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

**CBMP** GEN NOTES  
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- TI TEMPORARY IRRIGATION
- TSB TEMPORARY SEDIMENT BASIN
- VTC VEHICLE TRACKING CONTROL

**CBMP** LEGEND  
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- 2) NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
    - A. ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
    - B. ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
    - C. EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
    - D. THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION. INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
    - E. WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
    - F. NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - G. THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - H. WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
    - I. A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
    - J. ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
  - (D) NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.
- DEFINITIONS:**
- DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
- NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
32. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF: A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
  33. ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
  34. THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS. THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

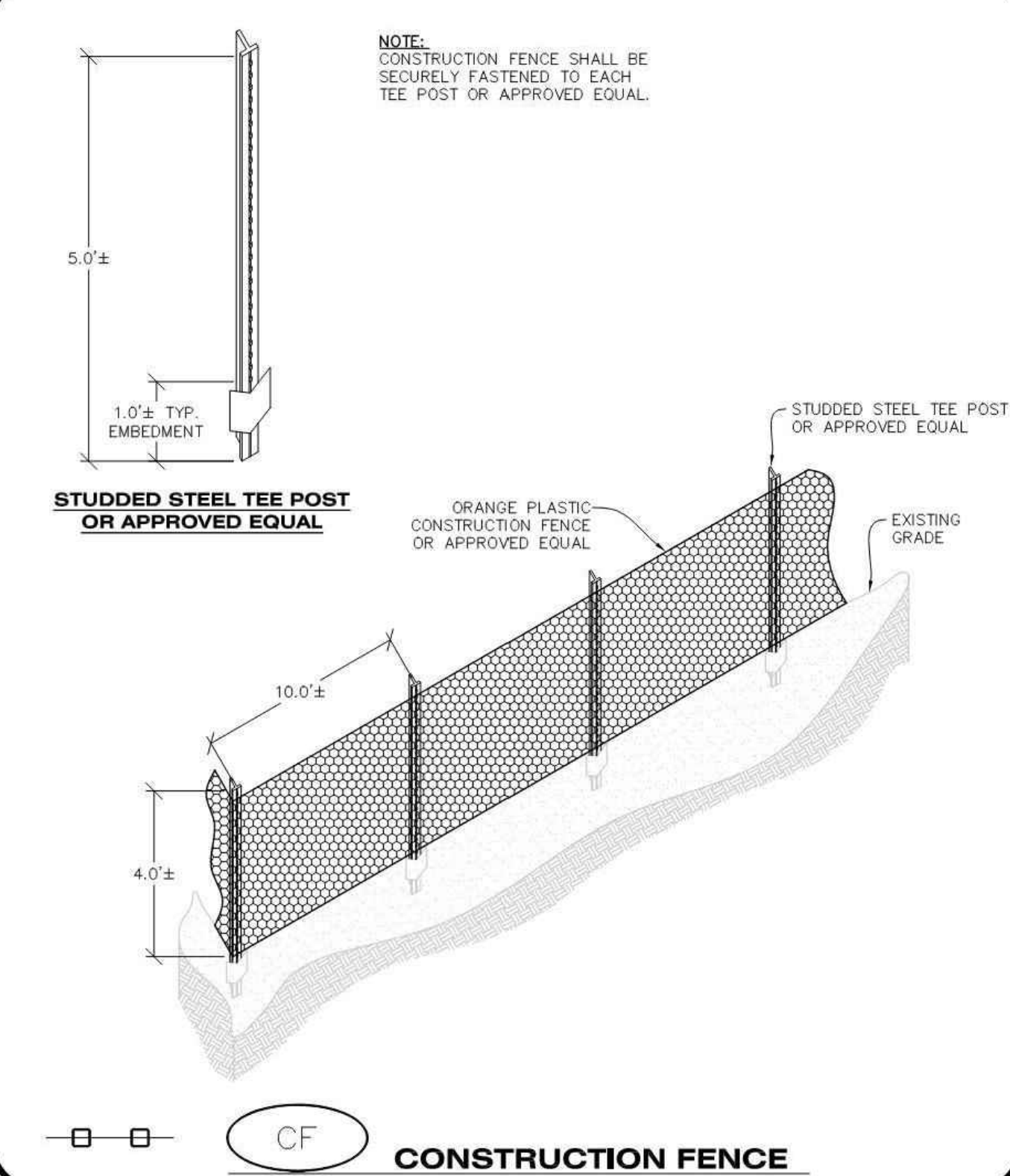
**CBMP** GEN NOTES  
CONSTRUCTION BEST MANAGEMENT PRACTICES 4 OF 4  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

1. GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
2. THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
3. ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
4. THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
5. THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
6. THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (o.k.o. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
7. THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
8. IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
9. AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
10. AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
  - (I) PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - (II) EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - (III) BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

**CBMP** GEN NOTES  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 4  
Oct. 2013

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**CBMP** CF  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2  
Oct. 2013



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REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN  
PARKER RD. & PINE LAKE AVE.  
PARKER, COLORADO

CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/2/2022
REVISION	REV-2

CBMP DETAILS  
SHEET TITLE  
SHEET NUMBER

C3.2

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CONSTRUCTION FENCE INSTALLATION NOTES**

1. THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

**CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
2. CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
 2 OF 2  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**CONCRETE WASHOUT AREA INSTALLATION NOTES**

1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

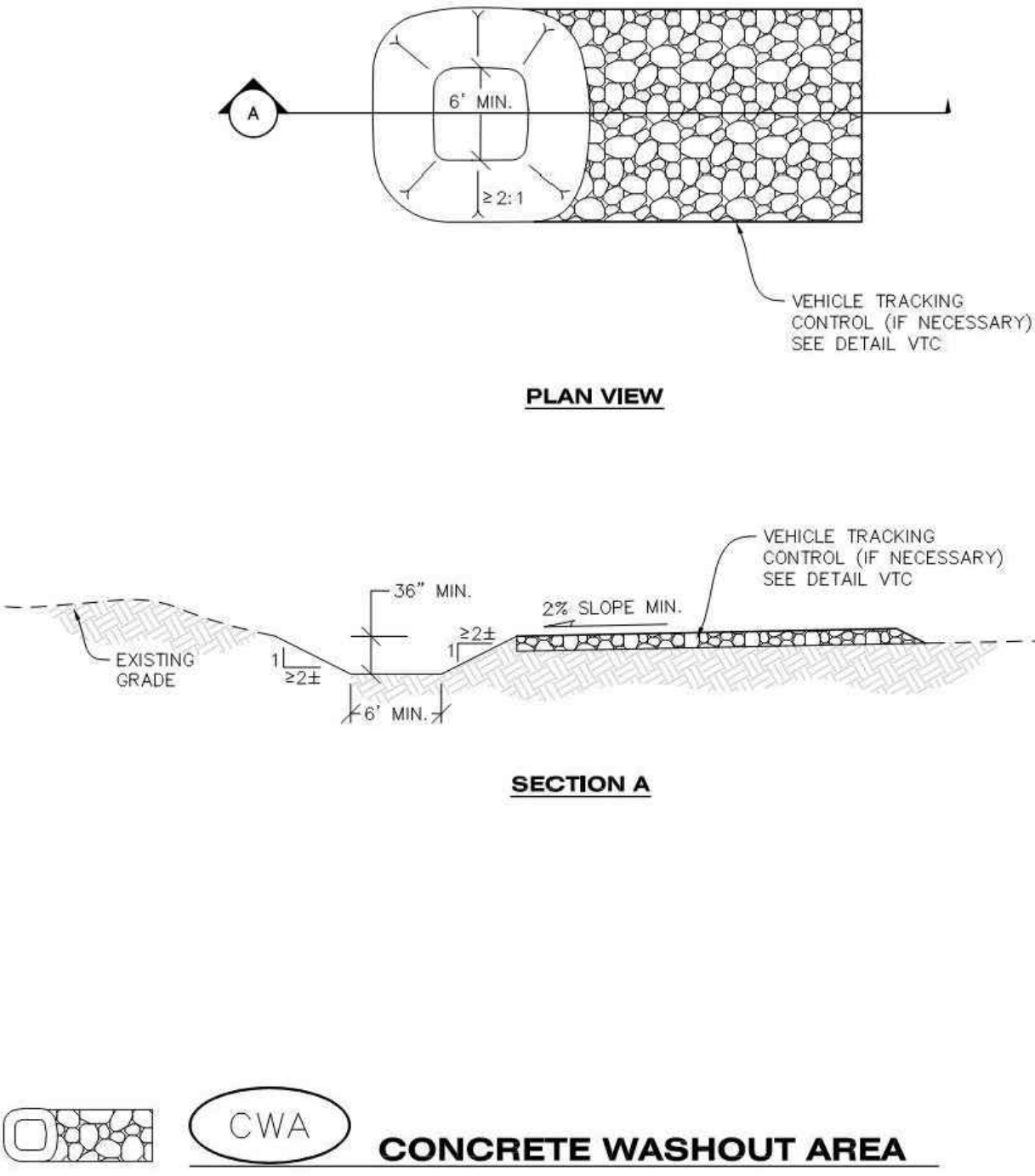
**CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
 2 OF 2  
 Oct. 2013

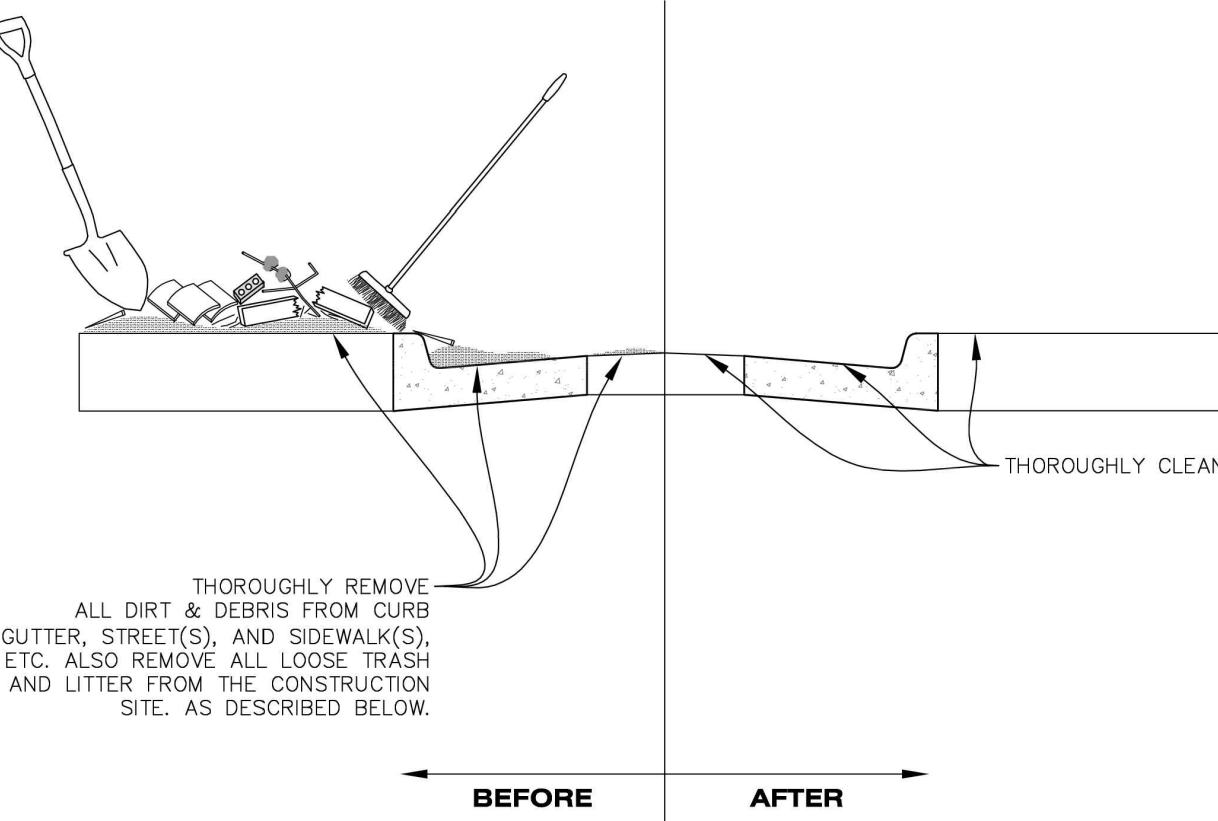
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**NOTE:**  
A VTC PAD IS NOT NECESSARY IF THERE IS ANOTHER VTC PAD IN BETWEEN THE CWA AND ROADWAY, PARKING LOT, DRIVE AISLES, ETC.



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
 1 OF 2  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**NOTE:**

1. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY. FURTHERMORE, ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
 1 OF 2  
 Oct. 2013

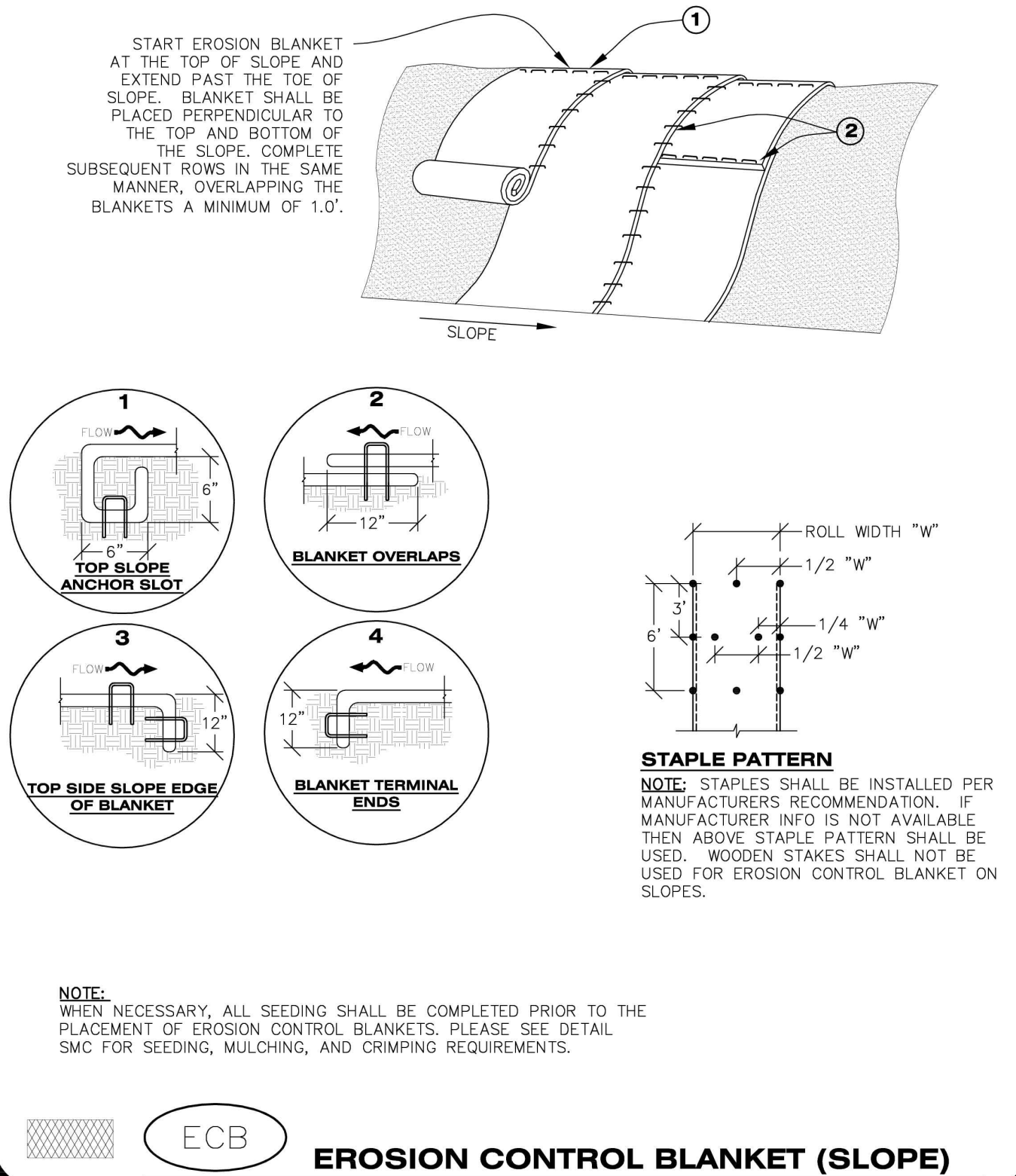
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**DEBRIS CONTROL NOTES:**

1. A COMBINATION OF SURFACE SCRAPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
2. ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
3. ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

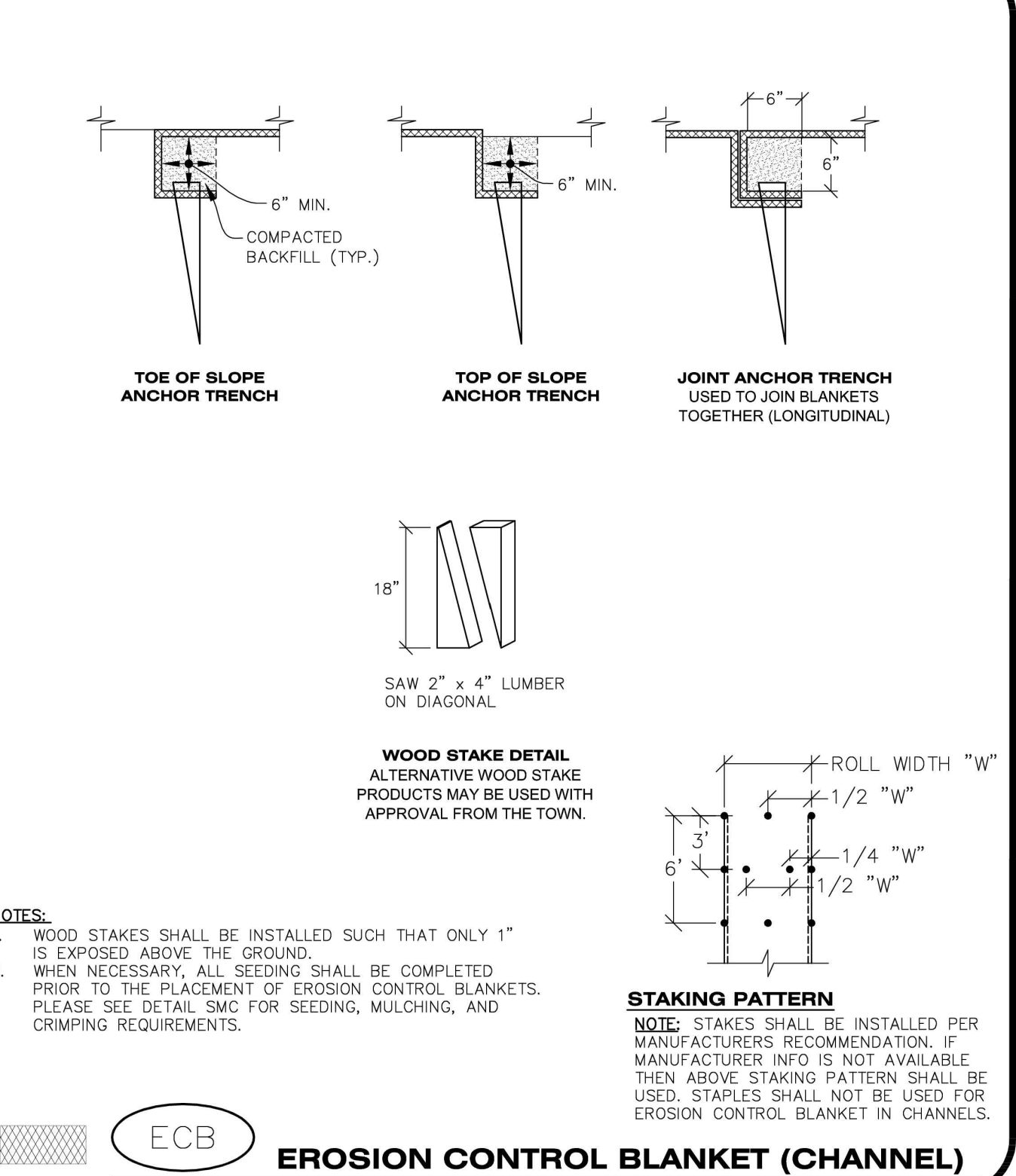
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
 2 OF 2  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
 1 OF 3  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
 2 OF 3  
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**EROSION CONTROL BLANKET INSTALLATION NOTES**

1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
  2. EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
  3. IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
  4. EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
  5. ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
  6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.
- | MANUFACTURER         | PRODUCT NAME   |
|----------------------|----------------|
| NORTH AMERICAN GREEN | S150           |
| APPROVED EQUAL       | APPROVED EQUAL |

**EROSION CONTROL BLANKET MAINTENANCE NOTES**

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES  
 3 OF 3  
 Oct. 2013



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PLANS PREPARED FOR  
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REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/2/2022
REVISION	REV-2

CBMP DETAILS  
SHEET TITLE  
SHEET NUMBER  
**C3.3**

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

**AREA INLET PROTECTION INSTALLATION NOTES**

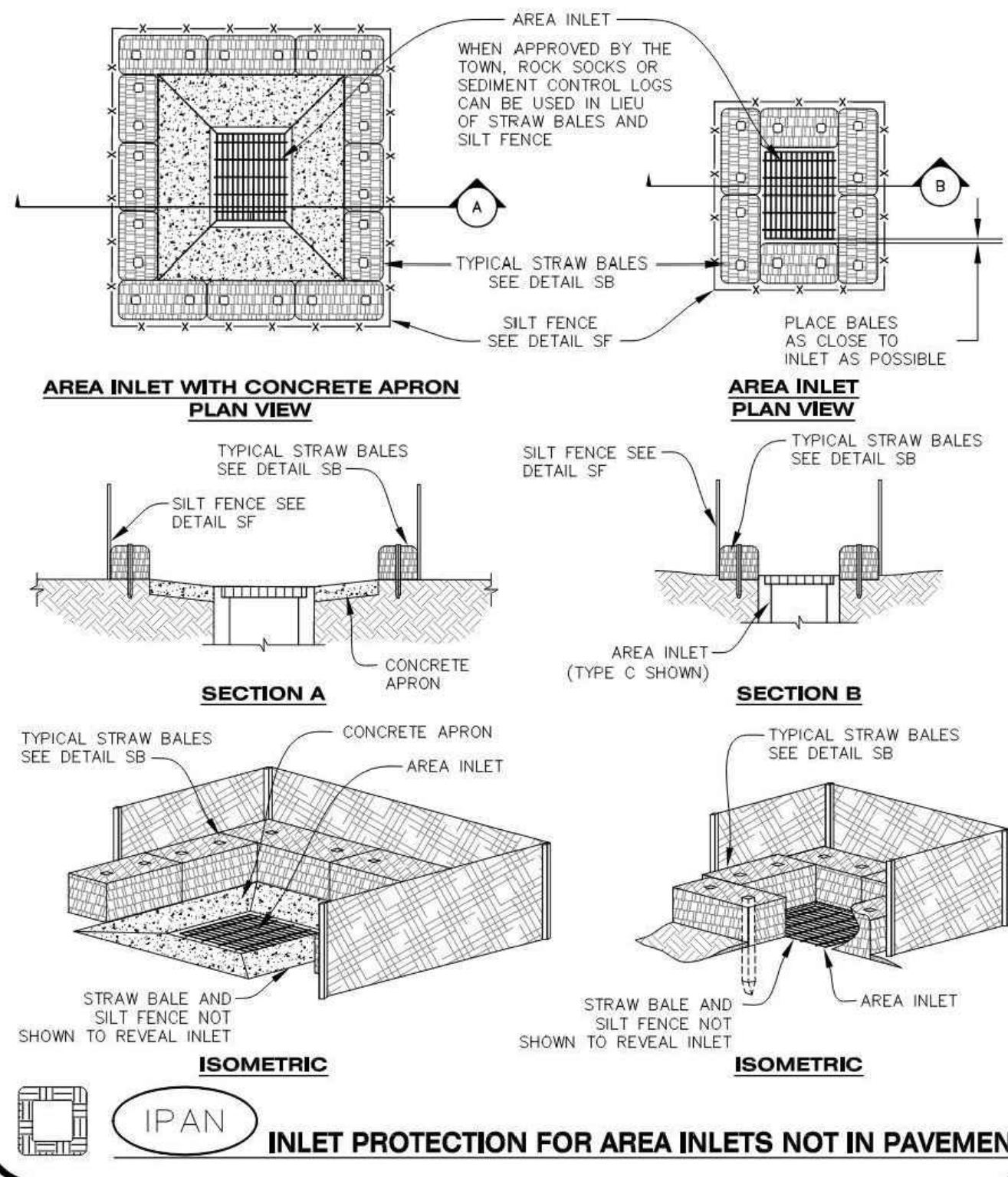
- SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
- THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

**AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

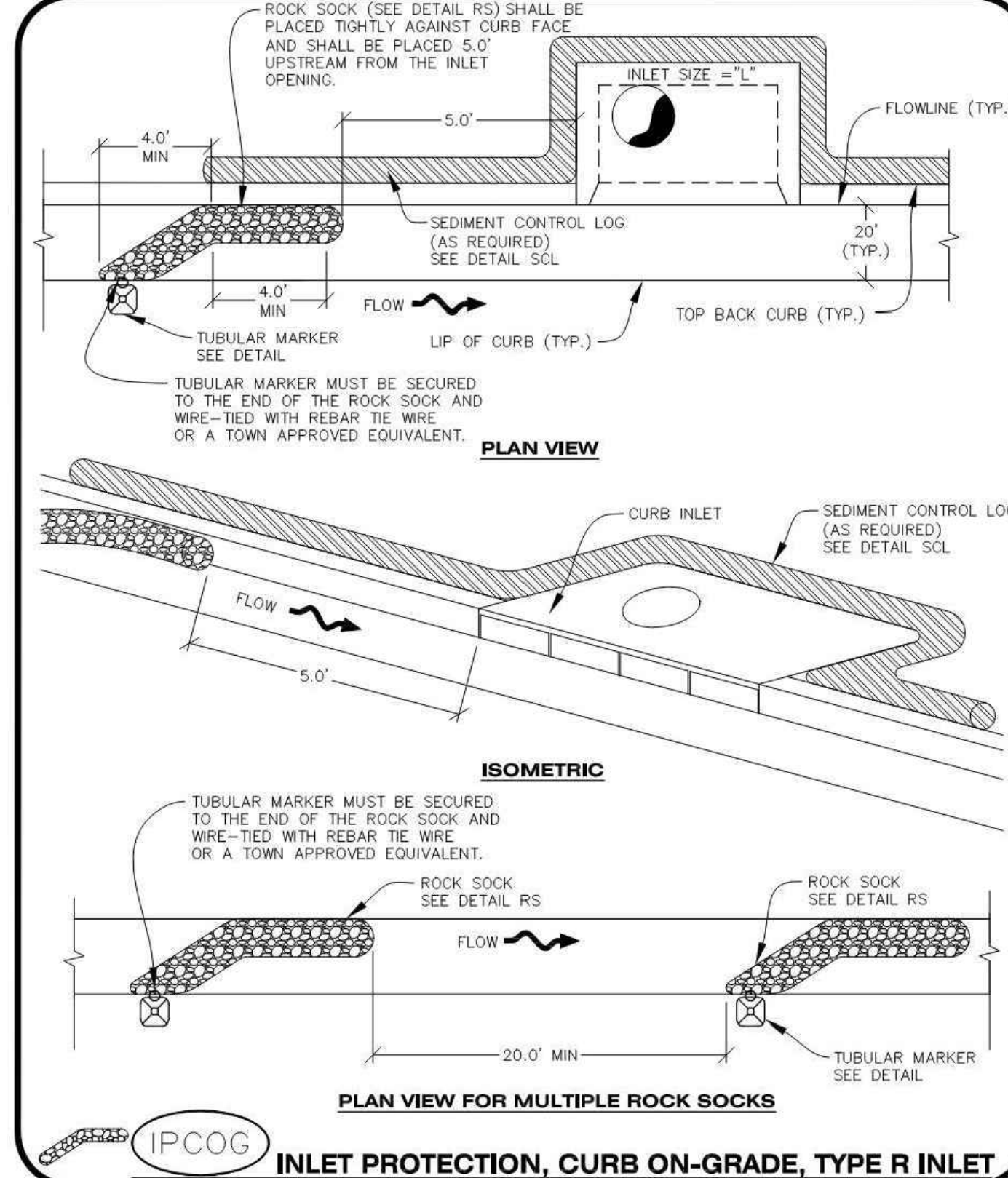
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

THIS METHOD OF INLET PROTECTION SHALL NOT BE USED ON INLETS RECEIVING SIGNIFICANT FLOWS, SUCH AS IN CERTAIN SWALES/CHANNELS OR HIGHWAY MEDIANS. INLET PROTECTION FOR AREA INLETS IN PAVEMENT (SEE DETAIL IPAP) SHALL BE USED IN THESE CONDITIONS.



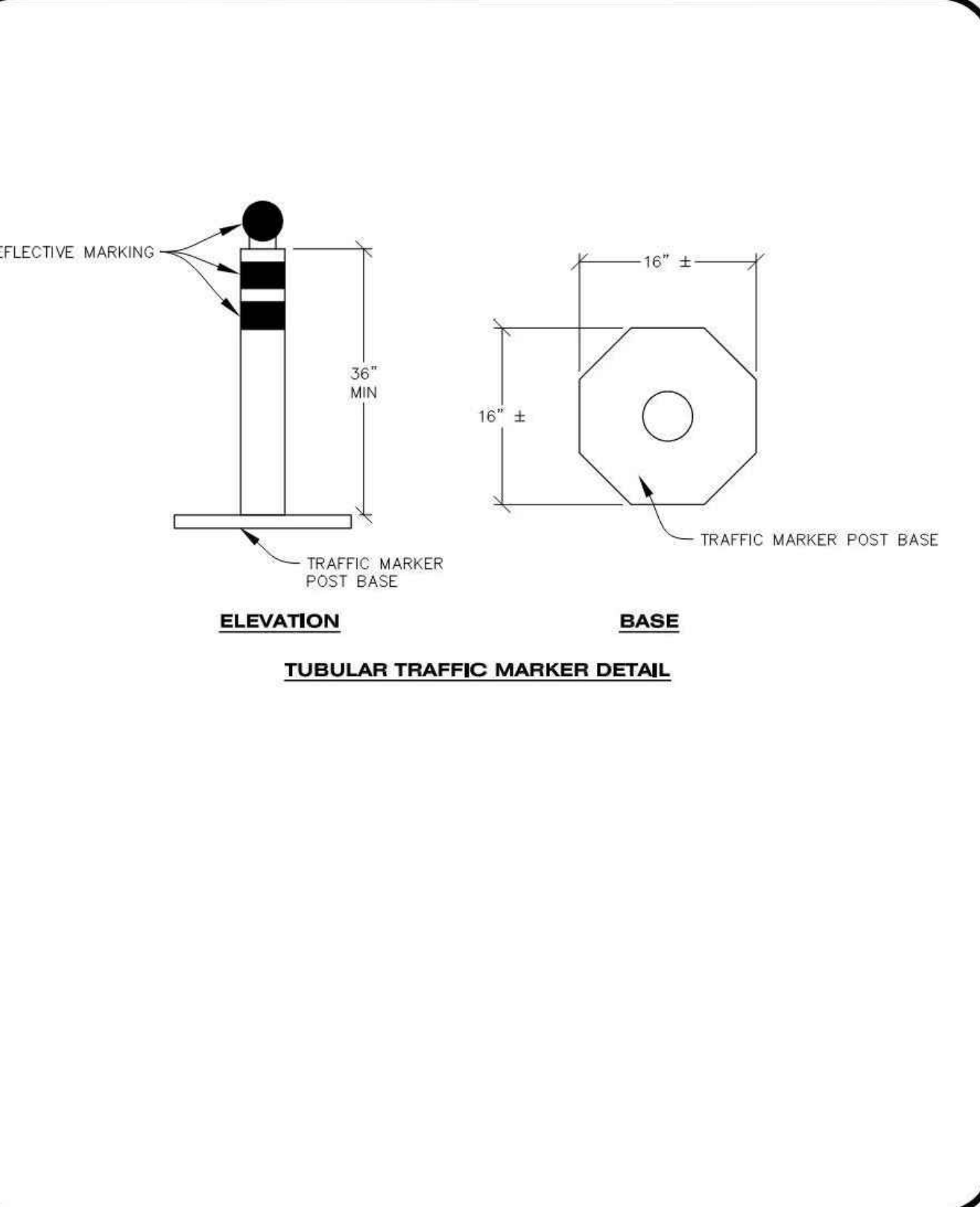
**CBMP** **IPA**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** **IPCOG**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



**CBMP** **IPCOG**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3  
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

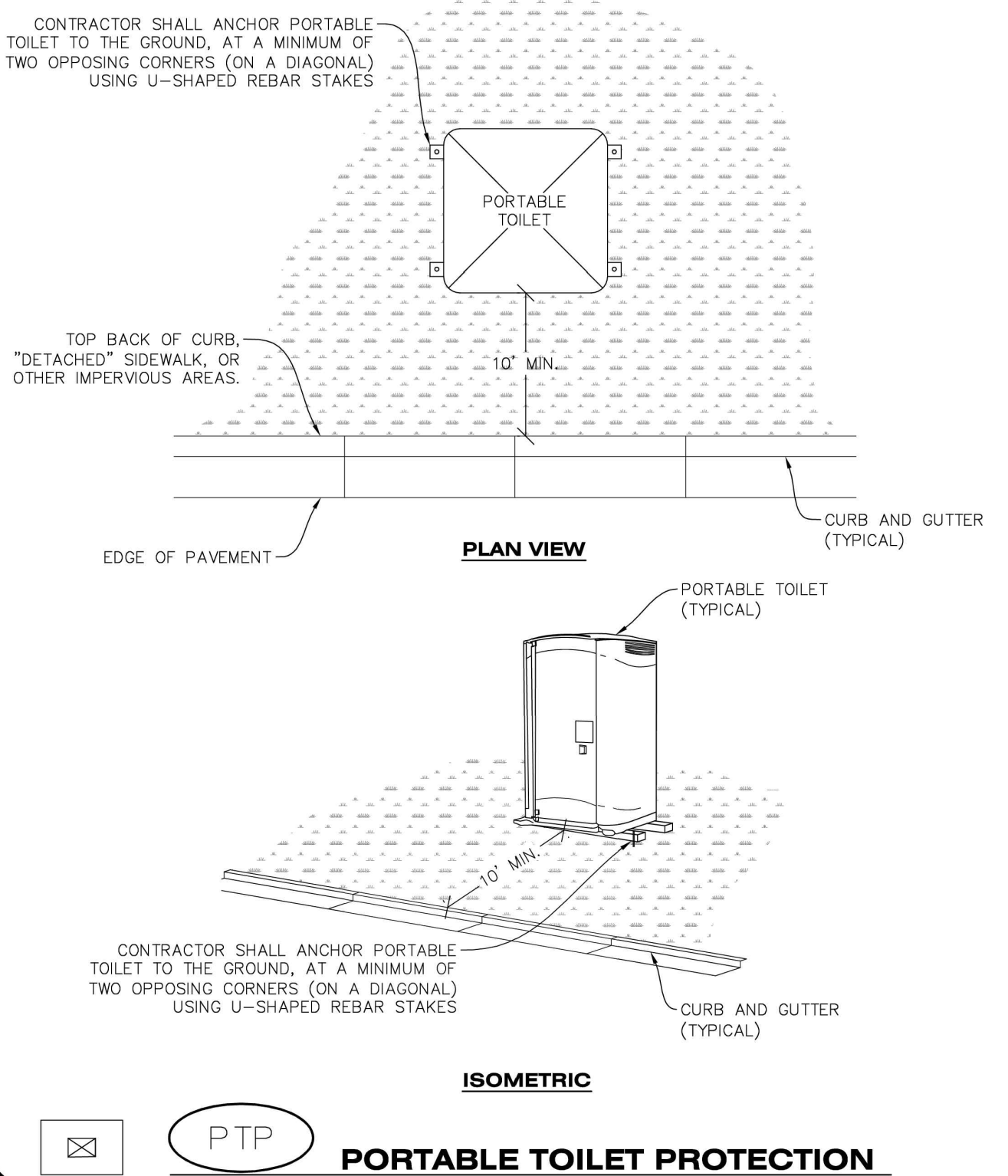
**INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
- TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

**ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

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**CBMP** **PTP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2  
Oct. 2013

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**PORTABLE TOILET PROTECTION INSTALLATION NOTES**

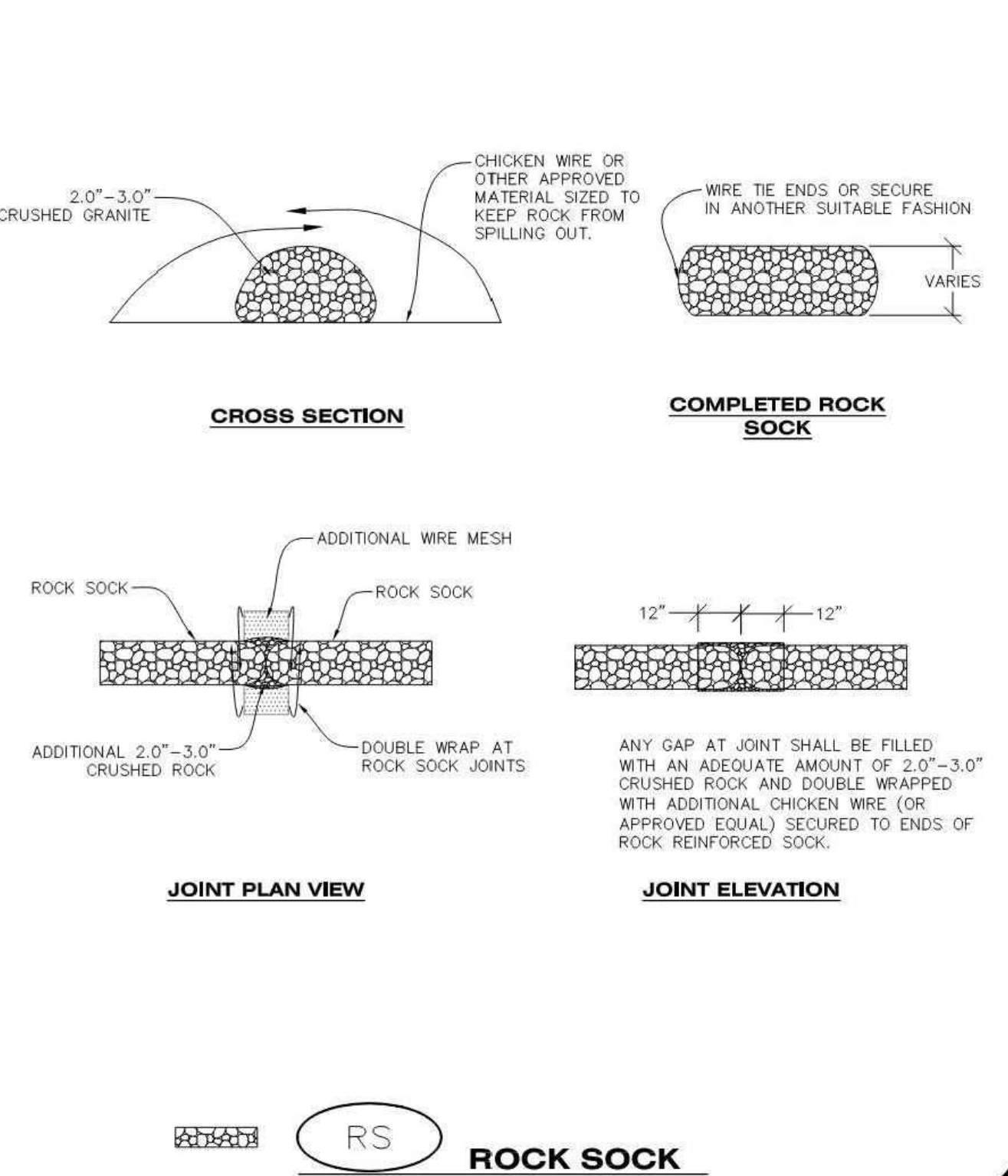
- PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10.0' BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
- ALL PORTABLE TOILETS MUST BE GROUPED TOGETHER.
- PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES.
- U-SHAPED REBAR STAKES SHALL BE POSITIONED ON AT LEAST 2 OPPOSING (DIGITAL) CORNERS.

**PORTABLE TOILET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE PORTABLE TOILET PROTECTION.
- PORTABLE TOILETS SHALL BE SERVICED AT THE NECESSARY INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
- WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MAY NEED TO BE LANDSCAPED OR ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- PORTABLE TOILETS THAT ARE NOT CONSISTENTLY MAINTAINED IN ACCORDANCE WITH THESE REQUIREMENTS MAY NEED TO BE CLUSTERED TOGETHER, IN ONE CENTRALIZED LOCATION IN ORDER TO INCREASE COMPLIANCE AND REDUCE THE CHANCE OF A SPILL.

**CBMP** **PTP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2  
Oct. 2013

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**CBMP** **RS**  
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2  
Oct. 2013



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PLANS PREPARED FOR  
QUICK N CLEAN  
7291 E. ADOBE DRIVE, SUITE 115  
SCOTTSDALE, AZ 85255  
PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



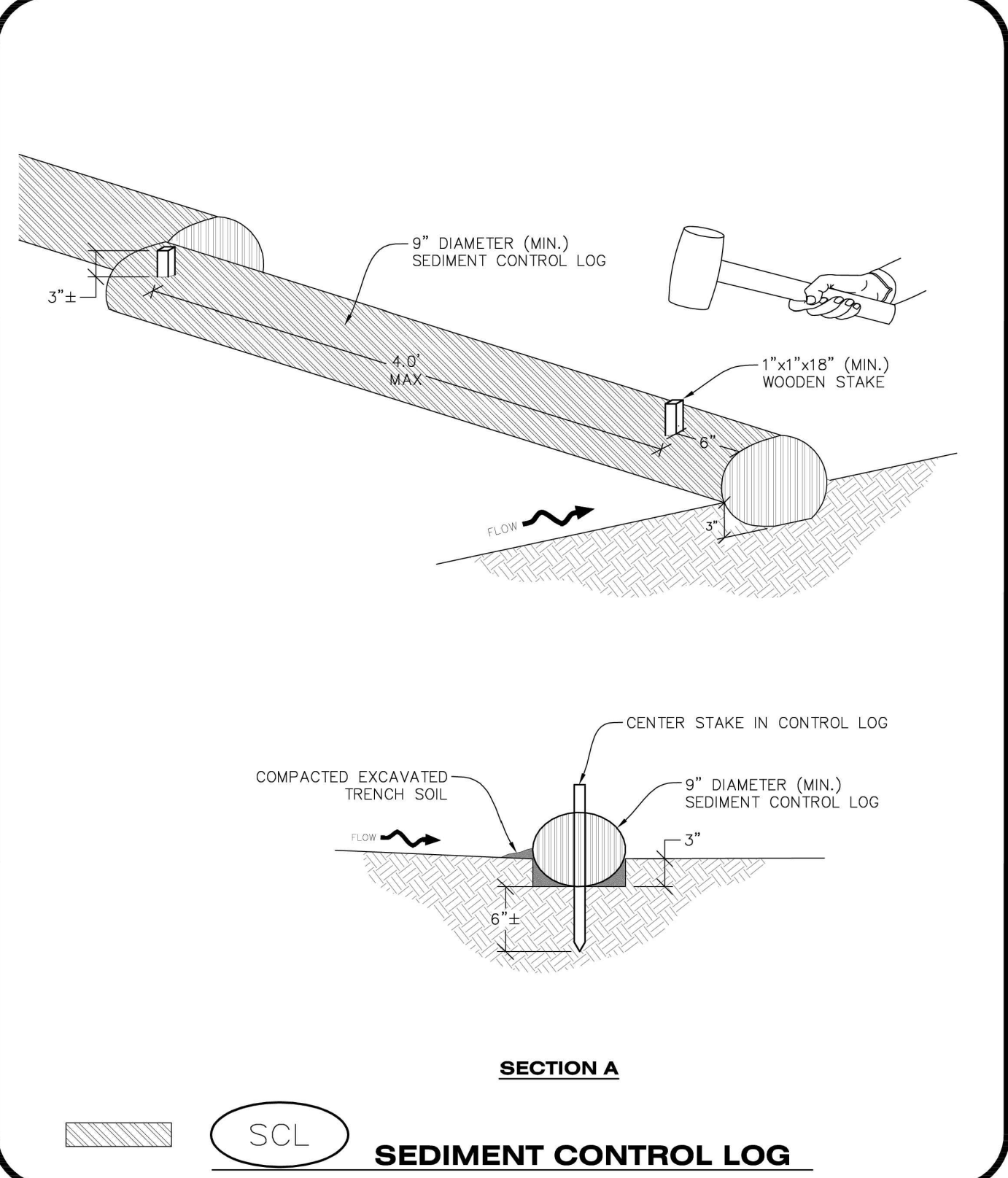
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PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/2/2022
REVISION	REV-2

CBMP DETAILS  
SHEET TITLE  
SHEET NUMBER

C3.4

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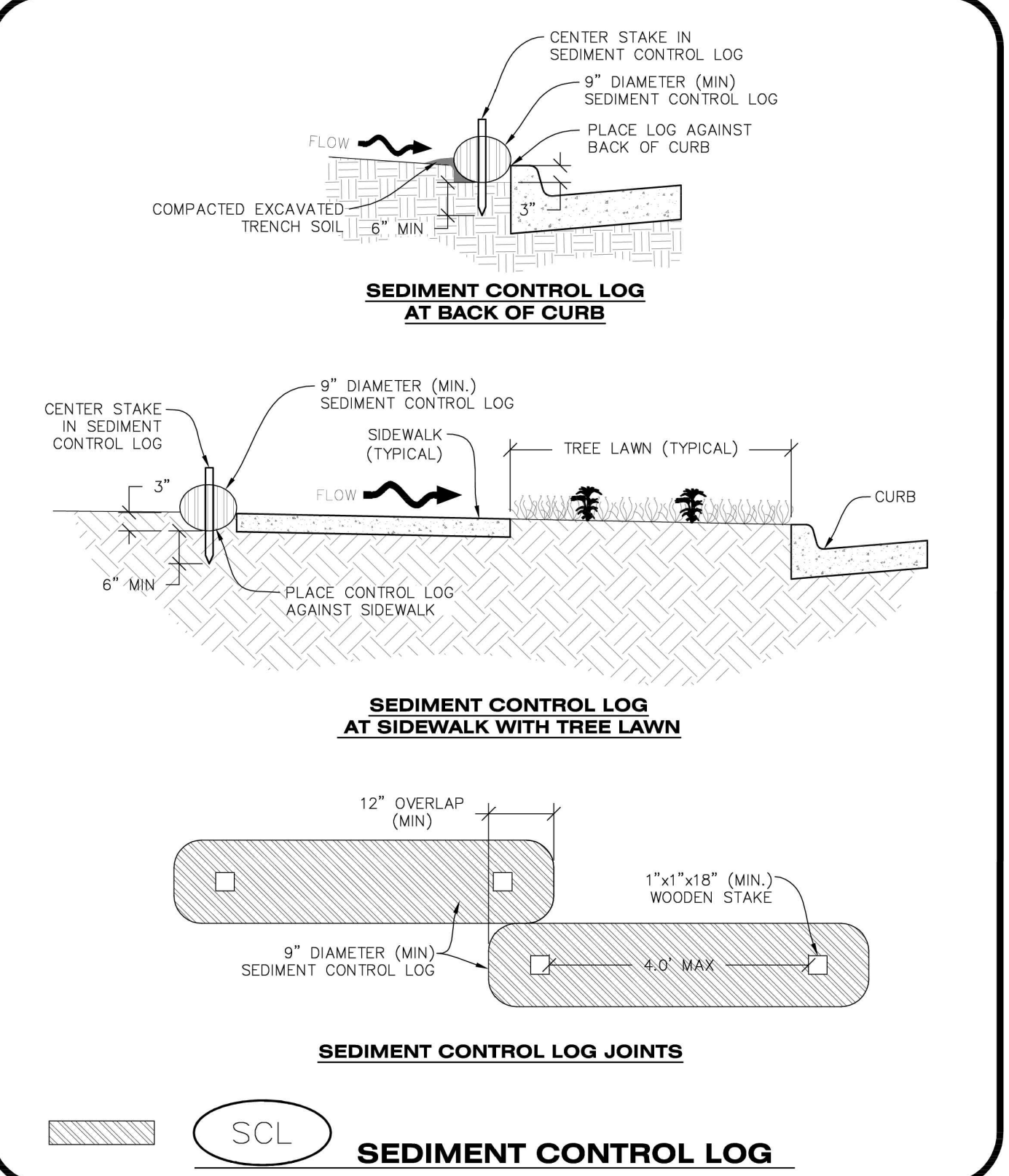
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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SCL** 1 OF 3 Oct. 2013

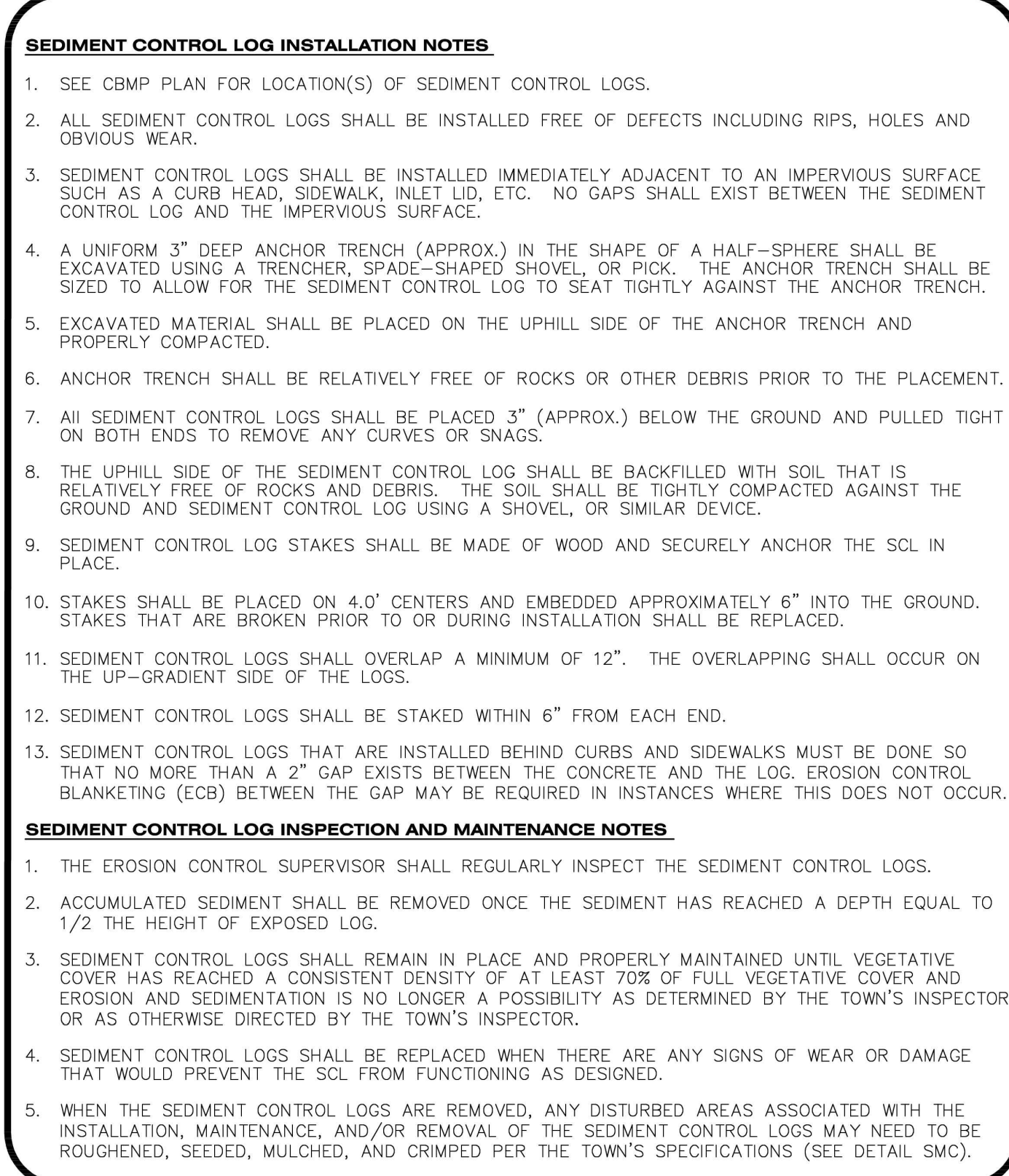
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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SCL** 2 OF 3 Oct. 2013

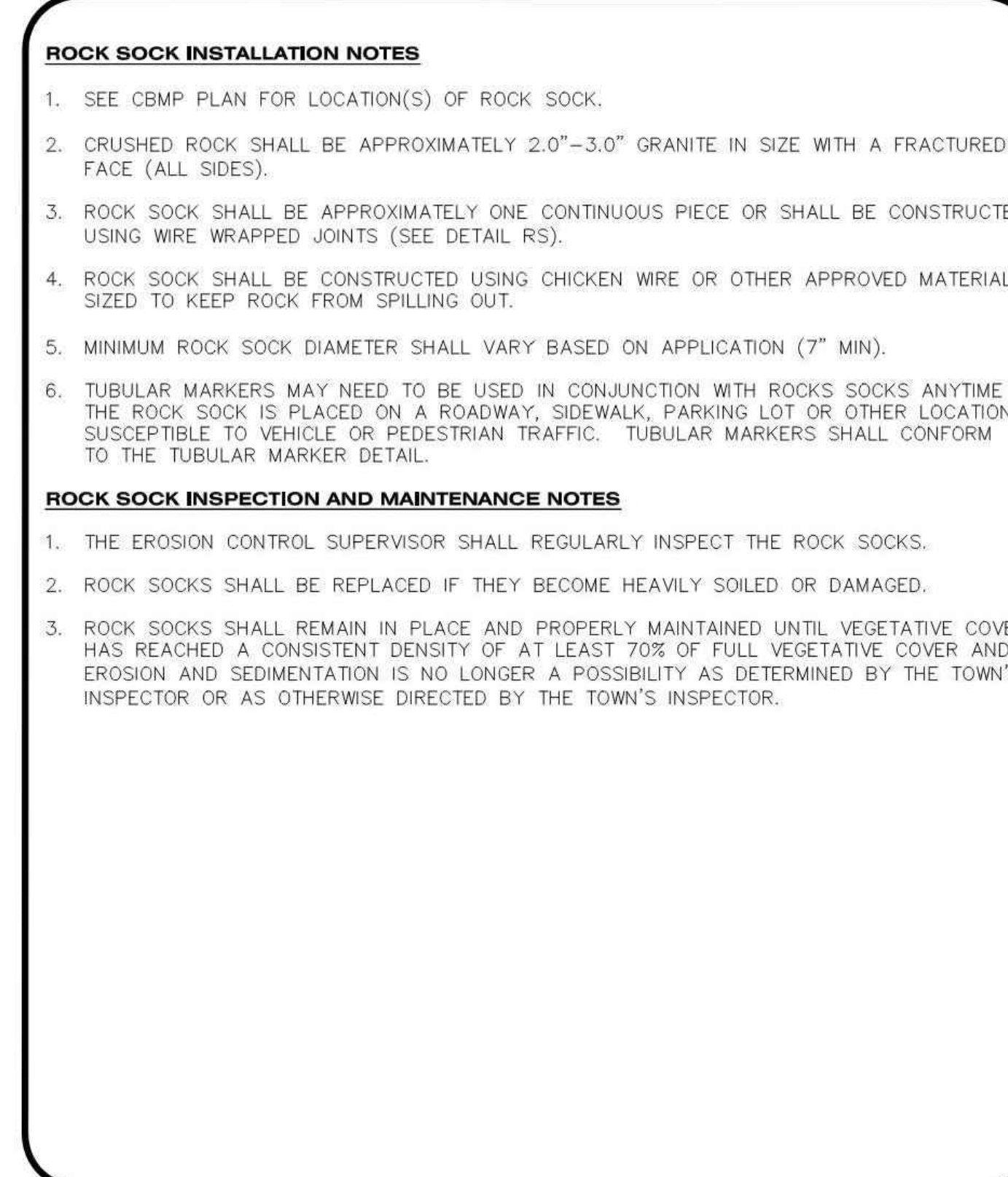
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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SCL** 3 OF 3 Oct. 2013

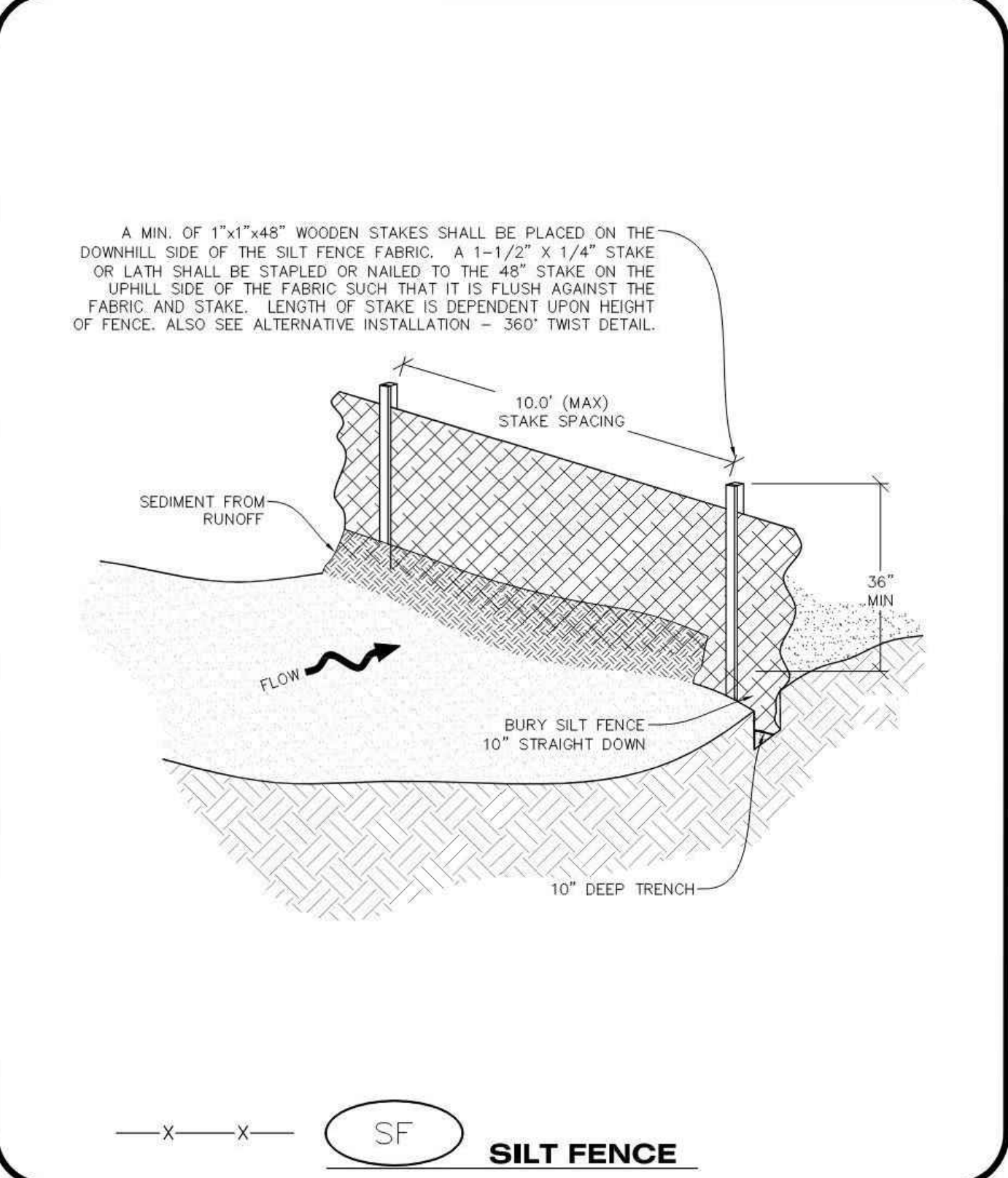
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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**RS** 2 OF 2 Oct. 2013

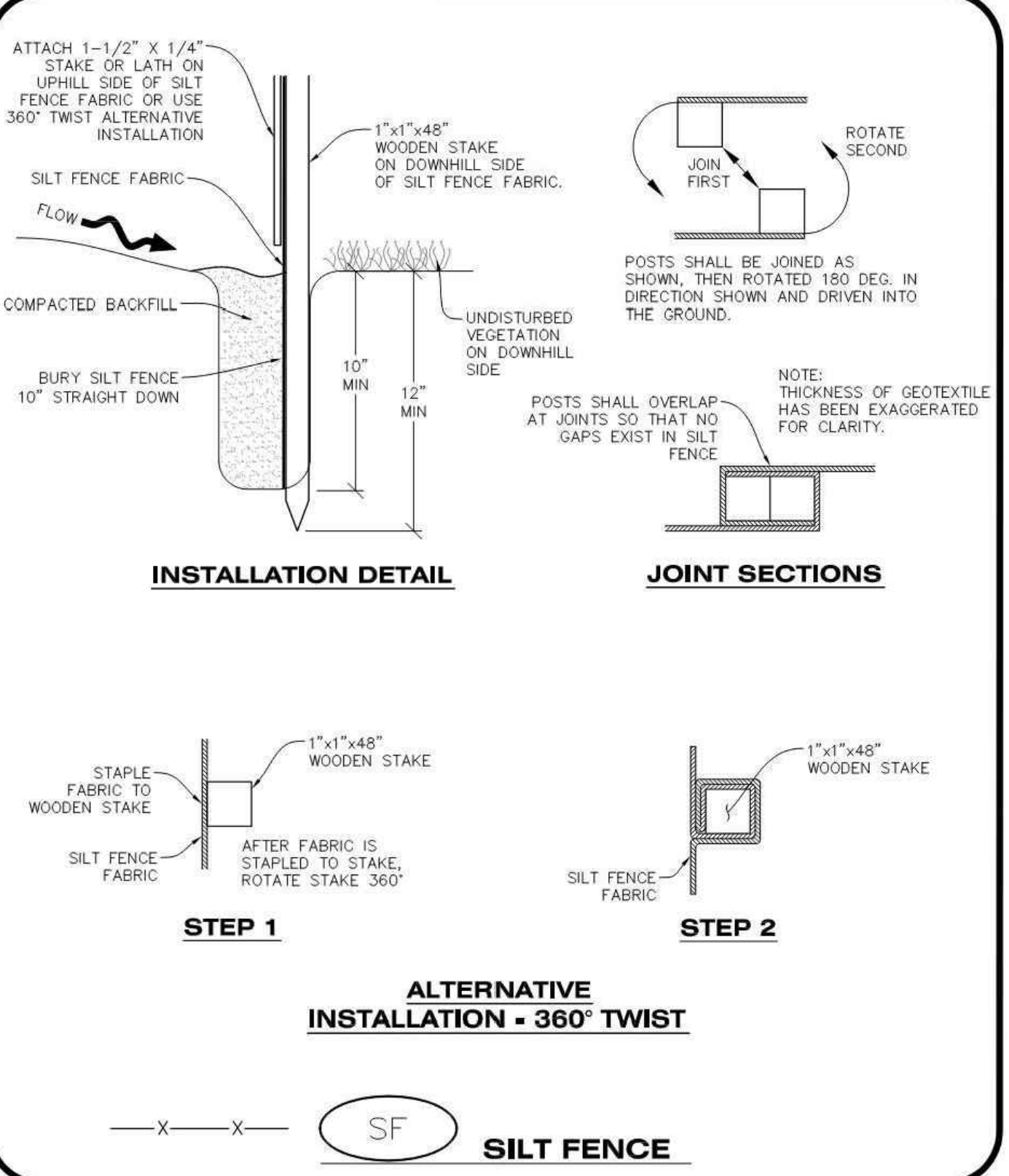
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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 1 OF 4 Oct. 2013

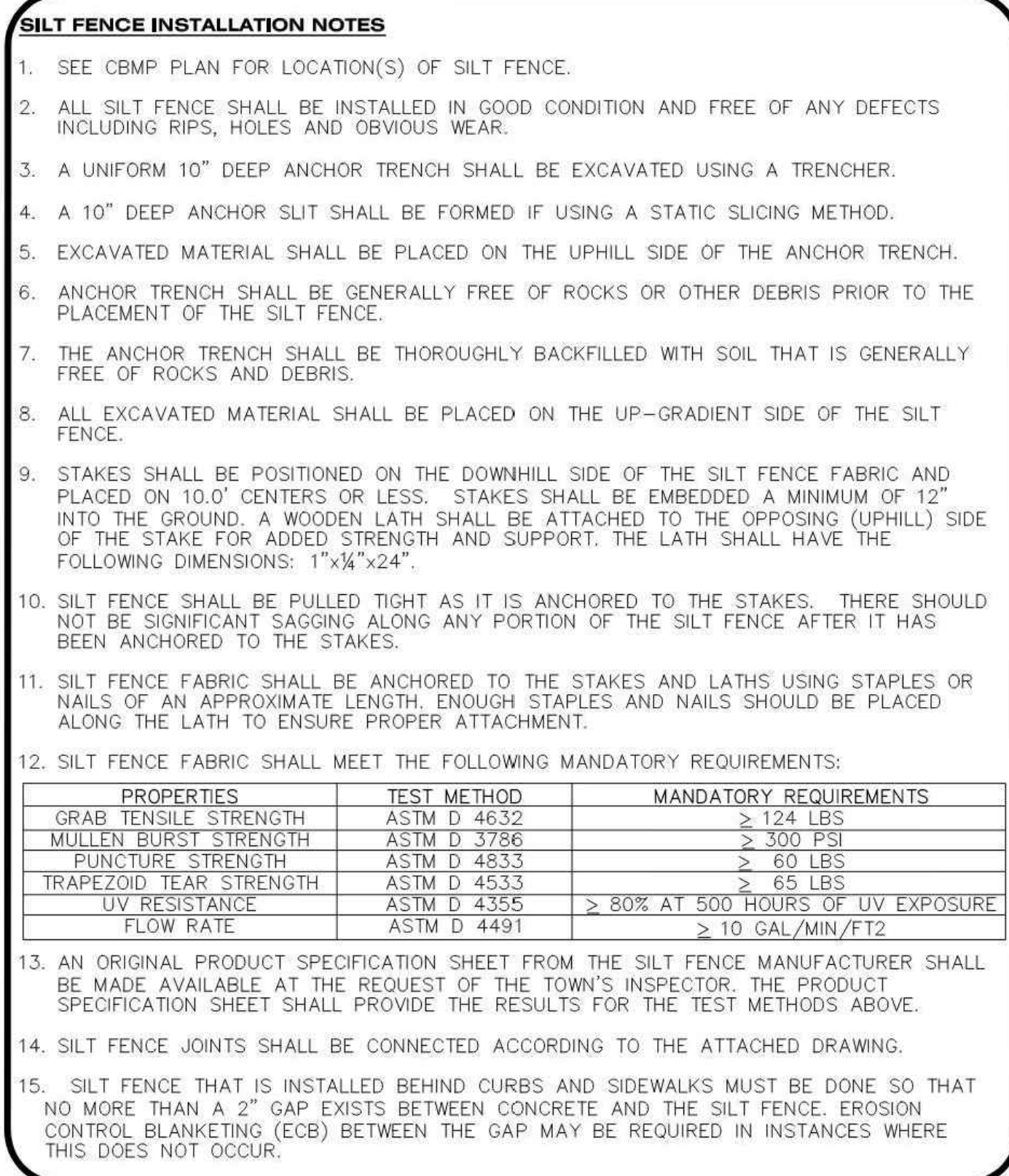
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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 2 OF 4 Oct. 2013

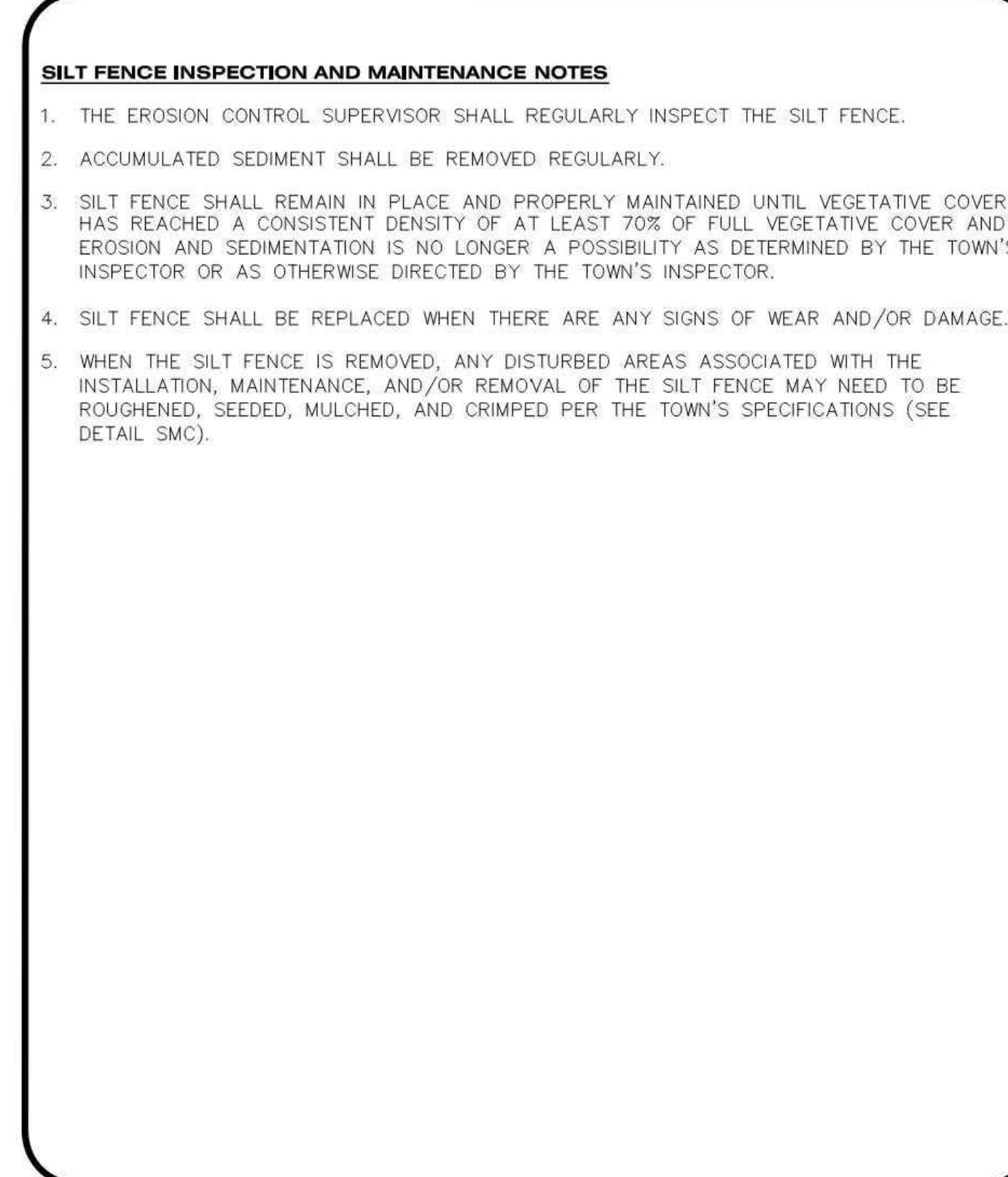
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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 3 OF 4 Oct. 2013

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**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES

**SF** 4 OF 4 Oct. 2013



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REVISION		
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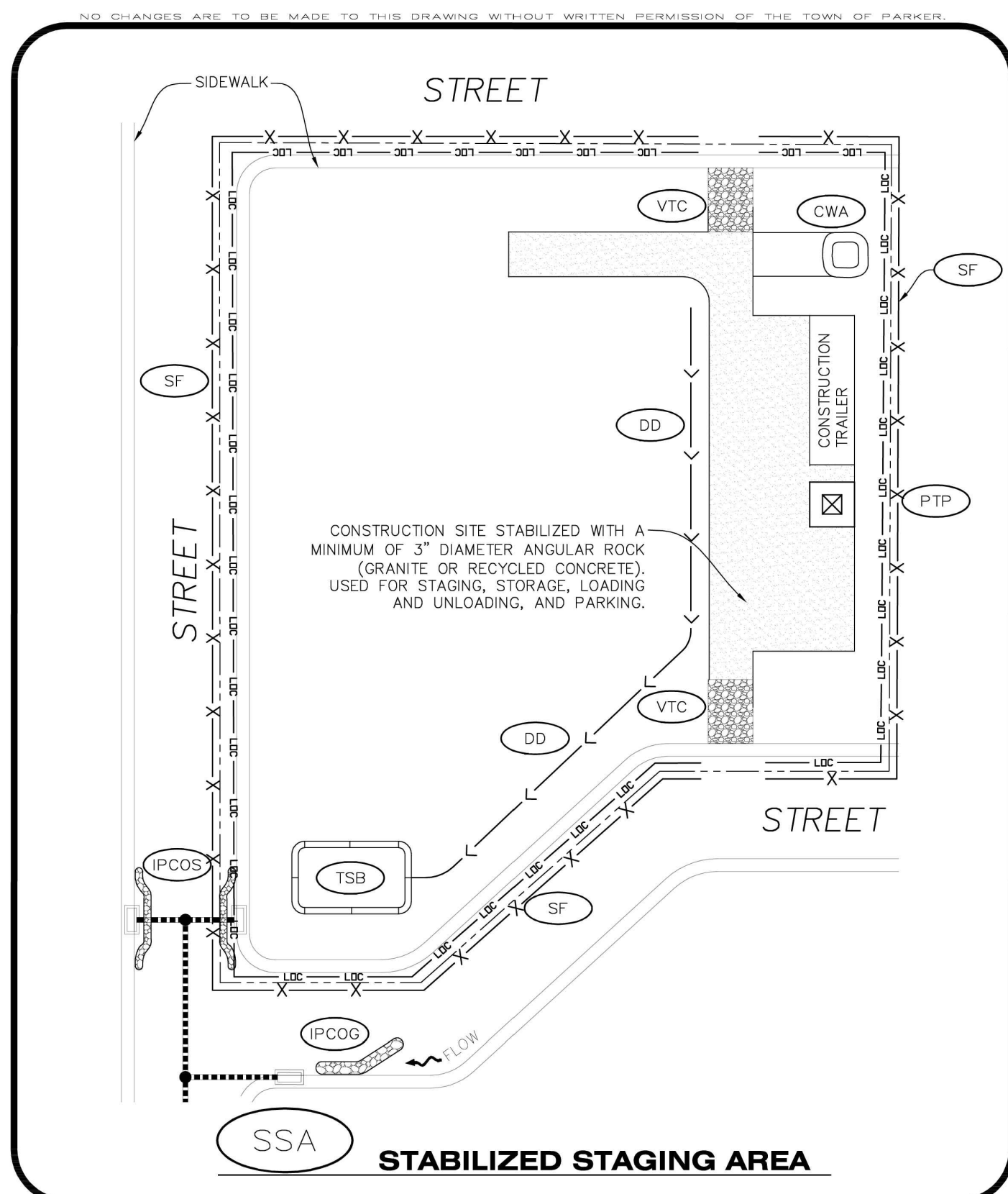
QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
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CBMP DETAILS  
SHEET TITLE  
SHEET NUMBER  
**C3.5**

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**CBMP** | **SSA**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
 Oct. 2013

**STABILIZED STAGING AREA INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
- STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
- SSA FOR SMALLER SITES MAY NOT BE PRACTICAL. IN THESE AND SIMILAR SITUATIONS, VARIANCES MAY BE PERMITTED BY THE TOWN.

**STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
- STABILIZED STAGING AREA SHALL BE ENLARGED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.

**CBMP** | **SSA**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
 Oct. 2013

**SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE**

- SEE PLAN VIEW FOR:
  - LOCATION(S) OF SEEDING AND MULCHING
  - TYPE OF SEED MIX
- SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.
- SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.
- AT THE BEGINNING OF THE LAND DISTURBANCE ACTIVITIES, IT IS HIGHLY RECOMMENDED THAT AN APPROPRIATE AMOUNT OF NATIVE TOPSOIL BE STRIPPED FROM THE SITE AND STOCKPILED. ALL AREAS, PRIOR TO PERMANENT SEEDING AND MULCHING, WILL LIKELY NEED TO BE COVERED WITH AN APPROPRIATE LAYER OF TOPSOIL. THIS REQUIREMENT APPLIES TO ALL AREAS WHERE NATIVE SEEDING IS SPECIFIED ON THE CBMP PLAN AND/OR LANDSCAPING PLANS.
- IT IS STRONGLY RECOMMENDED THAT SAMPLES FROM THE STRIPPED TOPSOIL BE PROPERLY COLLECTED AND TESTED BY A QUALIFIED LABORATORY TO ENSURE ADEQUATE NUTRIENT CONTENT PRIOR TO SEEDING AND MULCHING. IF IT IS DISCOVERED THAT THE TOPSOIL IS VOID OF THE NUTRIENTS NECESSARY TO SUCCESSFULLY ESTABLISH THE REQUIRED VEGETATION, THEN THE APPROPRIATE AMENDMENTS SHALL BE MADE.
- ALL AREAS TO BE SEEDING AND MULCHING SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAILS AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.
- WHEN INSTALLED WITH A DRILL SEEDER, SEED SHALL BE PLACED AT A DEPTH OF 1/4 - 1/2 INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES.
- ALL AREAS INCAPABLE OF BEING DRILL SEEDER SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR OTHER SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDER RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF 1/4 - 1/2 INCH.
- AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4,000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
- IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

**CBMP** | **SMC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
 Oct. 2013

**SEEDING AND MULCHING MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
- ANY SEEDED AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

**WEED MANAGEMENT**

- ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
- HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
- AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
- HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.

**CBMP** | **SMC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
 Oct. 2013

**TOWN OF PARKER, SEED MIX 1**  
 20% CANADA WILDRYE  
 15% CRESTED WHEATGRASS  
 15% SLENDER WHEATGRASS  
 10% ANNUAL RYEGRASS  
 10% SHEEP FESCUE  
 10% BIG BLUESTEM  
 10% SIDCOATS GRAMA  
 5% CANADA BLUEGRASS  
 5% BLUE GRAMA

**SEEDING RATE:**  
 DRILLED: 25 LBS/ACRE  
 BROADCAST: 50 LBS/ACRE

**TOWN OF PARKER, SEED MIX 2**  
 22% SLENDER WHEATGRASS  
 18% SODAR STREAMBANK WHEATGRASS  
 13% ARIZONA FESCUE  
 13% BLUE GRAMA  
 12% BUFFALOGRASS  
 12% BARLEY OR OATS  
 5% SPIKE MUHLI  
 5% INDIAN RICEGRASS

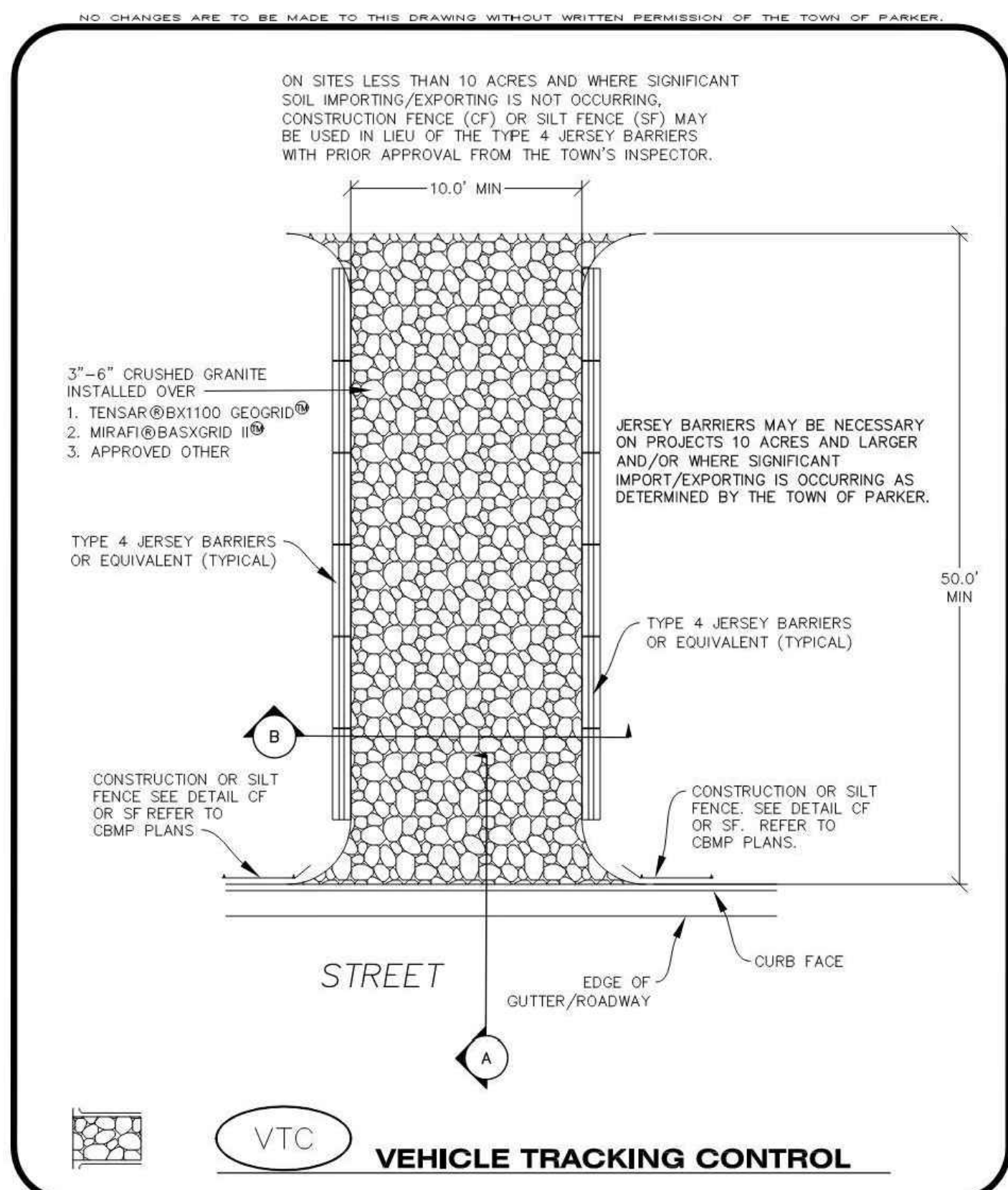
**SEEDING RATE:**  
 DRILLED: 25 LBS/ACRE  
 BROADCAST: 50 LBS/ACRE

**TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)**  
 25% EPHRAIM CRESTED WHEATGRASS  
 23% SHEEP FESCUE  
 18% PERENNIAL RYEGRASS  
 13% CANADA BLUEGRASS  
 12% BARLEY OR OATS  
 5% BLUE FESCUE

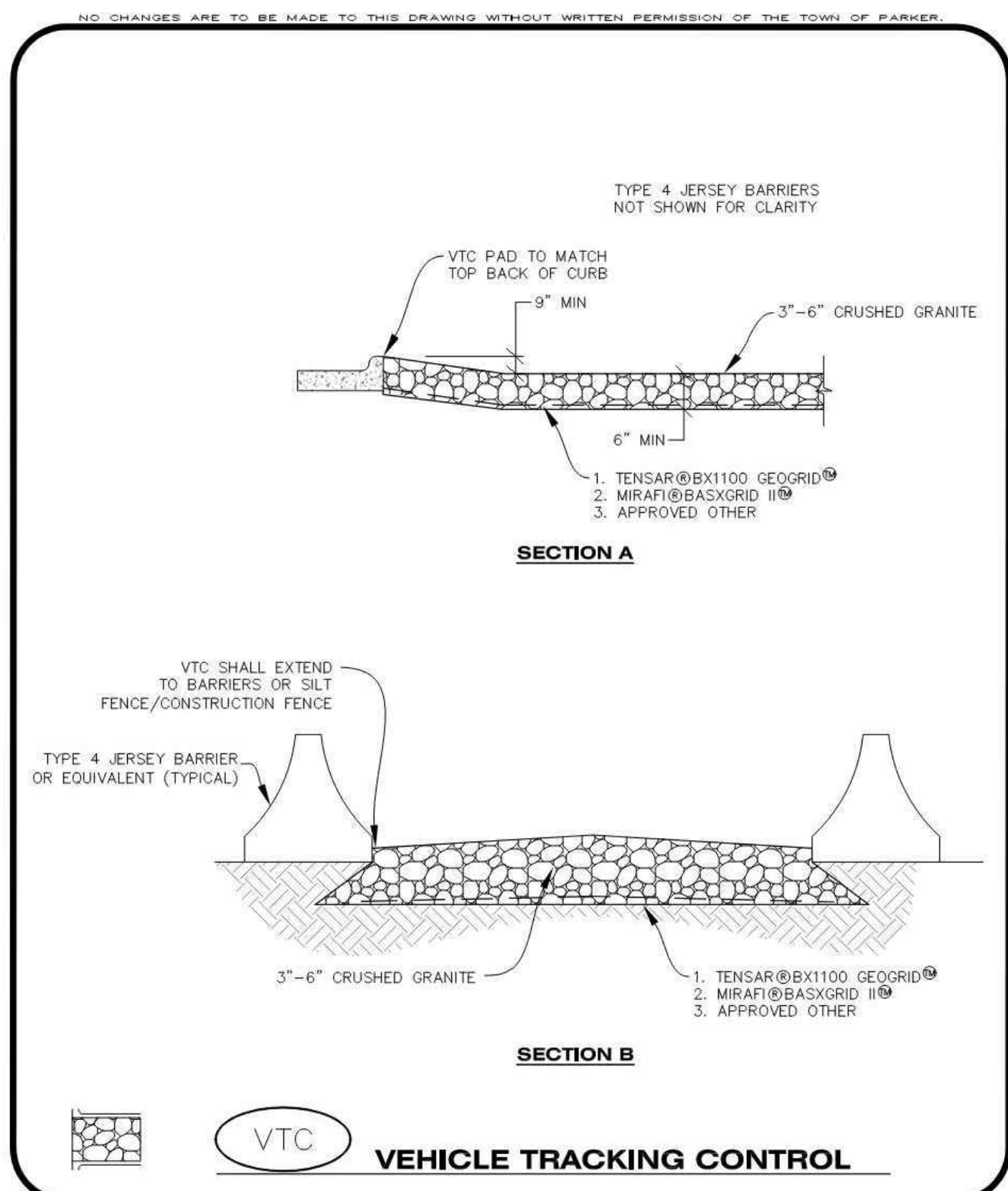
**SEEDING RATE:**  
 DRILLED: 25 LBS/ACRE  
 BROADCAST: 50 LBS/ACRE

**SEED MIX 4:**  
 OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER

**CBMP** | **SMC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
 Oct. 2013



**CBMP** | **VTC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
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**CBMP** | **VTC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
 Oct. 2013

**VEHICLE TRACKING CONTROL PAD INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF VEHICLE TRACKING CONTROL PAD(S).
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- THE VEHICLE TRACKING CONTROL PAD(S) INDICATED ON CBMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- VEHICLE TRACKING CONTROL PADS SHALL BE A MINIMUM OF 50-FOOT LONG AND 10-FOOT WIDE, UNLESS A VARIANCE HAS BEEN GRANTED BY THE TOWN'S INSPECTOR.
- A BIAxIAL GEO-GRID SHALL BE PLACED UNDER THE VEHICLE TRACKING CONTROL PAD PRIOR TO THE PLACEMENT OF ROCK. THE AREA SHALL BE FREE FROM ANY VOIDS, ROCKS AND DEBRIS. THE BIAxIAL GEO-GRID SHALL BE TENSAR BX1100, MIRAFI BASXGRID II, OR AN APPROVED EQUAL. GEO-GRID SHALL BE PLACED, AND APPROPRIATELY OVERLAPPED IF NECESSARY, TO COVER THE ENTIRE LENGTH AND WIDTH OF THE VEHICLE TRACKING CONTROL PAD.
- CRUSHED ROCK SHALL BE A MINIMUM OF 3-6" GRANITE WITH A FRACTURED FACE (ALL SIDES).

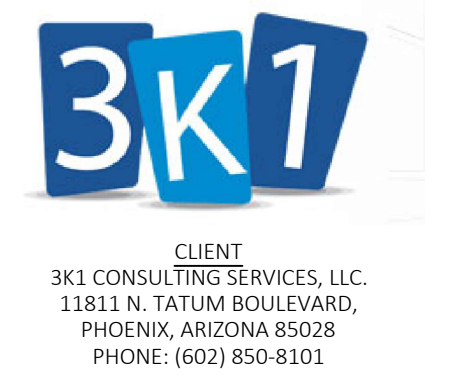
**VEHICLE TRACKING CONTROL PAD INSTALLATION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE VEHICLE TRACKING CONTROL PAD.
- WHEN THE VEHICLE TRACKING CONTROL PAD IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE VEHICLE TRACKING CONTROL PAD SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- THE VEHICLE TRACKING CONTROL PAD SHALL BE MAINTAINED SUCH THAT THE ROCK REMAINS RELATIVELY LOOSE AND ACCUMULATED MUD AND OTHER DEBRIS IS REGULARLY REMOVED.

**CBMP** | **VTC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
 Oct. 2013



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PLANS PREPARED FOR  
 QUICK N CLEAN  
 7291 E. ADOBE DRIVE, SUITE 115  
 SCOTTSDALE, AZ 85258  
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REVISION		
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QUICK N CLEAN  
 PARKER RD. & PINE LANE AVE.  
 PARKER, COLORADO  
 CONSTRUCTION DOCUMENTS

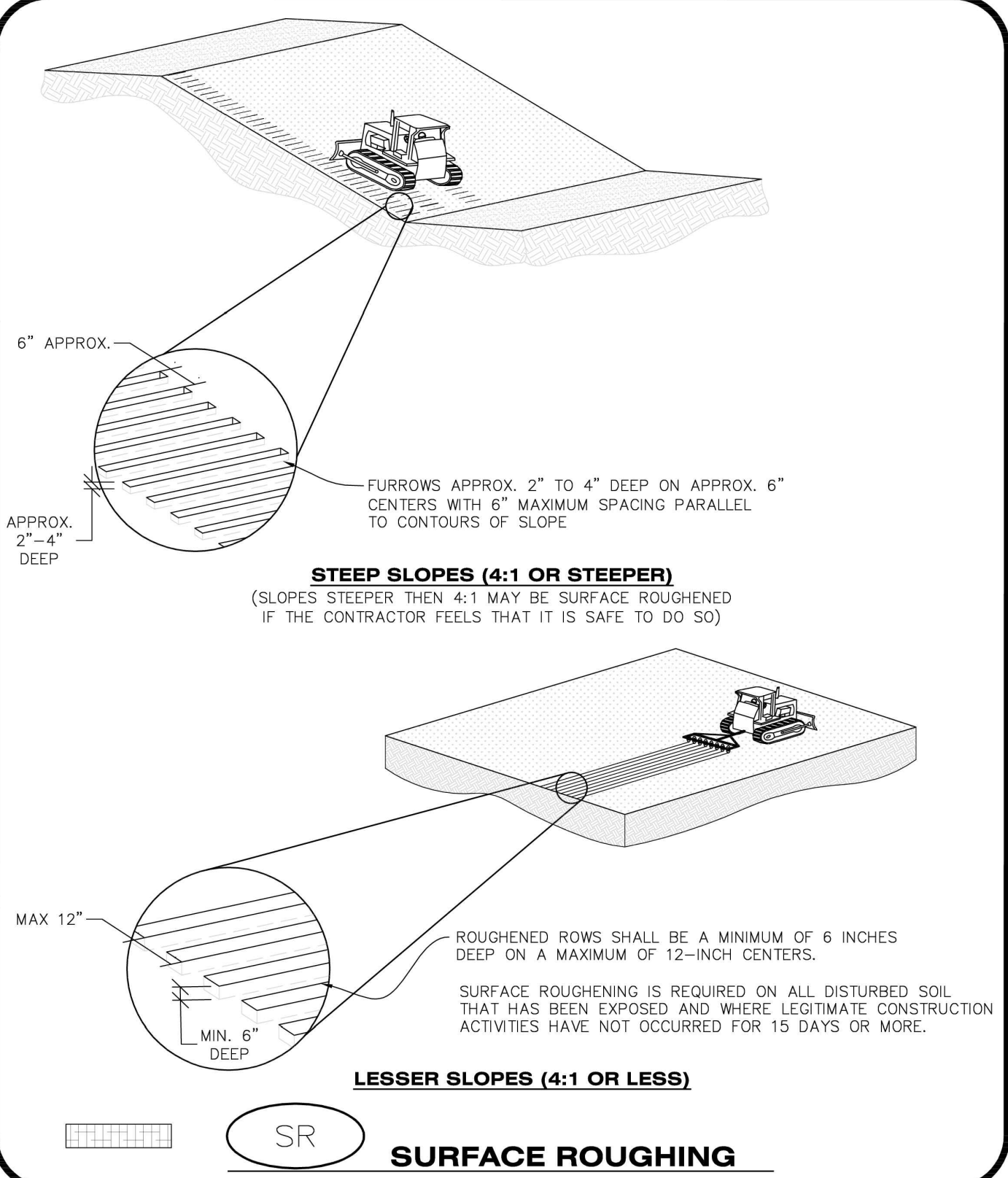


PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
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REVISION	REV-2

CBMP DETAILS  
 SHEET TITLE  
 SHEET NUMBER  
**C3.6**

DRAWING LOCATION: P:\31000\31672\DRAWINGS\DESIGN\WORKING\31672-CBMP.DWG - SAVED BY: MCALESDON

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- SURFACE ROUGHENING INSTALLATION NOTES**
1. SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
  2. DISTURBED AREAS THAT REMAIN INACTIVE FOR 15 DAYS OR MORE MUST RECEIVE SURFACE ROUGHENING OR ANOTHER APPROVED BMP FROM THE SDECM. DETERMINATION OF JOB SITE INACTIVITY IS AT THE DISCRETION OF THE TOWN'S INSPECTOR.
  3. FOR STEEP SLOPES (3:1 OR STEEPER), IT IS ACCEPTABLE TO "TRACK" THE SLOPES, ACCORDING TO THE CBMP DETAILS.
  4. SCHEDULES FOR REQUIRING STABILIZATION MAY BE MODIFIED BY THE PERMITTEE TO ALLOW FOR SPECIAL CONSIDERATIONS SUCH AS STABILIZING ACCESS AREAS AND AREAS IN CLOSE PROXIMITY TO CONTINUING CONSTRUCTION.

- SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL PROACTIVELY INSPECT THE SURFACE ROUGHENING.


**CBMP**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES


**SR**  
 1 OF 2  
 Oct. 2013


**CBMP**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES


**SR**  
 2 OF 2  
 Oct. 2013



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**QUICK N CLEAN**

PLANS PREPARED FOR  
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 SCOTTSDALE, AZ 85255  
 PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

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 PARKER RD. & PINE LANE AVE.  
 PARKER, COLORADO

CONSTRUCTION DOCUMENTS



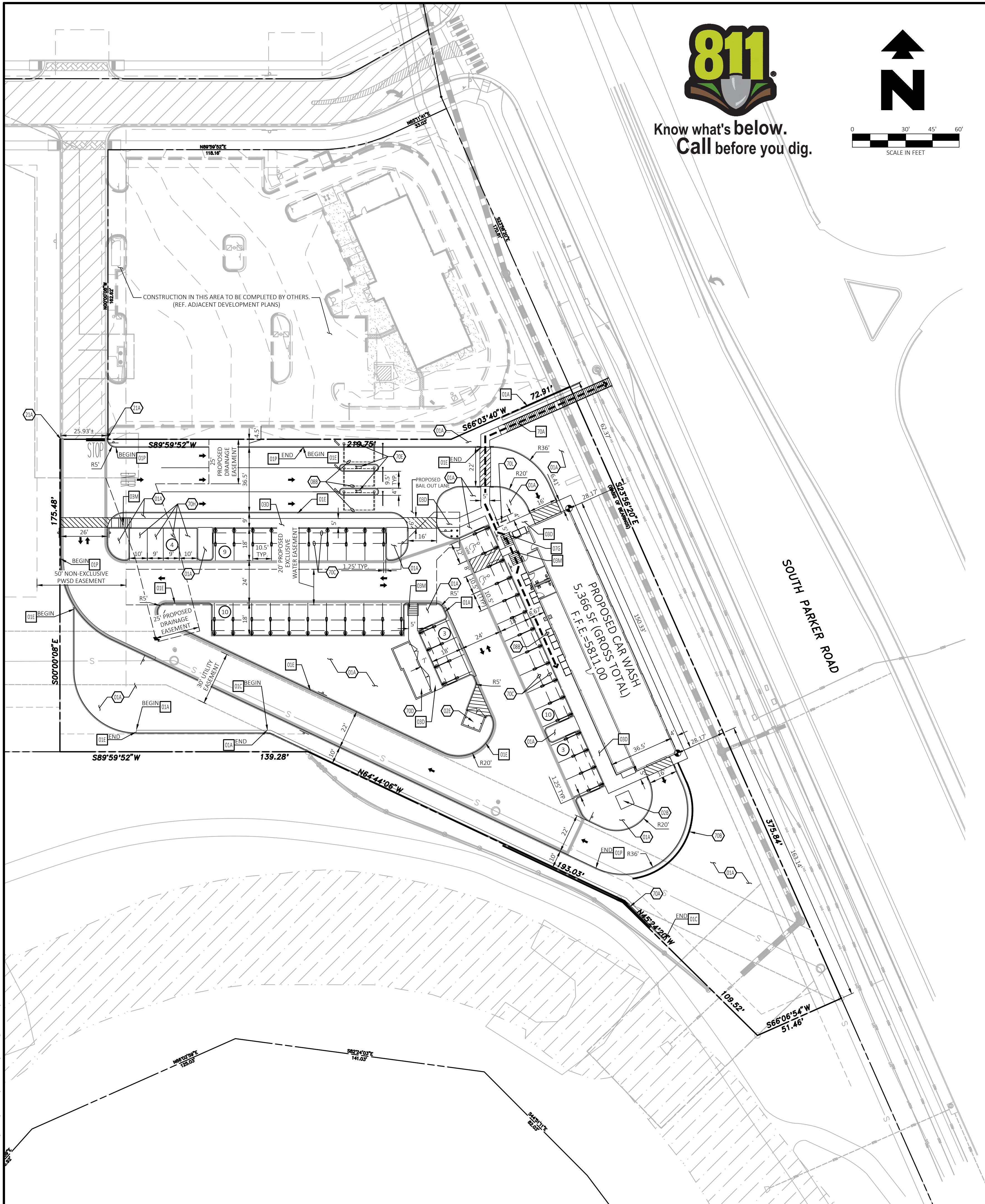
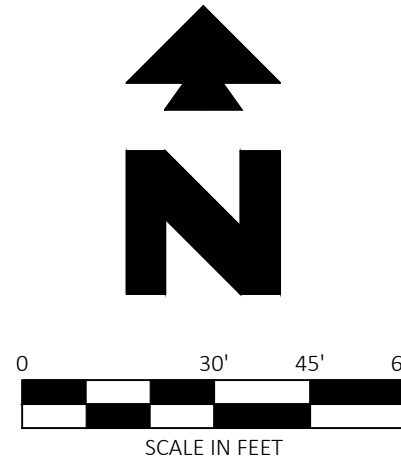
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CBMP DETAILS  
 SHEET TITLE  
 SHEET NUMBER

**C3.7**



Know what's below.  
Call before you dig.



LEGAL DESCRIPTION

REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.  
BENCHMARK  
DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARINGS

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.  
MAP NUMBER: 08035C0067G  
EFFECTIVE DATE: MARCH 16, 2016

NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

GENERAL SITE NOTES

- A. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
B. PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
C. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
D. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
E. ALL CURBED RADII ARE TO BE 2' OR 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
F. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
G. EXISTING STRUCTURES TO REMAIN WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED / ADJUSTED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
H. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
I. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
J. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT CONTRACT REQUIREMENTS.
K. REFER TO ARCH. PLANS FOR Pylon AND/OR MONUMENT SIGNS.
L. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
M. ALL ACCESSIBLE STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND A WARNING THAT VEHICLES IN VIOLATION OF THE LOCAL MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN FOOT POLES.
N. ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE OPERATOR SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
O. MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:48) IN ANY DIRECTION. ANY FACILITIES THAT ARE TO REMAIN AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED PER CURRENT CONTRACT REQUIREMENTS AT THE SOLE EXPENSE OF THE CONTRACTOR.
P. CONTRACTOR SHALL ENSURE ADA CONFORMANCE OF ALL EXISTING SIDEWALKS AND CURB RAMPS WITHIN PUBLIC RIGHT-OF-WAY WITHIN THE PROJECT LIMITS. ALL EXISTING SIDEWALKS AND CURB RAMPS SHALL CONFORM TO THE LATEST ADOPTED VERSION (AND ALL AMENDMENTS) OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN & THE ARCHITECTURAL BARRIERS TEXAS ACCESSIBILITY STANDARDS (TAS). ANY EXISTING SIDEWALK THAT IS NOT IN CONFORMANCE WITH ADA REGULATIONS SHALL BE REMOVED AND REPLACED PER CITY OF DALLAS CODES AND COST SHALL BE INCLUDED IN BASE BID.
Q. CONTRACTOR SHALL ENSURE ADA CONFORMANCE OF ALL EXISTING SIDEWALKS AND CURB RAMPS WITHIN PUBLIC RIGHT-OF-WAY WITHIN THE PROJECT LIMITS. ALL EXISTING SIDEWALKS AND CURB RAMPS SHALL CONFORM TO THE LATEST ADOPTED VERSION (AND ALL AMENDMENTS) OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN & THE ARCHITECTURAL BARRIERS TEXAS ACCESSIBILITY STANDARDS (TAS). ANY EXISTING SIDEWALK THAT IS NOT IN CONFORMANCE WITH ADA REGULATIONS SHALL BE REMOVED AND REPLACED PER CITY OF DALLAS CODES AND COST SHALL BE INCLUDED IN BASE BID.
R. ALL ADA SIGNS SHALL BE PERMITTED SEPARATELY.

SITE DETAILS (REF DETAIL SHEET C4.1)

- 01A TYPE A CONCRETE CURB AND GUTTER
01C TYPE C CONCRETE RAISED CURB AND GUTTER
01E TYPE E CURB
01P RAISED CURB AND GUTTER
03D CONCRETE SIDEWALK
03M WHEELCHAIR RAMP IN SIDEWALK
70A CONCRETE ACCESSIBLE RAMP AND HANDRAIL

SITE NOTES

- 01A SEEDED GREEN AREA
02B TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS)
02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS)
08B OVERHEAD CANOPY - (TYP.-PER ARCH. PLANS)
21A TAPER CURB TO MATCH EXISTING CURB
70A FOUR (4) FOOT MAX. RETAINING WALL (REF ARCH PLANS)
70B FOUR (4) FOOT SCREEN WALL (REF ARCH PLANS)
70C "VACUTECH" SHADE CLOTH CANOPY, REF ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
70D "VACUTECH" VACUUM ENCLOSURE, REF ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
70E PAY STATION (REF ARCH. PLANS)
70H EMPLOYEE PARKING & ESTABLISHMENT PARKING
70L BICYCLE RACK (PER ARCH. PLANS)



Vicinity Map

1"=2,000'

Table with 2 columns: Field Name and Value. Includes sections for Project Information, Site Information, Zoning Information, and Parking Requirements.

EXISTING LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
COMMUNICATIONS MANHOLE
SANITARY SEWER MANHOLE
STORM SEWER MANHOLE
UNDERGROUND GAS LINES
UNDERGROUND COMMUNICATIONS LINES
UNDERGROUND STORM SEWER LINES

PROPOSED

- CONCRETE CURB AND GUTTER
BUILDING CONTROL POINT
PROPOSED PARKING SPACES
PEDESTRIAN PATH OF TRAVEL

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING / PUBLIC WORKS DATE



CEI ENGINEERING ASSOCIATES, INC.
710 W. PINE DALE AVE.
FRESNO, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101



PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION

Table with 3 columns: NO., DESCRIPTION, DATE

QUICK N CLEAN
PARKER RD. & PINE LANE AVE.
PARKER, COLORADO

CONSTRUCTION DOCUMENTS

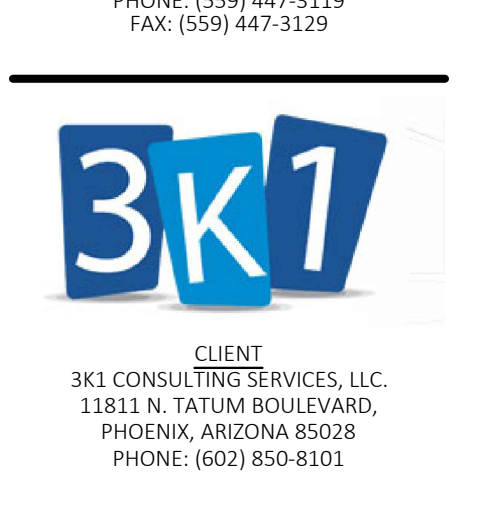
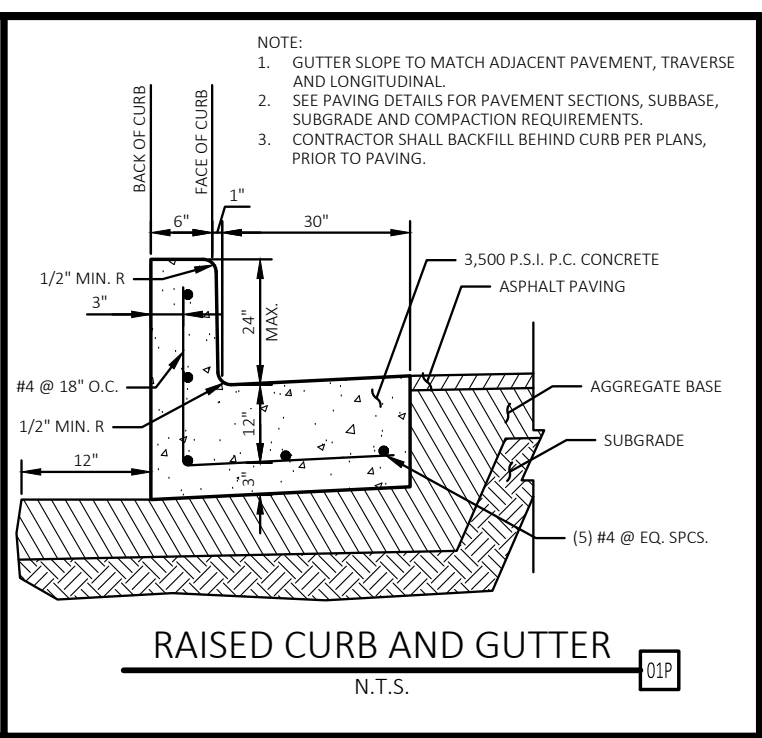
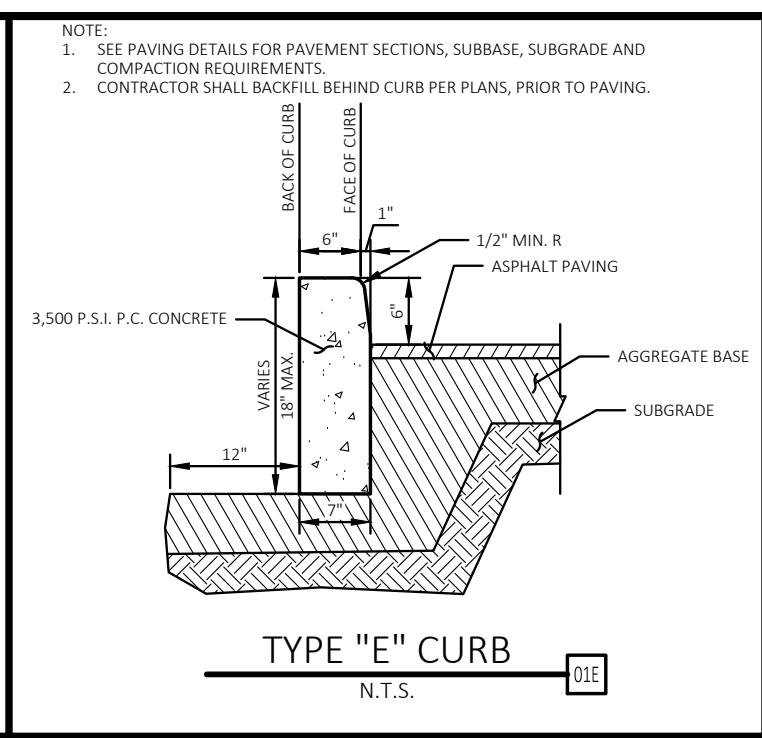
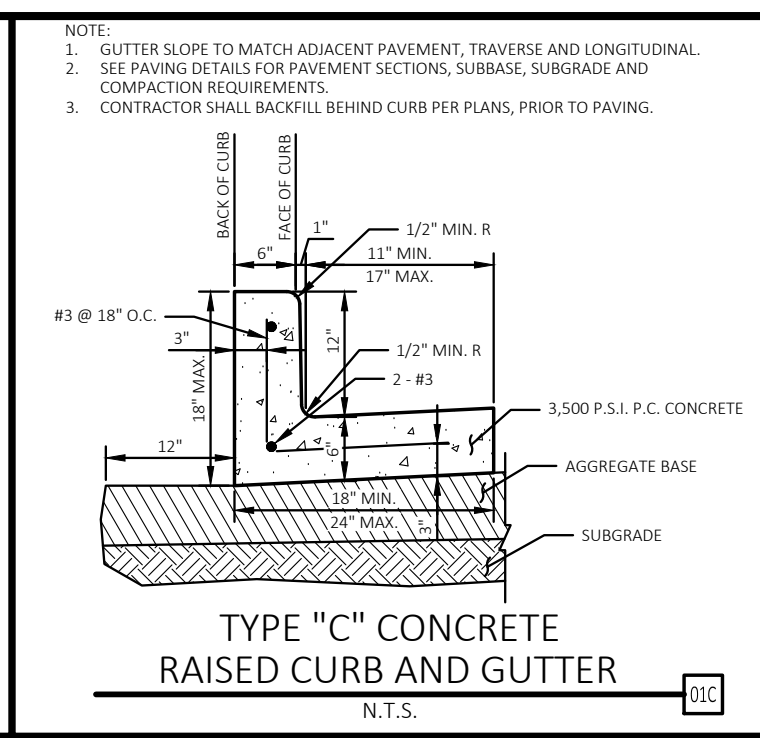
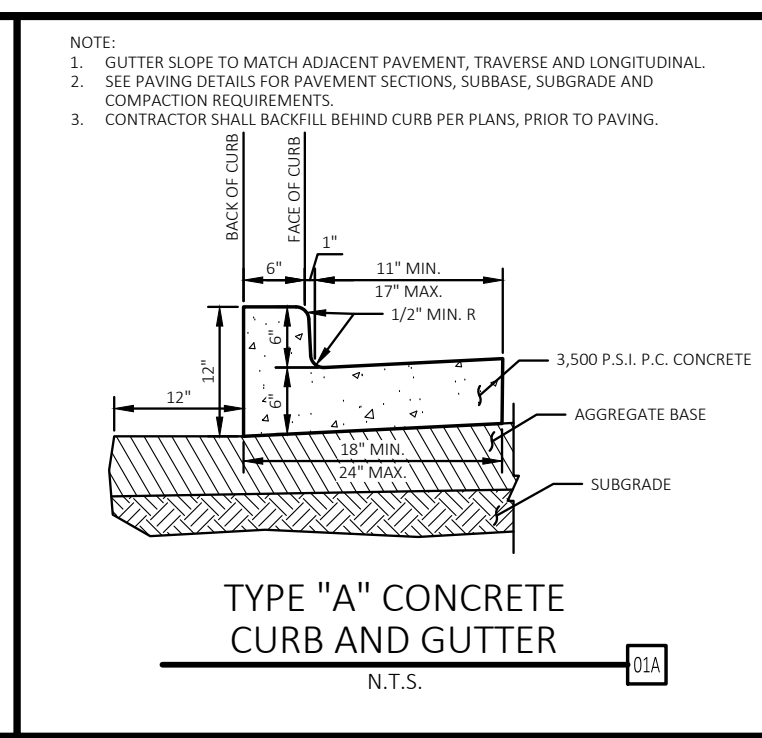
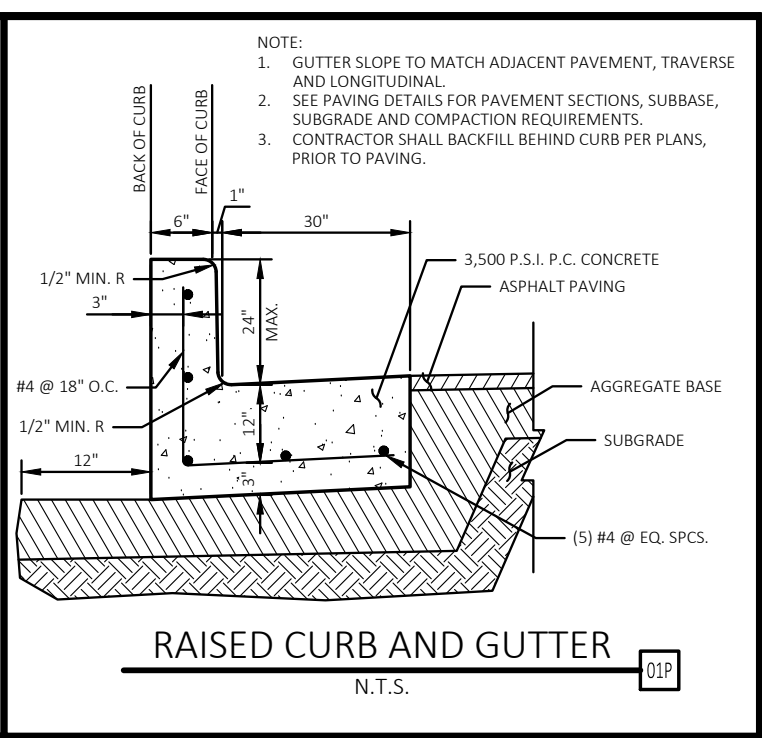
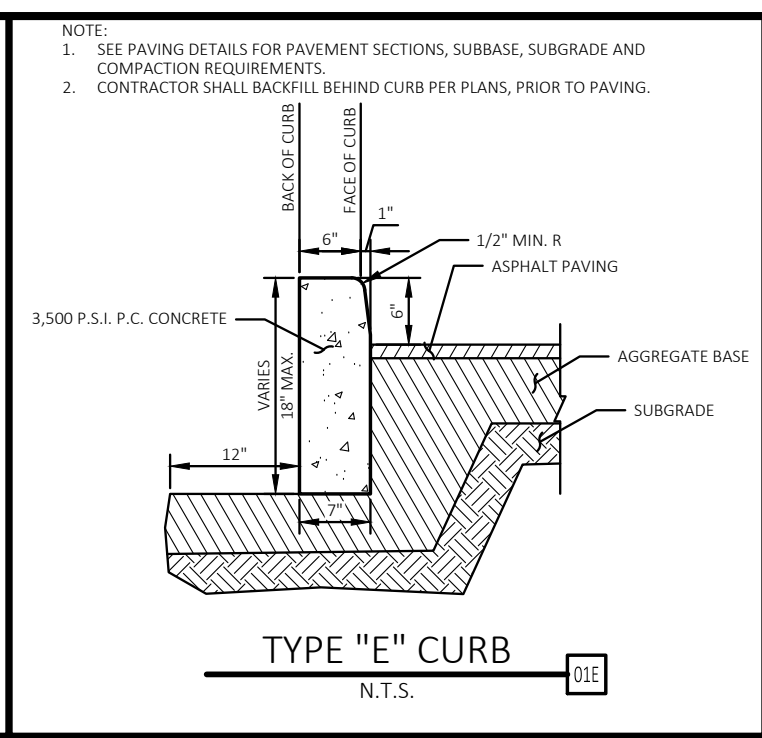
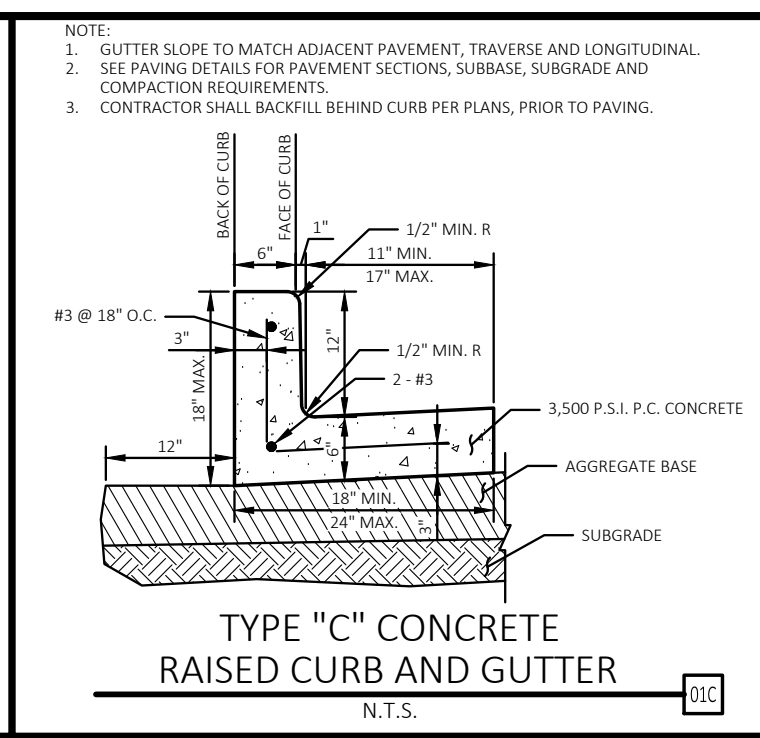
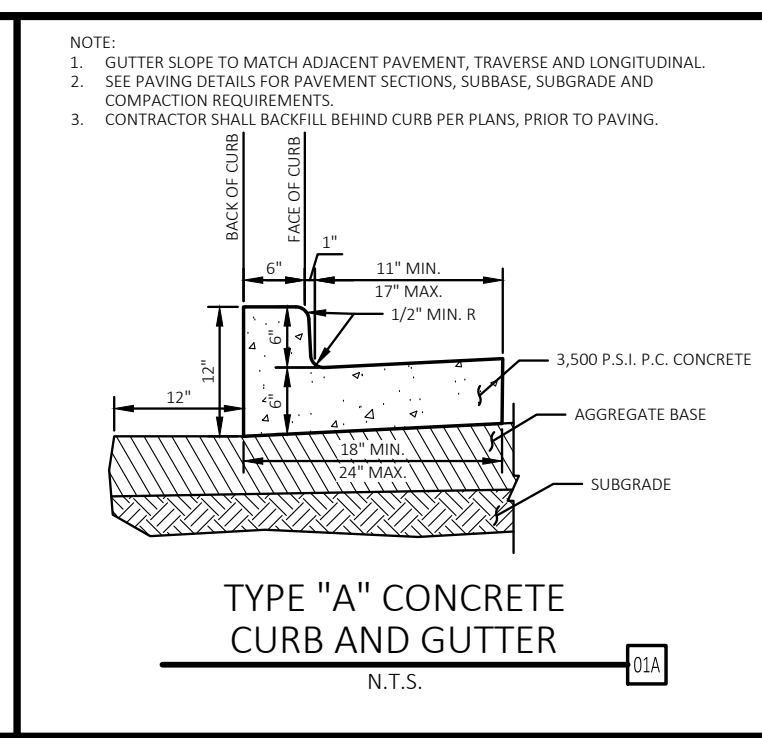
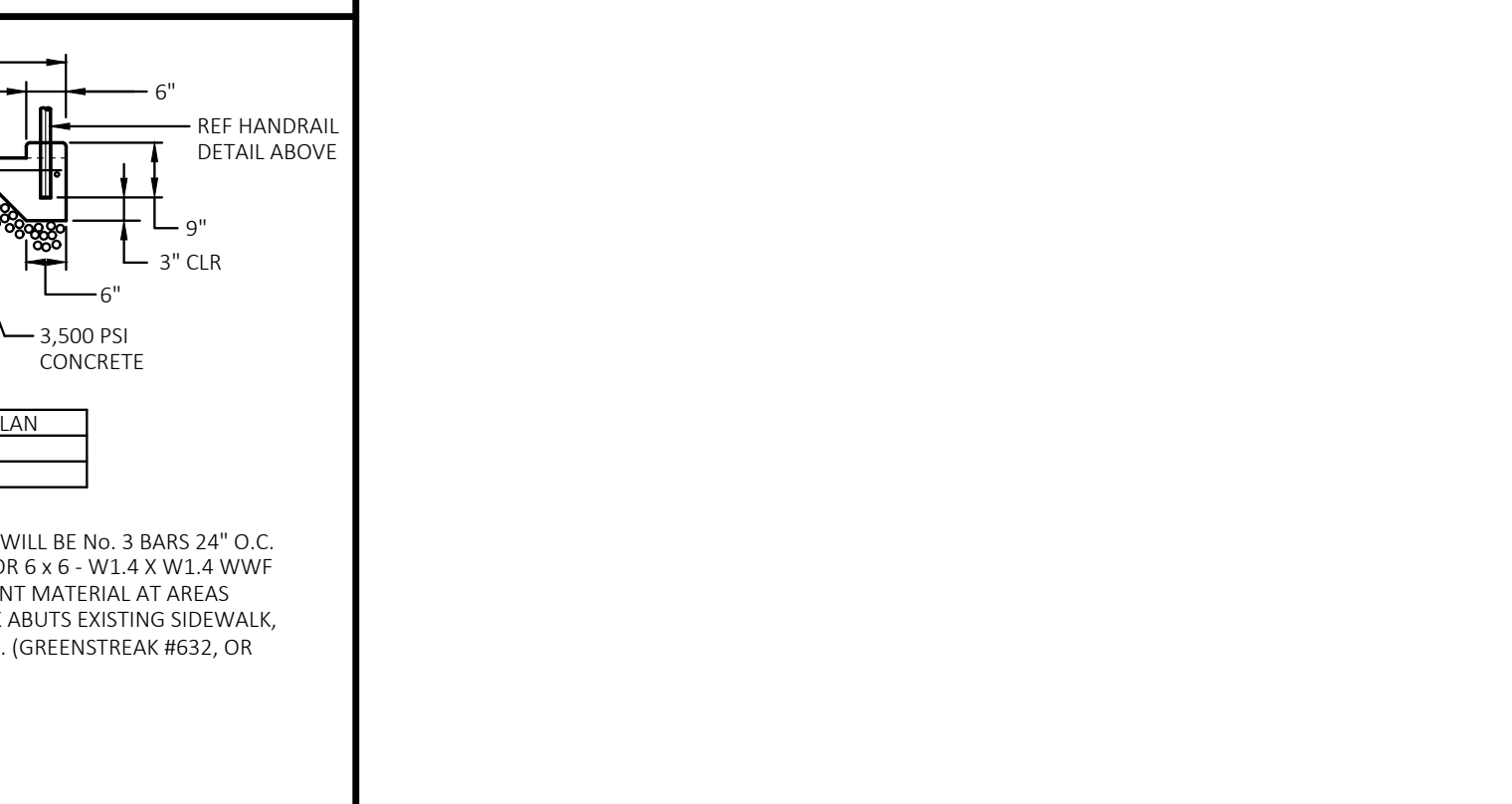
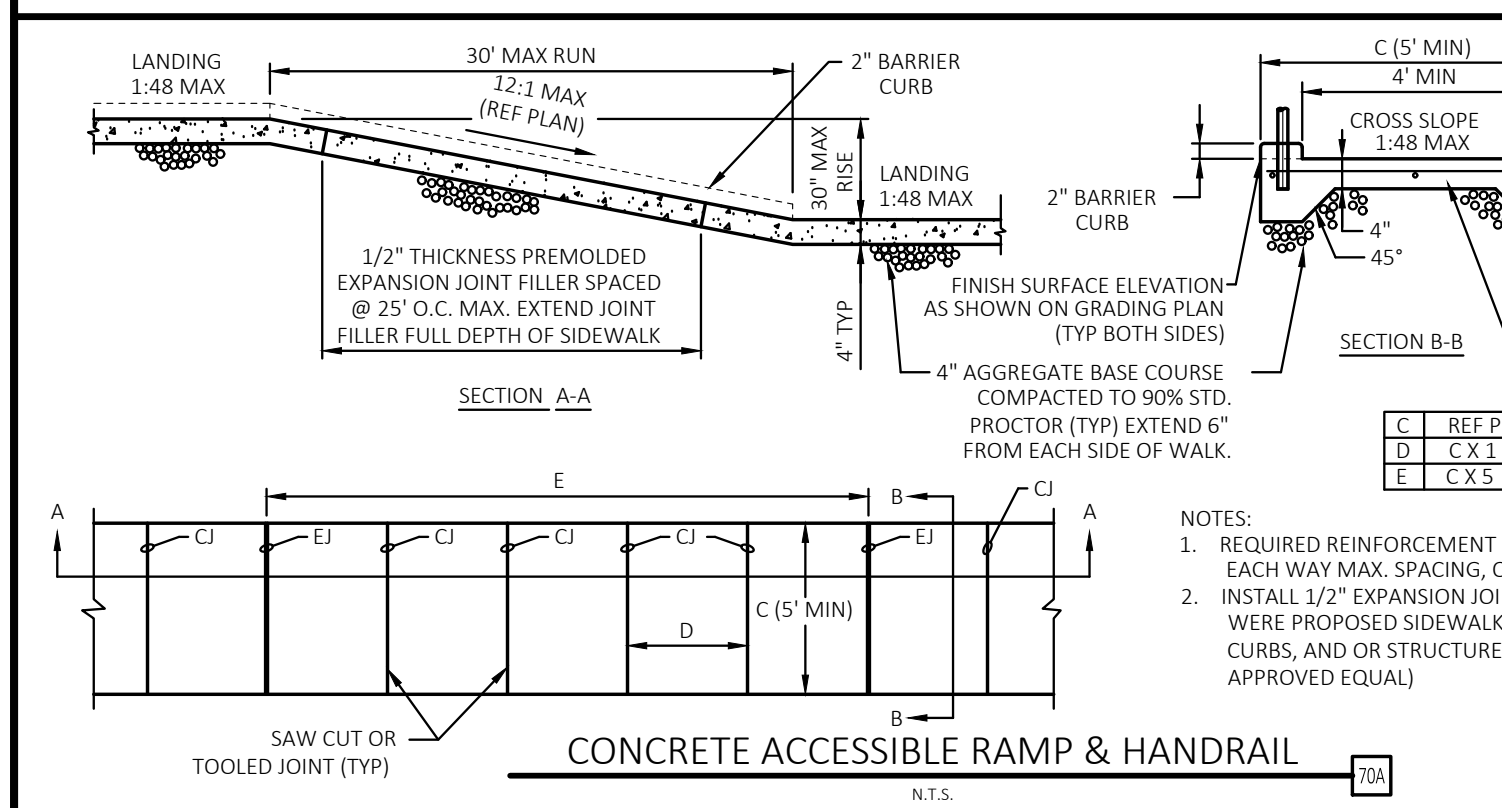
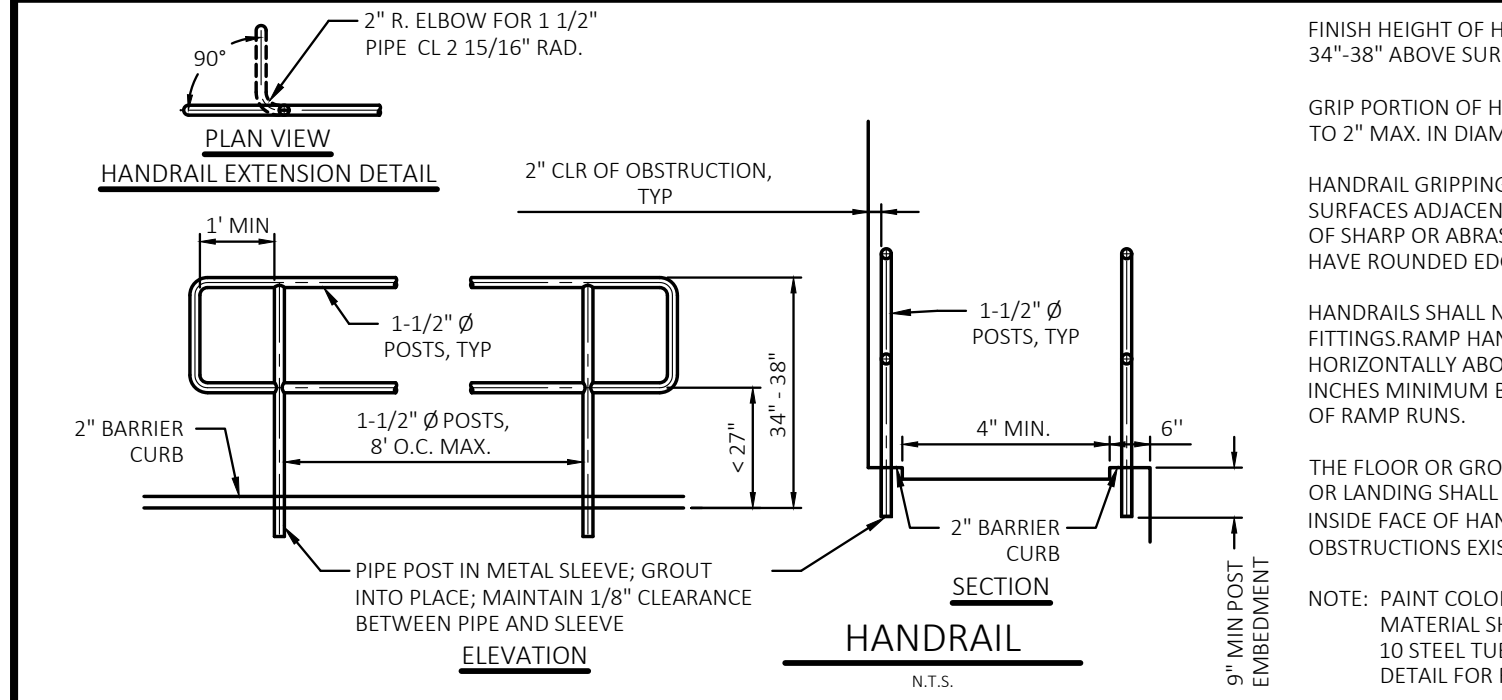
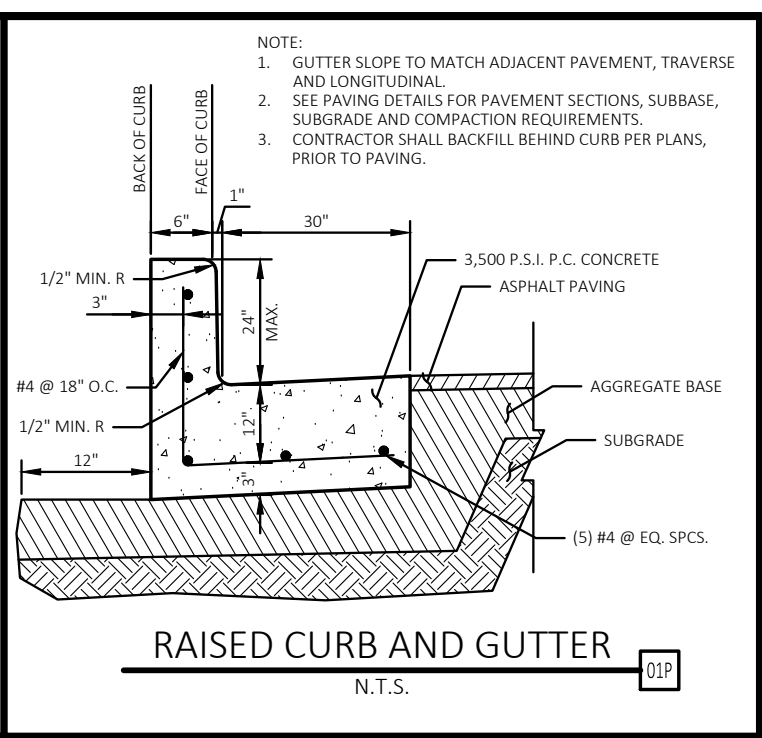
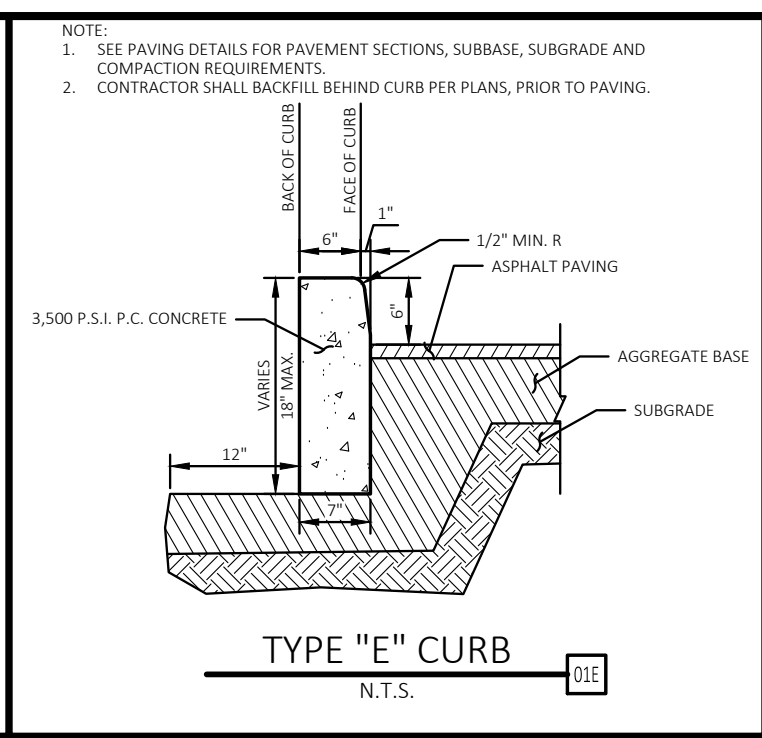
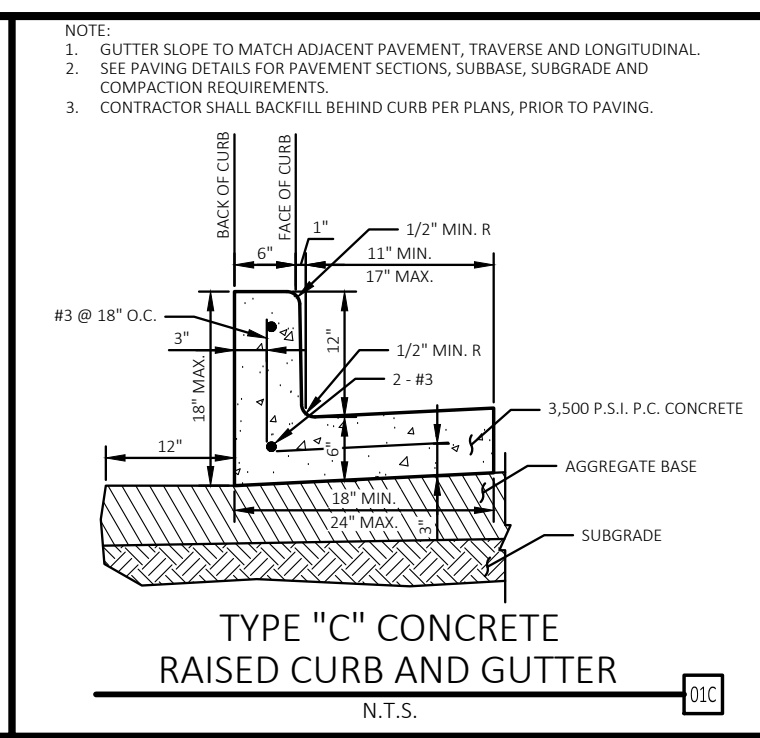
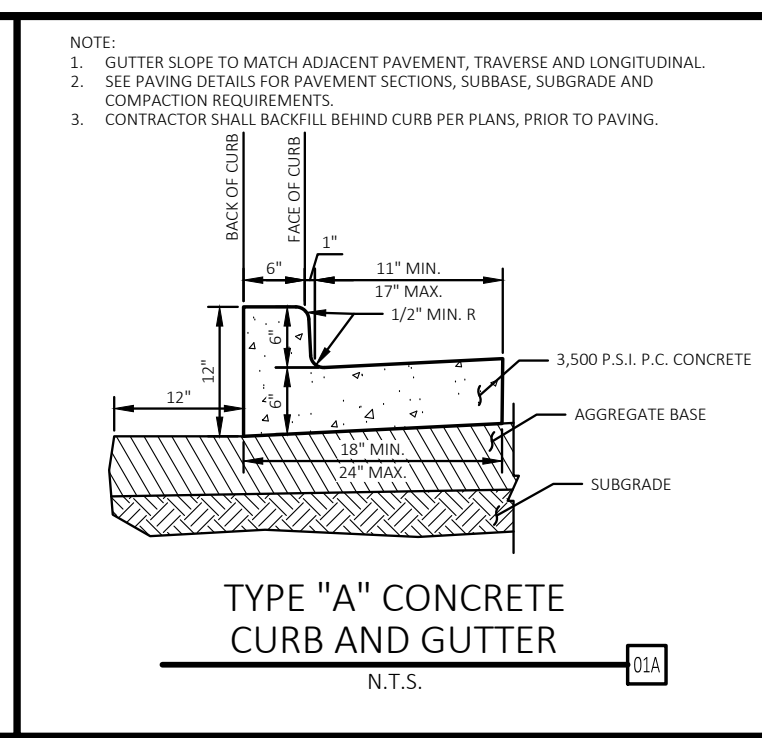
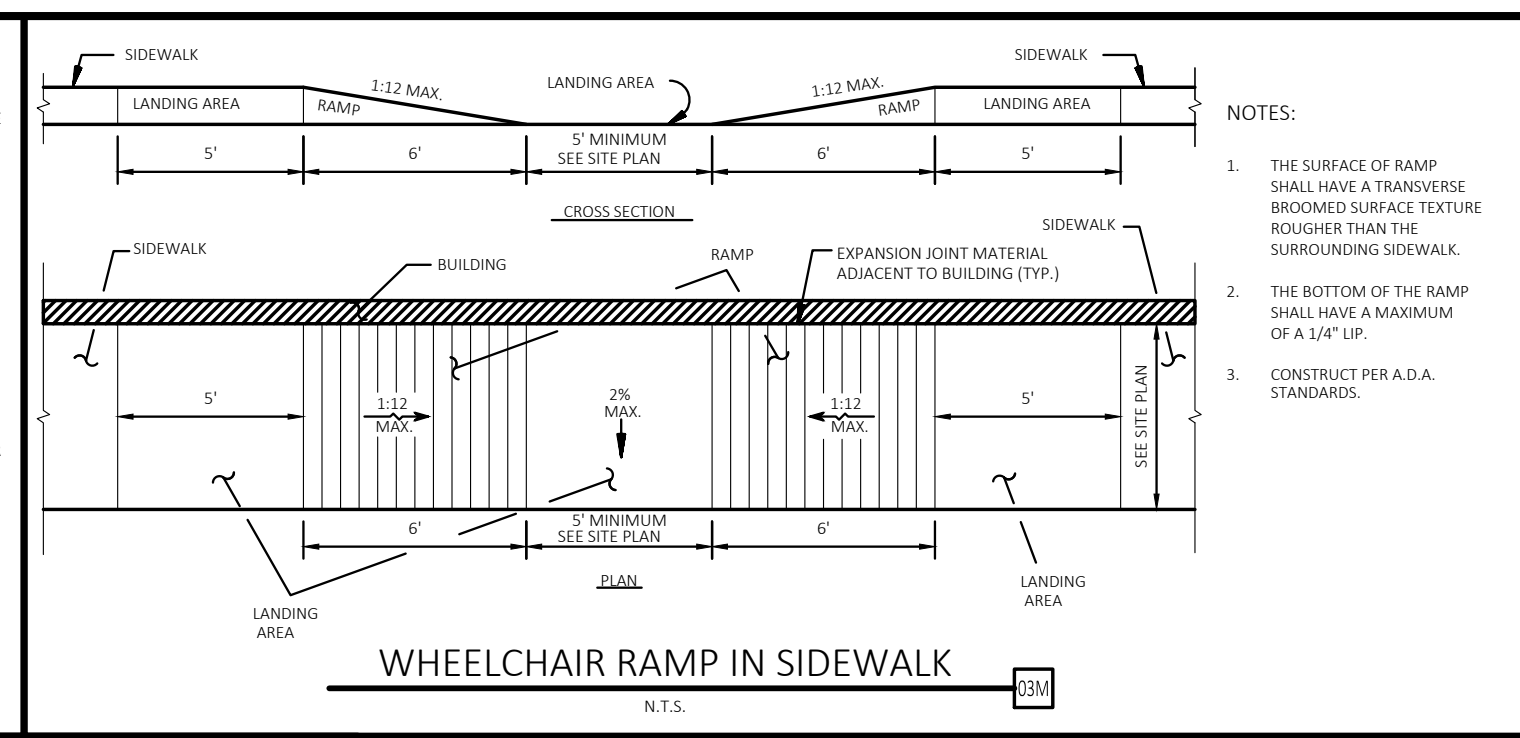
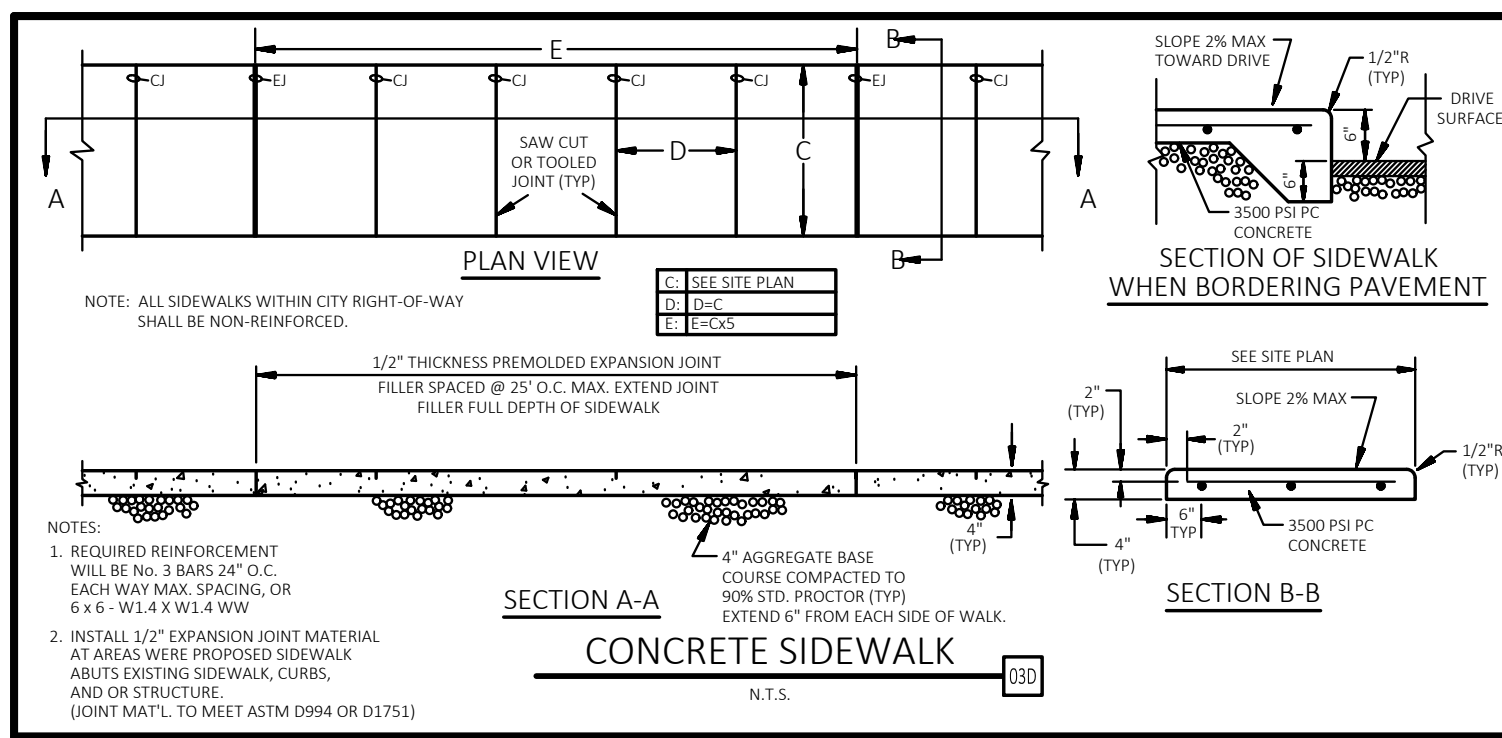


Table with 2 columns: Field Name and Value. Includes Project Manager, Designer, CEI Project Number, Date, and Revision.

SITE PLAN

SHEET TITLE
SHEET NUMBER

C4



REVISION		
NO.	DESCRIPTION	DATE

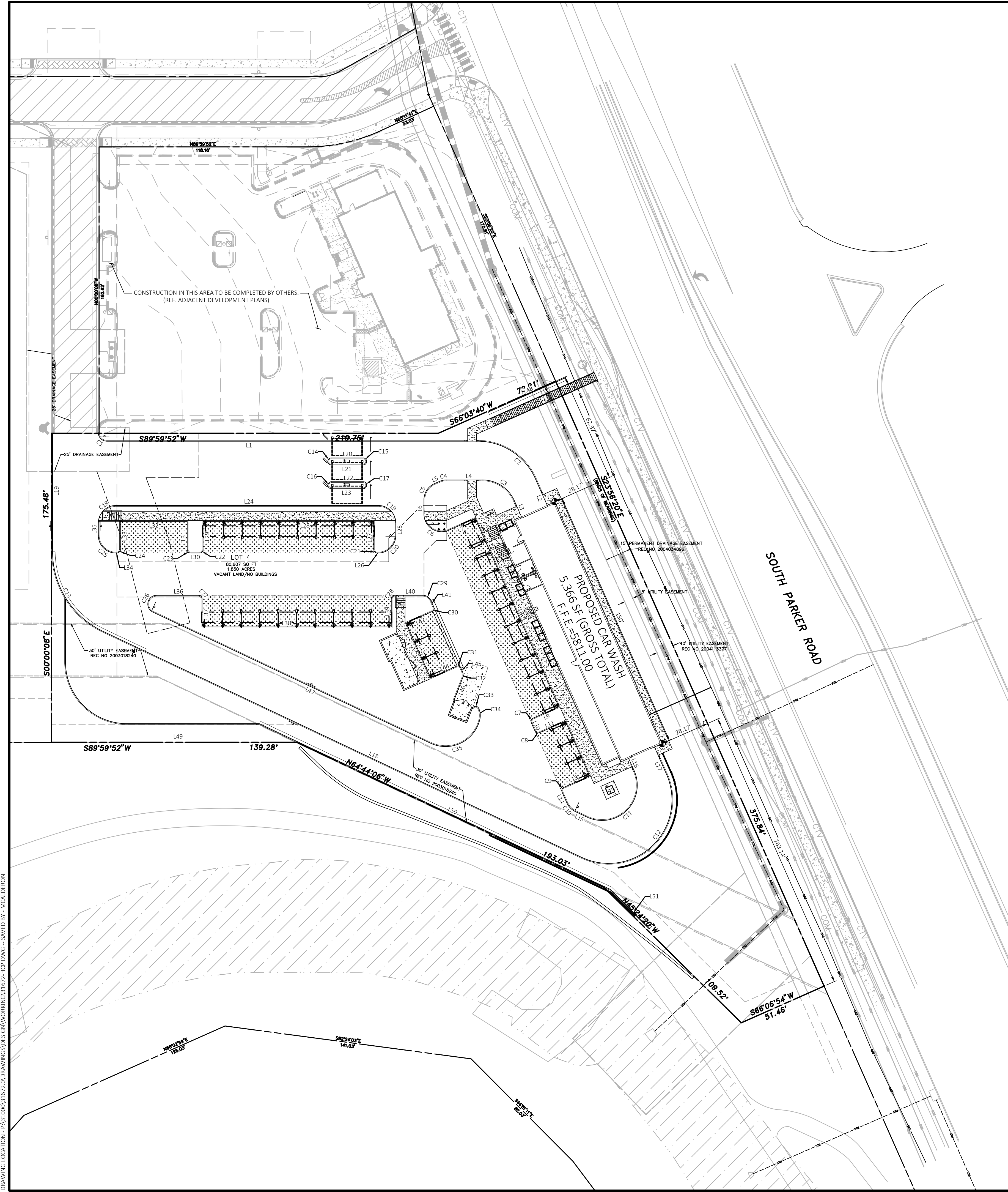
QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/7/2022
REVISION	REV-2

SITE DETAILS  
SHEET TITLE  
SHEET NUMBER  
**C4.1**

DRAWING LOCATION: P:\316000\31672\DRAWINGS\DESIGN\WORKING\31672-01.DWG - SAVED BY: MACALDERON



Parcel Line Table		
Line #	Length	Direction
L1	209.91	N89° 59' 57.01"E
L2	16.49	S23° 56' 20.00"E
L3	9.75	N23° 56' 20.00"W
L4	20.26	S89° 59' 52.00"W
L5	3.11	S66° 03' 40.00"W
L6	8.15	S0° 00' 08.00"E
L7	16.55	N66° 03' 40.00"E
L8	117.00	S23° 56' 20.00"E
L9	16.00	S66° 03' 40.00"W
L10	5.00	S23° 56' 20.00"E
L11	16.00	N66° 03' 40.00"E
L12	34.00	S23° 56' 20.00"E
L13	16.00	S66° 03' 40.00"W
L14	6.71	S23° 56' 20.00"E
L15	7.29	S64° 44' 06.00"E
L16	7.70	N23° 56' 20.00"W
L17	16.88	S23° 56' 20.00"E
L18	300.65	N64° 44' 06.00"W
L19	67.26	N0° 00' 08.00"W
L20	18.00	N89° 59' 52.00"E
L21	18.00	S89° 59' 52.00"W
L22	18.00	N89° 59' 52.00"E
L23	18.00	S89° 59' 52.00"W
L24	149.00	N89° 59' 52.00"E
L25	7.00	S0° 00' 08.00"E
L26	0.50	S89° 59' 52.00"W
L27	16.00	N0° 00' 08.00"W
L28	97.00	S89° 59' 52.00"W
L29	16.00	S0° 00' 08.00"E
L30	5.00	S89° 59' 52.00"W
L31	16.00	N0° 00' 08.00"W
L32	38.00	S89° 59' 52.00"W
L33	16.00	S0° 00' 08.00"E
L34	0.50	S89° 59' 52.00"W
L35	7.00	N0° 00' 08.00"W
L36	23.79	N89° 59' 52.00"E
L37	16.00	S0° 00' 08.00"E
L38	107.50	N89° 59' 52.00"E
L39	16.00	N0° 00' 08.00"W
L40	15.94	N89° 59' 52.00"E
L41	4.00	S23° 56' 20.00"E
L42	16.00	S66° 03' 40.00"W
L43	34.00	S23° 56' 20.00"E
L44	16.00	N66° 03' 40.00"E
L45	2.07	S23° 56' 20.00"E
L46	14.10	S21° 03' 40.00"W
L47	174.43	N64° 44' 06.00"W
L48	47.99	N66° 03' 40.00"E
L51	31.66	N45° 24' 20.00"W
L50	198.17	N64° 44' 06.00"W
L49	138.10	S89° 59' 52.00"W

Curve Table			
Curve #	Length	Radius	Delta
C2	41.98	36.95	65.10
C1	7.85	5.00	90.00
C4	4.18	10.00	23.94
C3	23.06	20.00	66.06
C11	48.59	20.00	139.20
C10	7.12	10.00	40.80
C9	3.14	2.00	90.00
C8	3.14	2.00	90.00
C7	3.14	2.00	90.00
C6	19.89	10.00	113.94
C5	11.53	10.00	66.06
C13	56.49	50.00	64.73
C12	87.46	36.00	139.20
C15	6.28	2.00	180.00
C14	6.28	2.00	180.00
C17	6.28	2.00	180.00
C16	6.28	2.00	180.00
C25	15.71	10.00	90.00
C24	3.14	2.00	90.00
C23	3.14	2.00	90.00
C22	3.14	2.00	90.00
C21	3.14	2.00	90.00
C20	15.71	10.00	90.00
C19	15.71	10.00	90.00
C32	3.93	5.00	45.00
C31	3.14	2.00	90.00
C30	3.14	2.00	90.00
C29	5.77	5.00	66.06
C28	3.14	2.00	90.00
C27	3.14	2.00	90.00
C35	35.41	20.00	101.44
C34	6.59	10.01	37.71
C33	4.71	2.00	135.00
C26	13.50	5.00	154.73

**811**  
Know what's below.  
Call before you dig.

N  
SCALE IN FEET  
0 30' 45' 60'

**EXISTING LEGEND**

- PROPERTY LINE/RIGHT OF WAY LINE
- COMMUNICATIONS MANHOLE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- UNDERGROUND GAS LINES
- UNDERGROUND COMMUNICATIONS LINES
- UNDERGROUND STORM SEWER LINES

**PROPOSED**

- PROPERTY LINE/RIGHT OF WAY LINE
- CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.
- BUILDING CONTROL POINT

**BENCHMARK**

DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988). AS PUBLISHED BY DOUGLAS COUNTY

**BASIS OF BEARINGS**

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

L26	0.50	S89° 59' 52.00"W
L27	16.00	N0° 00' 08.00"W
L28	97.00	S89° 59' 52.00"W
L29	16.00	S0° 00' 08.00"E
L30	5.00	S89° 59' 52.00"W
L31	16.00	N0° 00' 08.00"W
L32	38.00	S89° 59' 52.00"W
L33	16.00	S0° 00' 08.00"E
L34	0.50	S89° 59' 52.00"W
L35	7.00	N0° 00' 08.00"W
L36	23.79	N89° 59' 52.00"E
L37	16.00	S0° 00' 08.00"E
L38	107.50	N89° 59' 52.00"E
L39	16.00	N0° 00' 08.00"W
L40	15.94	N89° 59' 52.00"E
L41	4.00	S23° 56' 20.00"E
L42	16.00	S66° 03' 40.00"W
L43	34.00	S23° 56' 20.00"E
L44	16.00	N66° 03' 40.00"E
L45	2.07	S23° 56' 20.00"E
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TOWN OF PARKER, DIRECTOR OF ENGINEERING / PUBLIC WORKS      DATE



CEI ENGINEERING ASSOCIATES, INC.  
710 W. PINEDALE AVE.  
FRESNO, CA 93711  
PHONE: (559) 447-3119  
FAX: (559) 447-3129

**3K1**  
CLIENT  
3K1 CONSULTING SERVICES, LLC.  
11811 N. TATUM BOULEVARD,  
PHOENIX, ARIZONA 85028  
PHONE: (602) 850-8101

**QUICK N CLEAN**  
PLANS PREPARED FOR  
QUICK N CLEAN  
7291 E. ADOBE DRIVE, SUITE 115  
SCOTTSDALE, AZ 85255  
PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE
REV-X		XX/XX/XXXX

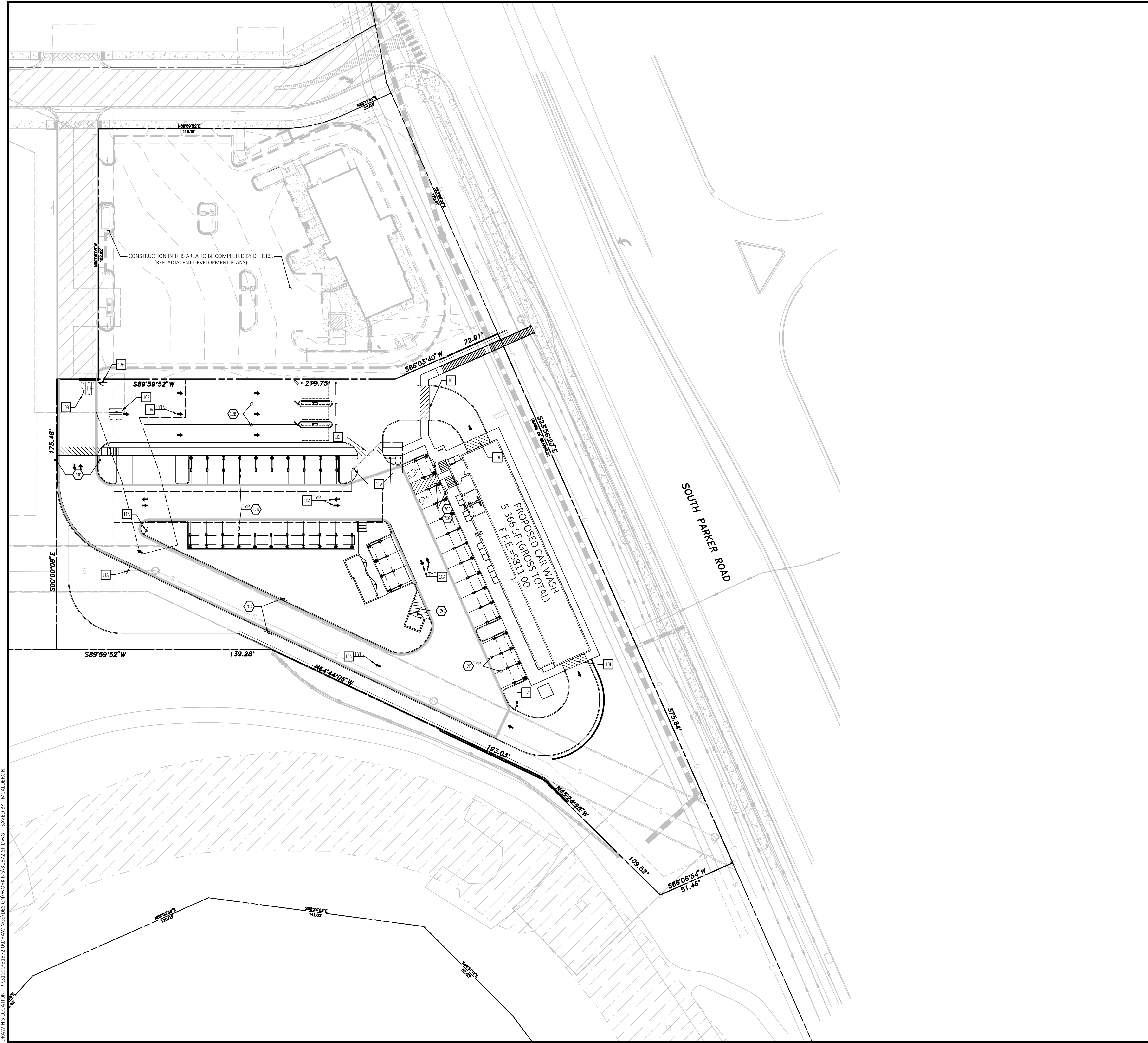
QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



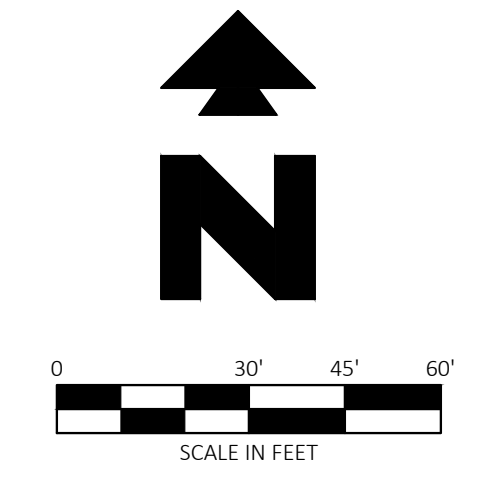
PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/7/2022
REVISION	REV-2

HORIZONTAL  
CONTROL PLAN  
SHEET TITLE  
SHEET NUMBER

**C4.2**



Know what's below.  
Call before you dig.



**EXISTING LEGEND**

- PROPERTY LINE/RIGHT OF WAY LINE
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- GAS — UNDERGROUND GAS LINES
- COM — UNDERGROUND COMMUNICATIONS LINES
- STM — UNDERGROUND STORM SEWER LINES

**GENERAL SITE NOTES**

- A. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE CONTRACT REQUIREMENTS:
- ALL PARKING LOT SIGN BASE SUPPORTS (EXCLUDING ACCESSIBLE PARKING SIGNAGE) SHALL BE INSTALLED PER DETAIL 12F
  - ALL PARKING LOT STRIPING SHALL BE PAINTED WITH 4 INCH YELLOW PAINT (TYP.)
  - ACCESSIBLE PARKING STALL STRIPING AND ISA SYMBOL SHALL BE PAINTED PER ARCH PLANS.

**SIGNAGE AND STRIPING NOTES**

- 12B 4 INCH TRAFFIC YELLOW ALIGNMENT STRIPES (TYP.)
- 70F "UNAUTHORIZED VEHICLES" WARNING SIGN (PER ARCH. PLANS)
- 70G ACCESSIBLE PARKING OFF-STREET (PER ARCH. PLANS)
- 70I FIRE LANE MARKING PER TOWN OF PARKER STANDARDS
- 70K NO PARKING FIRE LANE SIGN PER TOWN OF PARKER STANDARDS

**SIGNAGE AND STRIPING DETAILS (REF DETAIL SHEET C4.4)**

- 10A TRAFFIC FLOW ARROW
- 10B STOP BAR
- 10F "ENTER" PAVEMENT MARKING W/ARROW
- 10I CROSSING MARKING
- 11A "DO NOT ENTER" SIGN
- 12G STOP SIGN

**LEGAL DESCRIPTION**

REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.

**BENCHMARK**

DOUGLAS CONTROL MONUMENT #1.095035. A 3" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988). AS PUBLISHED BY DOUGLAS COUNTY

**BASIS OF BEARINGS**

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

**FLOOD ZONE INFORMATION**

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.  
MAP NUMBER: 08035C0067G  
EFFECTIVE DATE: MARCH 16, 2016

**NOTE:**

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBLES, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING / PUBLIC WORKS      DATE



CEI ENGINEERING ASSOCIATES, INC.  
710 W. PINEDALE AVE.  
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PHONE: (559) 447-3119  
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PLANS PREPARED FOR  
QUICK N CLEAN  
7291 E. ADOBE DRIVE, SUITE 115  
SCOTTSDALE, AZ 85255  
PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

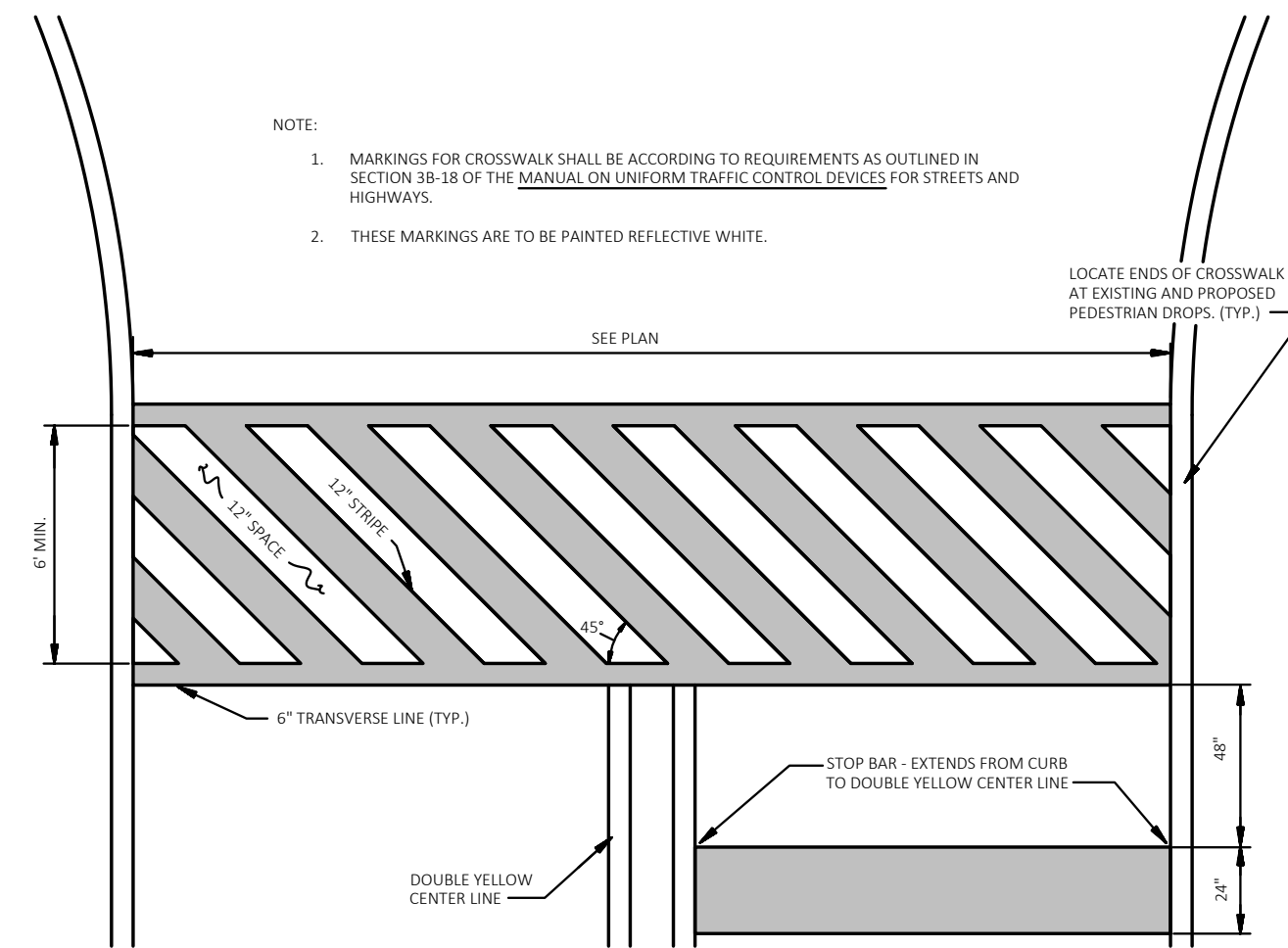
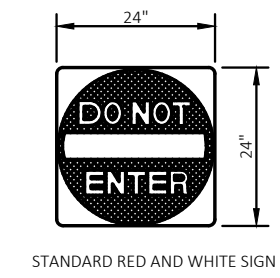
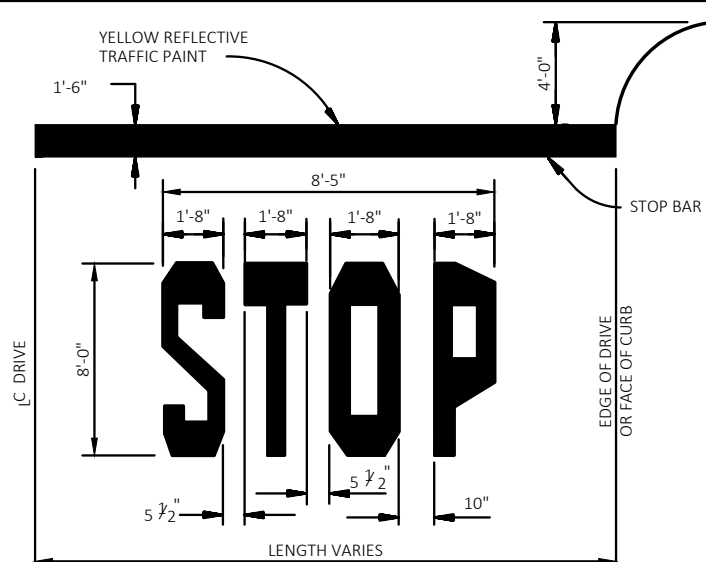
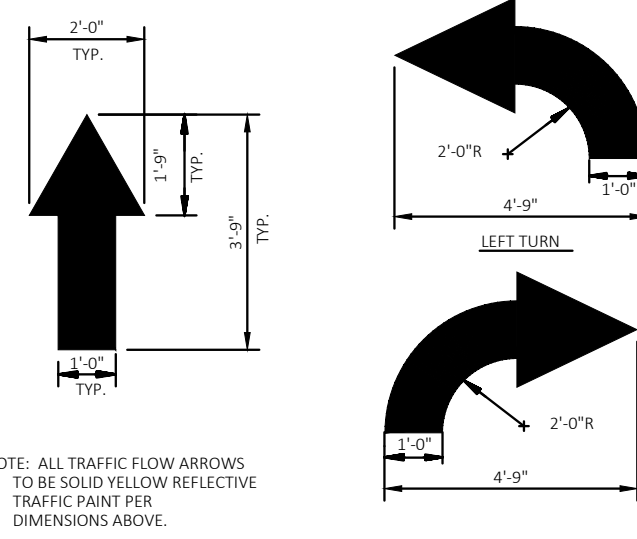
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CONSTRUCTION DOCUMENTS



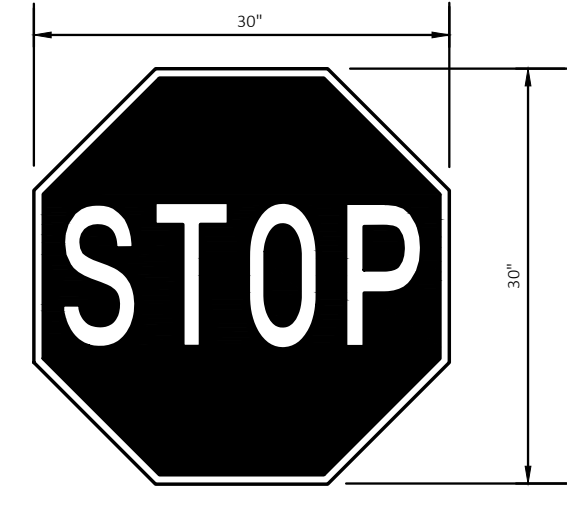
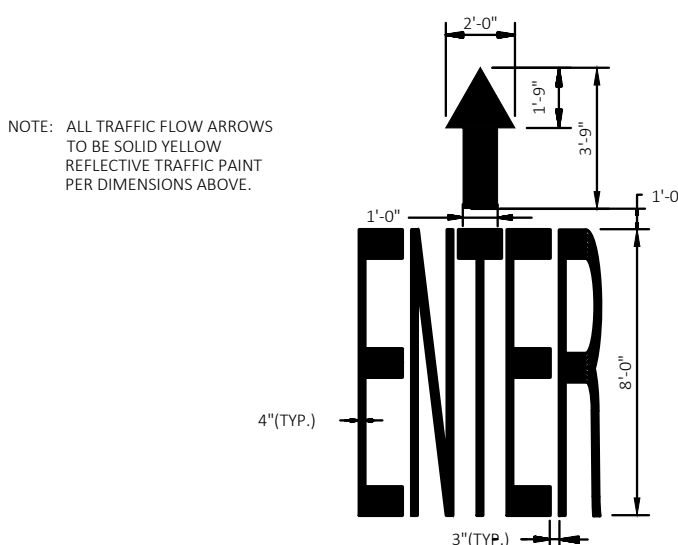
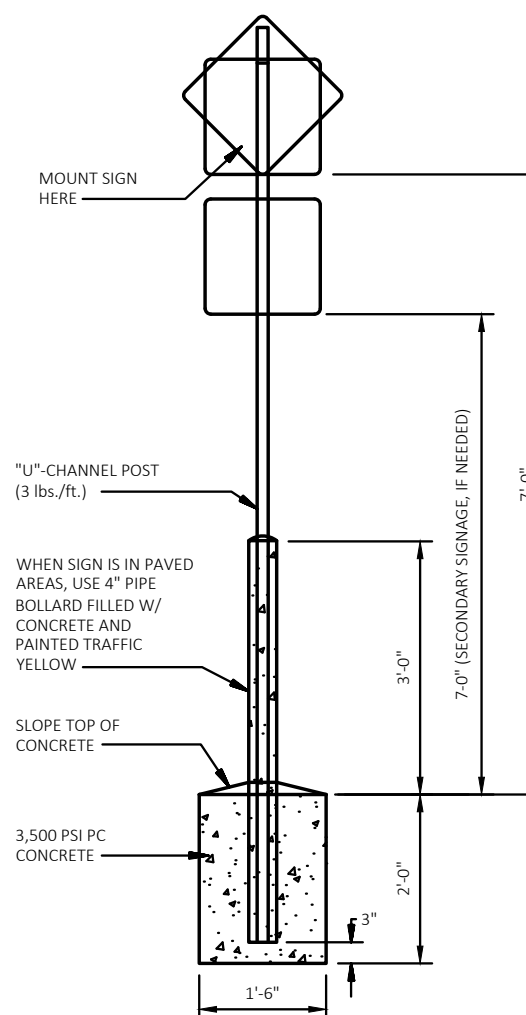
PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/7/2022
REVISION	REV-2

SIGNAGE AND STRIPING PLAN  
SHEET TITLE  
SHEET NUMBER

C4.3



ALL SIGNS SHOULD COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



DRAWING LOCATION: P:\31000\31672\DRAWINGS\DESIGN\WORKING\31672-SP.DWG - SAVED BY: JACALDERON



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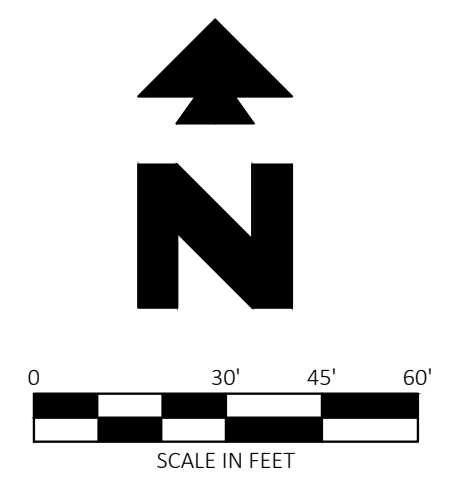
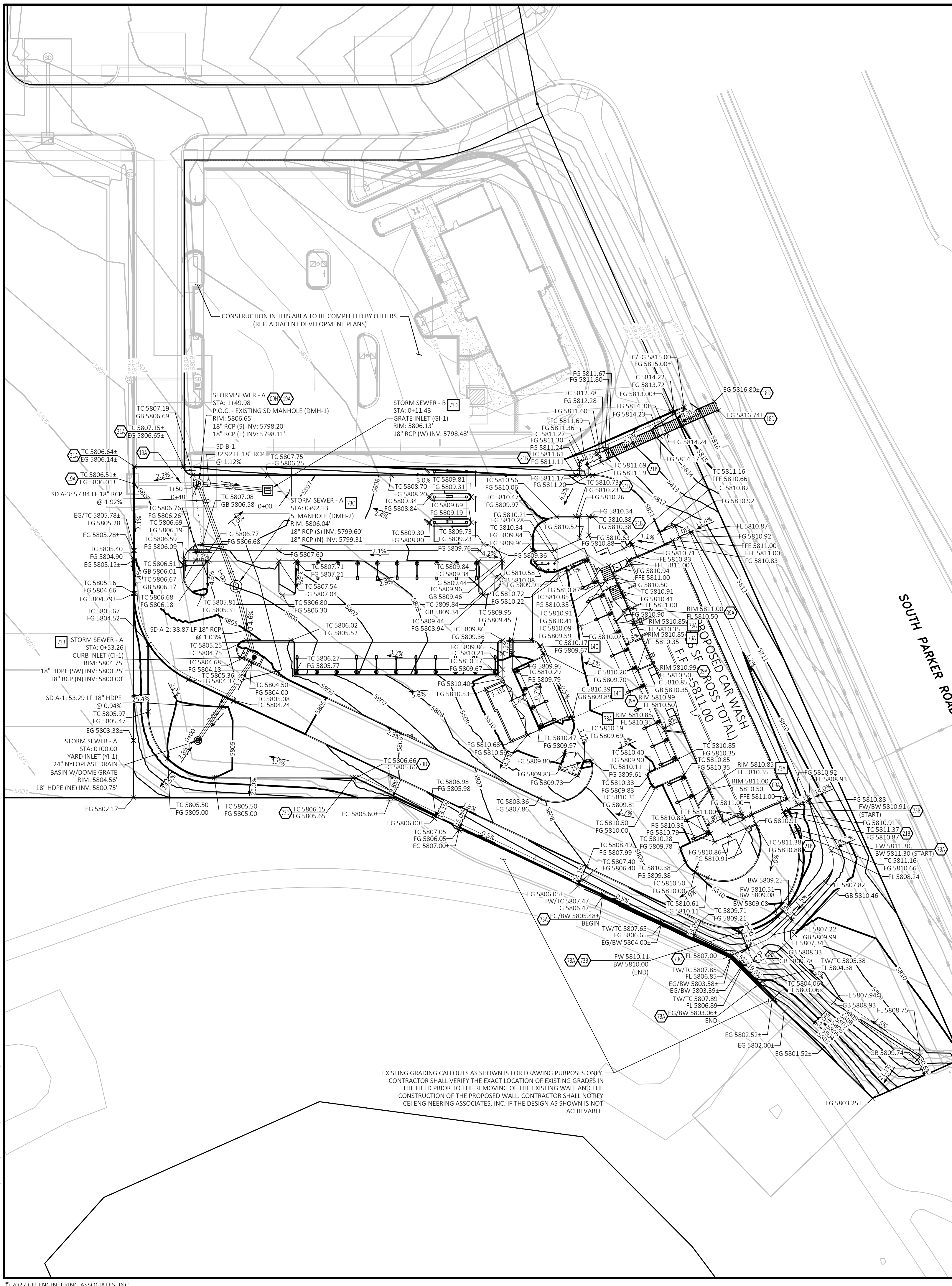
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PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
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SIGNAGE AND STRIPING PLAN  
DETAILS  
SHEET TITLE  
SHEET NUMBER

C4.4



Know what's below.  
Call before you dig.

EXISTING LEGEND:

- PROPERTY LINE/RIGHT OF WAY LINE
- COMMUNICATIONS MANHOLE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- UNDERGROUND GAS LINES
- UNDERGROUND COMMUNICATIONS LINES
- UNDERGROUND STORM SEWER LINES

PROPOSED

- GRADE BREAK
- XXX --- CONTOUR ELEVATIONS
- STORM DRAIN
- x XX.XX SPOT ELEVATIONS:  
BW= BOTTOM OF WALL  
EG= EXISTING GRADE  
FFE= FINISH FLOOR ELEVATION  
FG= FINISH GRADE  
FL= FLOW LINE  
FW= FRONT OF WALL  
GB= GRADE BREAK  
RIM= TOP OF STRUCTURE  
TC= TOP OF CURB  
TW= TOP OF WALL

GENERAL GRADING NOTES

- A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- B. CONTRACTOR HAS THE OPTION TO BID THE FOLLOWING MATERIAL FOR THE STORM SEWER SYSTEM EXCEPT WHERE OTHERWISE NOTED: RCP, OR HDPE AS INDICATED ON THIS PLAN WHERE THE WORD PIPE IS USED. ALL PIPES SHALL HAVE A MAXIMUM ROUGHNESS COEFFICIENT ("N") OF 0.013 AND SHALL MEET OR EXCEED THE PIPE MANUFACTURERS REQUIREMENTS FOR MINIMUM AND MAXIMUM COVER. CONTRACTOR SHALL REFER TO THE PROJECT CONTRACT REQUIREMENTS FOR STORM SEWER SYSTEMS FOR ACCEPTABLE TYPE AND MATERIAL.
- C. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADJACENT TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- E. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS OF THE LOCAL AUTHORITIES:  
ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A (REF. CS. 2 - GRADING DETAILS).  
ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURE AND ENDS OF FLARED END SECTIONS.

GRADING DETAILS (REF. GRADING DETAIL SHEET)

- 14C CONCRETE SWALE IN PAVED AREA CS. 2 - GRADING DETAILS.
- 17A CURB CUT (REF. CS. 2 - GRADING DETAILS).
- 73A 6" CURB CHASE DRAIN (NON-RESIDENTIAL) LAYOUT - PER PARKER COLORADO STANDARD DETAIL 29 (REF. CS. 3 - GRADING DETAILS).
- 73B 10" CDOT TYPE R CURB INLET W/ TOWN OF PARKER MANHOLE COVER (REF. CS. 3 - GRADING DETAILS).
- 73C 5" CDOT MANHOLE W/TOWN OF PARKER MANHOLE COVER (REF. CS. 4 - GRADING DETAILS).
- 73D CDOT TYPE 13 INLET (REF. CS. 4 - GRADING DETAILS).

GRADING NOTES

- 09A DOWN SPOUTS - (TYP. - PER ARCH. PLANS).
- 09H REMOVE TOP OF EXISTING DRAINAGE STRUCTURE AND ADJUST RIM TO ELEVATION TO MATCH FINISH GRADE. IF EXISTING STRUCTURE TOP IS A GRATE, REPLACE WITH TOWN OF PARKER MANHOLE COVER.
- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 19A EXISTING TO REMAIN.
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TAPER CURB FROM 6 INCHES TO 2 INCHES OVER 2 FEET.
- 73A RETAINING WALL (PER ARCH. PLANS).
- 73B FOUR (4) FOOT SCREEN WALL (PER ARCH. PLANS).
- 73C LANDSCAPE SWALE TERMINATION (REF SECTION VIEW THIS SHEET)
- 73D TRANSITION FROM 6" CURB AND GUTTER TO 12" RAISED CURB AND GUTTER

ADA STANDARD NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF PARKER DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3 1/2" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARINGS

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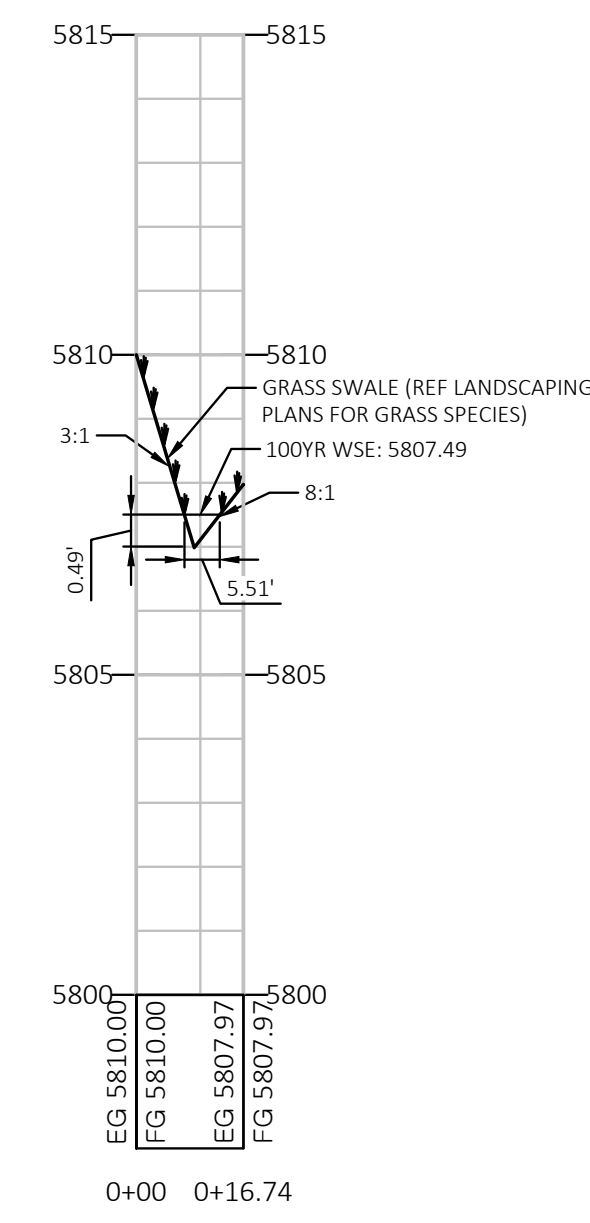
FLOOD ZONE INFORMATION

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MAP NUMBER: 0803CD067G  
EFFECTIVE DATE: MARCH 16, 2016

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LANDSCAPE SWALE CROSS SECTION PROFILE  
VERTICAL SCALE: 1"=3'  
HORIZONTAL SCALE: 1"=30'



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PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RIM
CEI PROJECT NUMBER	31672
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REVISION	REV-2

GRADING PLAN  
SHEET TITLE  
SHEET NUMBER

C5

REVISION		
NO.	DESCRIPTION	DATE

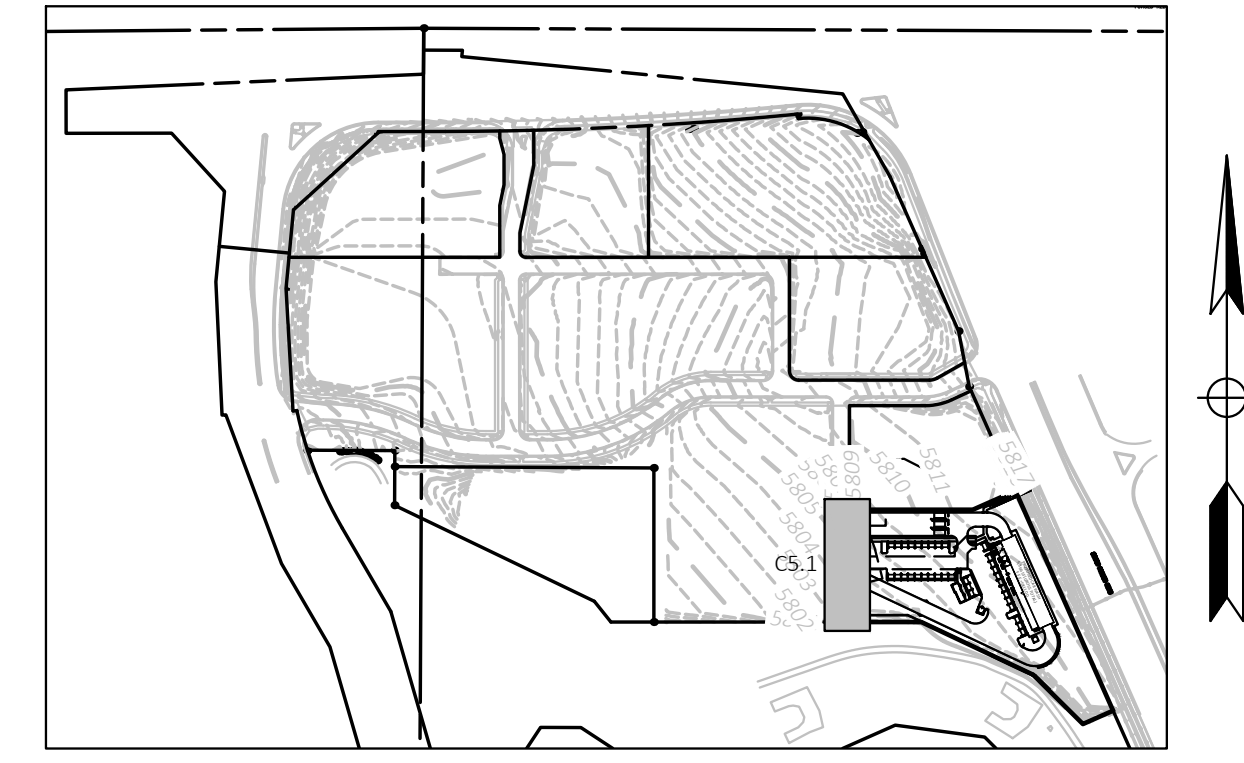
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STORM-A PLAN AND PROFILE  
SHEET TITLE  
SHEET NUMBER

C5.1



KEY MAP  
NOT TO SCALE

EXISTING LEGEND:

- PROPERTY LINE/RIGHT OF WAY LINE
- (C) COMMUNICATIONS MANHOLE
- (S) SANITARY SEWER MANHOLE
- (D) STORM SEWER MANHOLE
- GAS - UNDERGROUND GAS LINES
- COM - UNDERGROUND COMMUNICATIONS LINES
- STM - UNDERGROUND STORM SEWER LINES

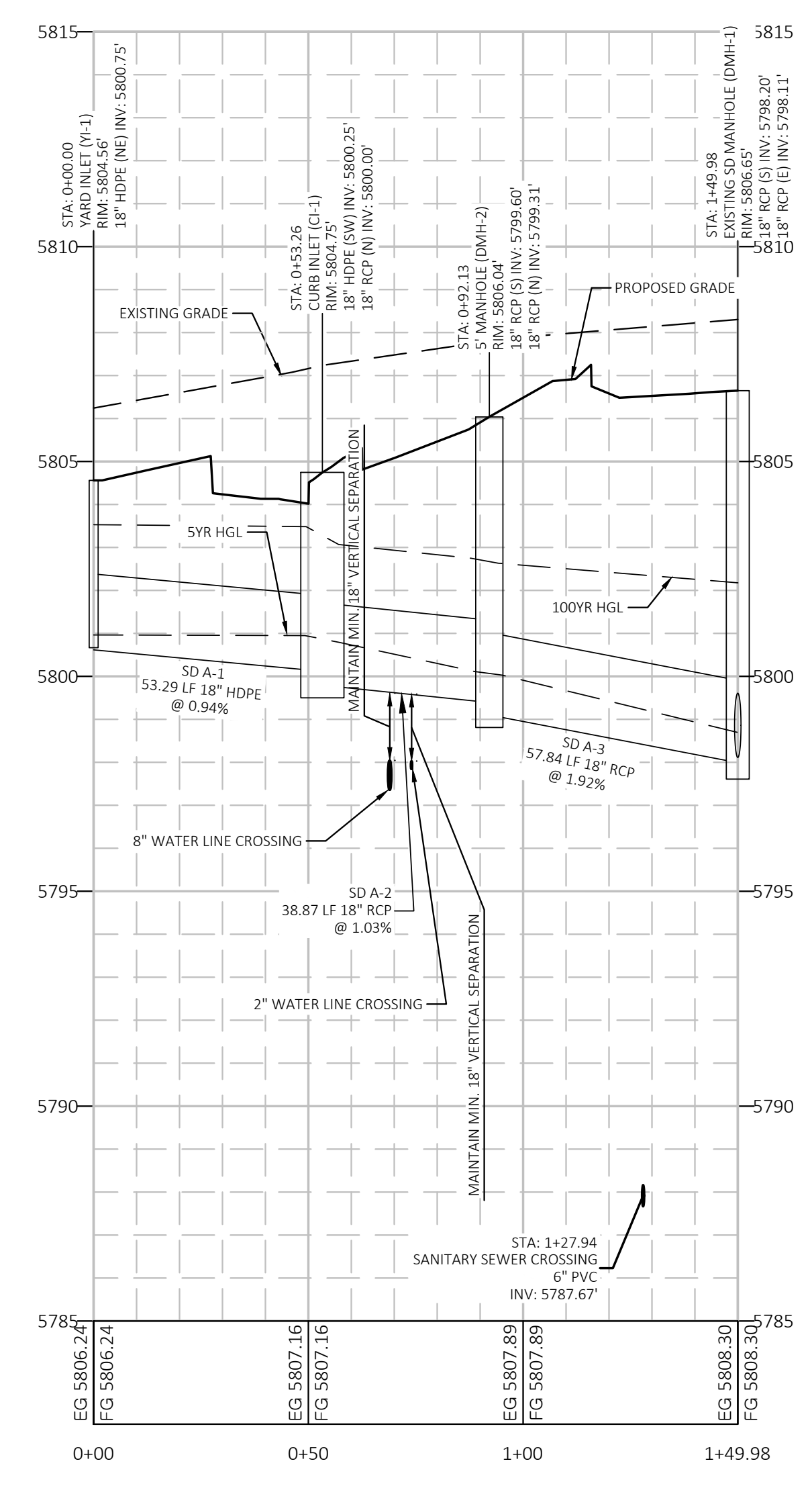
PROPOSED

- GRADE BREAK
- XXX --- CONTOUR ELEVATIONS
- STORM DRAIN

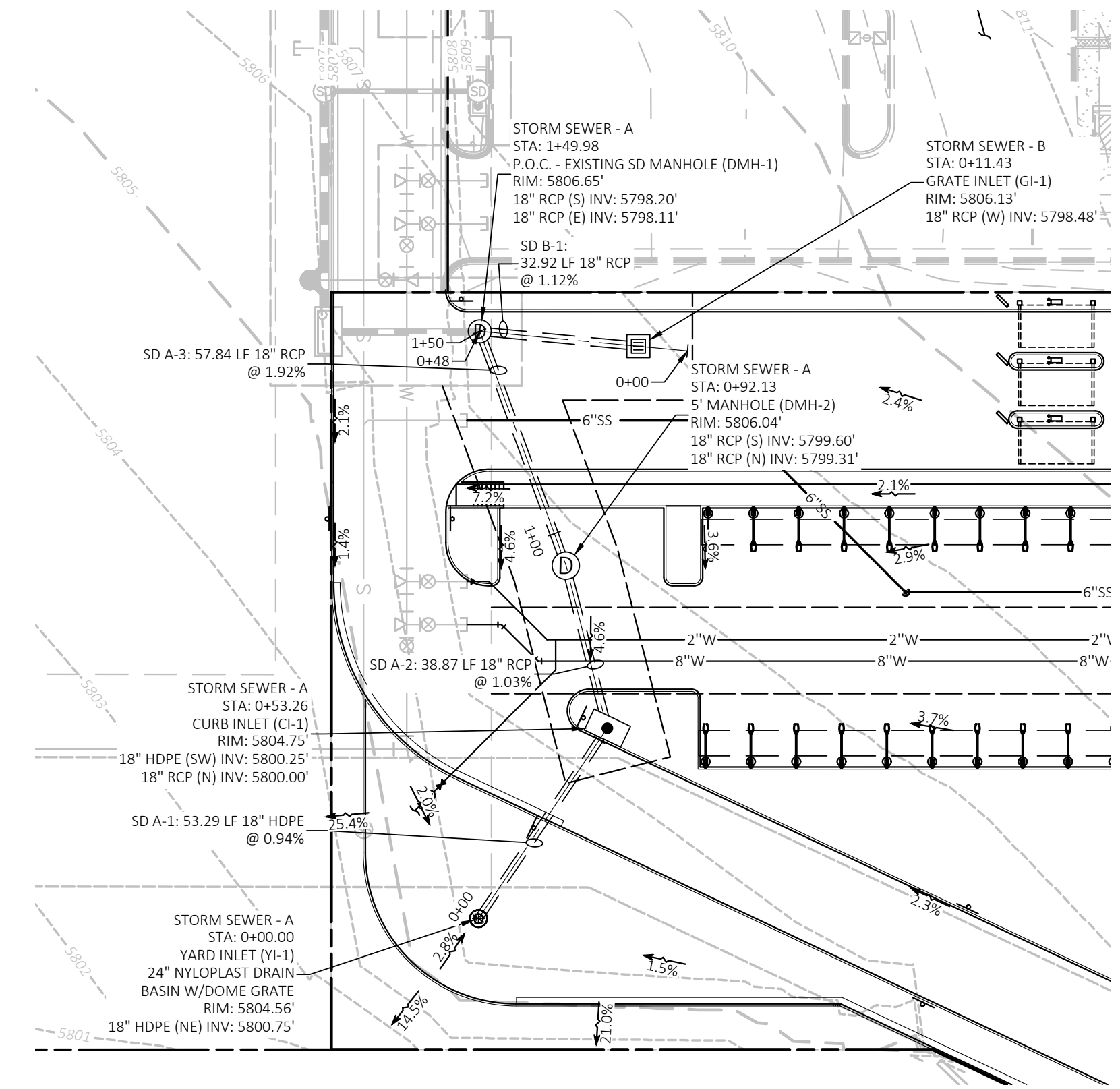
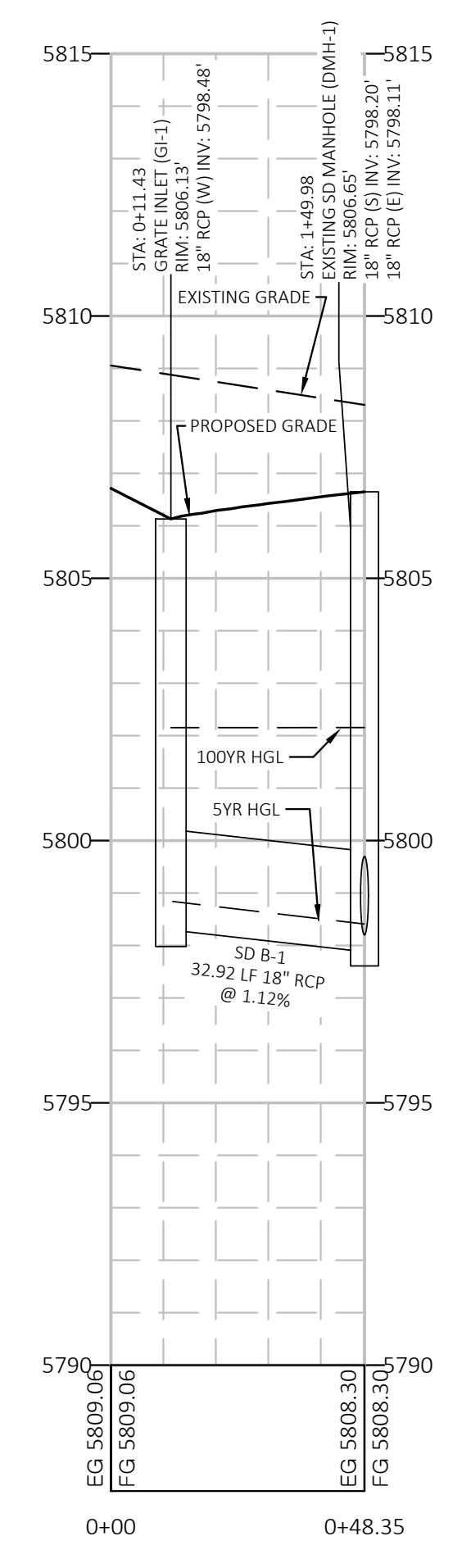
STORM SEWER - STRUCTURE TABLE		
NAME	DETAILS	STATION
YARD INLET (YI-1)	RIM: 5804.56 SD A-1 (NE) INV: 5800.75'	STORM SEWER - A STA: 0+00.00
CURB INLET (CI-1)	RIM: 5804.75 SD A-1 (SW) INV: 5800.25' SD A-2 (N) INV: 5800.00'	STORM SEWER - A STA: 0+53.26
5' MANHOLE (DMH-2)	RIM: 5806.04 SD A-2 (S) INV: 5799.60' SD A-3 (N) INV: 5799.31'	STORM SEWER - A STA: 0+92.13
EXISTING SD MANHOLE (DMH-1)	RIM: 5806.65 SD A-3 (S) INV: 5798.20' SD B-1 (E) INV: 5798.11'	STORM SEWER - A STA: 1+49.98
GRATE INLET (GI-1)	RIM: 5806.13 SD B-1 (W) INV: 5798.48'	STORM SEWER - B STA: 0+11.43



STORM SEWER - A PROFILE  
VERTICAL SCALE: 1"=3'  
HORIZONTAL SCALE: 1"=30'



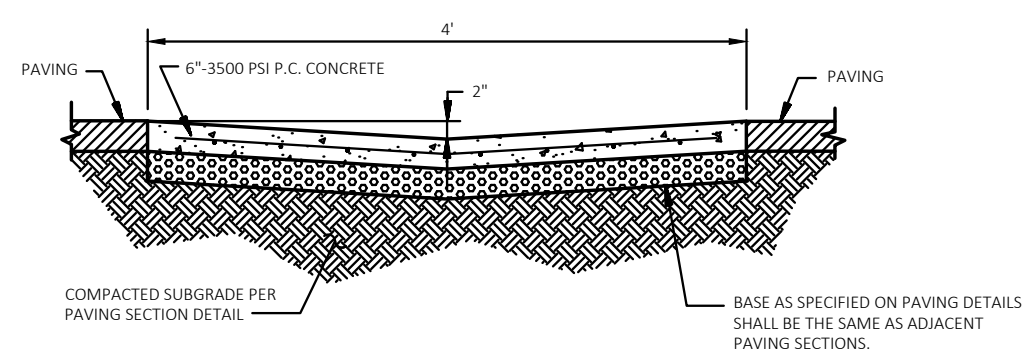
STORM SEWER - B PROFILE  
VERTICAL SCALE: 1"=3'  
HORIZONTAL SCALE: 1"=30'



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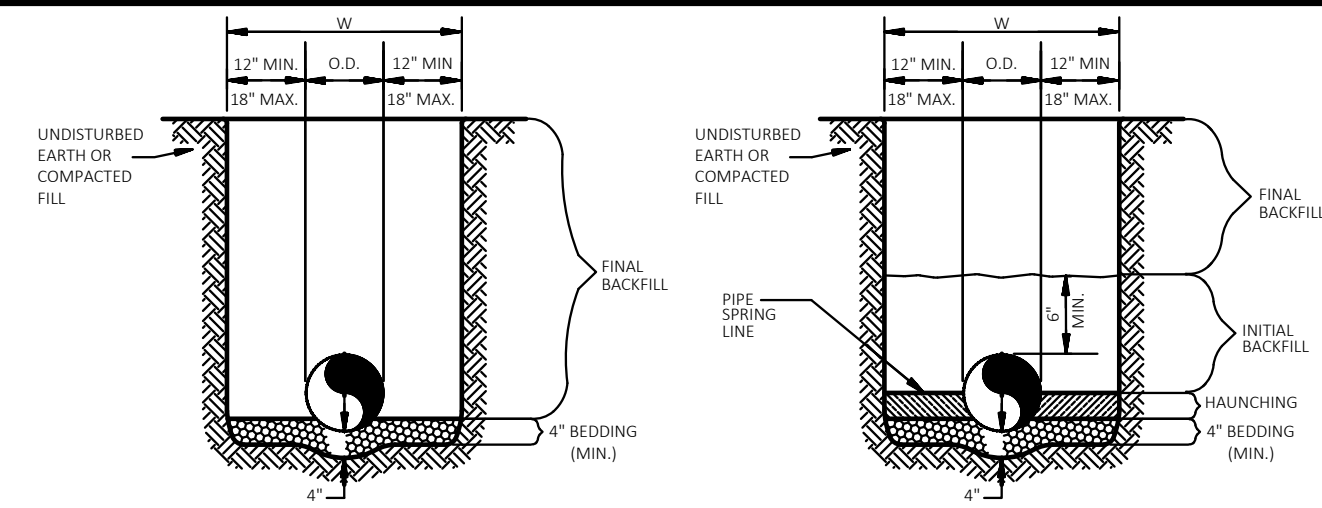
**CONCRETE NOTES**

1. COMPRESSIVE STRENGTH: 3,500 P.S.I. MINIMUM AT 28 DAYS.
2. REINFORCEMENT: WELDED WIRE FABRIC - #7@6" - W 2.1 X W 2.1, 2" FROM BOTTOM.
3. WEAREDED - PLANE CONTROL JOINTS TO BE 15' O.C. AND FILLED/SEALED. SEE SPECIFICATIONS FOR APPROVED FILLER/SEALERS.

**CONCRETE SWALE IN PAVED AREA**

N.T.S.

284



**RIGID PIPE**

N.T.S.

284

**FLEXIBLE PIPE**

N.T.S.

284

**GENERAL NOTES**

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND, IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS II COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II COMPACTED TO 90% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.
6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LODGE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS II AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHUTTED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

**STORM SEWER TRENCH AND BEDDING**

N.T.S.

DRAWING LOCATION: P:\3\3000\31672\0\DRAWINGS\DESIGN\WORKING\31672-EP.DWG - SAVED BY: MACALBERON



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PROFESSIONAL OF RECORD	TAB
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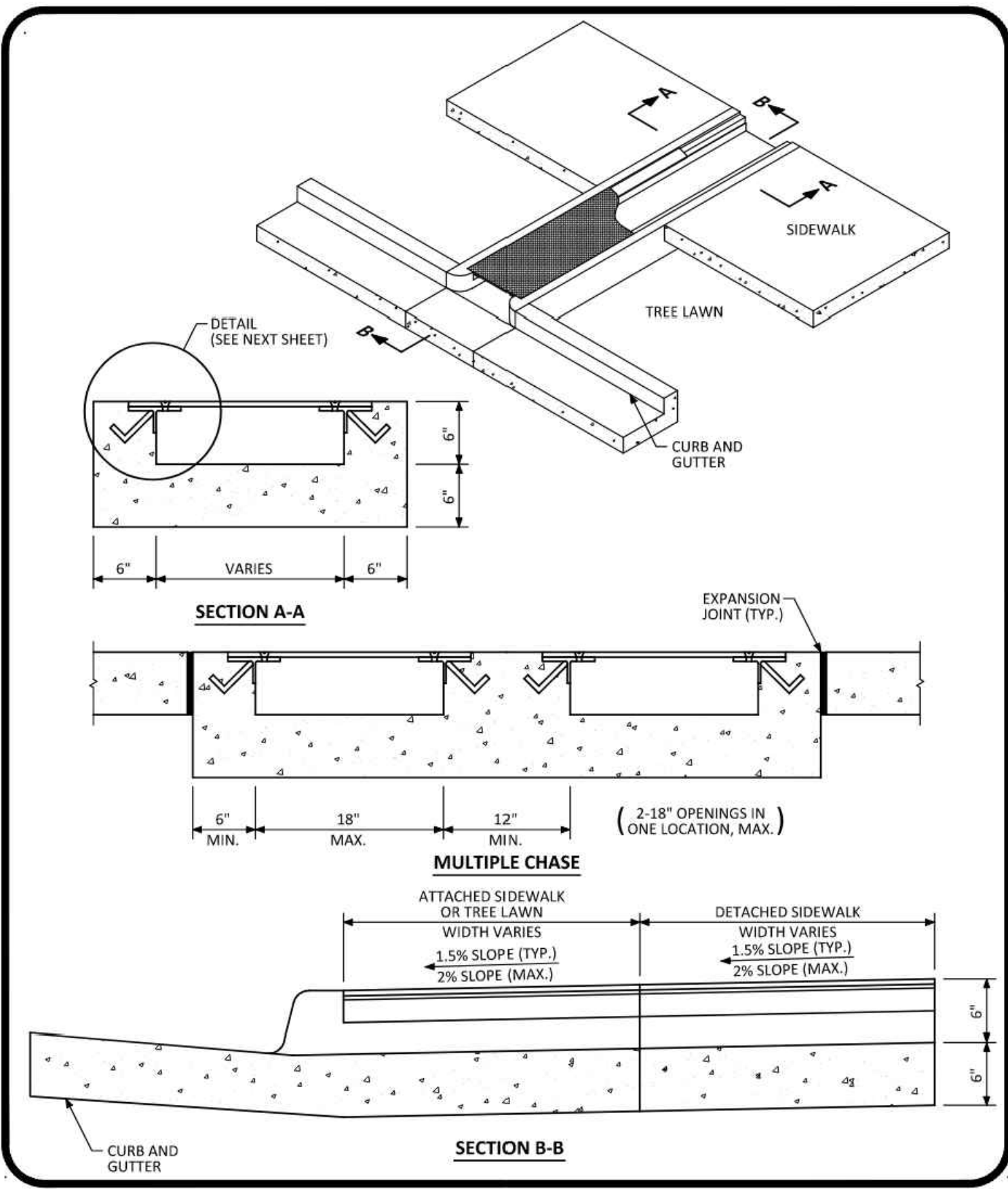
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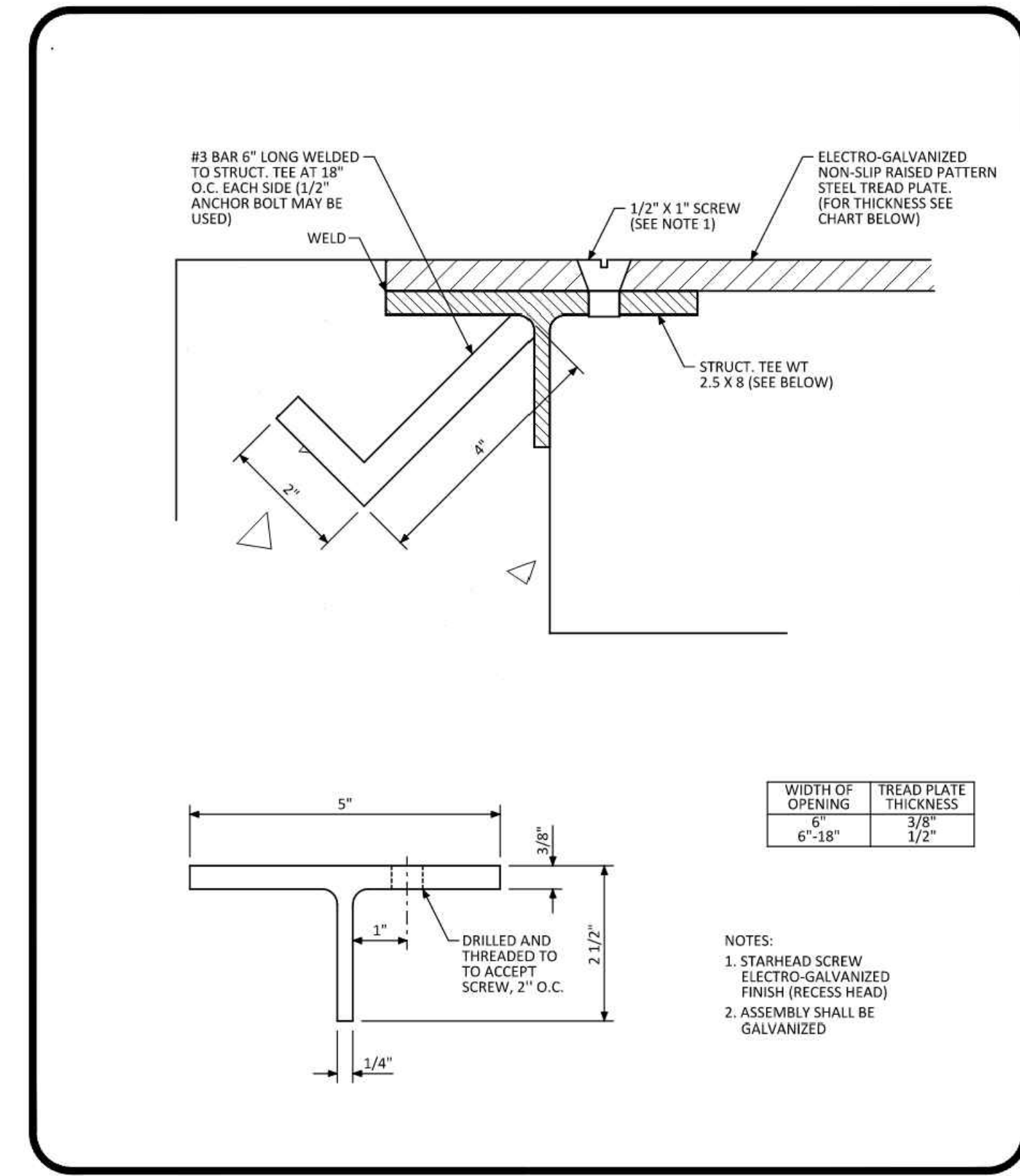
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GRADING DETAILS  
SHEET TITLE  
SHEET NUMBER

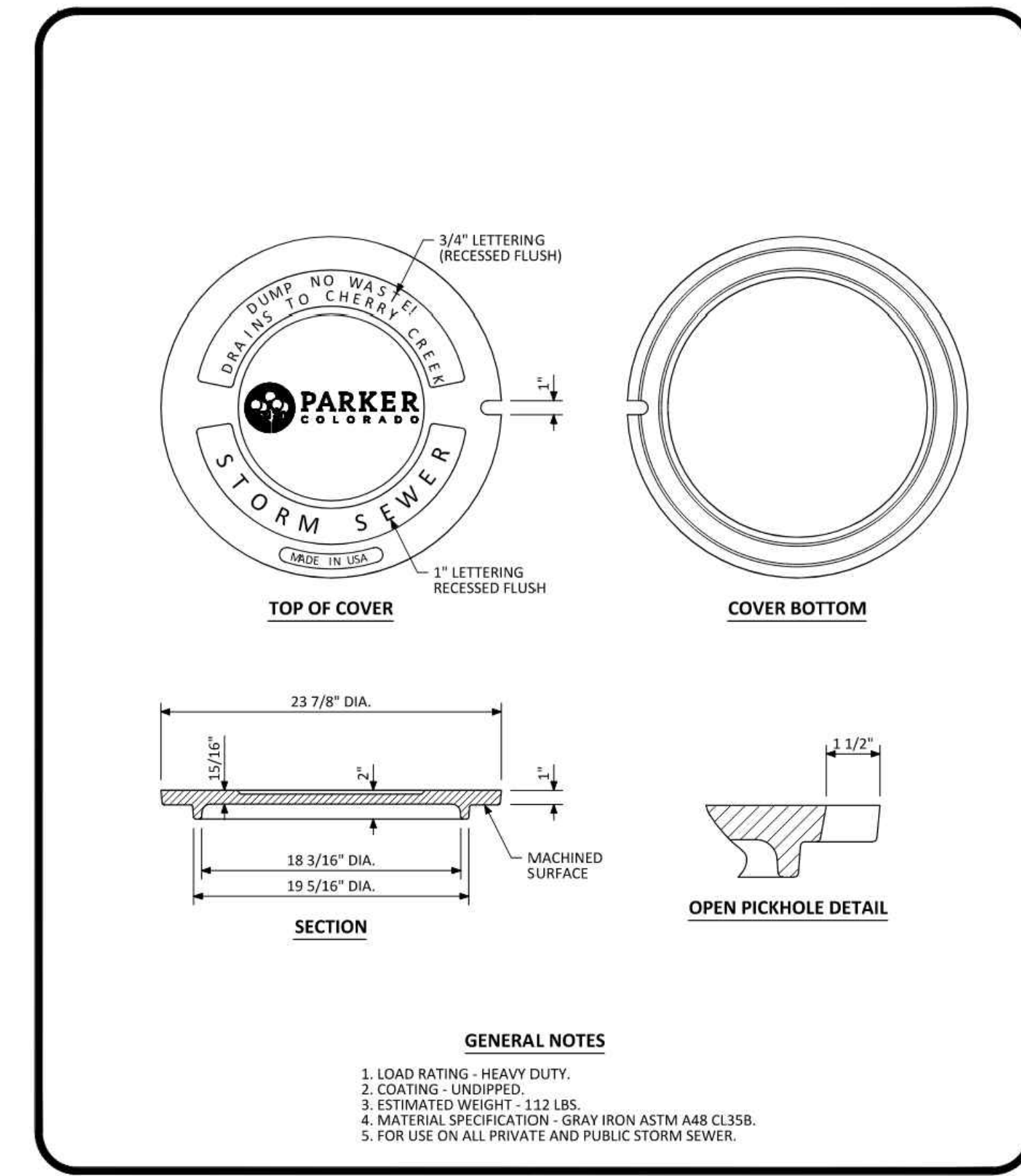
C5.2



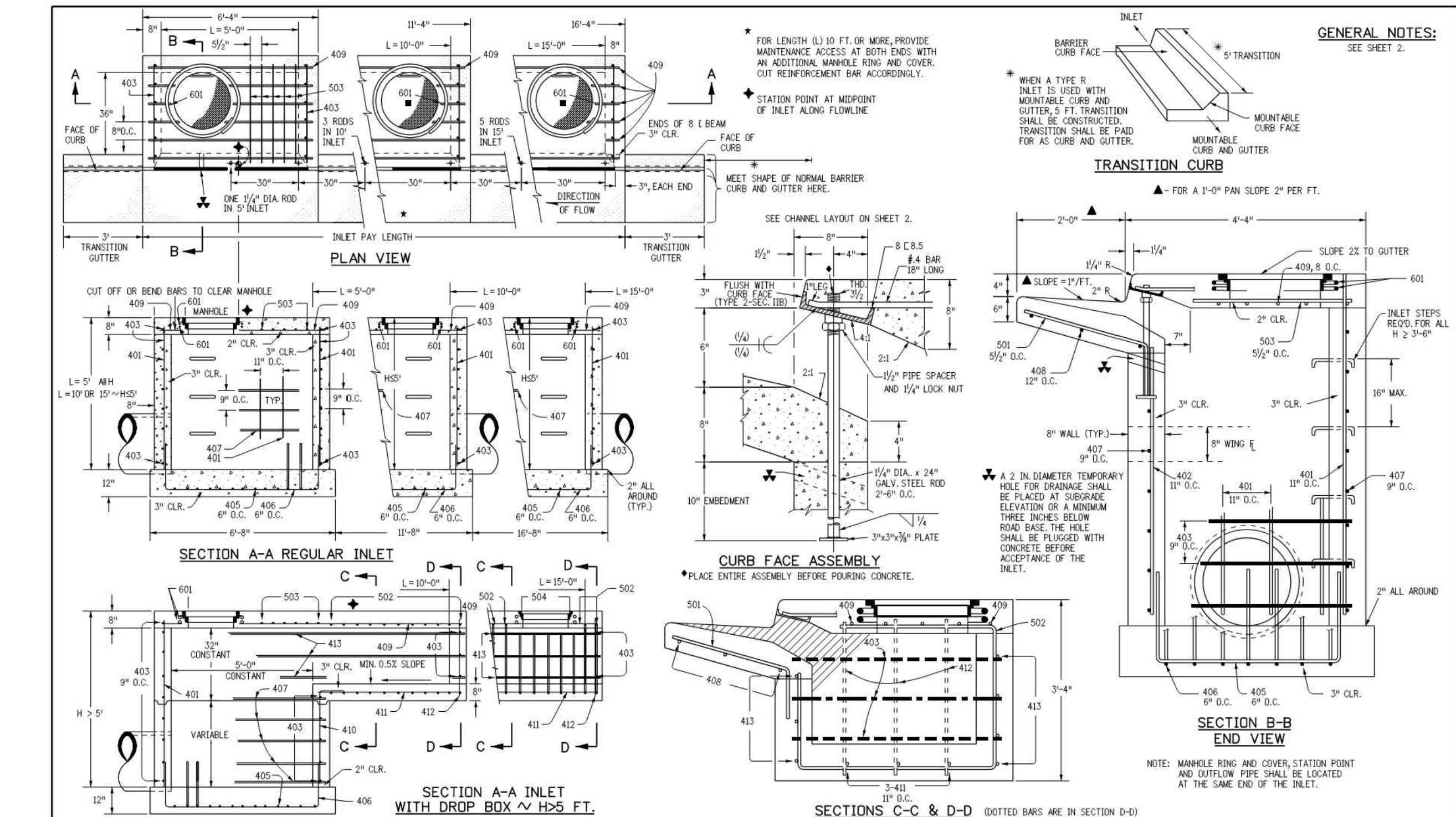
**PARKER COLORADO** CURB CHASE DRAIN (NON-RESIDENTIAL) LAYOUT STANDARD DETAIL  
 DATE: DECEMBER 2016  
 DETAIL: 29  
 1 OF 2



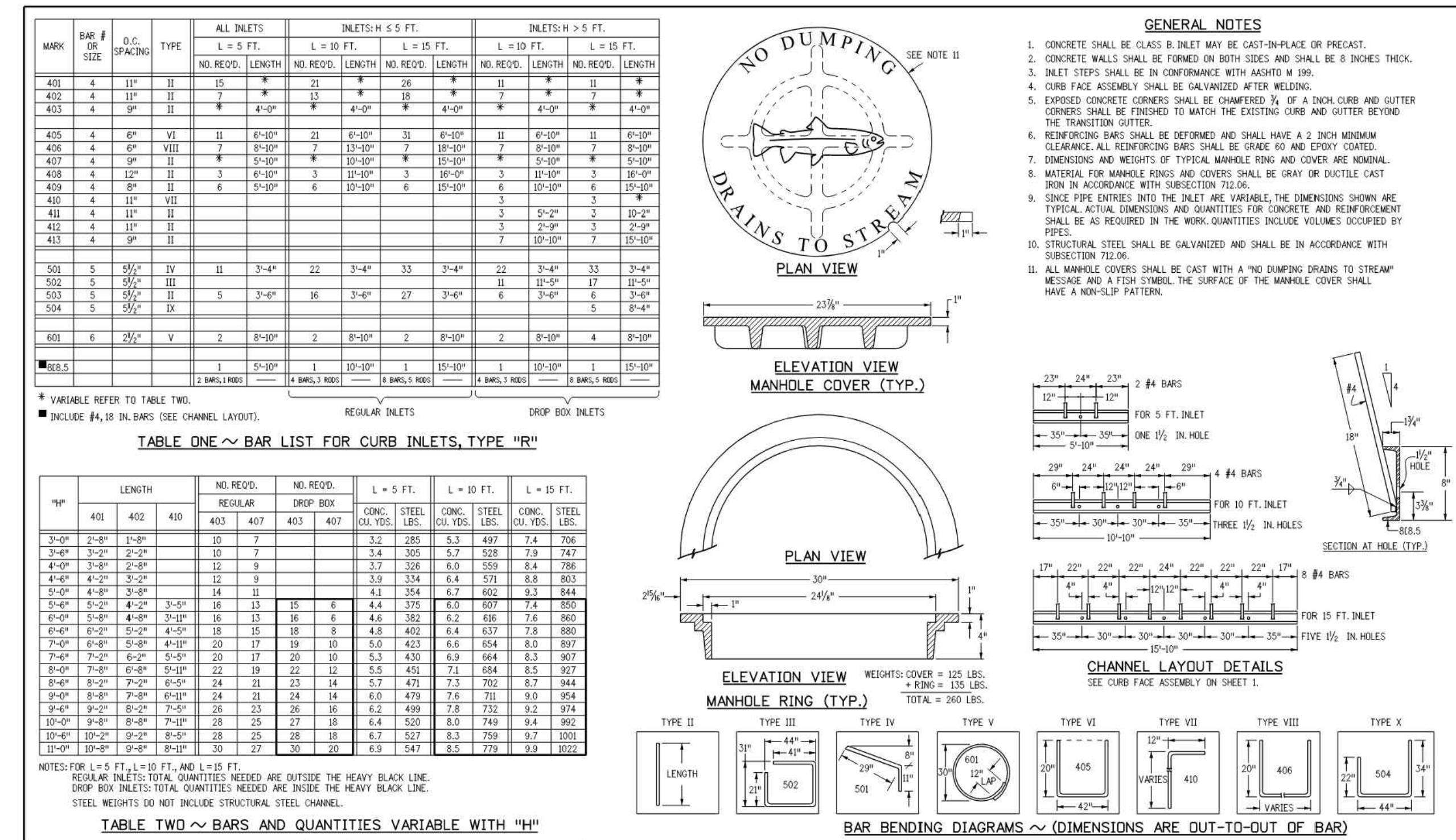
**PARKER COLORADO** CURB CHASE DRAIN (NON-RESIDENTIAL) LAYOUT STANDARD DETAIL  
 DATE: DECEMBER 2016  
 DETAIL: 29  
 2 OF 2



**PARKER COLORADO** MANHOLE COVER STANDARD DETAIL  
 DATE: NOVEMBER 2020  
 DETAIL: 33  
 1 OF 1



**PARKER COLORADO** CURB INLET TYPE R STANDARD PLAN NO. M-604-12 Standard Sheet No. 1 of 2  
 DATE: JULY 31, 2019  
 PROJECT SHEET NUMBER: [blank]



**PARKER COLORADO** CURB INLET TYPE R STANDARD PLAN NO. M-604-12 Standard Sheet No. 2 of 2  
 DATE: JULY 31, 2019  
 PROJECT SHEET NUMBER: [blank]



CEI ENGINEERING ASSOCIATES, INC.  
 710 W. PINDALE AVE.  
 FRESNO, CA 93711  
 PHONE: (559) 447-3119  
 FAX: (559) 447-3129



CLIENT  
 3K1 CONSULTING SERVICES, LLC.  
 11811 N. TATUM BOULEVARD,  
 PHOENIX, ARIZONA 85028  
 PHONE: (602) 850-8100



PLANS PREPARED FOR  
 QUICK N CLEAN  
 7291 E. ADOBE DRIVE, SUITE 115  
 SCOTTSDALE, AZ 85255  
 PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

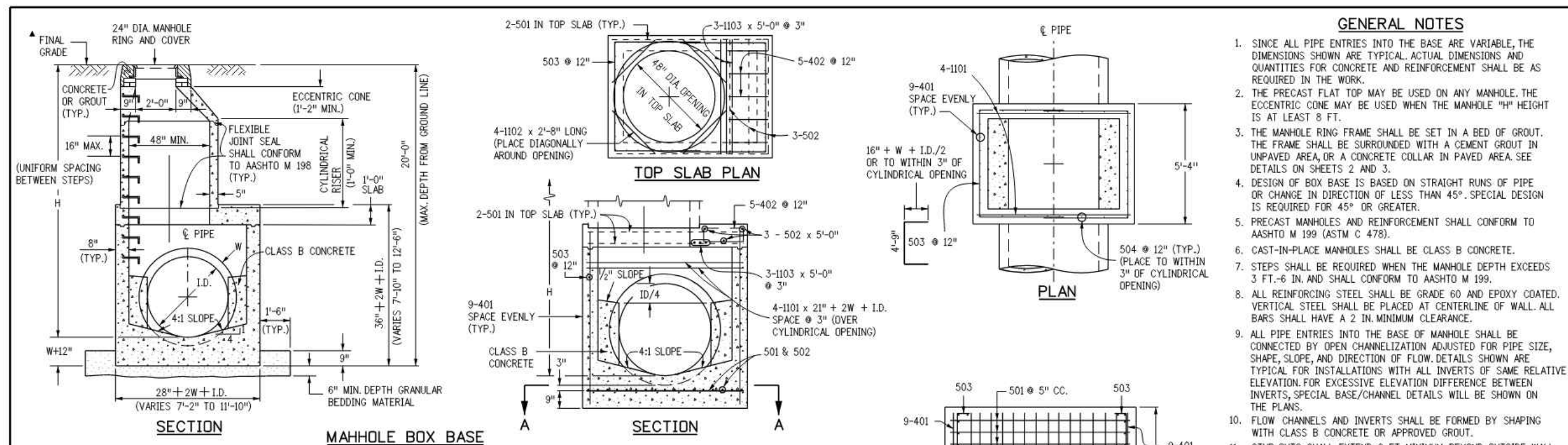
QUICK N CLEAN  
 PARKER RD. & PINE LAKE AVE.  
 PARKER, COLORADO  
 CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/2/2022
REVISION	REV-2

GRADING DETAILS  
 SHEET TITLE  
 SHEET NUMBER

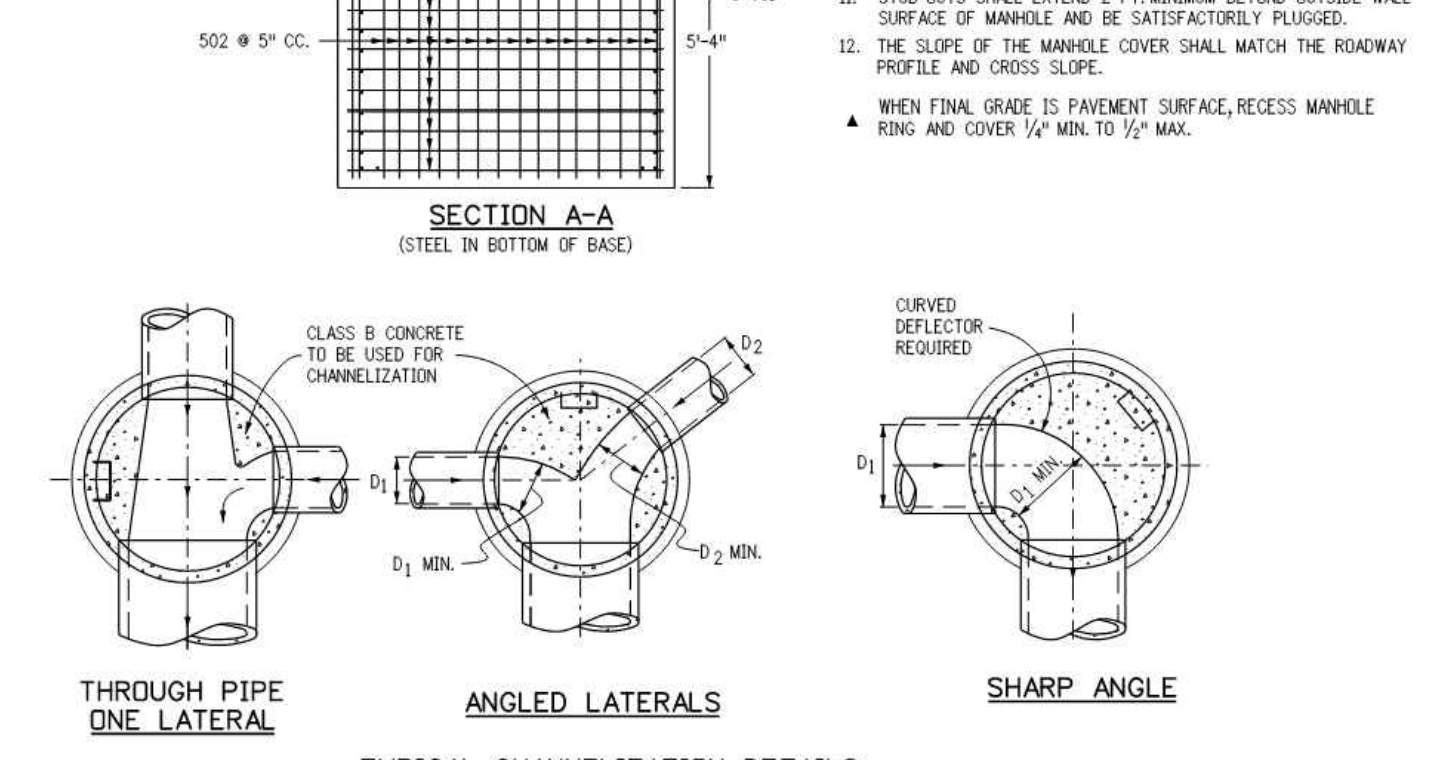
C5.3



- GENERAL NOTES**
1. SINCE ALL PIPE ENTRIES INTO THE BASE ARE VARIABLE, THE DIMENSIONS SHOWN ARE TYPICAL. ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
  2. THE PRECAST FLAT TOP MAY BE USED ON ANY MANHOLE. THE ECCENTRIC CONE MAY BE USED WHEN THE MANHOLE "H" HEIGHT IS AT LEAST 3 FT.
  3. THE MANHOLE RING FRAME SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE SURROUNDED WITH A CEMENT GROUT IN UNPAVED AREA OR A CONCRETE COLLAR IN PAVED AREA. SEE DETAILS ON SHEETS 2 AND 3.
  4. DECISION OF SOIL BASE IS BASED ON STRAIGHT RUNS OF PIPE OR CHANGE IN DIRECTION OF LESS THAN 45°. SPECIAL DESIGN IS REQUIRED FOR 45° OR GREATER.
  5. PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO AASHTO M 199 (ASTM C 478).
  6. CAST-IN-PLACE MANHOLES SHALL BE CLASS B CONCRETE.
  7. STEPS SHALL BE PROVIDED WHEN THE MANHOLE DEPTH EXCEEDS 3 FT. & IN AND SHALL CONFORM TO AASHTO M 199.
  8. ALL REINFORCING STEEL SHALL BE GRADE 60 AND EPOXY COATED. VERTICAL STEEL SHALL BE PLACED AT CENTERLINE OF WALL. ALL BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.
  9. ALL PIPE ENTRIES INTO THE BASE OF MANHOLE SHALL BE CONNECTED BY OPEN CHANNELIZATION ADJUSTED FOR PIPE SIZE, SHAPE, SLOPE, AND DIRECTION OF FLOW. DETAILS SHOWN ARE TYPICAL. FOR INSTALLATIONS WITH ALL INVERTS OF SAME RELATIVE ELEVATION FOR EXCESSIVE ELEVATION DIFFERENCE BETWEEN INVERTS, SPECIAL BASE/CHANNEL DETAILS WILL BE SHOWN ON THE PLAN.
  10. FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
  11. STRIP-OUTS SHALL EXTEND 2 FT. MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLUGGED.
  12. THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ROADWAY PROFILE AND CROSS SLOPE.
  13. WHEN FINAL GRADE IS PAVEMENT SURFACE, RECESS MANHOLE RING AND COVER 1/4" MIN. TO 1/2" MAX.

**QUANTITIES FOR CONCRETE MANHOLE BOX BASE**

MARK	SIZE	TYPE	WT. #/FT.	REIN. BARS	FORMULAS
401	4	I	0.668	18 # 18	401 BAR LENGTH = 32" + 2W + ID.
402	4	III	0.668	18 # 18	402 BAR LENGTH = ID. + 2W
501	5	I	1.043	18 # 18	501 BAR LENGTH = 24" + ID. + 2W
502	5	I	1.043	18 # 18	502 NUMBER BARS REQ'D. = 3 + (24ID/2W + H)
503	5	II	1.043	18 # 18	503 BAR LENGTH = 4" + 2W + (H/2)
504	5	I	1.043	18 # 18	504 NUMBER BARS REQ'D. = 2 + (2WH/2 + H)
101	11	I	5.313	4 # 4	101 BAR LENGTH = 21" + ID. + 2W
102	11	I	5.313	4 # 4	102 TYPE I BENDING
103	11	I	5.313	4 # 4	103 TYPE II BENDING
REINFORCING STEEL TOTAL				365.6	1037.5
CONCRETE - CYCLES YARDS - TOTAL				6.6	7.3



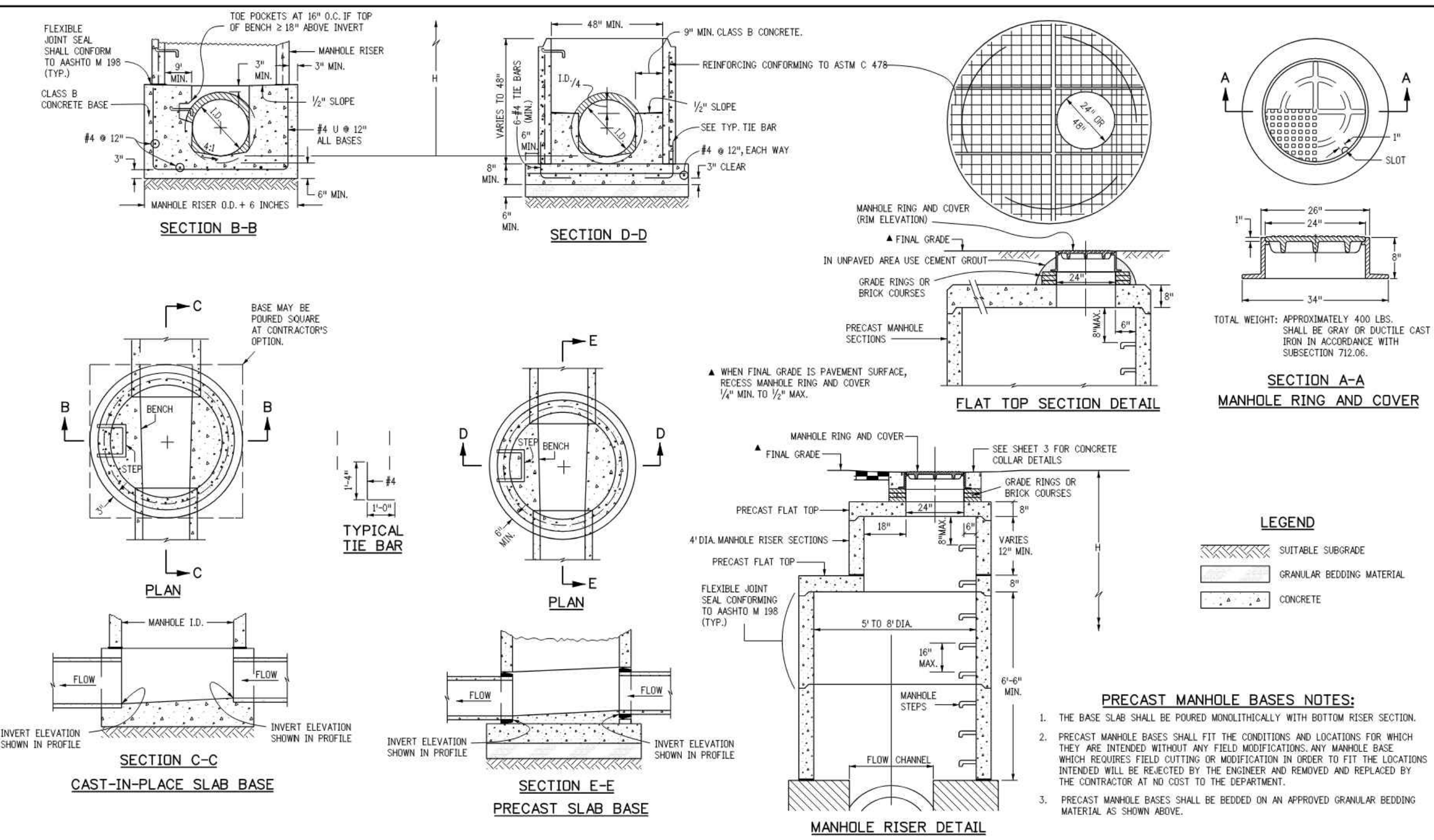
**Computer File Information**  
 Creation Date: 07/31/19  
 Designer: JBK  
 Last Modification Date: 07/31/19  
 Detaller: LTA  
 CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English

**Sheet Revisions**

Date	Comments

**Colorado Department of Transportation**  
 2829 West Howard Place  
 CDOT HQ, 3rd Floor  
 Denver, CO 80204  
 Phone: 303-757-9021 FAX: 303-757-9868  
 Project Development Branch JBK

**MANHOLES**  
 STANDARD PLAN NO. M-604-20  
 Standard Sheet No. 1 of 3  
 Issued by the Project Development Branch July 31, 2019



- GENERAL NOTES**
1. THE BASE SLAB SHALL BE PAVED MONOLITHICALLY WITH BOTTOM RISER SECTION.
  2. PRECAST MANHOLE BASES SHALL FIT THE CONDITIONS AND LOCATIONS FOR WHICH THEY ARE INTENDED WITHOUT ANY FIELD MODIFICATIONS. ANY MANHOLE BASE WHICH REQUIRES FIELD CUTTING OR MODIFICATION IN ORDER TO FIT THE LOCATIONS INTENDED WILL BE REJECTED BY THE ENGINEER AND REPAIRED BY THE CONTRACTOR AT NO COST TO THE DEPARTMENT.
  3. PRECAST MANHOLE BASES SHALL BE BEDDED ON AN APPROVED GRANULAR BEDDING MATERIAL AS SHOWN ABOVE.

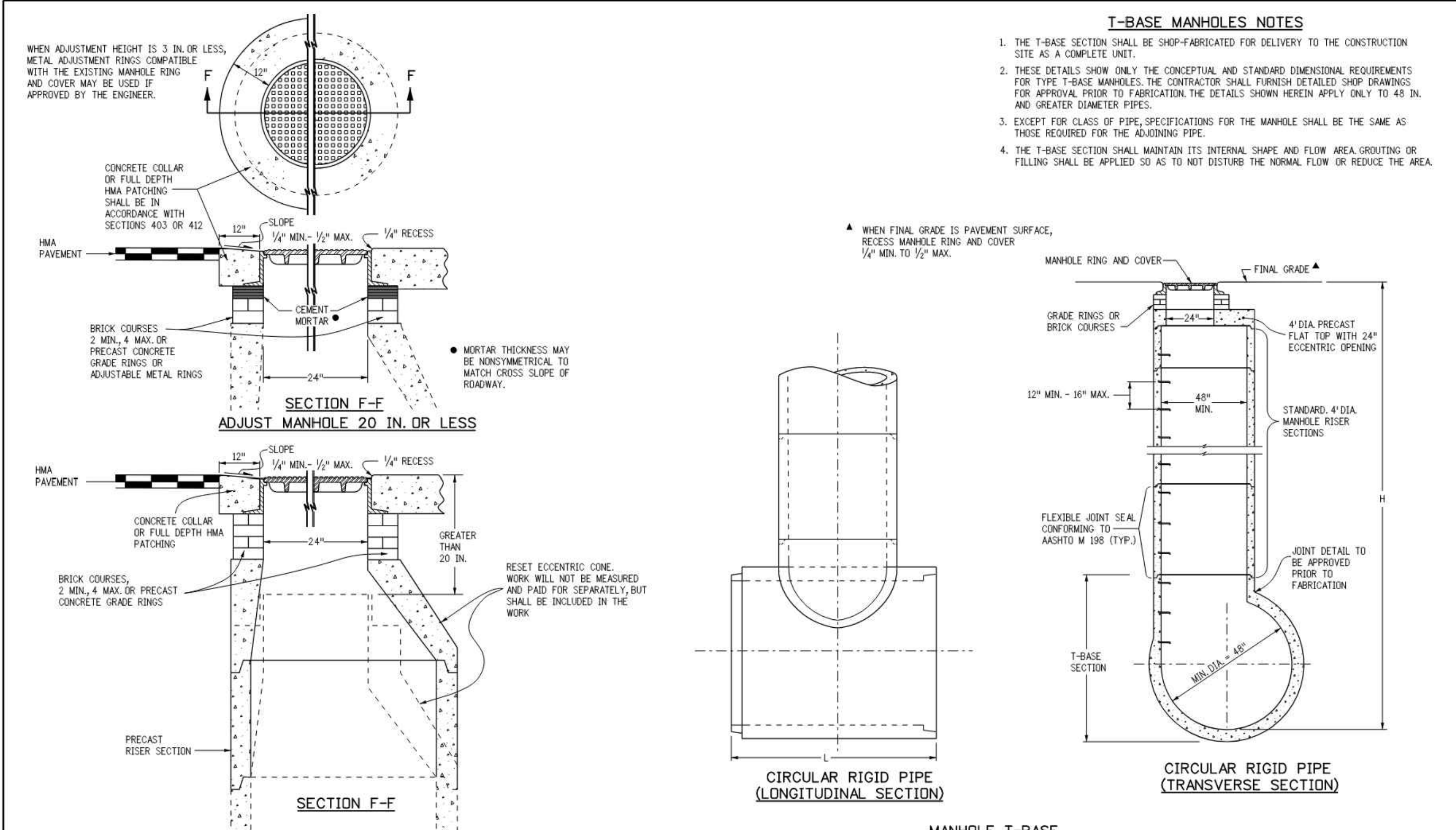
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**MANHOLES**  
 STANDARD PLAN NO. M-604-20  
 Standard Sheet No. 2 of 3  
 Issued by the Project Development Branch July 31, 2019



- T-BASE MANHOLES NOTES**
1. THE T-BASE SECTION SHALL BE SHOP-FABRICATED FOR DELIVERY TO THE CONSTRUCTION SITE AS A COMPLETE UNIT.
  2. THESE DETAILS SHOW ONLY THE CONCEPTUAL AND STANDARD DIMENSIONAL REQUIREMENTS FOR TYPE T-BASE MANHOLES. THE CONTRACTOR SHALL FURNISH DETAILED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. THE DETAILS SHOWN HEREIN APPLY ONLY TO 48 IN. AND GREATER DIAMETER PIPES.
  3. EXCEPT FOR CLASS OF PIPE SPECIFICATIONS FOR THE MANHOLE SHALL BE THE SAME AS THOSE REQUIRED FOR THE ADJOINING PIPE.
  4. THE T-BASE SECTION SHALL MAINTAIN ITS INTERNAL SHAPE AND FLOW AREA. GROUTING OR FILLING SHALL BE APPLIED SO AS TO NOT DISTURB THE NORMAL FLOW OR REDUCE THE AREA.

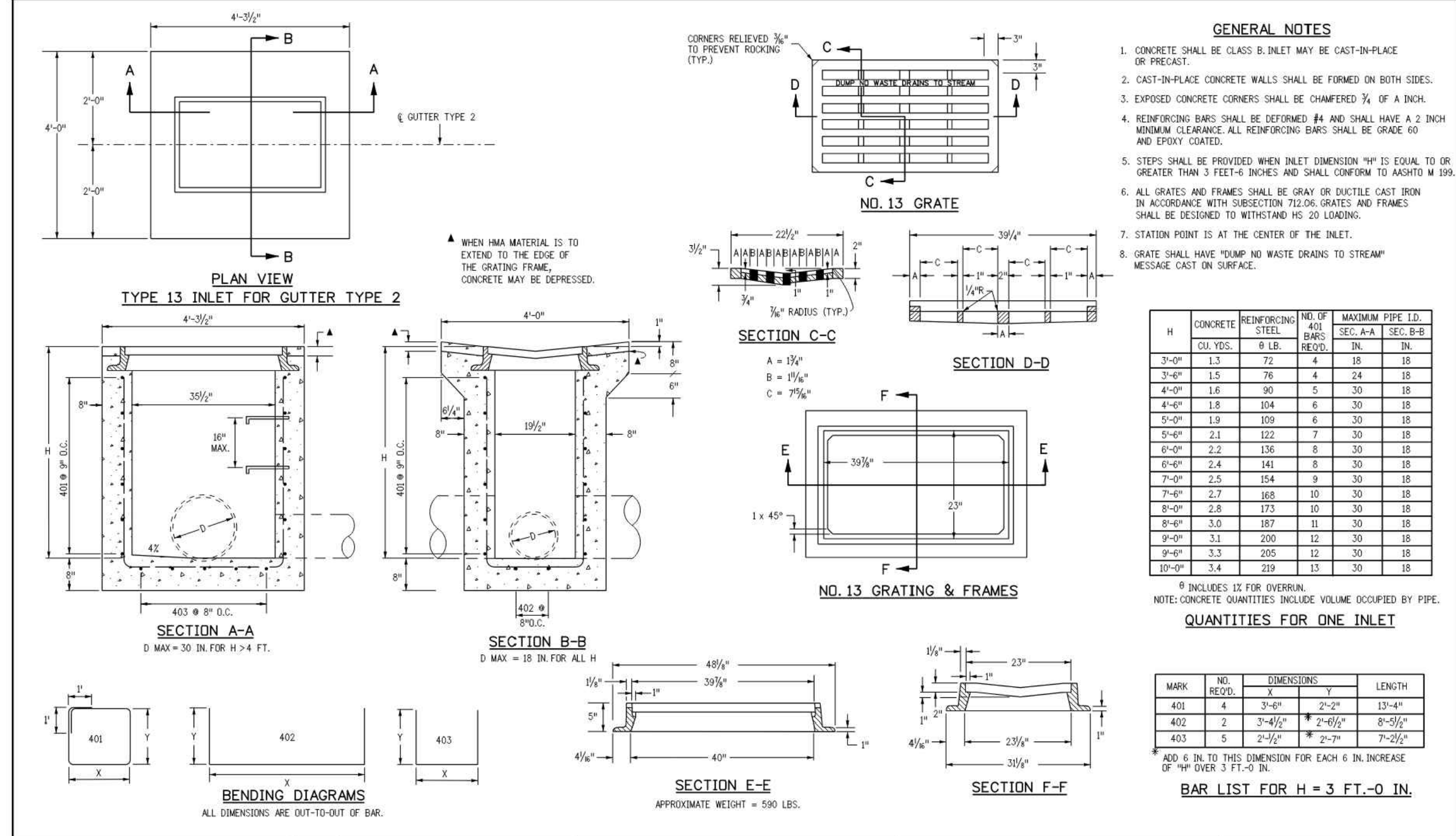
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Date	Comments

**Colorado Department of Transportation**  
 2829 West Howard Place  
 CDOT HQ, 3rd Floor  
 Denver, CO 80204  
 Phone: 303-757-9021 FAX: 303-757-9868  
 Project Development Branch JBK

**MANHOLES**  
 STANDARD PLAN NO. M-604-20  
 Standard Sheet No. 3 of 3  
 Issued by the Project Development Branch July 31, 2019



- GENERAL NOTES**
1. CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
  2. CAST-IN-PLACE CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES.
  3. EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 1/4" OF A INCH.
  4. REINFORCING BARS SHALL BE DEFORMED #4 AND SHALL HAVE A 2 INCH MINIMUM CLEARANCE. ALL REINFORCING BARS SHALL BE GRADE 60 AND EPOXY COATED.
  5. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" IS EQUAL TO OR GREATER THAN 3 FEET 6 INCHES AND SHALL CONFORM TO AASHTO M 199.
  6. ALL GRATES AND FRAMES SHALL BE GRAY OR DUCTILE CAST IRON IN ACCORDANCE WITH SUBSECTION 712.06. GRATES AND FRAMES SHALL BE DESIGNED TO WITHSTAND HS 20 LOADINGS.
  7. STATION POINT IS AT THE CENTER OF THE INLET.
  8. GRATE SHALL HAVE "NO WASTE GRABS TO STREAM" MESSAGE CAST ON SURFACE.

**Computer File Information**  
 Creation Date: 07/31/19  
 Designer: JBK  
 Last Modification Date: 07/31/19  
 Detaller: LTA  
 CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English

**Sheet Revisions**

Date	Comments

**Colorado Department of Transportation**  
 2829 West Howard Place  
 CDOT HQ, 3rd Floor  
 Denver, CO 80204  
 Phone: 303-757-9021 FAX: 303-757-9868  
 Project Development Branch JBK

**CONCRETE INLET TYPE 13**  
 STANDARD PLAN NO. M-604-13  
 Standard Sheet No. 1 of 1  
 Issued by the Project Development Branch July 31, 2019



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CLIENT  
 3K1 CONSULTING SERVICES, LLC.  
 11811 N. TATUM BOULEVARD,  
 PHOENIX, ARIZONA 85028  
 PHONE: (602) 850-8101



PLANS PREPARED FOR  
 QUICK N CLEAN  
 7291 E. ADOBE DRIVE, SUITE 115  
 SCOTTSDALE, AZ 85255  
 PHONE: (480) 707-3531

**REVISION**

NO.	DESCRIPTION	DATE

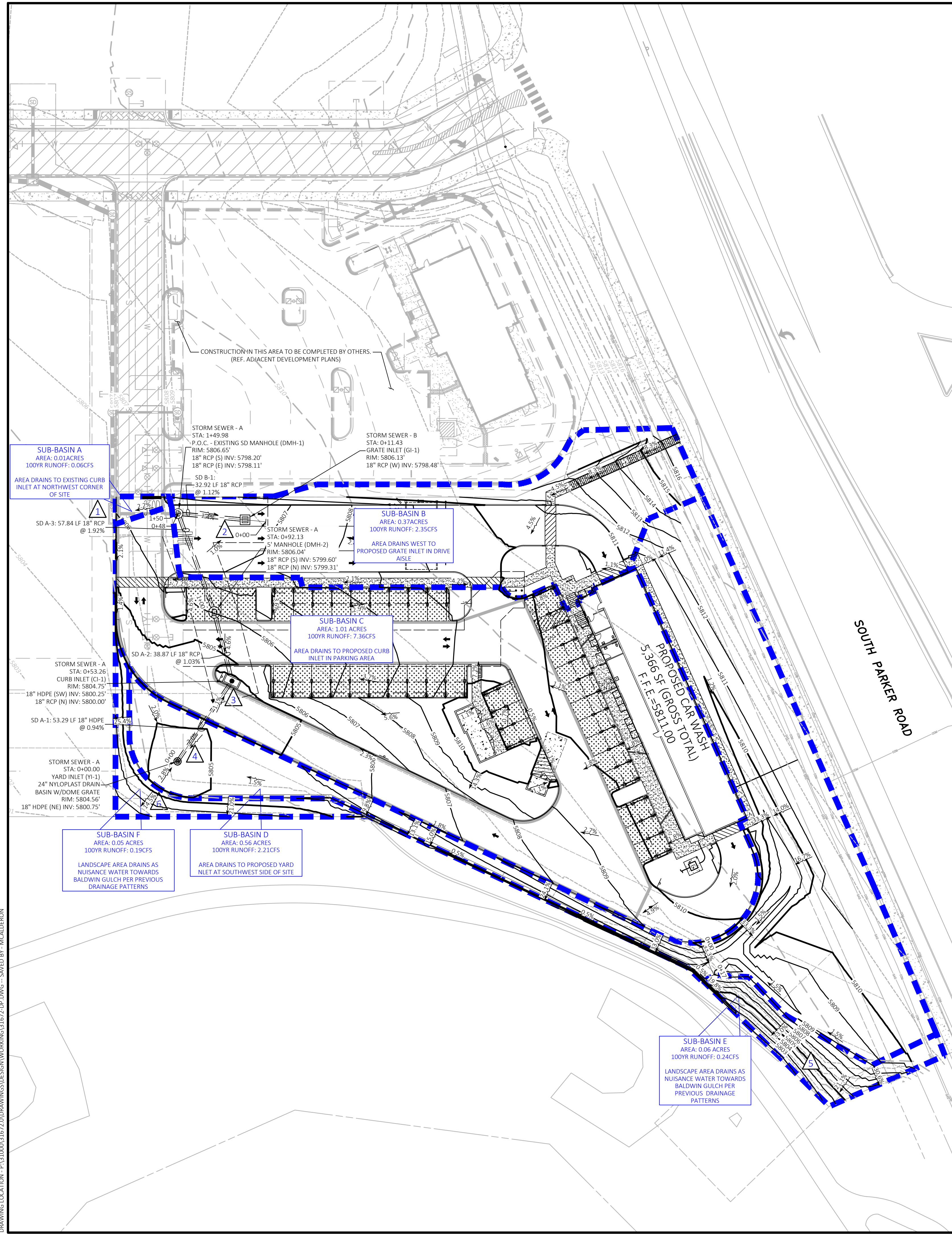
QUICK N CLEAN  
 PARKER RD. & PINE LAKE AVE.  
 PARKER, COLORADO  
 CONSTRUCTION DOCUMENTS



**PROFESSIONAL OF RECORD** TAB  
 PROJECT MANAGER ASD  
 DESIGNER RM  
 CEI PROJECT NUMBER 31672  
 DATE 2/2/2022  
 REVISION REV-2

GRADING DETAILS  
 SHEET TITLE  
 SHEET NUMBER

C5.4



**POST DEVELOPMENT STORMWATER RUNOFF**  
Rational Method  
Project: Quick N Clean  
Address: Parker Rd. & Pine Lane Ave.  
Parker, CO  
Based Upon: City of Parker and UDFCD Drainage Manual

**Time of Concentration**

	Min	Notes
Tc		Min. Tc for urbanized conditions

**Sub-Basin A (Onsite and Offsite)**

Total Area	0.01 acres	350 SF	Notes
Paved Area	0.01 acres	350 SF	Area drains to existing curb inlet at northwest corner of site
Drive and Walks	0.00 acres	0 SF	
Lawns, Sandy Soil	0.00 acres	0 SF	
% Impervious (Composite)	100%		

**Hydrologic Soil Group** B

Runoff Coefficient (UDFCD NRCS Table)	5yr	100yr
One Hour Point Rainfall (in) (Table 5.1 Town of Parker Manual)	5yr	100yr
Rainfall Intensity (in/hr) (Equation RA-S UDFCD)	5yr	100yr
Runoff (cfs)	5yr	100yr

**Sub-Basin B (Onsite and Offsite)**

Total Area	0.37 acres	15,969 SF	Notes
Paved Area	0.20 acres	8,651 SF	Area drains to proposed grate inlet in drive aisle
Drive and Walks	0.03 acres	1,283 SF	
Lawns, Sandy Soil	0.14 acres	6,035 SF	
% Impervious (Composite)	62%		

**Hydrologic Soil Group** B

Runoff Coefficient (UDFCD NRCS Table)	5yr	100yr
One Hour Point Rainfall (in) (Table 5.1 Town of Parker Manual)	5yr	100yr
Rainfall Intensity (in/hr) (Equation RA-S UDFCD)	5yr	100yr
Runoff (cfs)	5yr	100yr

**Sub-Basin C (Onsite and Offsite)**

Total Area	1.01 acres	43,983 SF	Notes
Paved Area	0.69 acres	30,056 SF	Area drains towards proposed curb inlet CI-1 in parking area
Drive and Walks	0.05 acres	2,063 SF	
Roofs	0.12 acres	5,336 SF	
Lawns, Sandy Soil	0.15 acres	6,528 SF	
% Impervious (Composite)	84%		

**Hydrologic Soil Group** B

Runoff Coefficient (UDFCD NRCS Table)	5yr	100yr
One Hour Point Rainfall (in) (Table 5.1 Town of Parker Manual)	5yr	100yr
Rainfall Intensity (in/hr) (Equation RA-S UDFCD)	5yr	100yr
Runoff (cfs)	5yr	100yr

**Sub-Basin D (Onsite and Offsite)**

Total Area	0.58 acres	24,689 SF	Notes
Drives and Walks	0.02 acres	674 SF	Area drains towards proposed yard inlet W-1 at southwest corner of site
Lawns, Sandy Soil	0.54 acres	23,515 SF	
% Impervious (Composite)	4%		

**Hydrologic Soil Group** B

Runoff Coefficient (UDFCD NRCS Table)	5yr	100yr
One Hour Point Rainfall (in) (Table 5.1 Town of Parker Manual)	5yr	100yr
Rainfall Intensity (in/hr) (Equation RA-S UDFCD)	5yr	100yr
Runoff (cfs)	5yr	100yr

**Sub-Basin E (Onsite and Offsite)**

Total Area	0.06 acres	2,715 SF	Notes
Lawns, Sandy Soil	0.06 acres	2,715 SF	Landscape area drains in nuisance flow towards Baldwin Gulch per previous drainage patterns.
% Impervious (Composite)	2%		

**Hydrologic Soil Group** B

Runoff Coefficient (UDFCD NRCS Table)	5yr	100yr
One Hour Point Rainfall (in) (Table 5.1 Town of Parker Manual)	5yr	100yr
Rainfall Intensity (in/hr) (Equation RA-S UDFCD)	5yr	100yr
Runoff (cfs)	5yr	100yr

**Sub-Basin F (Onsite and Offsite)**

Total Area	0.05 acres	2,100 SF	Notes
Lawns, Sandy Soil	0.05 acres	2,100 SF	Landscape area drains as nuisance flow towards Baldwin Gulch per previous drainage patterns.
% Impervious (Composite)	2%		

**Hydrologic Soil Group** B

Runoff Coefficient (UDFCD NRCS Table)	5yr	100yr
One Hour Point Rainfall (in) (Table 5.1 Town of Parker Manual)	5yr	100yr
Rainfall Intensity (in/hr) (Equation RA-S UDFCD)	5yr	100yr
Runoff (cfs)	5yr	100yr

**Total Runoff (CFS)**

Total Area	2.05 acres	89,306 SF
Paved Area	0.90 acres	39,057 SF
Drive and Walks	0.09 acres	4,020 SF
Roofs	0.12 acres	5,336 SF
Lawns, Sandy Soil	0.94 acres	40,893 SF
% Impervious (Composite)	62%	

**Hydrologic Soil Group** B

Runoff (cfs)	5yr	100yr
	4.40	12.41



- EXISTING LEGEND:**
- PROPERTY LINE/RIGHT OF WAY LINE
  - COMMUNICATIONS MANHOLE
  - SANITARY SEWER MANHOLE
  - STORM SEWER MANHOLE
  - UNDERGROUND GAS LINES
  - UNDERGROUND COMMUNICATIONS LINES
  - UNDERGROUND STORM SEWER LINES

- PROPOSED LEGEND**
- BASIN BOUNDARY
  - STORM DRAIN
  - DESIGN POINT

**FLOOD ZONE INFORMATION**  
SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.  
MAP NUMBER: 08035C0067G  
EFFECTIVE DATE: MARCH 16, 2016

**BENCHMARK**  
DOUGLAS CONTROL MONUMENT #1. 0.95035, A 3" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

PROPOSED DRAINAGE MAP AND BASIN ARE BASED ON BASIN NO. 8 IN PARKER AND PINE RETAIL DRAINAGE REPORT PREPARED BY KIMLEY HORN ENGINEERING NOVEMBER 2019  
DETENTION IS PROVIDED FOR THE OVERALL DEVELOPMENT PER OVERALL DEVELOPER PLANS  
THE RUNOFF FROM THE PROPOSED QUICK N CLEAN SITE IS LESS THAN OR EQUAL TO THE RUNOFF ALLOCATED TO BASIN NO. 8 IN THE PARKER AND PINE RETAIL DRAINAGE REPORT

**Runoff Summary**

BASIN ID	AREA Ac	Q <sub>5</sub> CFS	Q <sub>100</sub> CFS
1.1	1.43	4.93	10.37
1.2	1.97	6.77	14.25
2.0	0.88	3.00	6.33
3.0	1.97	6.80	14.29
4.1	1.14	3.91	8.23
4.2	0.77	2.65	5.56
5.0	1.13	3.89	8.18
6.0	2.22	7.62	16.06
7.0	1.02	3.48	7.35
8.0	1.94	6.13	12.90
9.0	0.10	0.42	0.81
10.0	0.16	0.65	1.26
11.0	0.21	0.86	1.66
12.0	0.14	0.57	1.09
13.0	0.08	0.32	0.62
14.0	0.17	0.67	1.30
15.0	0.18	0.72	1.40
16.0	0.17	0.67	1.30
17.0	0.11	0.45	0.87
18.0	0.39	1.59	3.09

BASIN NO. 8 RUNOFF VALUES PER PARKER AND PINE RETAIL DRAINAGE REPORT

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING / PUBLIC WORKS DATE



CEI ENGINEERING ASSOCIATES, INC.  
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PHOENIX, ARIZONA 85028  
PHONE: (602) 850-8101



PLANS PREPARED FOR  
QUICK N CLEAN  
7291 E. ADOBE DRIVE, SUITE 115  
SCOTTSDALE, AZ 85255  
PHONE: (480) 707-3531

**REVISION**

NO.	DESCRIPTION	DATE

QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO  
CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD TAB  
PROJECT MANAGER ASD  
DESIGNER RM  
CEI PROJECT NUMBER 31672  
DATE 2/7/2022  
REVISION REV-2

DRAINAGE PLAN  
SHEET TITLE  
SHEET NUMBER

C6



Know what's below.  
Call before you dig.

# CONSTRUCTION DOCUMENTS QUICK N CLEAN

## PARKER RD. & PINE LANE AVE.

### PARKER, COLORADO

## UTILITY PLANS

A PORTION OF THE 1/4 OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF 6TH P.M.  
COUNTY OF DOUGLAS, STATE OF COLORADO

#### RESOURCE LIST

<b>APPLICANT</b> 3K1 CONSULTING SERVICES, LLC 11811 N. TATUM BOULEVARD PHOENIX, AZ 85028 PH: (602) 850-8081	<b>TOWN OF PARKER PLAN REVIEW</b> 20120 E. MAIN STREET PARKER, CO 80138 CHIP KERHOVE PH: (70) 989-2244 RANDY CAPRA
<b>OWNER</b> QUICK N CLEAN 7291 E. ADOBE DRIVE, SUITE 115 SCOTTSDALE, AZ 85255 PH: (480) 707-3531	<b>TOWN OF PARKER ENGINEERING / PUBLIC WORKS</b> 20120 E. MAIN STREET PARKER, CO 80138-7335 TYLER SANDT PH: (303) 805-3182
<b>OVERALL DEVELOPER</b> EYV PARKER COLORADO, LLC 2710 E. CAMELBACK ROAD, SUITE 210 PHOENIX, AZ 85016 RYAN AMATO PH: (602) 468-6100	<b>WATER &amp; SEWER</b> PARKER WATER AND SANITATION DISTRICT 18100 E. WOODMAN ROAD PARKER, CO 80134 DRAYTON SANDERSON PH: (303) 841-4627
<b>CIVIL ENGINEER</b> CEI ENGINEERING ASSOC., INC. 710 PINEDALE AVE. FRESNO, CA JASON HATWIG, PROJECT MANAGER PH: (559) 447-3119	<b>FIRE DEPARTMENT</b> SOUTH METRO FIRE RESCUE AUTHORITY 9195 E. MINERAL AVE. CENTENNIAL, CO 80112 CHIP KERHOVE PH: (720) 989-2244
<b>LANDSCAPE ARCHITECT</b> CEI ENGINEERING ASSOC., INC. 3108 S.W. REGENCY PARKWAY, SUITE 2 BENTONVILLE, AR 72712 CHIP ASHLEY PH: (479) 273-9472	<b>ELECTRICAL</b> IREA 5496 US HWY 85 SEDALIA, CO 80135 PH: (303) 688-7431
<b>ARCHITECT</b> CHSCA 1777 S. BELLAIRE STREET, SUITE 100 DENVER, CO 80222 BILL STOW PH: (303) 962-9164	<b>NATURAL GAS</b> XCEL ENERGY 1800 LAMMER STREET DENVER, CO 80202 PH: (303) 571-7511
<b>LAND SURVEYOR</b> RUBIN SURVEYING 3312 AIRPORT ROAD BOULDER COLORADO 80301 PH: (303) 464-9515	

#### LEGAL DESCRIPTION

(PER THE TITLE COMMITMENT)

LOT 4,  
PARKER AND FILING NO. 1,  
COUNTY OF DOUGLAS,  
STATE OF COLORADO.

#### BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3 1/2" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD 1988). AS PUBLISHED BY DOUGLAS COUNTY

#### BASIS OF BEARINGS

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR 52°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

#### FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.  
MAP NUMBER: 08035C0067G  
EFFECTIVE DATE: MARCH 16, 2016



**Vicinity Map**

1"=2,000'

#### PARKER WATER AND SANITATION DISTRICT CONSTRUCTION PLANS

SHEET #	SHEET TITLE
C7	COVER SHEET
C7.1	WATER AND SANITARY SEWER NOTES
C7.2	OVERALL UTILITY PLAN
C7.3	SANITARY SEWER PLAN AND PROFILE
C7.4	UTILITY DETAILS
C7.5	UTILITY DETAILS

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_  
(NOTE-UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NPFA 24 WHEN SUBMITTING FOR REVIEW.)

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS.  
ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION.

REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.

DATE: \_\_\_\_\_ (DISTRICT REPRESENTATIVE)

DATE: \_\_\_\_\_

APPROVED FOR CONSTRUCTION:  
PARKER WATER AND SANITATION DISTRICT

DATE: \_\_\_\_\_ (DISTRICT REPRESENTATIVE)

DATE: \_\_\_\_\_

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING / PUBLIC WORKS \_\_\_\_\_ DATE \_\_\_\_\_



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PLANS PREPARED FOR  
QUICK N CLEAN  
7291 E. ADOBE DRIVE, SUITE 115  
SCOTTSDALE, AZ 85255  
PHONE: (480) 707-3531

#### REVISION

NO.	DESCRIPTION	DATE

QUICK N CLEAN  
PARKER RD. & PINE LANE AVE.  
PARKER, COLORADO

CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/7/2022
REVISION	REV-2

#### COVER SHEET

SHEET TITLE  
SHEET NUMBER

C7



**PARKER WATER AND SANITATION GENERAL NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSO ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST VERSION.
- THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND THE TOWN OF PARKER, DOUGLAS COUNTY AND OTHER NEIGHBORING CITIES AND TOWNS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY EXISTING UTILITY (INCLUDING WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL ITEMS SHOWN ON THE PLANS AS EXISTING ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. THE ACTUAL LOCATIONS MAY VARY FROM THE PLANS, ESPECIALLY IN THE CASE OF UNDERGROUND UTILITIES. WHENEVER THE CONTRACTOR DISCOVERS A DISCREPANCY IN LOCATIONS CONTACT THE PWSO IMMEDIATELY.
- PWSO ENGINEER AND OTHER APPROVING AGENCIES ARE TO BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS NECESSARY TO PERFORM THE PROPOSED WORK.
- ALL CONCRETE SHALL BE A MINIMUM OF CLASS A, 6 SACK, TYPE II, 3000-POUND COMPRESSION STRENGTH.
- THE DESIGN ENGINEER SHALL SUBMIT ONE (1) SET OF "AS-BUILT" DRAWINGS AND ELECTRONIC FILES TO THE DISTRICT ENGINEER FOR APPROVAL BY DISTRICT. AFTER APPROVAL HAS BEEN GRANTED BY THE DISTRICT ENGINEER, FULL SIZE PRINTS SHALL BE TRANSMITTED TO THE PWSO OFFICE.
- NO WORK SHALL BE BACKFILLED UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE DISTRICT ENGINEER OR REPRESENTATIVE OF THE DISTRICT ENGINEER. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY. COMPACTION TESTS MUST BE SUBMITTED TO DISTRICT ENGINEER PRIOR TO PROBATIONARY ACCEPTANCE.
- TRENCHES SHALL BE EXCAVATED AND THE PIPE EXPOSED FOR THE INSPECTION AT ANY LOCATION ON THE PROJECT IF SO ORDERED BY THE INSPECTOR.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF LINES (WATER AND FOR UP TO TWO (2) YEARS FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE LINES BY THE DISTRICT. ANY MALFUNCTION DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE CONTRACTOR TO THE SATISFACTION OF THE DISTRICT ENGINEER AT NO EXPENSE TO THE DISTRICT.
- SURFACE GRADES ARE TO BE WITHIN PLUS OR MINUS ONE FOOT OF FINISHED GRADE AND VERIFICATION OF PARKER WATER AND SANITATION DISTRICT PAGE 1.7 DISTRICT PLAN APPROVAL PROCEDURES 2017 REVISION COMPACTION RESULTS OBTAINED PRIOR TO THE INSTALLATION OF WATER AND SEWER LINES. RESULTS MUST BE SUBMITTED TO THE DISTRICT ENGINEER.
- ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS:  
 "X" FOR SANITARY SERVICE SEWERS  
 "V" FOR WATER SERVICES
- NO TREES ALLOWED IN EASEMENTS OR WITHIN 8' OF WATER OR SANITARY SEWER MAINS IN RIGHT OF WAY.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS WHICH HAVE BEEN APPROVED BY THE PWSO AND THE DISTRICT ENGINEER AND ONE (1) COPY OF THE LATEST PWSO SPECIFICATION MANUAL.

**SANITARY SEWER SYSTEM NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSO ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST VERSION.
- ALL SEWER MAINS SHALL BE PVC, ASTM D-3034, SDR 35 OR APPROVED EQUAL. ALL SEWER MAIN SIZE IS 8" IN DIAMETER UNLESS OTHERWISE NOTED.
- SEWER LINES SHALL BE INSTALLED 5.0 FEET SOUTH OR WEST OF STREET CENTERLINE, UNLESS OTHERWISE SHOWN ON PLANS. SEWER LINES SHALL BE 20.00 FEET FROM WATER LINES EXCEPT WHEN CROSSING EACH OTHER. SEWER LINES WHICH CROSS LESS THAN 1.50 FEET VERTICALLY FROM THE WATER MAIN SHALL BE ENCASED IN CONCRETE AS PER PWSO SPECIFICATIONS. USE RUBBER GASKETS FOR PVC ENCASMENT.
- SEWER RIM ELEVATIONS SHOWN ARE APPROPRIATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. RING AND COVER SHALL BE SET IN CENTERED CONCRETE RINGS WITH RAM-NECK FOR ADJUSTMENT TO MATCH FINAL PAVEMENT ELEVATIONS.
- THE CONTRACTOR AND SURVEY CREW SHALL VERIFY ELEVATIONS OF EXISTING SEWER LINES AND MANHOLES TO BE TIED TO PRIOR TO CONSTRUCTION OR STAKING OF SANITARY SEWER.
- NO UNDERDRAIN SYSTEM WILL BE ALLOWED TO BE PLACED IN MAINLINE OR SEWER SERVICE TRENCHES.
- SEWER SERVICE TEES FOR EACH UNIT SHALL BE STAKED BY A SURVEY CREW AND FURNISHED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH TO THE ENGINEER "AS CONSTRUCTED" LOCATION OF TEES. SEWER WYES SHALL BE USED RATHER THAN TEES.
- ALL MANHOLES SHALL BE 48-INCHES IN DIAMETER WITH 24-INCH RING AND COVER, ECCENTRIC CONE UNLESS OTHERWISE SPECIFIED. ALL MANHOLES SHALL HAVE SHAPED INVERTS.
- PIPE BEDDING SHALL BE CLASS "B" AND SHALL CONFORM TO ASTM C-33 OR D-448 GRADATION NO. 6 OR NO. 67.
- AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD AT THE OFFICE OF THE DISTRICT ENGINEER AND ATTENDED BY THE CONTRACTOR AND REPRESENTATIVES OF THE OTHER APPROVING AGENCIES. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE DISTRICT ENGINEER TO SCHEDULE THIS MEETING.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS WHICH HAVE BEEN APPROVED BY THE PWSO AND THE DISTRICT ENGINEER AND ONE (1) COPY OF THE LATEST PWSO SPECIFICATION MANUAL.
- ALL SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE PWSO STANDARDS AND SPECIFICATIONS PRIOR TO ACCEPTANCE OR ANY CONNECTION TO AN EXISTING SEWER LINE.
- PRIOR TO STARTING WORK WHERE SEWER MAIN IS TO BE CONNECTED TO EXISTING PWSO SEWER SYSTEMS THE NEAREST MANHOLE TO THE POINT OF TIE-IN SHALL BE PLUGGED WITH A PLUMBER'S PLUG ON THE INLET SIDE BY THE CONTRACTOR. THIS PLUG SHALL REMAIN IN PLACE UNTIL FINAL PROBATIONARY ACCEPTANCE BY PWSO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PUMPING AND CLEANING THESE MANHOLES AND REMOVING THE PLUG WHEN INSTRUCTED BY THE DISTRICT.
- PRIOR TO PROBATIONARY ACCEPTANCE WALK-THROUGH, THE CONTRACTOR SHALL JET CLEAN THE ENTIRE SANITARY SEWER SYSTEM AND PUMP OUT AT THE PLUGGED MANHOLE.

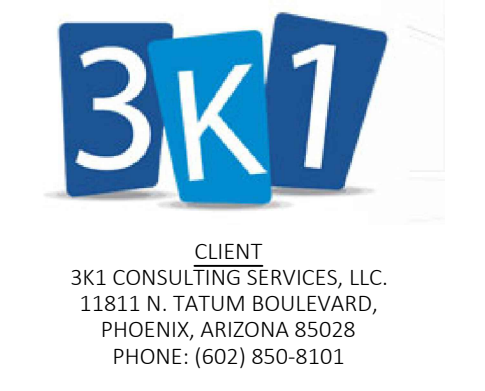
**WATER SYSTEM NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE PWSO ENGINEERING STANDARDS AND SPECIFICATIONS, LATEST REVISION.
- ALL WATER MAINS SHALL BE PER PWSO MATERIALS SPECIFICATIONS. ALL MATERIALS IN CONTACT WITH POTABLE WATER SHALL BE SUITABLE FOR CHLORINATED AND CHLORAMINATED WATER.
- ALL BENDS, PLUGS, REDUCERS, AND FIRE HYDRANTS TO BE RODDED OR MEGA-LUGGED. ALL FITTINGS SHALL BE WRAPPED PER PWSO MATERIALS SPECIFICATIONS.
- THERE SHALL BE A MINIMUM COVER OF 4.5 FEET OVER ALL WATER MAINS.
- FIRE HYDRANTS SHALL CONFORM TO AWWA C-502 "DRY BARREL FIRE HYDRANTS" PIPE HYDRANT ASSEMBLIES PER PWSO SPECIFICATIONS.
- ALL BENDS, TEES, FIRE HYDRANTS, BLOW-OFFS, AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST WITH CONCRETE THRUST BLOCKS.
- PRECAUTIONS SHALL BE TAKEN TO PROTECT THE INTERIOR OF PIPES, FITTINGS, AND VALVES AGAINST CONTAMINATION. ALL OPENINGS IN THE PIPELINE SHALL BE CLOSED WITH WATERTIGHT PLUGS WHEN PIPE LAYING IS STOPPED AT THE CLOSE OF THE DAY'S WORK OR FOR OTHER REASONS, SUCH AS REST BREAKS OR MEAL PERIODS.
- VALVES IN STREETS ARE TO BE LOCATED AT PROPERTY LINE EXTENSIONS EXCEPT FOR TAPPING TEES; WHERE AN ADDITIONAL VALVE SHALL BE PLACED ON THE TAPPING TEE. OTHER LOCATIONS SHOWN ON THE PLANS.
- WHEN NECESSARY TO LOWER OR RAISE WATER LINES AT STORM DRAINS AND OTHER UTILITY CROSSING, A MINIMUM CLEARANCE OF 1.5 FEET SHALL BE MAINTAINED BETWEEN OUTSIDE OF PIPES.
- THE CONTRACTOR SHALL NOTIFY THE PWSO AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION. IF WORK IS SUSPENDED FOR ANY PERIOD OF TIME AFTER INITIAL START-UP, THE CONTRACTOR MUST NOTIFY THE DISTRICT ENGINEER 48 HOURS PRIOR TO RE-START.
- PIPE BEDDING SHALL BE A CLEAN, WELL-GRADED SAND OR SQUEEGEE SAND IN ACCORDANCE WITH PWSO STANDARDS AND SPECIFICATIONS, LATEST REVISION.
- THE CONTRACTOR SHALL NOTIFY THE PUBLIC UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO PROCEEDING WITH THE EXCAVATION. ALL WORK PERFORMED IN THE AREA OF THE PUBLIC UTILITIES SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THESE AGENCIES.
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED IN ACCORDANCE WITH THE SOILS REPORTS AND COMPACTION TEST RESULTS SUBMITTED TO THE DISTRICT ENGINEER PRIOR TO PROBATIONARY ACCEPTANCE.
- AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD AT THE OFFICE OF THE DISTRICT ENGINEER AND ATTENDED BY THE CONTRACTOR, DESIGN ENGINEER, AND REPRESENTATIVE OF OTHER APPROVING AGENCIES.
- CHLORINATION AND FLUSHING: ALL WATER MAINS SHALL BE INSTALLED AND CHLORINATED PER PWSO SPECIFICATIONS. CHLORINATION OF FINISHED PIPELINE COMPLETED BEFORE HYDROSTATIC TESTING.
- HYDROSTATIC TESTING: ALL WATER MAINS SHALL BE TESTED PER THE REQUIREMENTS OF THE PWSO SPECIFICATIONS UP TO MINIMUM OF 150 PSI IN THE PRESENCE OF A PWSO INSPECTOR/ENGINEER.

DRAWING LOCATION: P:\33000\33072\0\DRAWINGS\DESIGN\WORKING\33072-CS.DWG -- SAVED BY: MACLEDEON



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REVISION		
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 PARKER, COLORADO  
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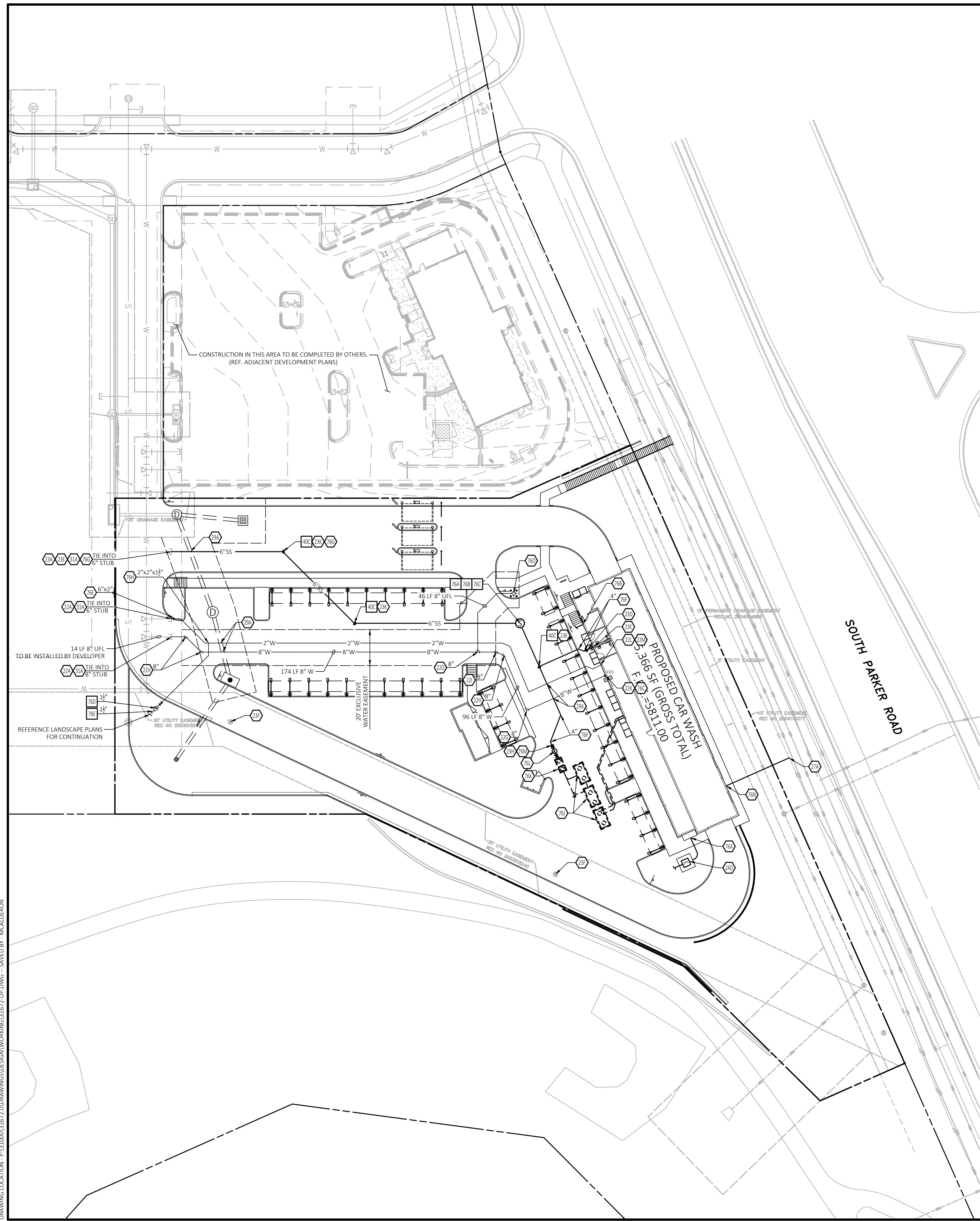


PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/2/2022
REVISION	REV-2



Know what's below.  
 Call before you dig.

WATER AND  
 SANITARY SEWER  
 NOTES  
 SHEET TITLE  
 SHEET NUMBER  
**C7.1**



**LEGAL DESCRIPTION**

REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.

**BENCHMARK**

DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.  
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

**BASIS OF BEARINGS**

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

**FLOOD ZONE INFORMATION**

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.  
MAP NUMBER: 0805500076  
EFFECTIVE DATE: MARCH 16, 2016

**NOTE:**

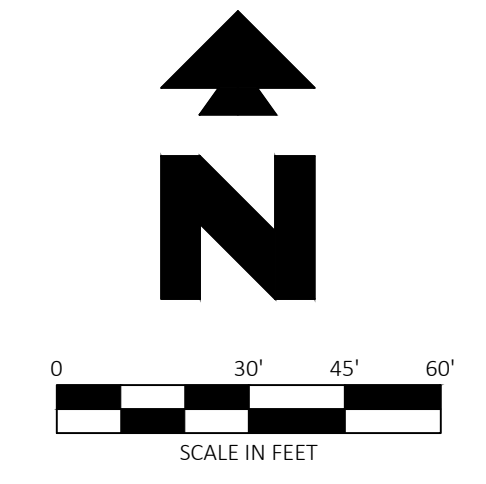
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

**GENERAL UTILITY NOTES**

- A. ALL WATER LINES SHALL HAVE 4'-6" MIN. COVER.
- B. ALL SANITARY SEWER LINES 6" AND SMALLER SHALL BE PVC (SDR35) WITH 4'-6" MIN. COVER.
- C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- D. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- G. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE PROJECT CONTRACT REQUIREMENTS OR SPECIFICATIONS OF THE LOCAL AUTHORITIES:  
REFERENCE DISTRICT POLICIES & INSTALLATION NOTES FOR WATER SERVICE DETAIL W3.1 (REF SHEET C7.5 - UTILITY DETAILS).  
ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER W3.18 (REF SHEET C7.5 - UTILITY DETAILS).  
ALL WATER LINE PIPE TRENCHING & BEDDING SHALL BE INSTALLED PER TOWN OF PARKER W4.1 (REF SHEET C7.5 - UTILITY DETAILS).  
ALL SANITARY SEWER PIPE TRENCHING & BEDDING SHALL BE INSTALLED PER TOWN OF PARKER S4.1-S4.5 (REF SHEET C7.4 & C7.5 - UTILITY DETAILS).  
REFERENCE DISTRICT POLICIES & INSTALLATION NOTES FOR SEWER SERVICE DETAIL S1.1 (REF SHEET C7.4 - UTILITY DETAILS).
- H. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- I. CONTRACTOR SHALL MAINTAIN A MINIMUM COVER ON ALL WATERLINES.
- J. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 211.1 (AWWA C-151) (CLASS 50).
- K. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- L. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- M. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- N. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- O. REFER TO ELECTRIC COMPANY PLANS FOR ELECTRIC SERVICE DESIGN.
- P. REFER TO TELEPHONE PLANS FOR TELEPHONE & DATA SERVICE DESIGN.



Know what's below.  
Call before you dig.



**EXISTING LEGEND**

- PROPERTY LINE/RIGHT OF WAY LINE
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- GAS — UNDERGROUND GAS LINES
- COM — UNDERGROUND COMMUNICATIONS LINES
- STM — UNDERGROUND STORM SEWER LINES

**PROPOSED LEGEND**

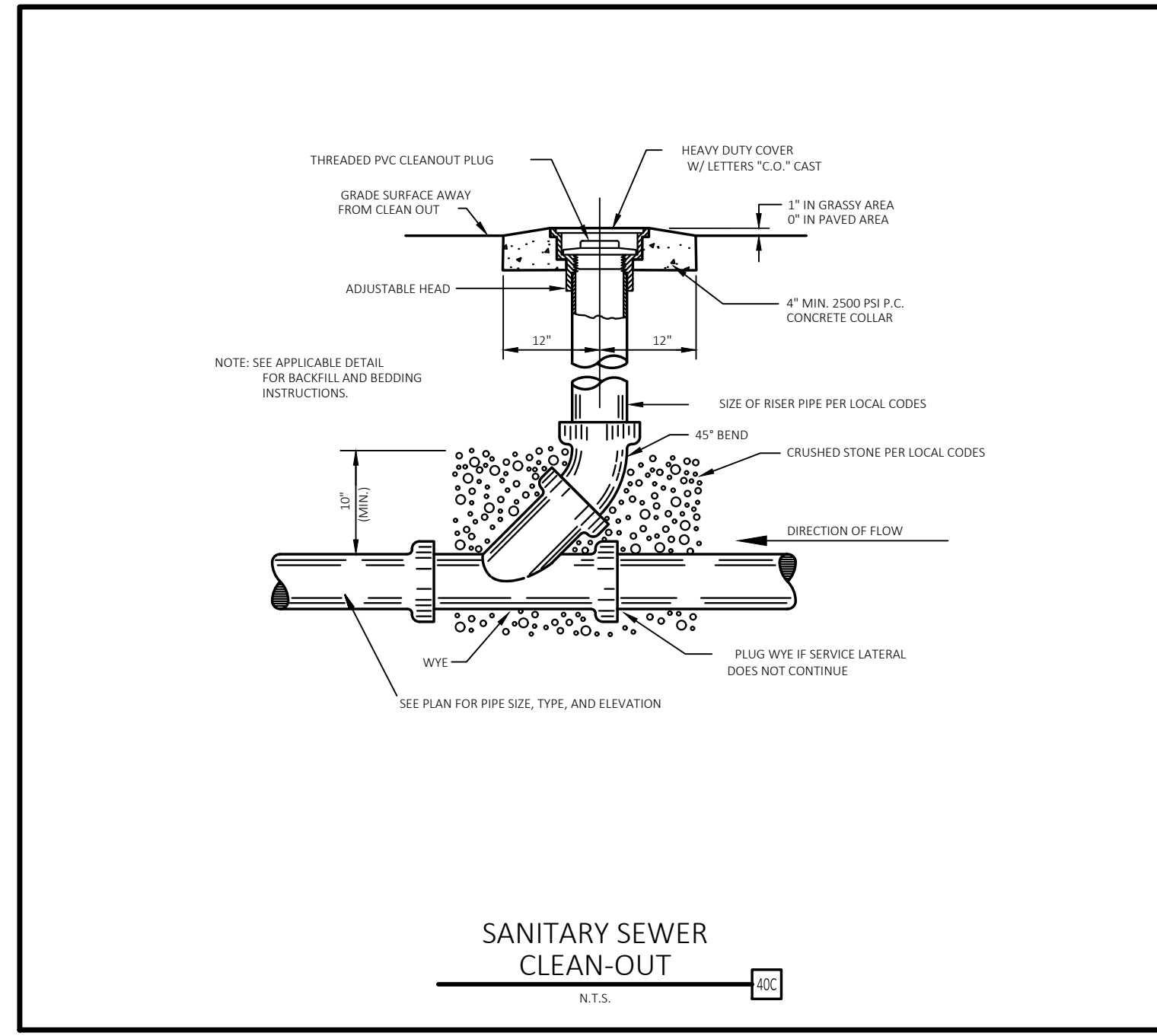
- PROPERTY LINE/RIGHT OF WAY LINE
- STORM DRAIN
- X" G — GAS SERVICE
- X" SS — SANITARY SEWER SERVICE
- UGE — UNDERGROUND ELECTRIC SERVICE
- UGT — UNDERGROUND TELEPHONE SERVICE
- X" W — WATER SERVICE
- FDC — FIRE DEPARTMENT CONNECTION
- — FIRE HYDRANT

**UTILITY NOTES**

- 22A POINT OF CONNECTION - WATER SERVICE PER LOCAL CODE STANDARDS.
- 22B M.I. TEE WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
- 22C 90° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
- 22H 45° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
- 22I 22.5° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
- 22K SPRINKLER ENTRY PER ARCH. PLANS
- 22L METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
- 22M INTERNAL WATER METER (PER LOCAL CODES AND SPECIFICATION) (REF ARCH PLANS).
- 23A POINT OF CONNECTION FOR SANITARY SEWER
- 23D BUILDING SANITARY SEWER SERVICE CLEAN-OUT
- 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
- 23F ADJUST RIM TO MATCH FINISH GRADE.
- 23K SANITARY SEWER SERVICE WYE (PER LOCAL CODES).
- 24D PROPOSED ELECTRIC TRANSFORMER.
- 27A POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENT).
- 29A MAINTAIN MINIMUM 18" VERTICAL SEPARATION.
- 31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
- 76A UNDERGROUND ELECTRICAL SERVICE ENTRY (PER ARCH PLANS) (REF ELECTRICAL SCHEMATIC PLANS FOR ELECTRIC SERVICE CONSTRUCTION INFORMATION).
- 76B UNDERGROUND TELEPHONE SERVICE ENTRY (PER ARCH PLANS) (REF TELEPHONE CO. SCHEMATIC PLANS FOR TELEPHONE SERVICE CONSTRUCTION INFORMATION).
- 76C INTERNAL FIRE SPRINKLER RISER WITH WALL MOUNT FIRE DEPARTMENT CONNECTION (FDC). REF MECHANICAL PLANS.
- 76D FIRE HYDRANT WITH BOLLARDS PER TOWN OF PARKER STANDARD DETAILS.
- 76E REDUCER
- 76F 45° BEND
- 76G 11.25° BEND
- 76H REDUCING TEE
- 76I RECLAIM SYSTEM (REF PLUMBING PLANS)
- 76K SAND/OIL SEPARATOR (REF PLUMBING PLAN)
- 76L WASTEWATER SAMPLE PORT (REF PLUMBING PLANS)
- 76M REF PLUMBING PLANS FOR CONTINUATION.
- 76N GAS SERVICE ENTRY (PER ARCH. PLANS).

**UTILITY DETAILS**

- 40C CLEAN OUT (REF SHEET THIS SHEET)
- 76A PRECAST MANHOLE FLAT TOP W/ECCENTRIC OPENING PER TOWN OF PARKER DETAIL W3.2 (REF SHEET C7.4 - UTILITY DETAILS)
- 76B PRECAST MANHOLE BASE AND CHANNELIZATION PER TOWN OF PARKER DETAIL W3.4 & W3.7 (REF SHEET C7.4 - UTILITY DETAILS)
- 76C 24 INCH DIAMETER RING AND COVER PER TOWN OF PARKER DETAIL W3.9 (REF SHEET C7.4 - UTILITY DETAILS)
- 76D OUTSIDE SETTING FOR 1-1/2 & 2" METER FOR IRRIGATION PER TOWN OF PARKER DETAIL W5.12 (REF SHEET C7.5 - UTILITY DETAILS)
- 76E REDUCED PRESSURE BACKFLOW (REF SHEET C7.5 - UTILITY DETAILS)



ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

(NOTE-UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

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PLANS PREPARED FOR  
QUICK N CLEAN  
7291 E. ADOBE DRIVE, SUITE 115  
SCOTTSDALE, AZ 85255  
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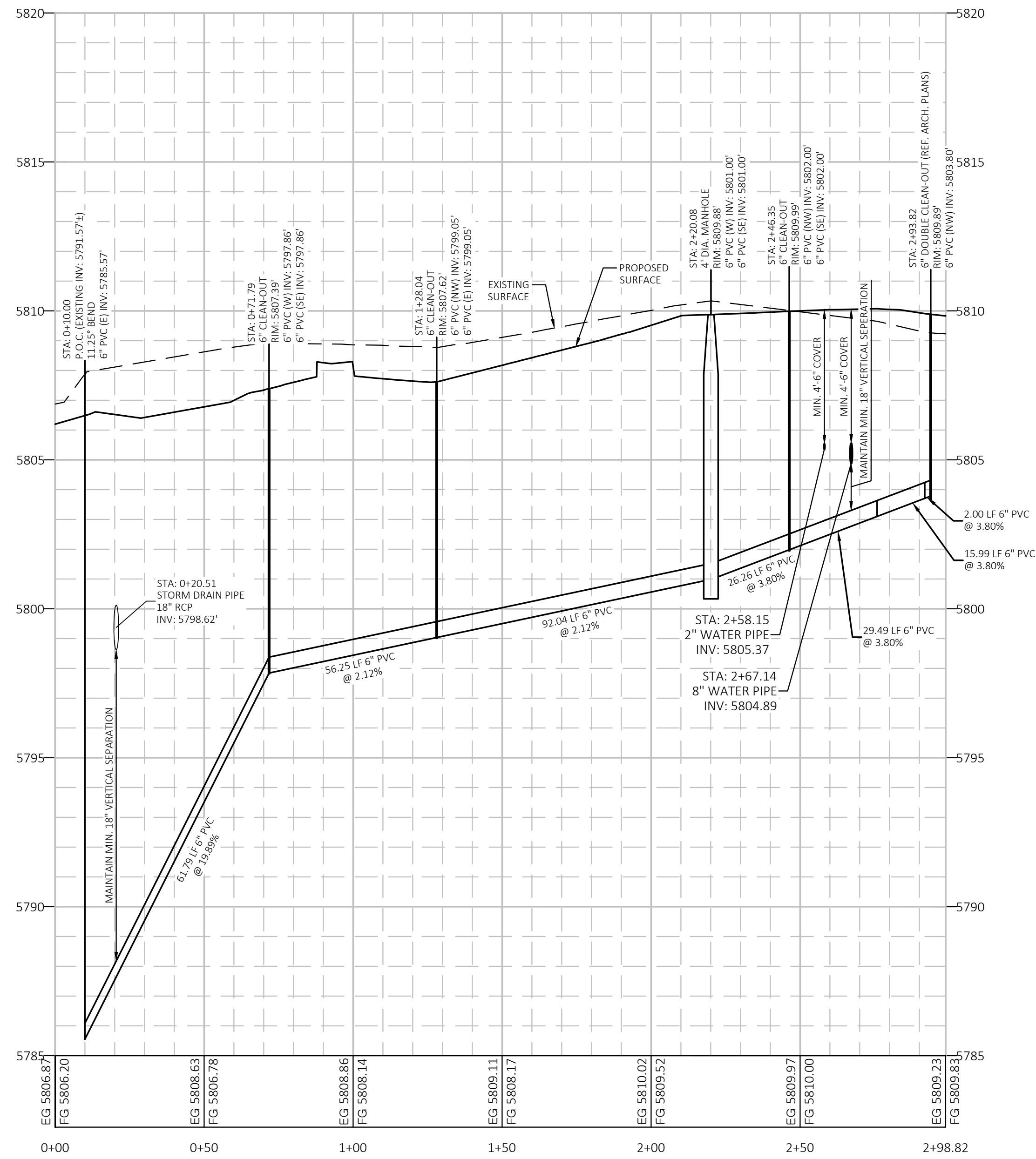


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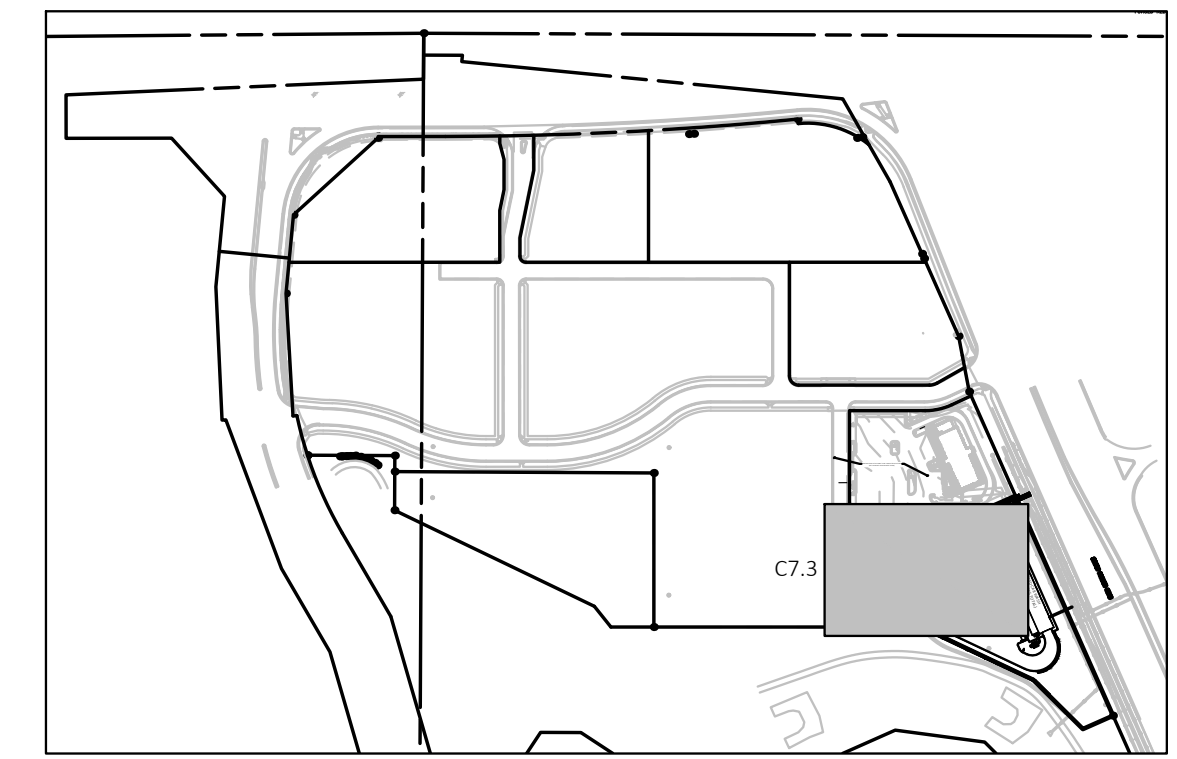
OVERALL UTILITY PLAN  
SHEET TITLE  
SHEET NUMBER

C7.2

Alignment - Sanitary Sewer - A PROFILE  
 VERTICAL SCALE: 1"=3'  
 HORIZONTAL SCALE: 1"=30'



Know what's below.  
 Call before you dig.



KEY MAP  
 NOT TO SCALE

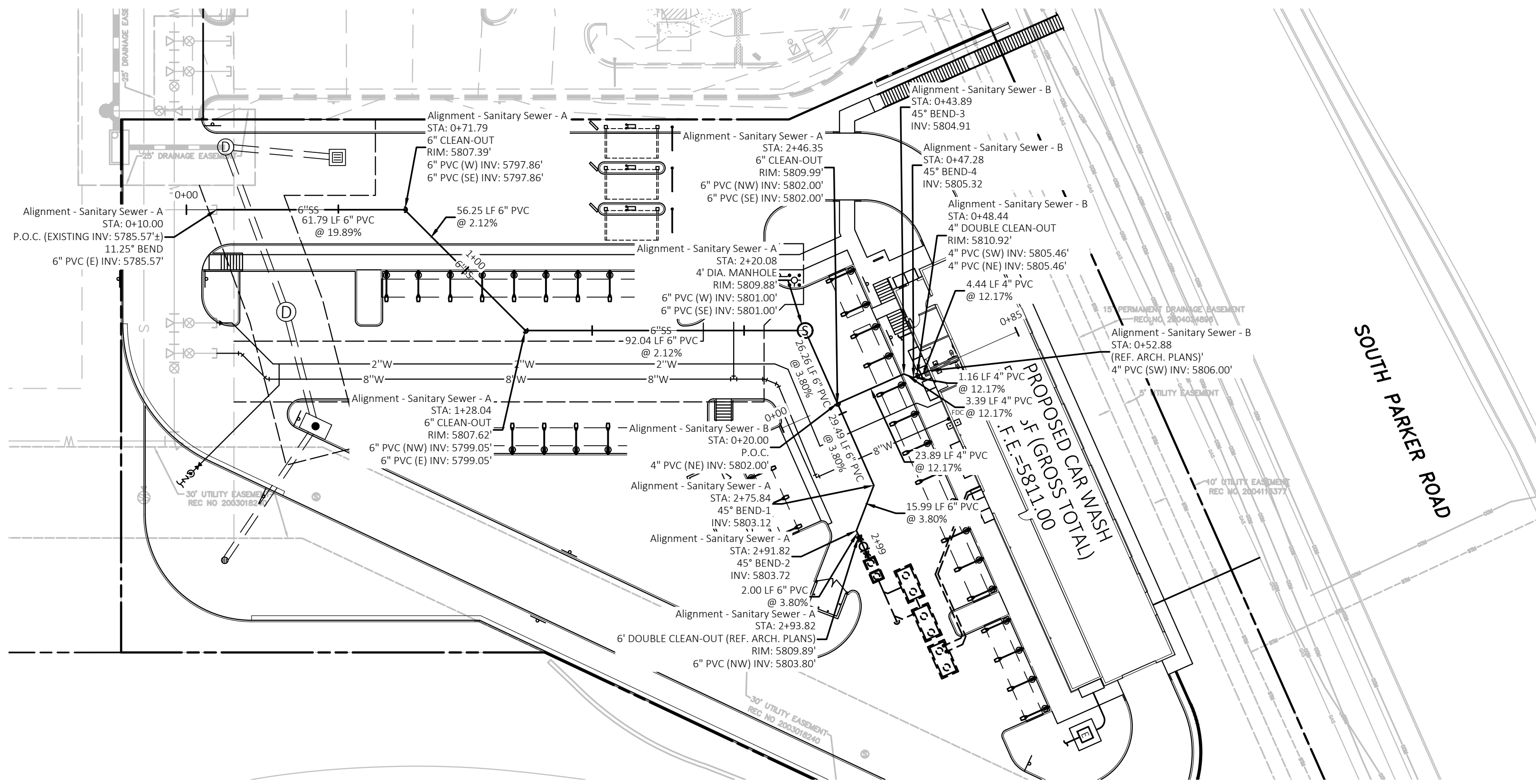
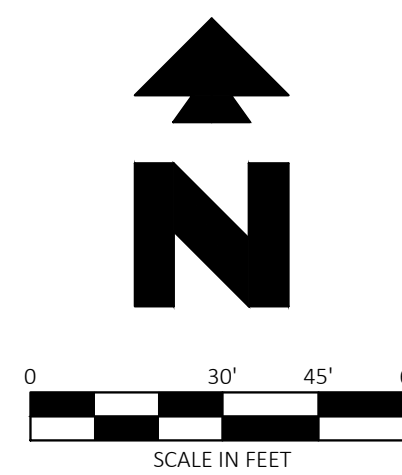
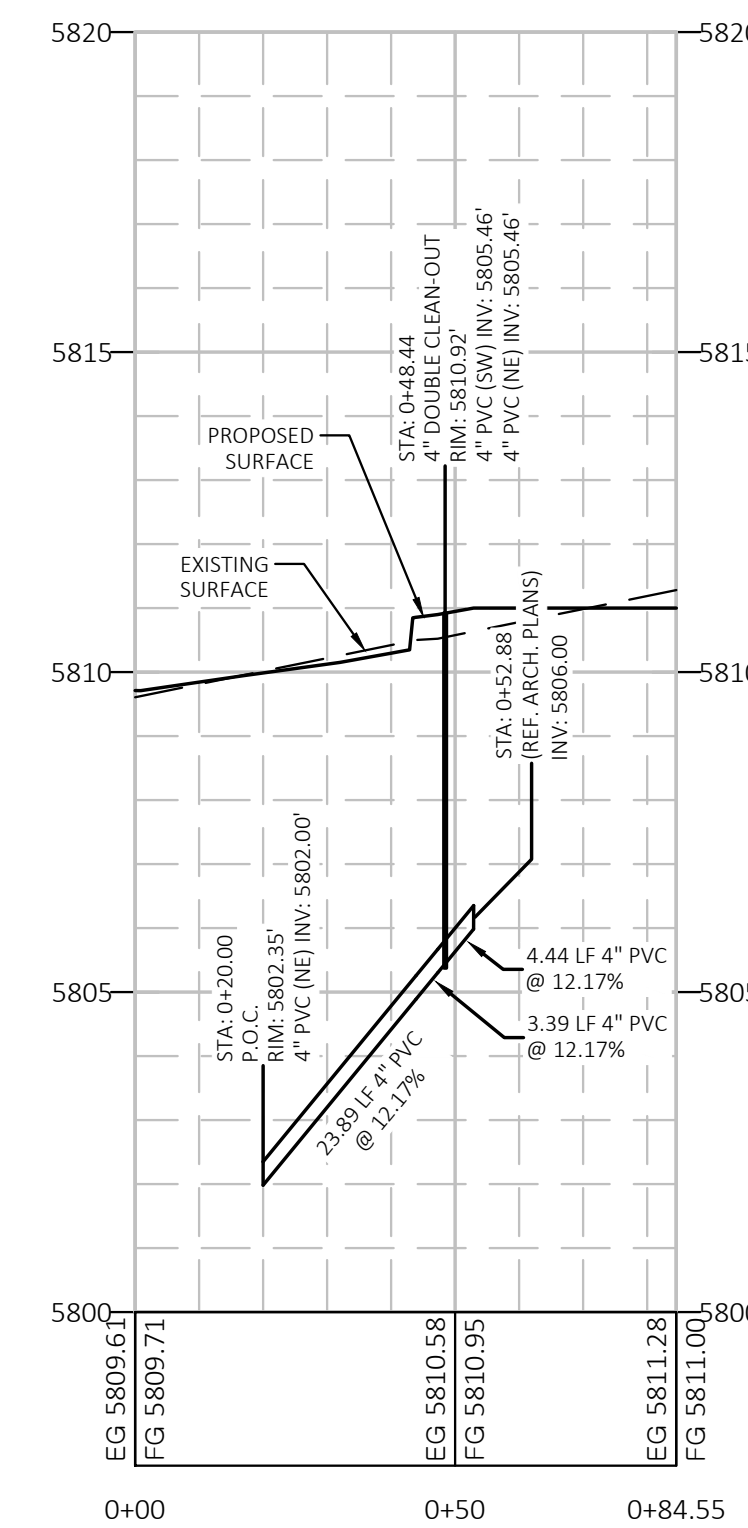
EXISTING LEGEND:

- PROPERTY LINE/RIGHT OF WAY LINE
- ⊙ COMMUNICATIONS MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- GAS - UNDERGROUND GAS LINES
- COMM - UNDERGROUND COMMUNICATIONS LINES
- STM - UNDERGROUND STORM SEWER LINES

PROPOSED

- STORM DRAIN
- X"SS SANITARY SEWER SERVICE
- X"W WATER SERVICE

Alignment - Sanitary Sewer - B PROFILE  
 VERTICAL SCALE: 1"=3'  
 HORIZONTAL SCALE: 1"=30'



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PLANS PREPARED FOR  
 QUICK N CLEAN  
 7291 E. ADOBE DRIVE, SUITE 115  
 SCOTTSDALE, AZ 85255  
 PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

QUICK N CLEAN  
 PARKER RD. & PINE LANE AVE.  
 PARKER, COLORADO  
 CONSTRUCTION DOCUMENTS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	2/7/2022
REVISION	REV-2

SANITARY SEWER  
 PLAN AND PROFILE  
 SHEET TITLE  
 SHEET NUMBER

C7.3

DRAWING LOCATION: P:\31000\31672\DRAWINGS\DESIGN\WORKING\31672-DUP.DWG - SAVED BY: MACALDERON



**TABLE IV**  
MIN. DEPTH OF BEDDING MAT'L. BELOW BOTTOM OF PIPE

PIPE SIZE - Ø	B <sub>1</sub>	B <sub>2</sub>
10" & SMALLER	8"	8"
21" TO 36"	6"	6"
42" TO 60"	6"	6"
66" TO 96"	9"	9"
104" & LARGER	12"	12"

**GENERAL NOTES:**  
G-1 THESE DETAILS ARE TYPICAL FOR NORMAL TRENCH CONDITIONS. FOR INSTALLATIONS OTHER THAN THESE (SUCH AS EXHIBITION OR TUNNEL INSTALLATIONS, ETC.) EXCAVATION, BEDDING AND BACKFILL REQUIREMENTS SHALL BE DETAILED ON THE CONSTRUCTION DRAWINGS. FOR UNUSUAL OR UNSTABLE SOIL CONDITIONS, TRENCH AND BEDDING DETAILS SHALL BE A SPECIAL DESIGN.

**PARKER WATER & SANITATION DISTRICT**  
TRENCHING AND BEDDING CLASS "B"

SCALE: NONE DATE: 2/98  
APPROVED: PVR 5/98 2/00 7/16 10/16  
DIRECTOR OF ENGINEERING SHEET 54.5

**INSPECTION POLICY:**

- ALL SERVICE INSPECTIONS MUST BE SCHEDULED AT LEAST 24 HOURS IN ADVANCE OF THE REQUESTED INSPECTION.
- SERVICE INSPECTIONS WILL OCCUR BETWEEN 1:00 P.M. AND 3:00 P.M. SPECIFIC INSPECTION TIMES ARE NOT AVAILABLE.
- IF THE CONTRACTOR IS NOT READY FOR INSPECTION WHEN THE INSPECTOR ARRIVES AT THE SITE OR SERVICE FAILS, A RE-INSPECTION WILL HAVE TO BE SCHEDULED IN ACCORDANCE WITH NOTES 1 AND 2 ABOVE AND A RE-INSPECTION FEE CHARGED.
- SHOULD THE SERVICE LINES BE DAMAGED BY LATER CONSTRUCTION, AN INSPECTION OF THE REPAIR WILL BE REQUIRED IN ACCORDANCE WITH NOTES 1 AND 2 ABOVE.
- THE CONTRACTOR SHALL LEAVE ALL PIPE AND FITTINGS EXPOSED FOR THE INSPECTOR TO OBSERVE. INSPECTORS WILL NOT ENTER ANY EXCAVATIONS TO CHECK MATERIALS. THE TOP LAYER OF BEDDING CAN BE ADDED AFTER THE INSPECTION HAS BEEN COMPLETED.
- ALL EXCAVATIONS SHALL BE IN ACCORDANCE WITH OSHA STANDARDS.
- LOTS WITHOUT BUILDING ADDRESSES BEFORE DISTRICT INSPECTION OR METER SET WILL FAIL AUTOMATICALLY.
- CONTRACTOR MUST BE PRESENT AT TIME OF INSPECTION, UNLESS COORDINATED WITH DISTRICT INSPECTOR.

**INSTALLATION NOTES:**

**WATER**

- ACCEPTABLE PIPE MATERIALS SHALL BE K-COPPER TUBING. (3/4" MIN.)
- APPROVED BEDDING TO BE SQUEEGEE.
- ONLY ONE COUPLING WILL BE ALLOWED BETWEEN THE STUB-IN AND BUILDING. COMPRESSION COUPLINGS WILL NOT BE ALLOWED ON NEW CONSTRUCTION. SILVER SOLDERED JOINTS MUST BE USED ON SERVICES LARGER THAN 3/4". SILVER SOLDERED JOINTS MUST BE INSPECTED BY PWSD PRIOR TO BURIAL. FLARED COUPLINGS WILL BE ALLOWED ON ALL SERVICES 3/4" AND SMALLER.
- A WATER SERVICE WHICH CROSSES A SEWER SERVICE CAN DO SO ONLY AT A 45-90° ANGLE. WATER SERVICES SHALL BE LOCATED A MINIMUM OF 18" ABOVE SEWER SERVICE.
- WATER SERVICE FOUNDATION PENETRATIONS SHALL BE WATERPROOFED USING MASTIC OR OTHER APPROVED METHOD. CRAWL SPACE REQUIRES CONTINUOUS COPPER WITH A 1" BURY.
- CURB STOP MUST BE PLUMB AND CENTERED OVER THE NUT. IT SHOULD BE STRAPPED TO THE METER PIT (RESIDENTIAL INSTALLATIONS) OR CENTERED OVER THE EASEMENT LINE (COMMERCIAL INSTALLATIONS). THE ASSEMBLY MUST BE AT OR SLIGHTLY ABOVE FINISHED GRADE.
- MOVED CURB BOXES MUST BE INSPECTED BY PWSD PRIOR TO BURIAL.
- WATERLINE MUST BE ATTACHED TO A SUPPORT BOARD THAT IS MOUNTED TO THE WALL.
- NO VOIDS ALLOWED UNDER WATERLINES FROM STOP BOX TO FOUNDATION.
- CURBSTOP BOXES AND METER PITS CANNOT BE IN DRIVEWAYS.
- ONLY 3/4" (JUMPER) PIPES ARE ALLOWED. (JUMPER) PIPES WILL BE REMOVED PRIOR TO METER SET DATE.
- ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS:  
 \*W FOR SANITARY SEWER SERVICE  
 \*V FOR WATER SERVICES
- NO SPLICES OR FLARED COUPLINGS ALLOWED ON SERVICES LARGER THAN 3/4". SILVER SOLDERED JOINTS MUST BE INSPECTED BY PWSD PRIOR TO BURIAL. FLARED COUPLINGS WILL BE ALLOWED ON ALL SERVICES 3/4" AND SMALLER.

**PARKER WATER & SANITATION DISTRICT**  
DISTRICT POLICIES & INSTALLATION NOTES FOR WATER SERVICES

SCALE: NONE DATE: 2/98  
APPROVED: PVR 1/04 1/16 10/16  
DIRECTOR OF ENGINEERING SHEET W1.1

**MINIMUM BEARING SURFACE AREA (IN SQUARE FEET)**

SIZE OF PIPE	BENDS				TEE OR DEAD END
	11-1/4"	22-1/2"	45"	90"	
4"	1.00	1.00	1.00	1.80	1.50
6"	1.00	1.25	2.25	4.00	3.00
8"	1.00	2.00	4.00	7.50	5.25
12"	2.00	4.25	8.25	15.25	11.00
16"	3.50	6.50	12.50	23.00	18.50
20"	5.00	10.00	19.50	35.50	27.50
24"	6.50	13.00	26.00	47.00	33.00

**PARKER WATER & SANITATION DISTRICT**  
CONCRETE KICKBLOCKS BEARING SURFACES AND INSTALLATION

SCALE: NONE DATE: 2/98  
APPROVED: PVR 4/01 1/16 10/16  
DIRECTOR OF ENGINEERING SHEET W3.16

**STANDARD TRENCH SECTION**

**STREET CUT PATCH**

**PARKER WATER & SANITATION DISTRICT**  
TYPICAL TRENCH SECTION PIPE PROTECTION

SCALE: NONE DATE: 2/98  
APPROVED: PVR 1/16 10/16  
DIRECTOR OF ENGINEERING SHEET W4.1

**PARKER WATER & SANITATION DISTRICT**  
METER SETTING FOR 1 1/2" & 2" METER FOR IRRIGATION

SCALE: NONE DATE: 2/98  
APPROVED: PVR 1/04 06/05 1/16 10/16  
DIRECTOR OF ENGINEERING SHEET W5.12

**PARKER WATER & SANITATION DISTRICT**  
REDUCED PRESSURE BACKFLOW

SCALE: NONE DATE: 2/98  
APPROVED: PVR 2004 06/05 1/16 10/16  
DIRECTOR OF ENGINEERING SHEET W6.1



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PARKER, COLORADO  
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PROFESSIONAL OF RECORD	TAB
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CEI PROJECT NUMBER	31672
DATE	2/2/2022
REVISION	REV-2

UTILITY DETAILS  
SHEET TITLE  
SHEET NUMBER

C7.5

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