



Know what's below.
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SITE PLANS

QUICK N CLEAN

9572 TWENTY MILE ROAD

PARKER, COLORADO

A PORTION OF THE 1/4 OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF 6TH P.M.
COUNTY OF DOUGLAS, STATE OF COLORADO



Vicinity Map

1"=2,000'

LEGAL DESCRIPTION
(PER THE TITLE COMMITMENT)
LOT 4, PARKER AND FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO.
BENCHMARK
DOUGLAS CONTROL MONUMENT #1.095035, A 3 1/4" ALUMINUM CAP, ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY
BASIS OF BEARINGS
THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.
FLOOD ZONE INFORMATION
SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. MAP NUMBER: 08035C0067G EFFECTIVE DATE: MARCH 16, 2016
EXISTING LEGEND
----- PROPERTY LINE/RIGHT OF WAY LINE C COMMUNICATIONS MANHOLE S SANITARY SEWER MANHOLE D STORM SEWER MANHOLE --- GAS --- UNDERGROUND GAS LINES --- COM --- UNDERGROUND COMMUNICATIONS LINES --- STM --- UNDERGROUND STORM SEWER LINES
DEVELOPMENT PLAN NOTES

1. LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTIES SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
2. TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.
3. SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
4. SIGNAGE NOTE: APPROVAL OF A SEPARATE SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
5. DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.
6. AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
7. CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDING PLANS.
8. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
9. UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

RESOURCE LIST

APPLICANT 3K1 CONSULTING SERVICES, LLC 11811 N. TATUM BOULEVARD PHOENIX, AZ 85028 PH: (602) 850-8081	<u>TOWN OF PARKER PLAN REVIEW</u> 20120 E. MAIN STREET PARKER, CO 80138 CHIP KERHOVE PH: (70) 989-2244 RANDY CAPRA
OWNER QUICK N CLEAN 7291 E. ADOBE DRIVE, SUITE 115 SCOTTSDALE, AZ 85255 PH: (480) 707-3531	<u>TOWN OF PARKER ENGINEERING / PUBLIC WORKS</u> 20120 E. MAIN STREET PARKER, CO 80138-7335 TYLER SANDT PH: (303) 805-3182
OVERALL DEVELOPER EVT PARKER COLORADO, LLC 2710 E. CAMELBACK ROAD, SUITE 210 PHOENIX, AZ 85016 RYAN AMATO PH: (602) 468-6100	WATER & SEWER PARKER WATER AND SANITATION DISTRICT 18100 E. WOODMAN ROAD PARKER, CO 80134 DRAYTON SANDERSON/ ROBERT RAMSEY PH: (303) 841-4627
CIVIL ENGINEER CEI ENGINEERING ASSOC., INC. 710 PINEDALE AVE. FRESNO, CA JASON HATWIG, PROJECT MANAGER PH: (559) 447-3119	FIRE DEPARTMENT SOUTH METRO FIRE RESCUE AUTHORITY 9195 E. MINERAL AVE. CENTENNIAL, CO 80112 CHIP KERHOVE PH: (720) 989-2244
LANDSCAPE ARCHITECT CEI ENGINEERING ASSOC., INC. 3108 S.W. REGENCY PARKWAY, SUITE 2 BENTONVILLE, AR 72712 CHIP ASHLEY PH: (479) 273-9472	<u>ELECTRICAL</u> IREA 5496 US HWY 85 SEDALIA, CO 80135 PH: (303) 688-7431
ARCHITECT CHSOA 1777 S. BELLAIRE STREET, SUITE 100 DENVER, CO 80222 BILL STOW PH: (303) 962-9164	NATURAL GAS XCEL ENERGY 1800 LARIMER STREET DENVER, CO 80202 PH: (303) 571-7511
LAND SURVEYOR RUBINO SURVEYING 3312 AIRPORT ROAD BOULDER COLORADO 80301 PH: (303) 464-9515	

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AS4	DETAILS
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CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND SURVEYING • PLANNING
BENTONVILLE | DALLAS | FRESNO | HOUSTON | JACKSONVILLE | MINNEAPOLIS | PHILADELPHIA | PHOENIX

Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 05/05/2023

Planning Approval By: J. Fettiq



CEI ENGINEERING ASSOCIATES, INC.
710 W. PINEDALE AVE.
FRESNO, CA 93711
PHONE: (559) 447-3119
FAX: (559) 447-3129



CLIENT
3K1 CONSULTING SERVICES, LLC.
11811 N. TATUM BOULEVARD,
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101



PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

QUICK N CLEAN
9572 TWENTY MILE ROAD
PARKER, COLORADO

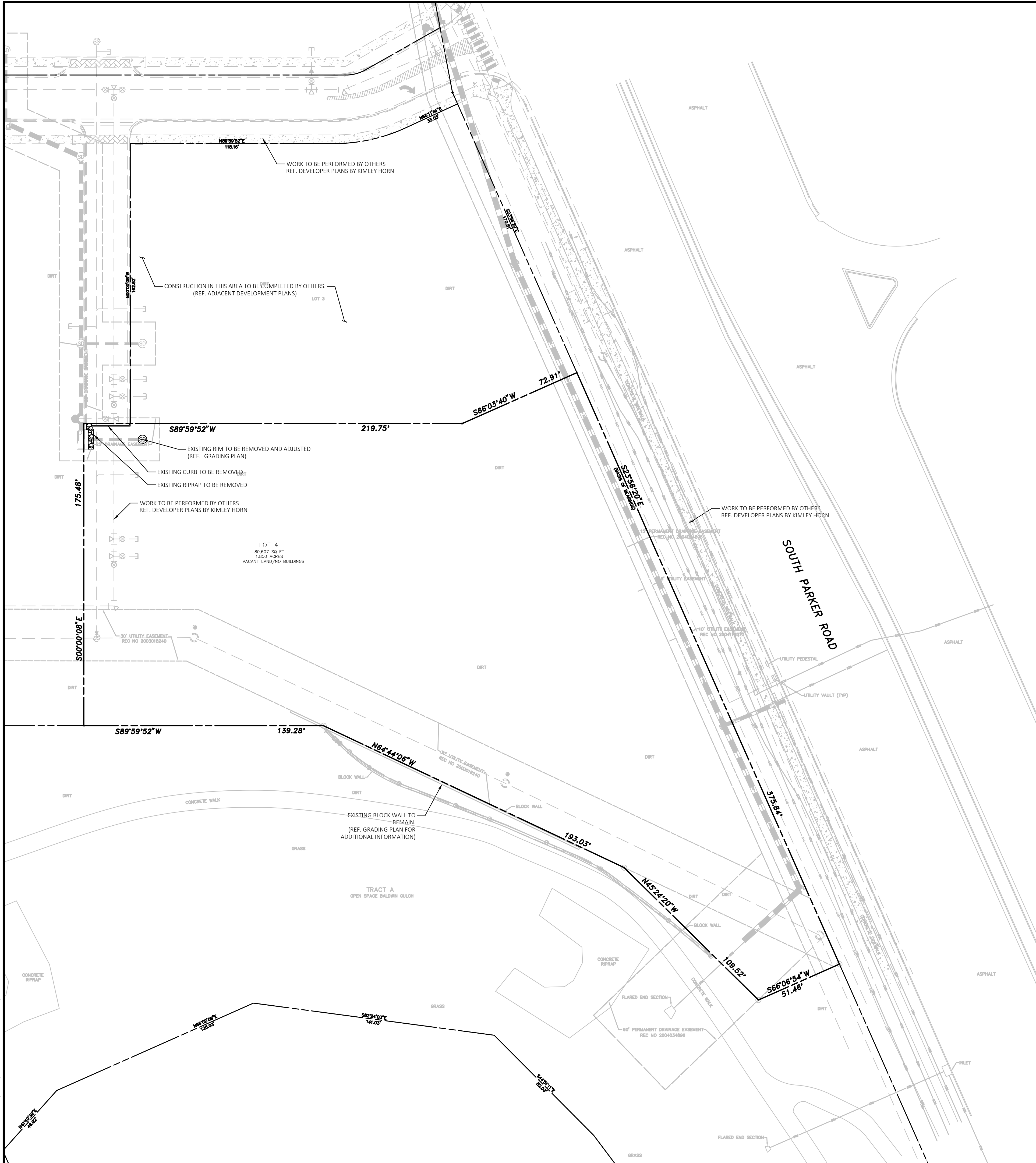


PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	3/23/2023
REVISION	REV-6

COVER SHEET

SHEET TITLE
SHEET NUMBER

01 OF 07



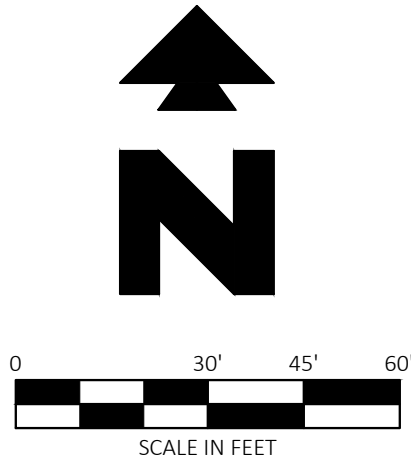
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BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3 1/2" ALUMINUM CAP.
ELEVATION = 5906.34 FEET (NAVD1988), AS PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARINGS

THE BEARINGS ARE BASED ON THE WEST ROW LINE OF SOUTH PARKER ROAD ASSUMED TO BEAR S23°56'20"E BETWEEN MONUMENTS FOUND AND DESCRIBED HEREON.

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.
MAP NUMBER: 08035C0067G
EFFECTIVE DATE: MARCH 16, 2016

EXISTING LEGEND:

- PROPERTY LINE/RIGHT OF WAY LINE
- COMMUNICATIONS MANHOLE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- GAS
- UNDERGROUND GAS LINES
- COM
- UNDERGROUND COMMUNICATIONS LINES
- STM
- UNDERGROUND STORM SEWER LINES



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QUICK N CLEAN
9572 TWENTY MILE ROAD
PARKER, COLORADO
PRELIMINARY SITE PLANS



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
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DATE	3/23/2023
REVISION	REV-6

EXISTING CONDITION
& DEMOLITION PLAN

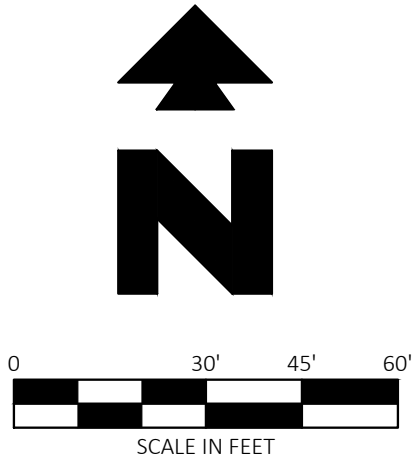
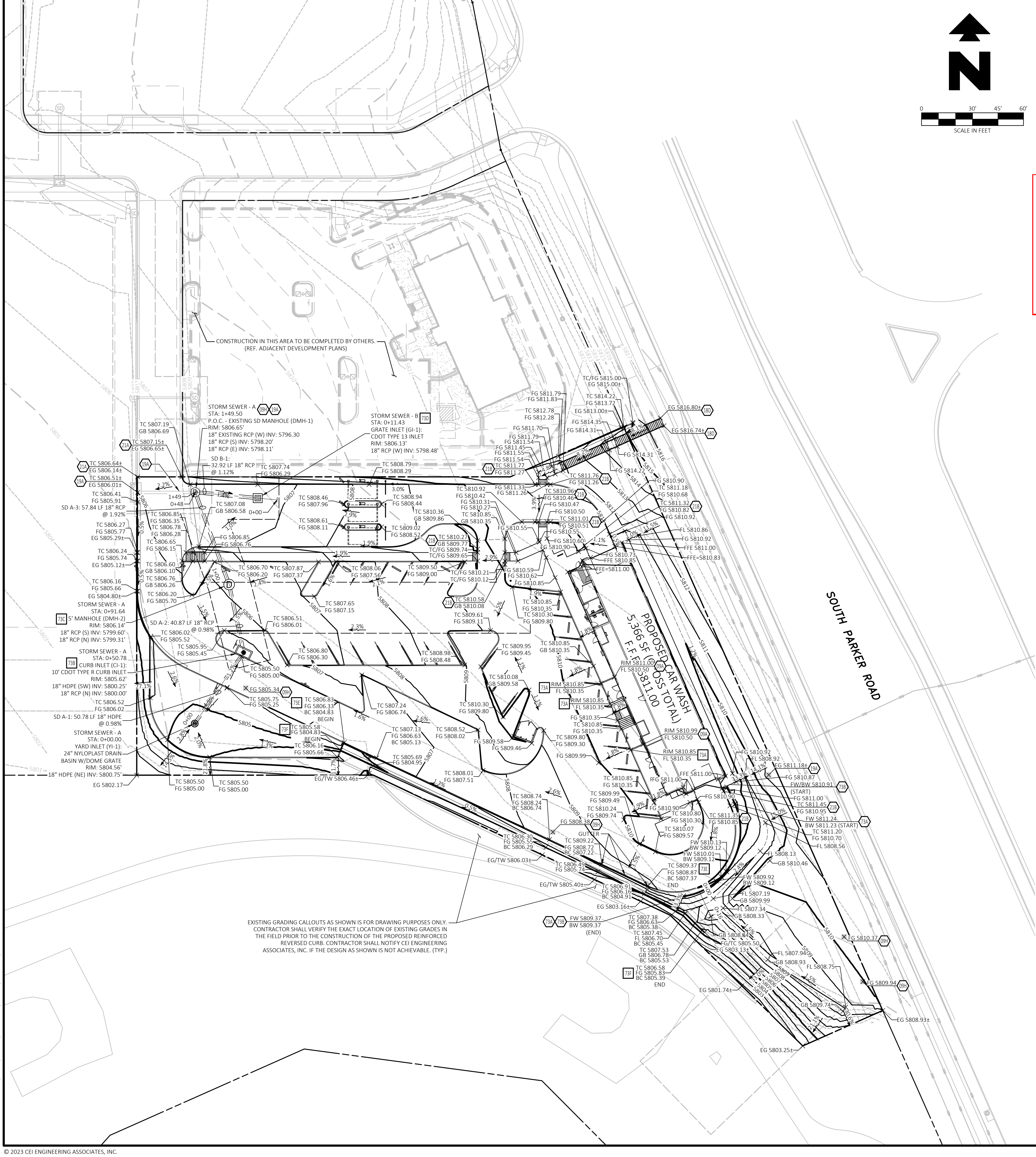
SHEET TITLE
SHEET NUMBER

02 OF 07



03 OF 07

DRAWING LOCATION: P:\310003\31672\0 DRAWING\DESIGN\WORKING\31672-EP.DWG, SAVED BY: MCALDERSON



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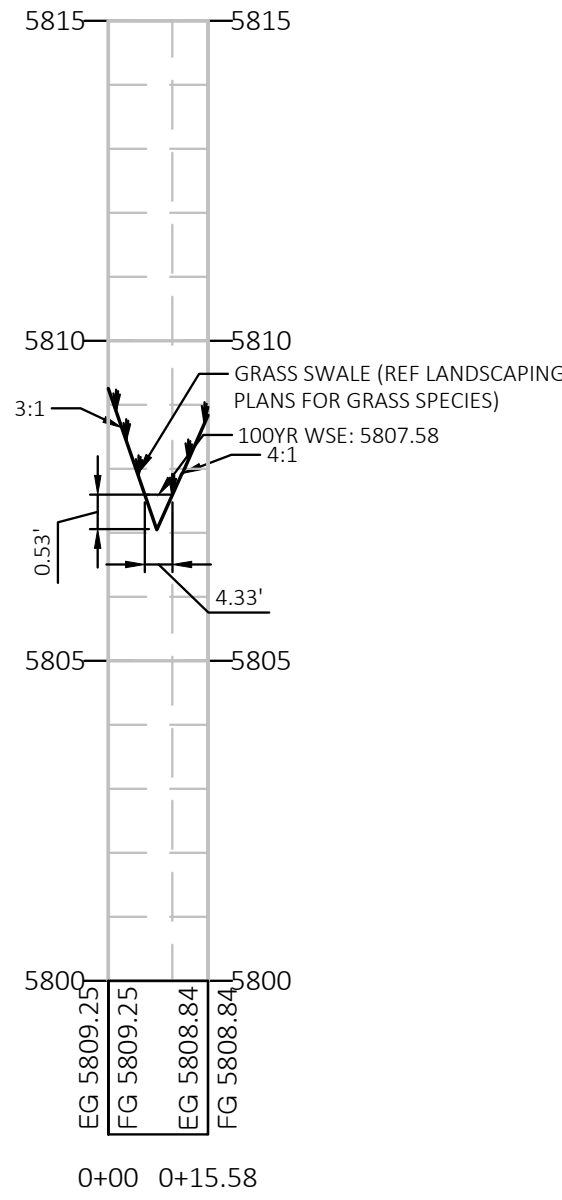


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LANDSCAPE SWALE CROSS SECTION PROFILE
VERTICAL SCALE: 1"=3'
HORIZONTAL SCALE: 1"=30'



EXISTING LEGEND:

- PROPERTY LINE/RIGHT OF WAY LINE
- COMMUNICATIONS MANHOLE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- UNDERGROUND GAS LINES
- UNDERGROUND COMMUNICATIONS LINES
- UNDERGROUND STORM SEWER LINES

PROPOSED

- GRADE BREAK
- CONTOUR ELEVATIONS
- STORM DRAIN
- SPOT ELEVATIONS:
BC = BOTTOM OF REINFORCED REVERSE CURB
EG = EXISTING GRADE
FTE = FINISH FLOOR ELEVATION
FG = FINISH GRADE
FL = FLOW LINE
FW = FRONT OF WALL
GB = GRADE BREAK
RIM = TOP OF STRUCTURE
TC = TOP OF CURB
TW=TOP OF WALL

GENERAL GRADING NOTES

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- CONTRACTOR HAS THE OPTION TO BID THE FOLLOWING MATERIAL FOR THE STORM SEWER SYSTEM EXCEPT WHERE OTHERWISE NOTED: RCP, OR HDPE AS INDICATED ON THIS PLAN WHERE THE WORD PIPE IS USED. ALL PIPES SHALL HAVE A MAXIMUM ROUGHNESS COEFFICIENT ("N") OF 0.013 AND SHALL MEET OR EXCEED THE PIPE MANUFACTURERS REQUIREMENTS FOR MINIMUM AND MAXIMUM COVER. CONTRACTOR SHALL REFER TO THE PROJECT CONTRACT REQUIREMENTS FOR STORM SEWER SYSTEMS FOR ACCEPTABLE TYPE AND MATERIAL.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS OF THE LOCAL AUTHORITIES:
ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A (REF. CONSTRUCTION PLAN SET).
ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

GRADING DETAILS (REF. CONSTRUCTION PLAN SET FOR DETAILS)

- 01P RAISED CURB AND GUTTER
- 73A 6" CURB CHASE DRAIN (NON-RESIDENTIAL) LAYOUT - PER PARKER COLORADO STANDARD DETAIL 29
- 73B 10" CDOT TYPE R CURB INLET W/ TOWN OF PARKER MANHOLE COVER
- 73C 5" CDOT MANHOLE W/TOWN OF PARKER MANHOLE COVER
- 73D CDOT TYPE 13 INLET
- 73E REINFORCED REVERSED CURB WITHOUT FOOTING
- 73F REINFORCED REVERSED CURB WITH FOOTING

GRADING NOTES

- 09A DOWN SPOUTS - (TYP. - PER ARCH. PLANS).
- 09H REMOVE TOP OF EXISTING DRAINAGE STRUCTURE AND ADJUST RIM TO ELEVATION TO MATCH FINISH GRADE. IF EXISTING STRUCTURE TOP IS A GRATE, REPLACE WITH TOWN OF PARKER MANHOLE COVER.
- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 19A EXISTING TO REMAIN.
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
- 73A RETAINING WALL (PER ARCH. PLANS).
- 73B FOUR (4) FOOT SCREEN WALL (PER ARCH. PLANS).
- 73C LANDSCAPE SWALE TERMINATION (REF SECTION VIEW THIS SHEET).
- 73D TRANSITION FROM 6" CURB AND GUTTER TO 12" RAISED CURB AND GUTTER

ADA STANDARD NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF PARKER DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3" ALUMINUM CAP.
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PHONE: (480) 707-3531

REVISION

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9572 TWENTY MILE ROAD
PARKER, COLORADO

SITE PLANS



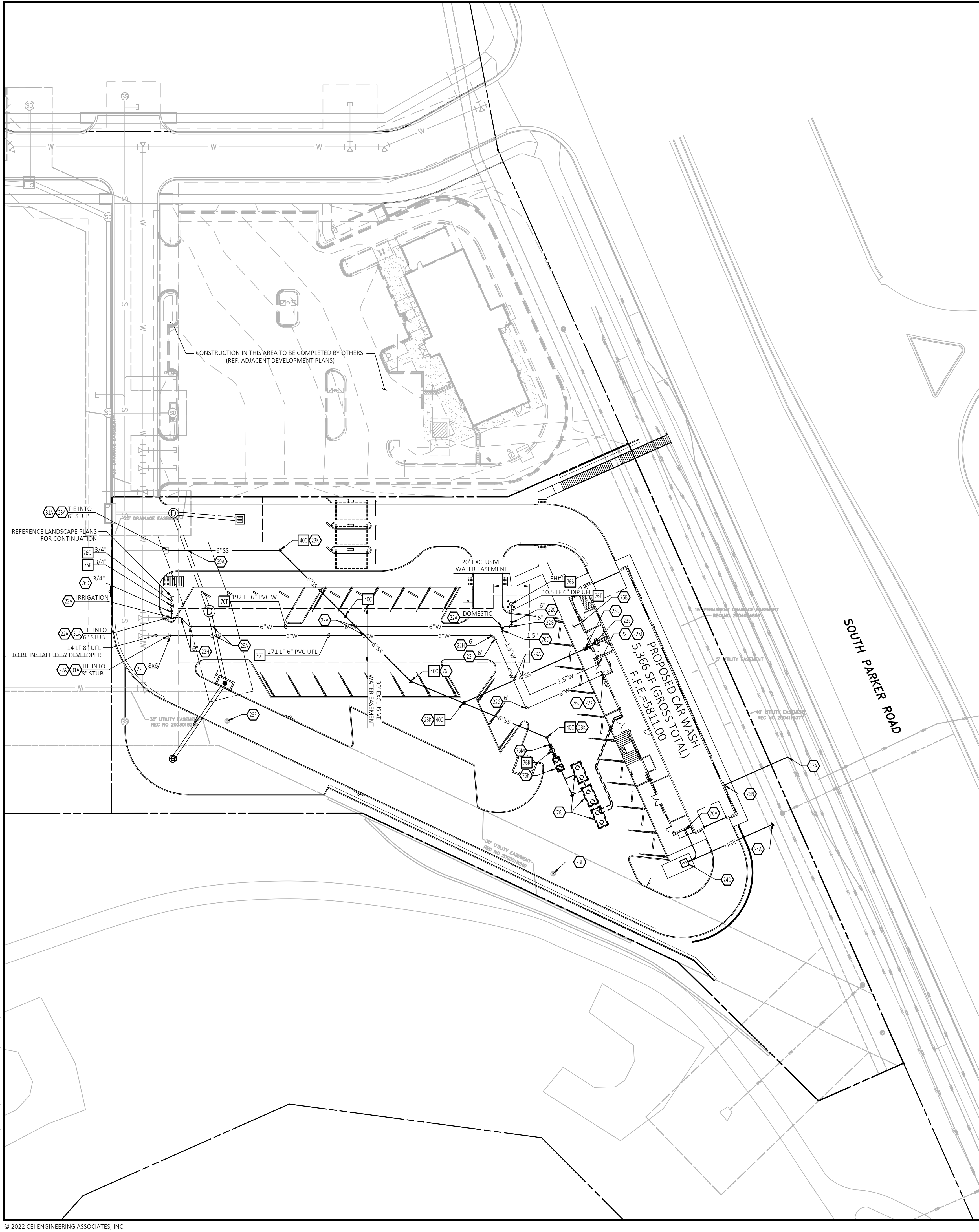
PROFESSIONAL OF RECORD	TAB
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DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	3/23/2023
REVISION	REV-6

GRADING PLAN

SHEET TITLE
SHEET NUMBER

04 OF 07

DRAWING LOCATION: P:\31000\31672\0\DRAWINGS\DESIGN\WORKING\31672-LUP.DWG, SAVED BY: MACLEDEON



LEGAL DESCRIPTION

REFERENCE 01 - COVER SHEET FOR LEGAL DESCRIPTION.

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3/4" ALUMINUM CAP.
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BASIS OF BEARINGS

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FLOOD ZONE INFORMATION

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MAP NUMBER: 08035C00076
EFFECTIVE DATE: MARCH 16, 2016

NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

GENERAL UTILITY NOTES

- A. ALL WATER LINES SHALL HAVE 4'-6" MIN. COVER.
- B. ALL SANITARY SEWER LINES 6" AND SMALLER SHALL BE PVC (SDR35) WITH 4'-6" MIN. COVER.
- C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- D. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- G. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE PROJECT CONTRACT REQUIREMENTS OR SPECIFICATIONS OF THE LOCAL AUTHORITIES:
REFERENCE DISTRICT POLICIES & INSTALLATION NOTES FOR WATER SERVICE DETAIL W1.1
ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER W3.18
ALL WATER LINE PIPE TRENCHING & BEDDING SHALL BE INSTALLED PER W4.1
ALL SANITARY SEWER PIPE TRENCHING & BEDDING SHALL BE INSTALLED PER S4.1-S4.5.
REFERENCE DISTRICT POLICIES & INSTALLATION NOTES FOR SEWER SERVICE DETAIL S1.1.
- H. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- I. CONTRACTOR SHALL MAINTAIN A MINIMUM COVER ON ALL WATERLINES.
- J. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- K. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- L. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- M. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- N. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- O. REFER TO ELECTRIC COMPANY PLANS FOR ELECTRIC SERVICE DESIGN.
- P. REFER TO TELEPHONE PLANS FOR TELEPHONE & DATA SERVICE DESIGN.



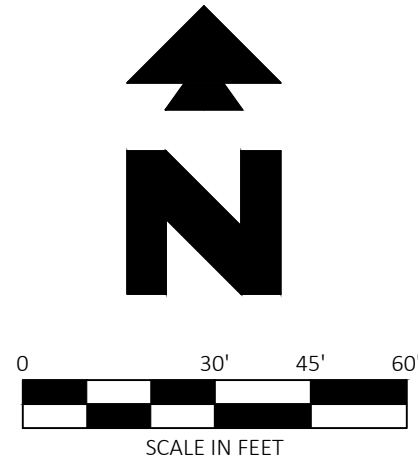
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EXISTING LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
⊙ COMMUNICATIONS MANHOLE
⊙ SANITARY SEWER MANHOLE
⊙ STORM SEWER MANHOLE
--- GAS --- UNDERGROUND GAS LINES
--- COM --- UNDERGROUND COMMUNICATIONS LINES
--- STM --- UNDERGROUND STORM SEWER LINES

PROPOSED LEGEND

- PROPERTY LINE/RIGHT OF WAY LINE
--- STORM DRAIN
--- X"G --- GAS SERVICE
--- X"SS --- SANITARY SEWER SERVICE
--- UGE --- UNDERGROUND ELECTRIC SERVICE
--- UGT --- UNDERGROUND TELEPHONE SERVICE
--- X"W --- WATER SERVICE
● FDC FIRE DEPARTMENT CONNECTION
○ FIRE HYDRANT

UTILITY NOTES

- 22A POINT OF CONNECTION - WATER SERVICE PER LOCAL CODE STANDARDS
22C M.J. GATE VALVE WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET)
22E M.J. REDUCER (SEE SIZES THIS SHEET)
22G 90° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
22H 45° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
22I 22.5° M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET)
22K SPRINKLER ENTRY PER ARCH. PLANS
22L METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET)
22M INTERNAL WATER METER (PER LOCAL CODES AND SPECIFICATION) (REF ARCH PLANS)
23A POINT OF CONNECTION FOR SANITARY SEWER
23D BUILDING SANITARY SEWER SERVICE CLEAN-OUT
23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS)
23F ADJUST RIM TO MATCH FINISH GRADE
23K SANITARY SEWER SERVICE WYE (PER LOCAL CODES)
24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS)
24D PROPOSED ELECTRIC TRANSFORMER
27A POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENT)
29A MAINTAIN MINIMUM 18" VERTICAL SEPARATION
31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
76A UNDERGROUND ELECTRICAL SERVICE ENTRY (PER ARCH PLANS) (REF ELECTRICAL SCHEMATIC PLANS FOR ELECTRIC SERVICE CONSTRUCTION INFORMATION)
76B UNDERGROUND TELEPHONE SERVICE ENTRY (PER ARCH PLANS) (REF TELEPHONE CO. SCHEMATIC PLANS FOR TELEPHONE SERVICE CONSTRUCTION INFORMATION)
76C INTERNAL FIRE SPRINKLER RISER WITH WALL MOUNT FIRE DEPARTMENT CONNECTION (FDC). REF MECHANICAL PLANS
76D CURB STOP VALVE REF TOWN OF PARKER DETAILS AND SPECIFICATIONS.
76F 22.5° BEND
76I RECLAIM SYSTEM (REF PLUMBING PLANS)
76K SAND/OIL SEPARATOR (REF PLUMBING PLAN)
76M REF PLUMBING PLANS FOR CONTINUATION
76N GAS SERVICE ENTRY (PER ARCH. PLANS)

UTILITY DETAILS (REF CONSTRUCTION DOCUMENTS FOR DETAILS)

- 40C SANITARY SEWER CLEAN OUT
76P OUTSIDE SETTING FOR 4" - 1" METER PER TOWN OF PARKER DETAIL W5.10
76Q REDUCED PRESSURE BACKFLOW PER TOWN OF PARKER DETAIL W6.1
76R SAMPLING MANHOLE PER TOWN OF PARKER DETAIL S5.3
76S FIRE HYDRANT PER TOWN OF PARKER DETAIL W2.5
76T LOCATOR WIRE PER TOWN OF PARKER DETAIL W2.6



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PLANS PREPARED FOR
QUICK N CLEAN
7291 E. ADOBE DRIVE, SUITE 115
SCOTTSDALE, AZ 85255
PHONE: (480) 707-3531

REVISION		
NO.	DESCRIPTION	DATE

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

QUICK N CLEAN
9572 TWENTY MILE ROAD
PARKER, COLORADO
PRELIMINARY SITE PLANS

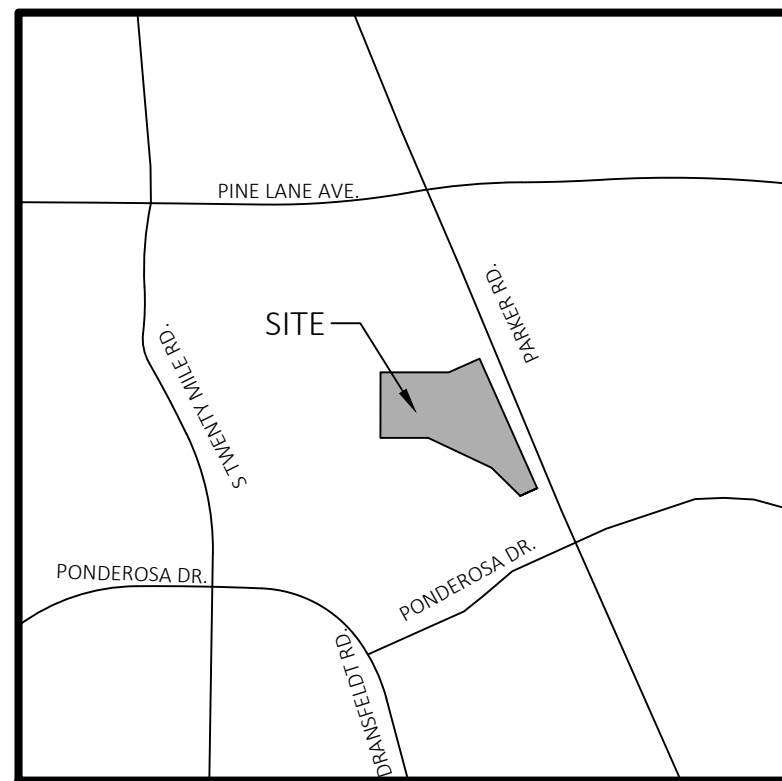


PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	ASD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	12/9/2022
REVISION	REV-6

UTILITY PLAN

SHEET TITLE
SHEET NUMBER

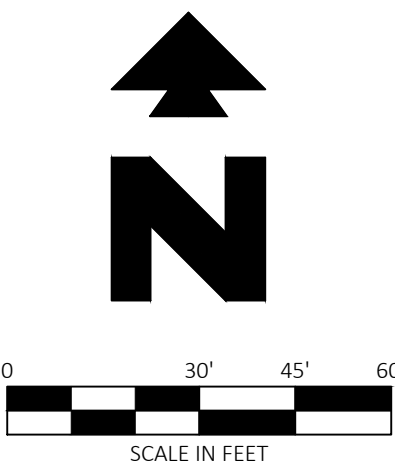
05 OF 07



Not to Scale



Know what's **below**.
Call before you dig.



PROPOSED LEGEND

	BOUNDARY LINE
	RIGHT OF WAY LINE
	STORM DRAIN
	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

PROPOSED LEGEND

50A TREE PLANTING DETAIL
50B SHRUB PLANTING DETAIL
50Q STEEL EDGING DETAIL

LANDSCAPE REQUIREMENTS

AREA	REQUIREMENT	REQUIRED	PROVIDED
	A MIN OF 15% OF THE TOTAL DEVELOPED AREA SHALL BE DEDICATED TO LANDSCAPE	80,607 x 15% = 12,091 SF OF LANDSCAPE AREA REQUIRED	38,246 SF PROVIDED
LANDSCAPE AREA	1 TREE AND 5 SHRUBS SHALL BE PLANTED PER 1,500 SF OF LANDSCAPED LOT AREA 25% - 50% OF REQUIRED TREES SHALL BE EVERGREEN	12,091 / 1,500 = 8 TREES AND 40 SHRUBS REQUIRED 2 - 4 TREES SHALL BE EVERGREEN	8 TREES AND 40 SHRUBS PROVIDED 10 EVERGREEN TREES PROVIDED
PARKING LOT PERIMETER	A MIN 10' BUFFER SHALL BE PROVIDED ADJACENT TO ROADWAYS, RESIDENTIAL USES, NONCOMPATIBLE USES OR OPEN SPACE	REQUIRED	PROVIDED
	AN AREA EQUAL TO 10% OF THE TOTAL PARKING AREA SHALL BE DEDICATED TO LANDSCAPE	45,364 SF x 10 = 4,536 SF OF LANDSCAPE AREA REQUIRED	5,648 SF PROVIDED
PARKING LOT INTERIOR LANDSCAPE	1 TREE SHALL AND 5 SHRUBS SHALL BE PLANTED PER LANDSCAPE ISLAND 1 ADDITIONAL SHRUB SHALL BE PLANTED FOR EACH ADDITIONAL 15 SF ABOVE 162 SF IN EACH LANDSCAPE ISLAND	6 TREES AND 30 SHRUBS REQUIRED	8 TREES AND 30 SHRUBS PROVIDED
SITE PERIMETER LANDSCAPE	1 TREE AND 5 SHRUBS SHALL BE PLANTED PER 40 LF OF SITE PERIMETER	665 LF OF PERIMETER / 40 = 17 TREES AND 84 SHRUBS REQUIRED	17 TREES AND 84 SHRUBS PROVIDED
			33 TREES PROVIDED
TOTAL NUMBER OF TREES AND SHRUBS PROVIDED			539 SHRUBS PROVIDED

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TREE SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	MATURE HT.	CAL.
	4	BETULA OCCIDENTALIS / WATER BIRCH MULTI-TRUNK	B & B	50A		40'	2.50" CAL.
	8	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER LOCUST WRAP TRUNK	B & B	50A		50'	2.50" CAL.
	7	PICEA PUNGENS / COLORADO SPRUCE	B & B	50A	6'-8' MIN	50'	
	3	PINUS EDULIS / PINON PINE	B & B	50A	6'-8' MIN	25'	
	11	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	B & B	50A		50'	2.50" CAL.

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SHRUB SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	MATURE HT.
	25	BUDDLEJA DAVIDII 'BLACK KNIGHT' / BLACK KNIGHT BUTTERFLY BUSH	5 GAL	50B	6'
	85	CORNUS SERICEA 'ARCTIC FIRE' / ARCTIC FIRE DOGWOOD	5 GAL	50B	4'
	25	FORESTIERA NEOMEXICANA 'HAPPY BOY' / HAPPY BOY NEW MEXICO PRIVET	5 GAL	50B	12'
	147	JUNIPERUS CHINENSIS 'ARMSTRONGII' / ARMSTRONG JUNIPER	5 GAL	50B	4'
	106	JUNIPERUS HORIZONTALIS 'ANDORRA' / ANDORRA JUNIPER	5 GAL	50B	2'
	20	JUNIPERUS VIRGINIANA 'GREY OWL' / GREY OWL EASTERN REDCEDAR	5 GAL	50B	3'
	3	PEROVSKIA ABROTANOIDES / RUSSIAN SAGE	5 GAL	50B	4'
	203	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	50B	2'
	14	RUDBECKIA FULGIDA 'GOLDSTURM' / GOLDSTURM CONEFLOWER	5 GAL	50B	3'

LANDSCAPE MATERIALS LEGEND

GROUND COVERS	QTY	NAME	TYPE
	+/- 13,887 SF	4" DEPTH 2" - 3" WASHED GRANITE ROCK MULCH COLOR: BROWN/TAN	
	+/- 14,801 SF	3"- 6" RIVER ROCK COBBLE (4"- 6" DEPTH) COLOR: BROWN/TAN	
	+/- 12,297 SF	SEED MIX OF 40% CREATED WHEATGRASS, 40% PERENNIAL RYEGRASS, 10% SWITCHGRASS, 5% BLUE GRAMA (COATED), AND 5% SIDEOTS GRAMA @ 3 LBS PER 1000 SF	SEED



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LANDSCAPE PLAN

SHEET TITLE
SHEET NUMBER

06 OF 07

CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.

CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.

QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLANS TAKES PRECEDENCE OVER TABLE QUANTITIES.

IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS, SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.

ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.

CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.

ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.

THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.

COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION/EROSION CONTROL.

IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN FOR DETAILS). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.

ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREES BE RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON RECORD DRAWINGS. ANY RELOCATION AND/OR DELETION OF UTILITIES, IF IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (3) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.

WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.

ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.

IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AND IS NOT TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.

THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.

ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX OF 40% KENTUCKY BLUEGRASS, 40% TALL FESCUE, 20% PERENNIAL RYEGRASS BY WEIGHT @ 1 LBX / 1000 SQ.FT.

SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIED GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION FOR SPECIFIED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A RATE OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 500% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 1:3 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.

ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

THE LANDSCAPE CONTRACTOR SHALL HAVE A SOILS ANALYSIS TEST CONDUCTED ON THE SITE PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANALYSIS OF ALL PLANT AND LANDSCAPE MATERIALS. THE ANALYSIS SHALL BE FOR (RESULTS). THIS WILL INCLUDE A SEPARATE LAB TEST REPORT AND RECOMMENDATIONS (AMOUNTS/FERTILIZER AMOUNTS AND APPLICATION RATES) FOR EACH TYPE OF PROPOSED LANDSCAPE (SOD, TREES). THE ANALYSIS AND RECOMMENDATIONS SHALL BE REVIEWED AND REQUIRED TO BE REVIEWED AND APPROVED BY THE DESIGN LANDSCAPE ARCHITECT PRIOR TO INSTALLING ANY LANDSCAPE MATERIALS ONSITE.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.

LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.

ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.

TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACROSS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.

ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.

TOPSOIL DEPTH SHALL BE AS FOLLOWS :

PLANTER BEDS - 12" MINIMUM

GRASS/ROD AREAS - 4" MINIMUM (AFTER COMPACTION)

BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL. CONDITIONING WITH WOOD MULCH.

THE LANDSCAPE CONTRACTOR SHALL WALK TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLE DOES NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.

0. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURE'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.

1. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.

2. ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST

3. ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.

4. ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.

5. IF NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.

6. PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.

8. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.

9. ALL TREES MUST BE STRAIGHT-TUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.

0. ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.

1. NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.

2. MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.

3. A FOUR INCH (4") TOP DRESSING/MULCHING OF 2" - 3" WASHED GRANITE ROCK MULCH SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL. SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.

4. THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
EVERGREEN SHRUBBERY OCT-APR
DECIDUOUS SHRUBBERY & TREES OCT-APR
EVERGREEN TREES OCT-APR

GUARANTEE:
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION UNTO FINAL ACCEPTANCE. OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCAVERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.

REPLACEMENT:
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.

MAINTENANCE:
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE CONTRACTOR RECEIVES THE CERTIFICATE OF OCCUPANCY/AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

HERBICIDES NOTES

APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDE APPLICATION REQUIREMENTS.

IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE

NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.

CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.

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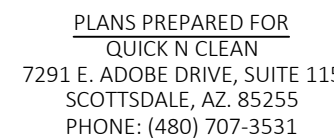
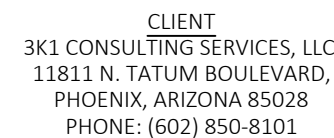
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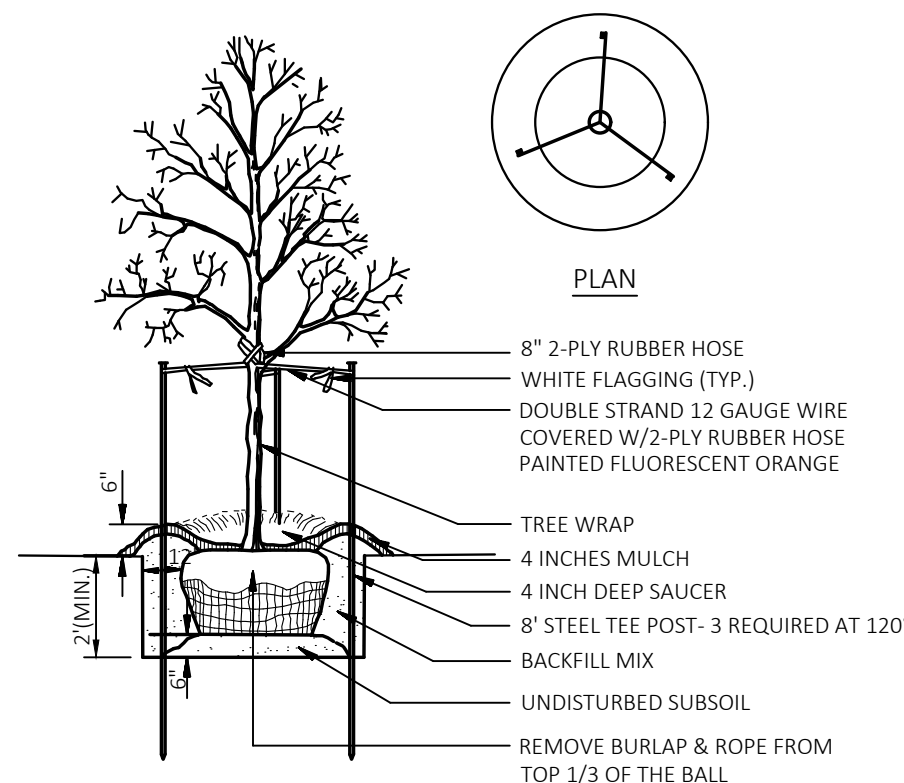
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QUICK N CLEAN
9572 TWENTY MILE ROAD
PARKER, COLORADO

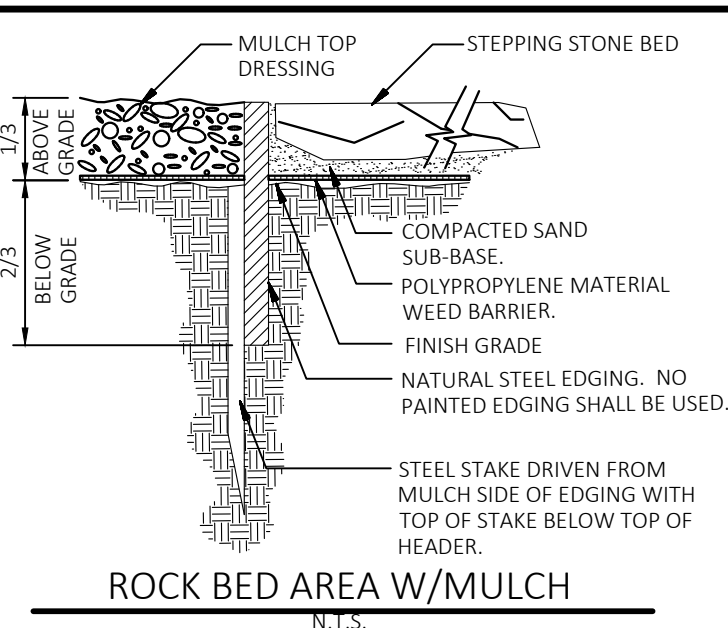
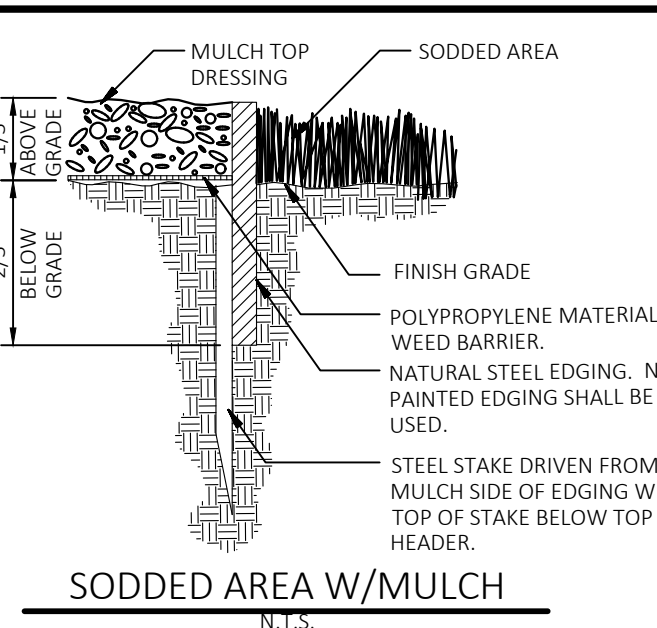
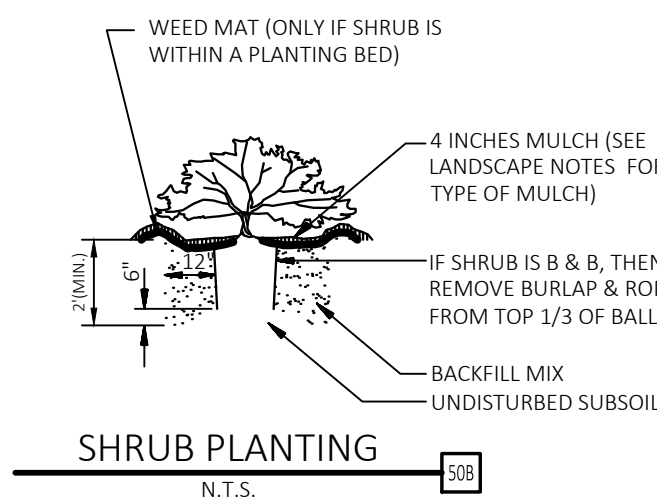


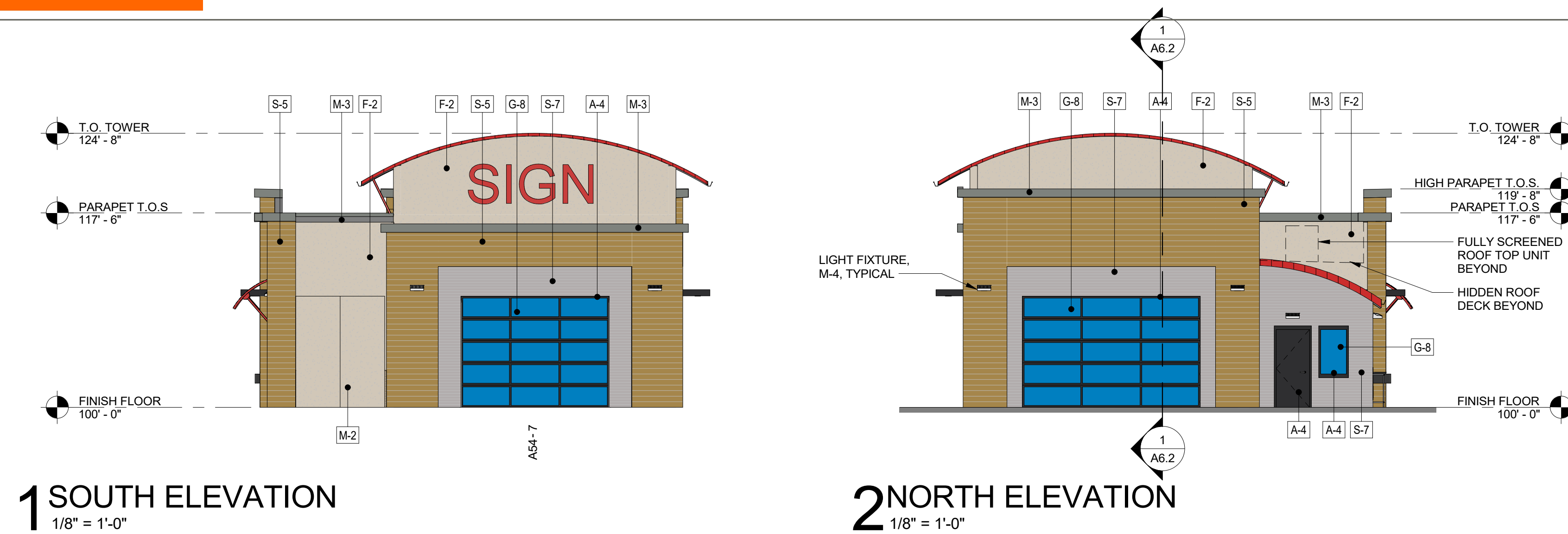
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NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.





 **PARKER**
COLORADO

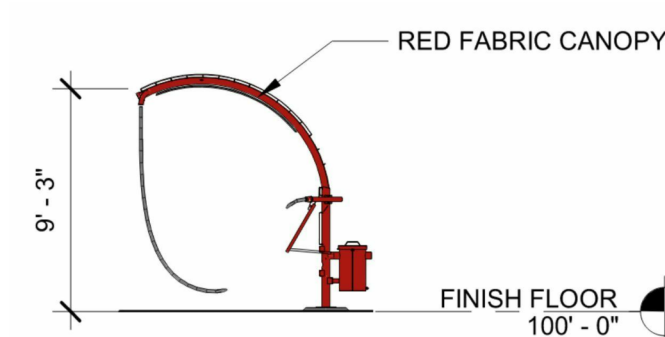
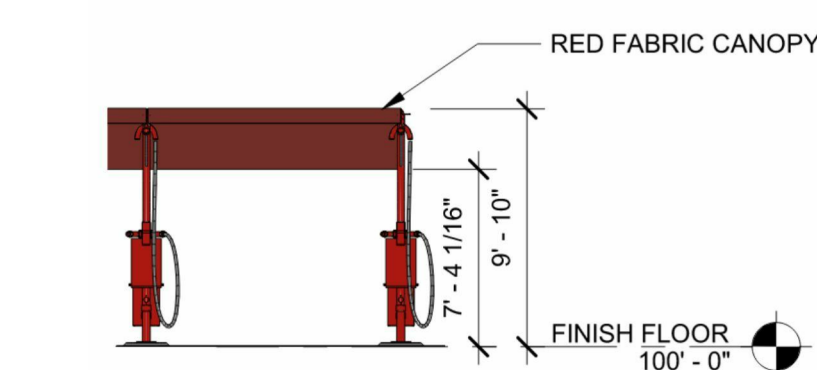
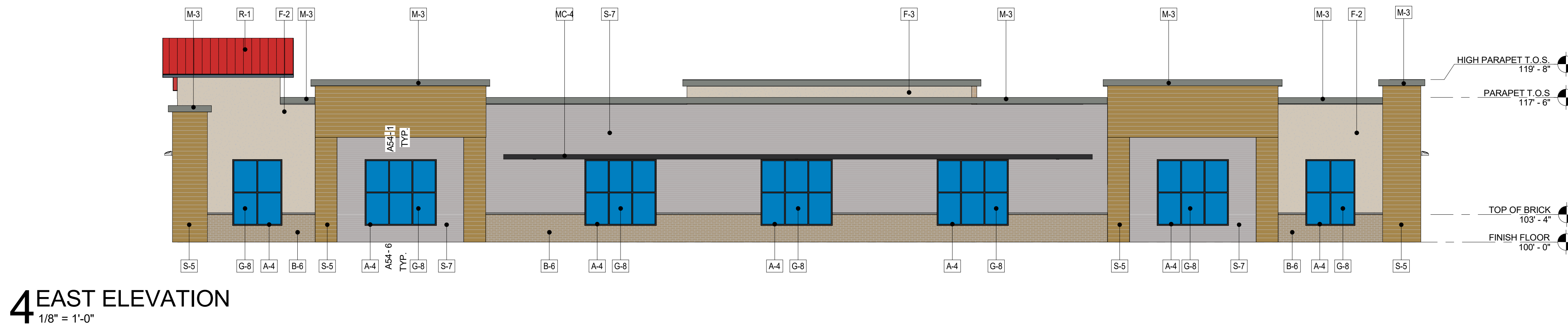
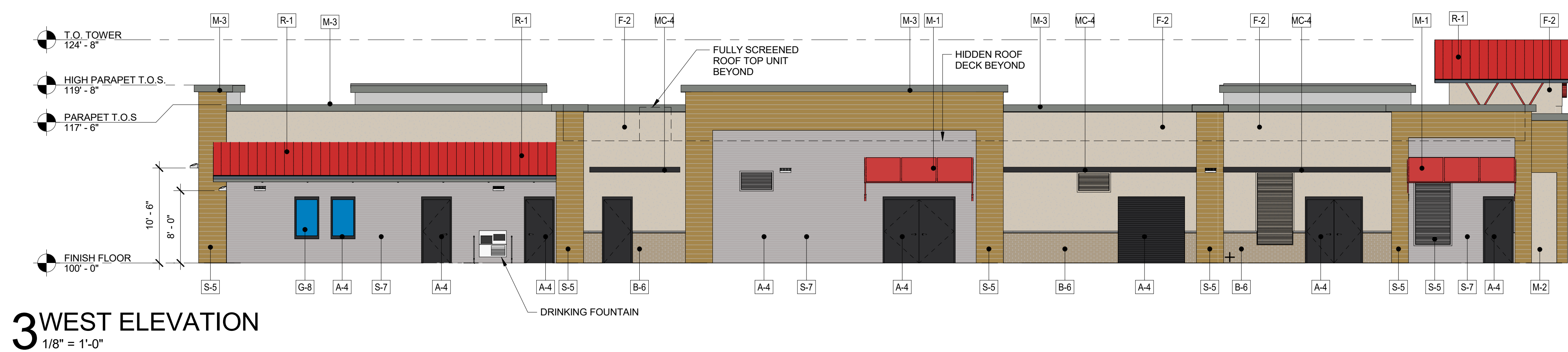
Final Document
Subject To Conditions In Approval Letter

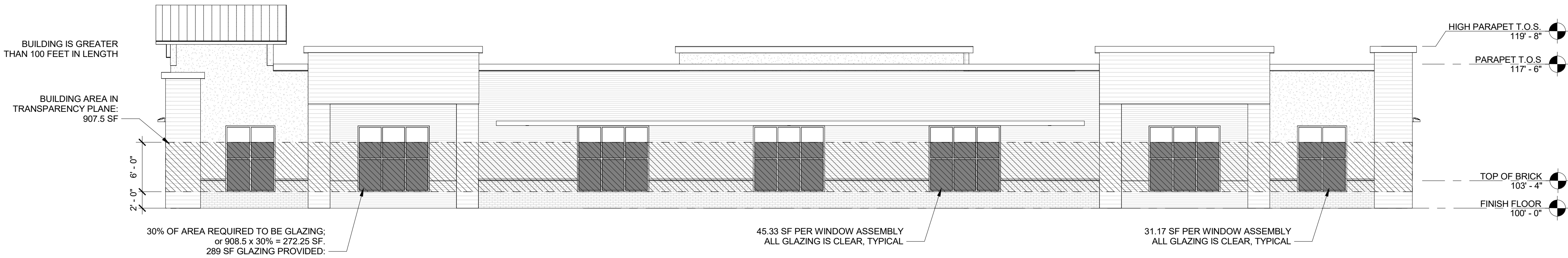
APPROVED DATE: 05/05/2023

Planning Approval By: J. Fetting

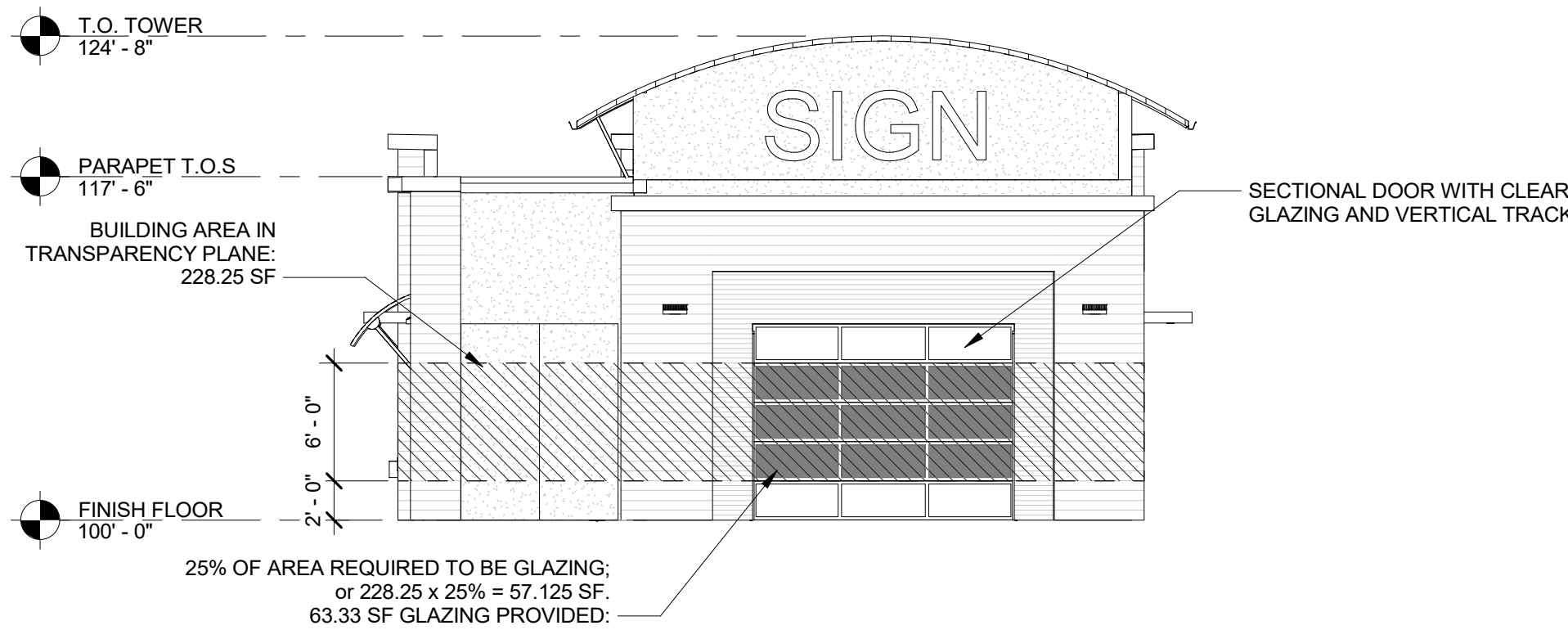
**MATERIALS & FINISH
SCHEDULE:**

M-1 FINISH/COLOR							
X	MATERIAL	PERCENTAGES				X	FINISH/COLOR
		N	S	E	W		
	M-1 METAL CANOPIES	0%	0%	0%	2%	1	QUICK N' CLEAN RED: BENAJMIN MOORE 2001-01 "RUBY RED"
	M-2 METAL SES/ LOUVERS	(EQUIPMENT, NOT INCLUDED)				2	SHERWIN WILLIAMS 7036 "ACCESIBLE BEIGE"
	M-3 METAL COPING	4%	4%	4%	4%	3	SHERWIN WILLIAMS 7067 "CITY SCAPE"
	MC-4 METAL CANOPIES	0%	0%	2%	1%	4	SHERWIN WILLIAMS 6990 "CAVIAR"
	F-2 STUCCO	20%	45%	12%	26%	5	HARDIE BOARD SIDING KAHKI BROWN
	S-5 HARDIE BOARD SIDING	43%	35%	24%	20%	6	GENERAL SHALE "PEPPERMILL"
	S-7 HARDIE BOARD SIDING	24%	12%	41%	25%	7	HARDIE BOARD SIDING NIGHT GREY
	A-4 PAINTED ALUMINUM AT WINDOWS AND PAINTED HOLLOW METAL AT DOORS	9%	4%	2%	10%	8	VITRO GLASS SOLARBAN 70XL. CLEAR GLASS
	B-6 BRICK VENEER	0%	0%	12%	4%		
	R-1 STANDING SEAM METAL ROOF	0%	0%	3%	8%		
	G-8 CLEAR GLAZING						





1 RIGHT/EAST ELEVATION TRANSPARENCY DIAGRAM
1/8" = 1'-0"



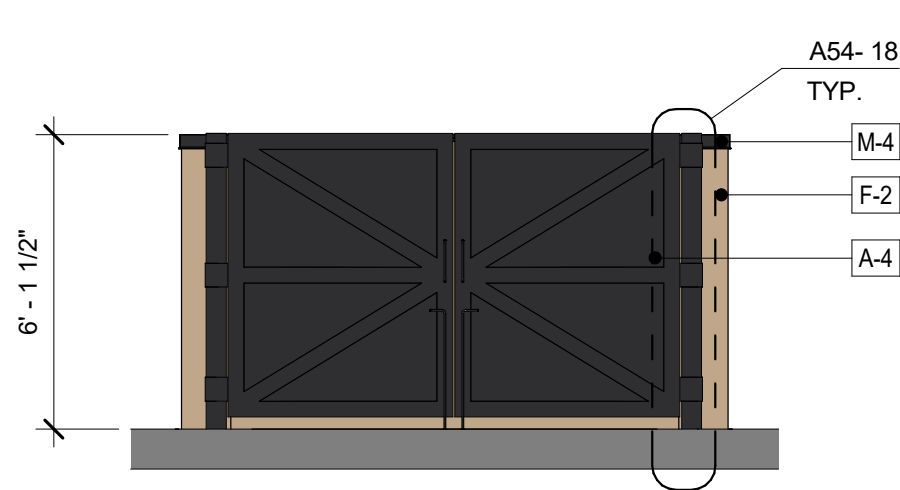
2 EXIT/SOUTH ELEVATION TRANSPARENCY DIAGRAM
1/8" = 1'-0"

PARKER
COLORADO

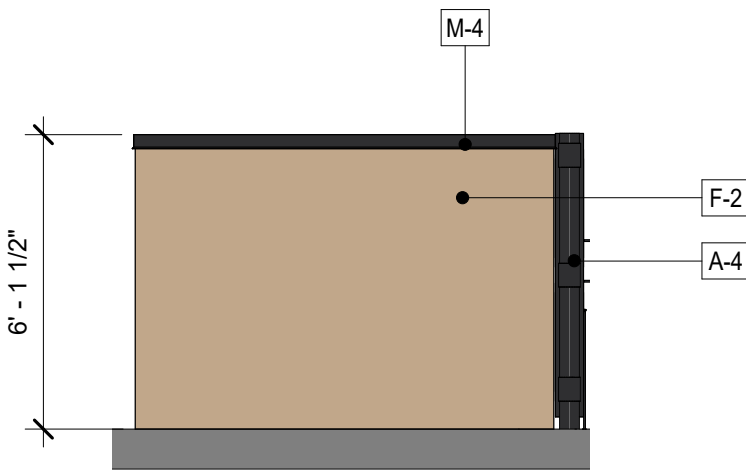
Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 05/05/2023

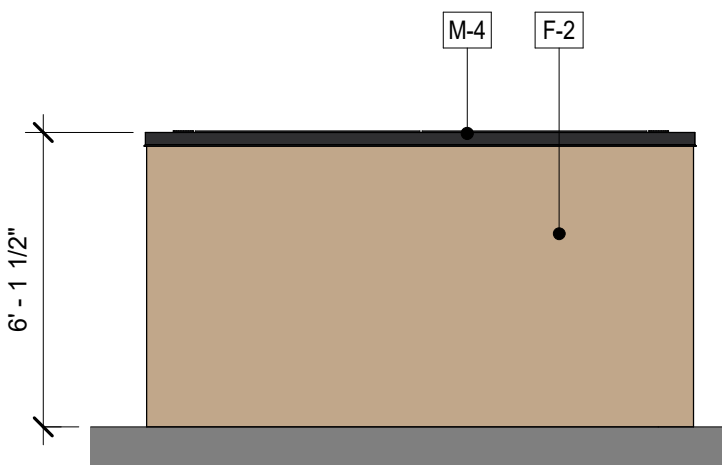
Planning Approval By: J. Fettig



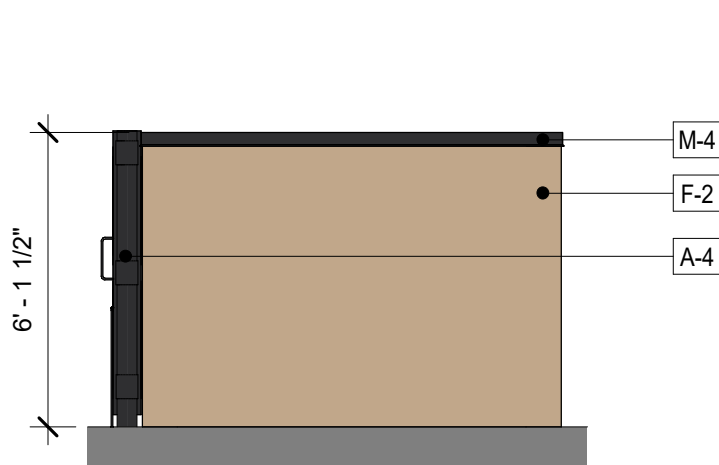
1 TRASH ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



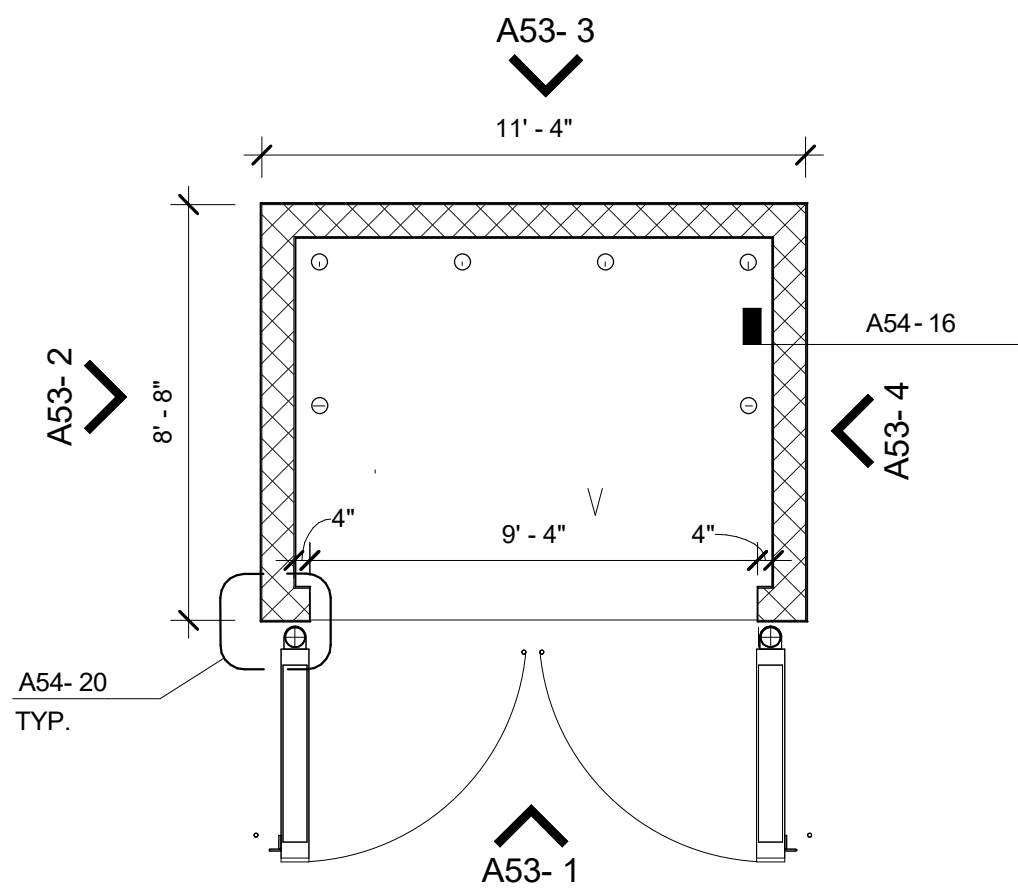
2 TRASH ENCLOSURE LEFT SIDE ELEVATION
1/4" = 1'-0"



3 TRASH ENCLOSURE REAR ELEVATION
1/4" = 1'-0"



4 TRASH ENCLOSURE RIGHT SIDE ELEVATION
1/4" = 1'-0"



5 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

MATERIALS & FINISH
SCHEDULE:

☐ M-1 MATERIAL FINISH/COLOR

X	MATERIAL	PERCENTAGES				X	FINISH/COLOR
		N	S	E	W		
	M-1 METAL CANOPIES	0%	0%	0%	2%	1	QUICK N' CLEAN RED: BENAJMIN MOORE 2001-01 "RUBY RED"
	M-2 METAL SES/ LOUVERS	(EQUIPMENT, NOT INCLUDED)				2	SHERWIN WILLIAMS 7036 "ACCESSIBLE BEIGE"
	M-3 METAL COPING	4%	4%	4%	4%	3	SHERWIN WILLIAMS 7067 "CITY SCAPE"
	MC-4 METAL CANOPIES	0%	0%	2%	1%	4	SHERWIN WILLIAMS 6990 "CAVIAR"
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	B-6 BRICK VENEER	0%	0%	12%	4%		
	R-1 STANDING SEAM METAL ROOF	0%	0%	3%	8%		
	G-8 CLEAR GLAZING						



Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 05/05/2023

Planning Approval By: J. Fetting

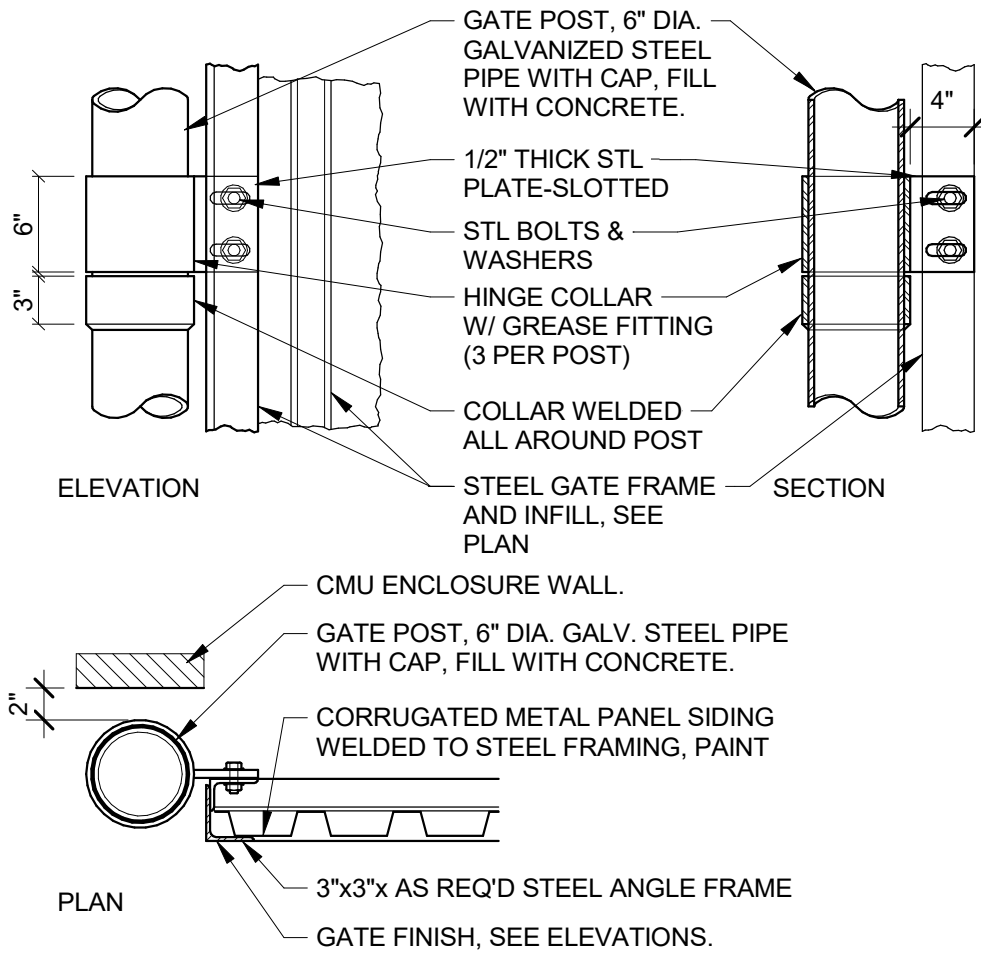
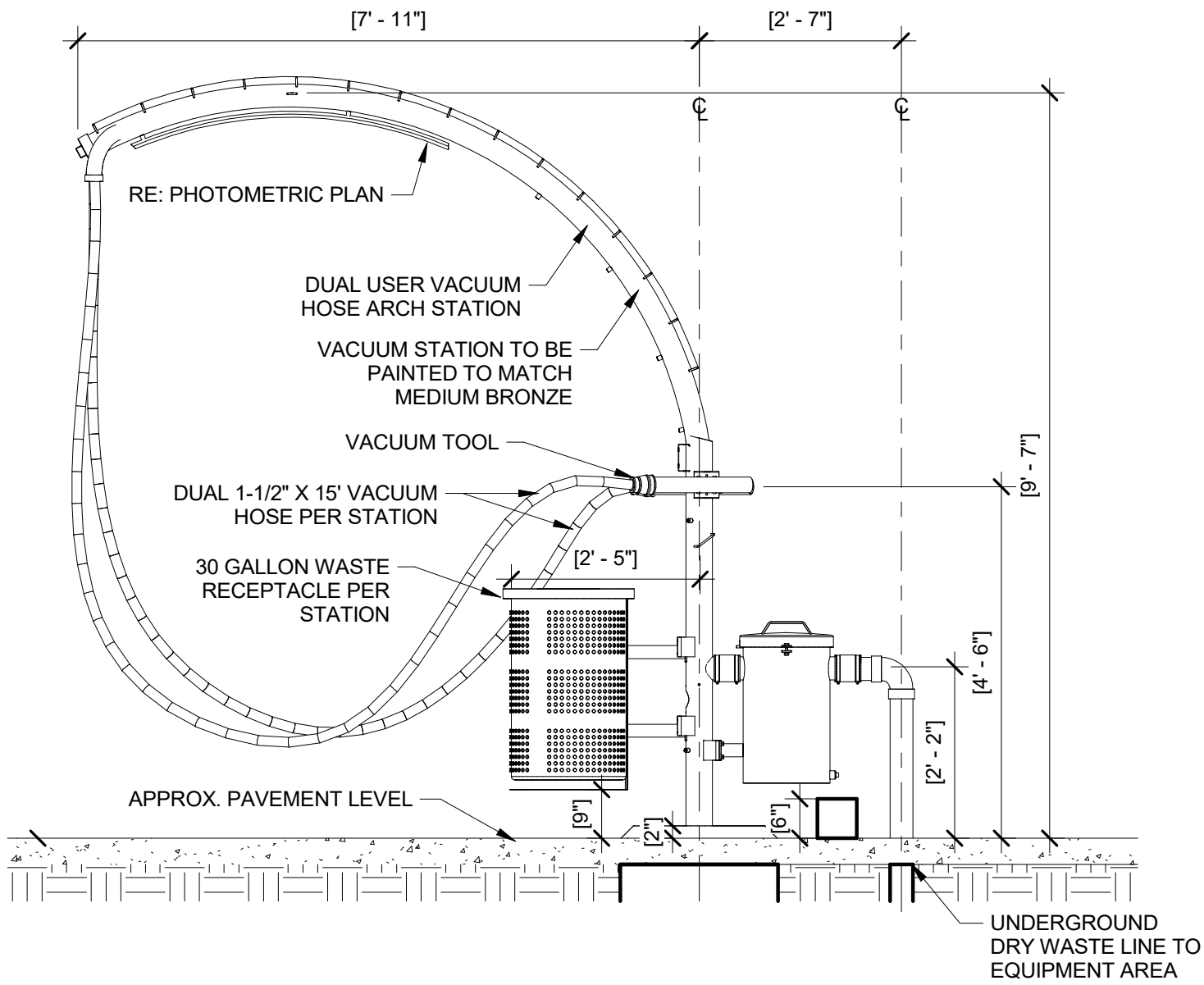
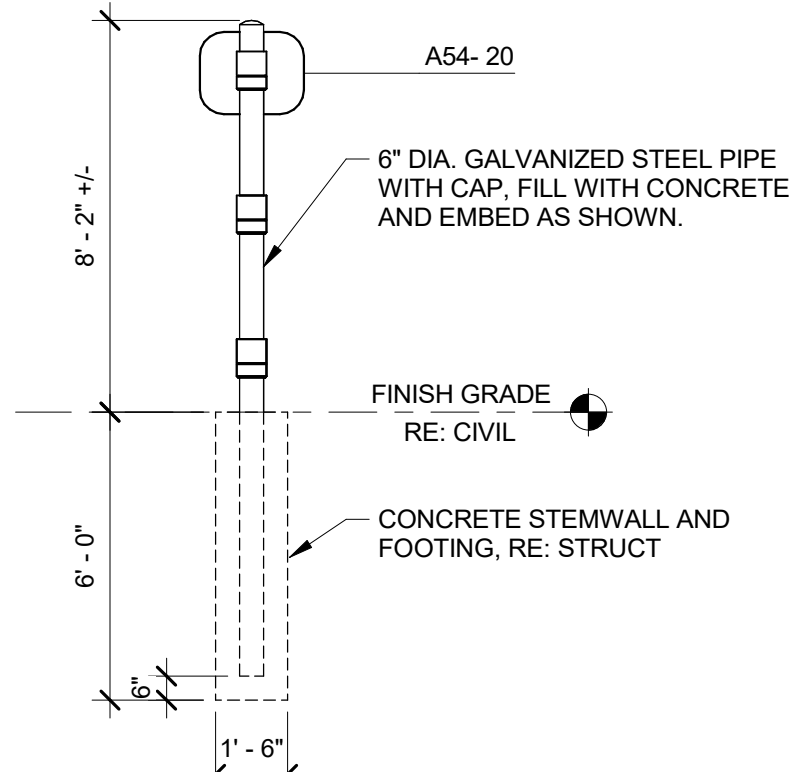
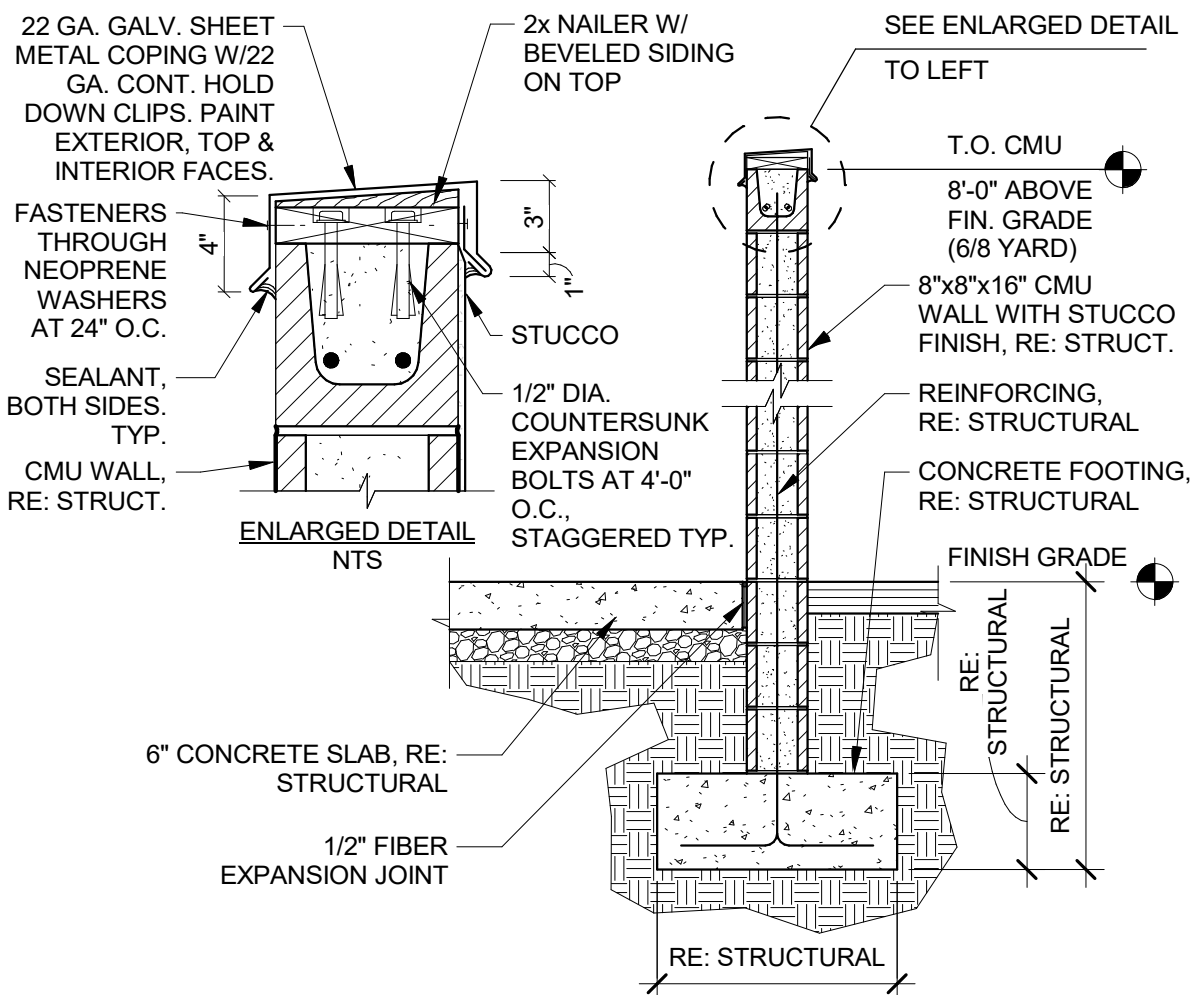
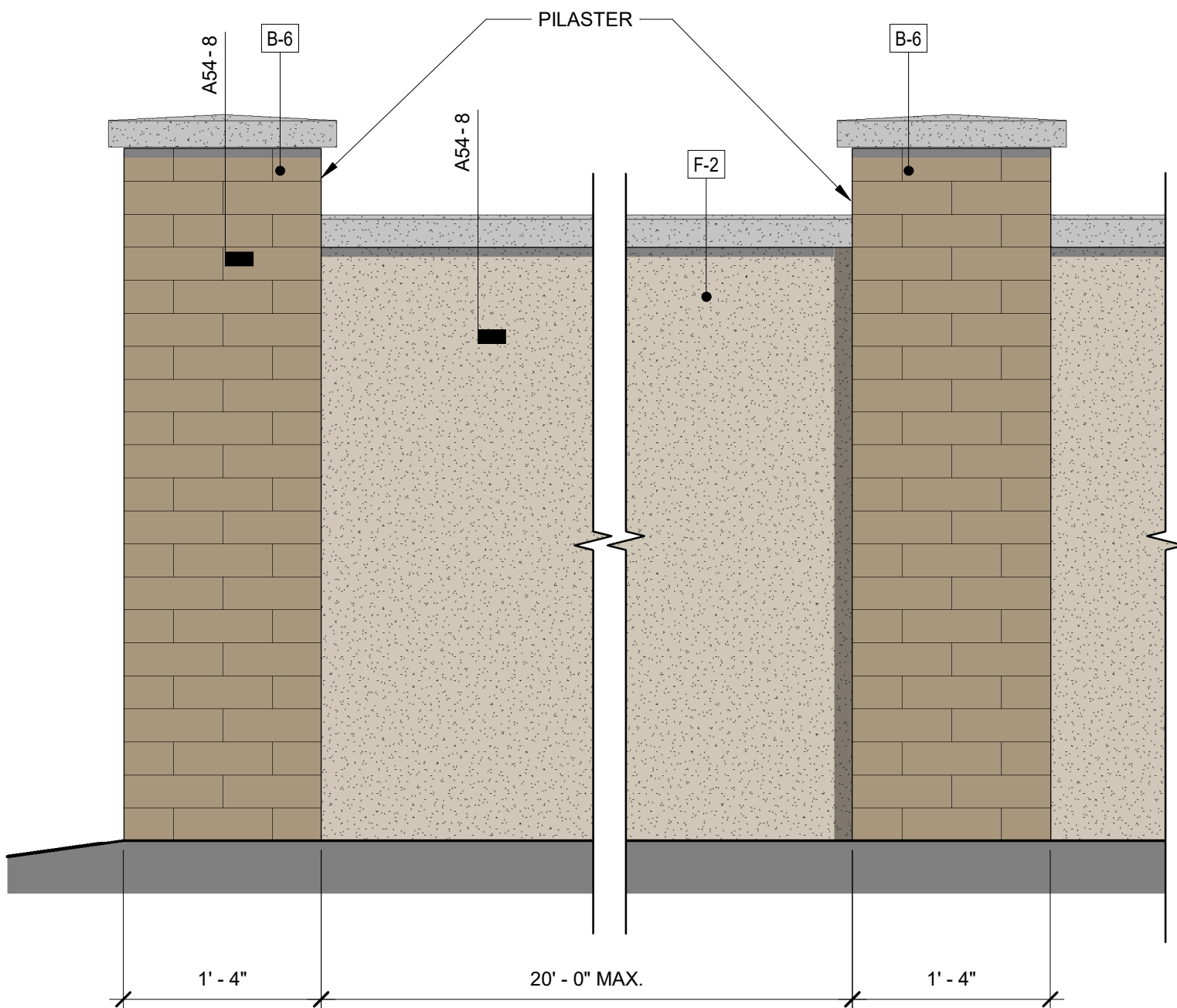
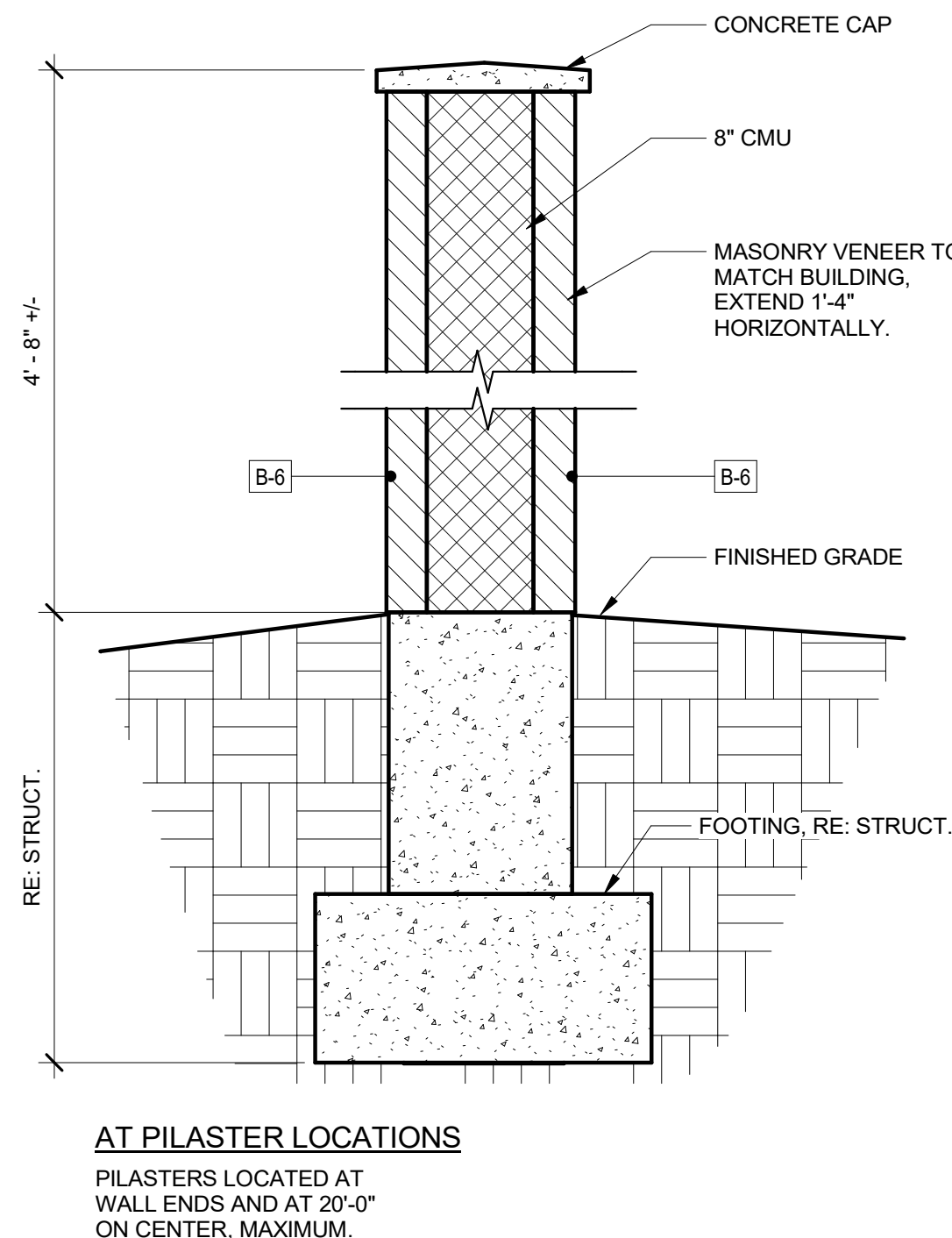
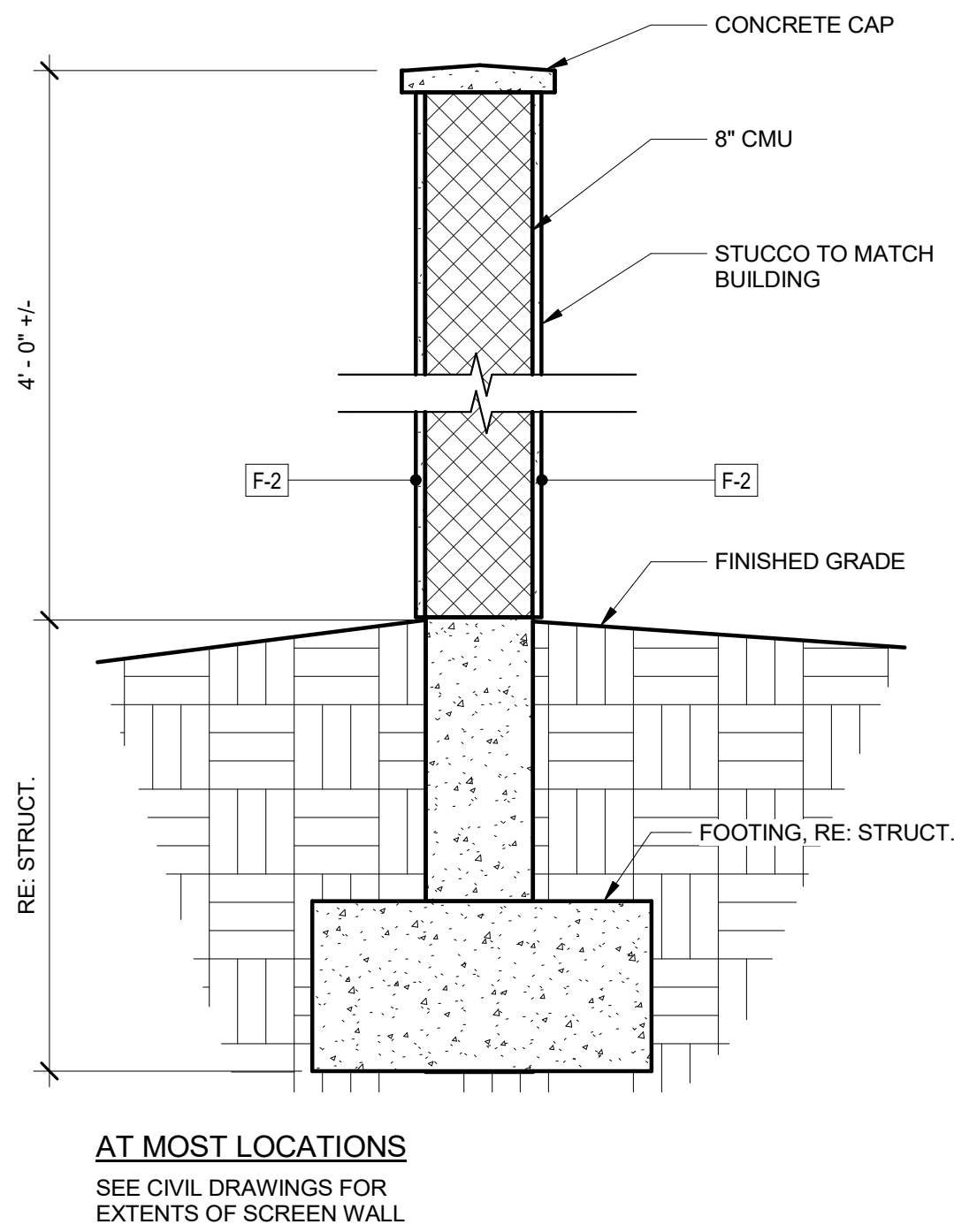
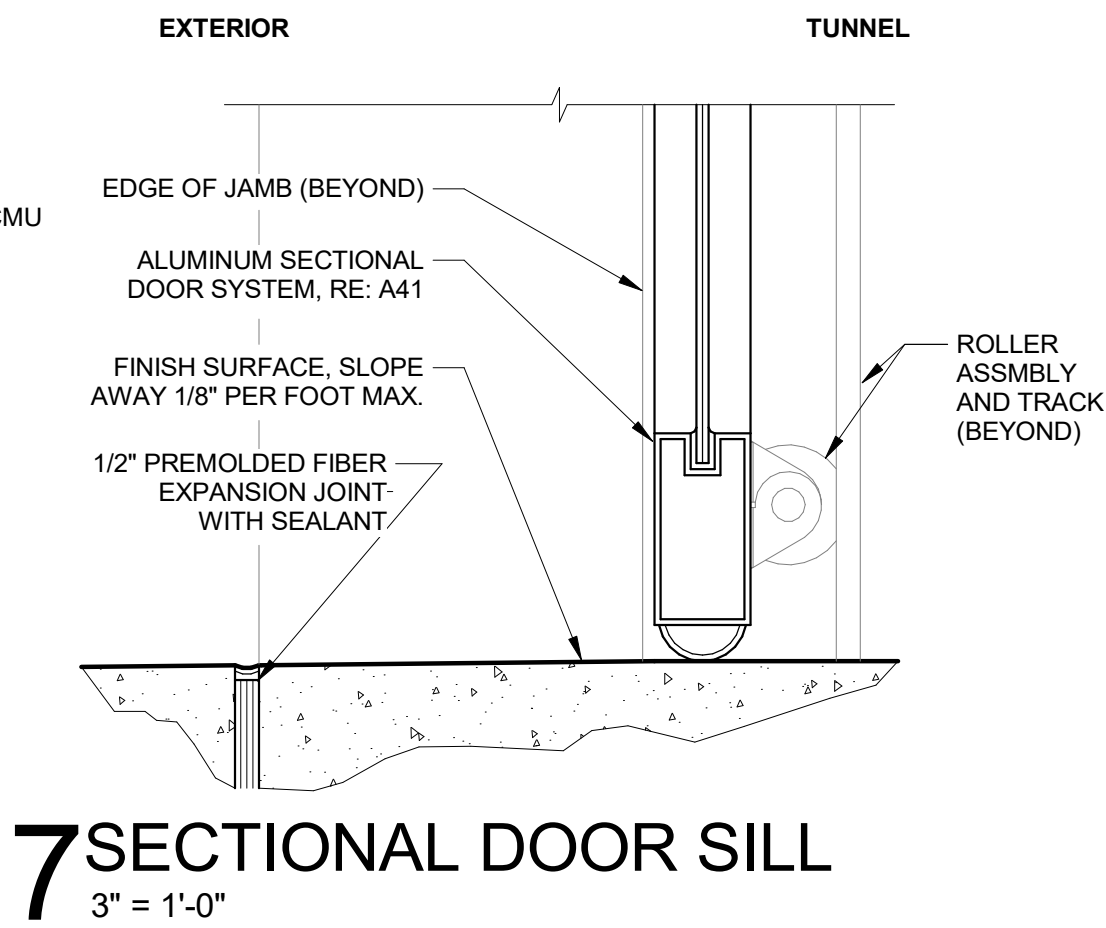
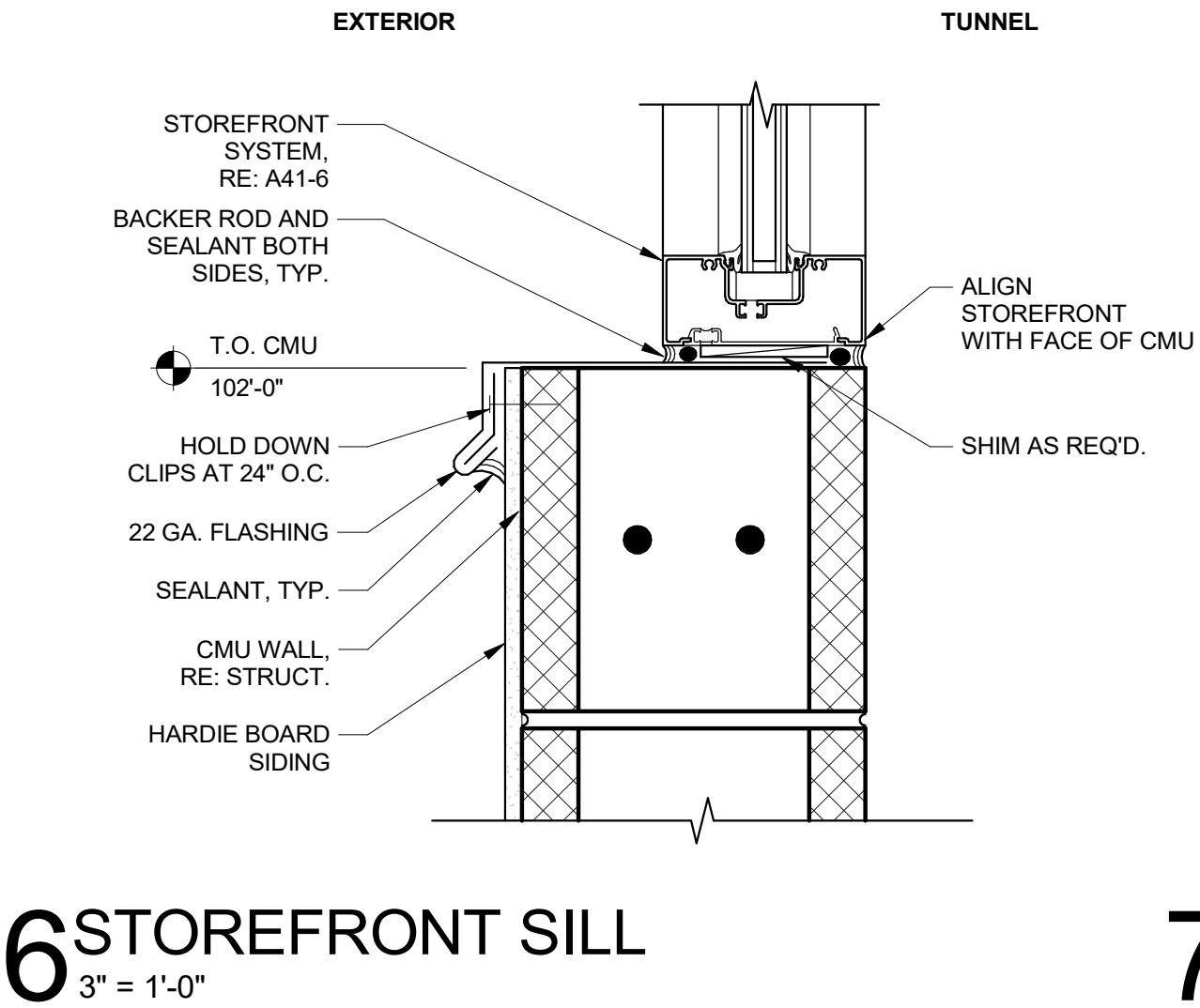
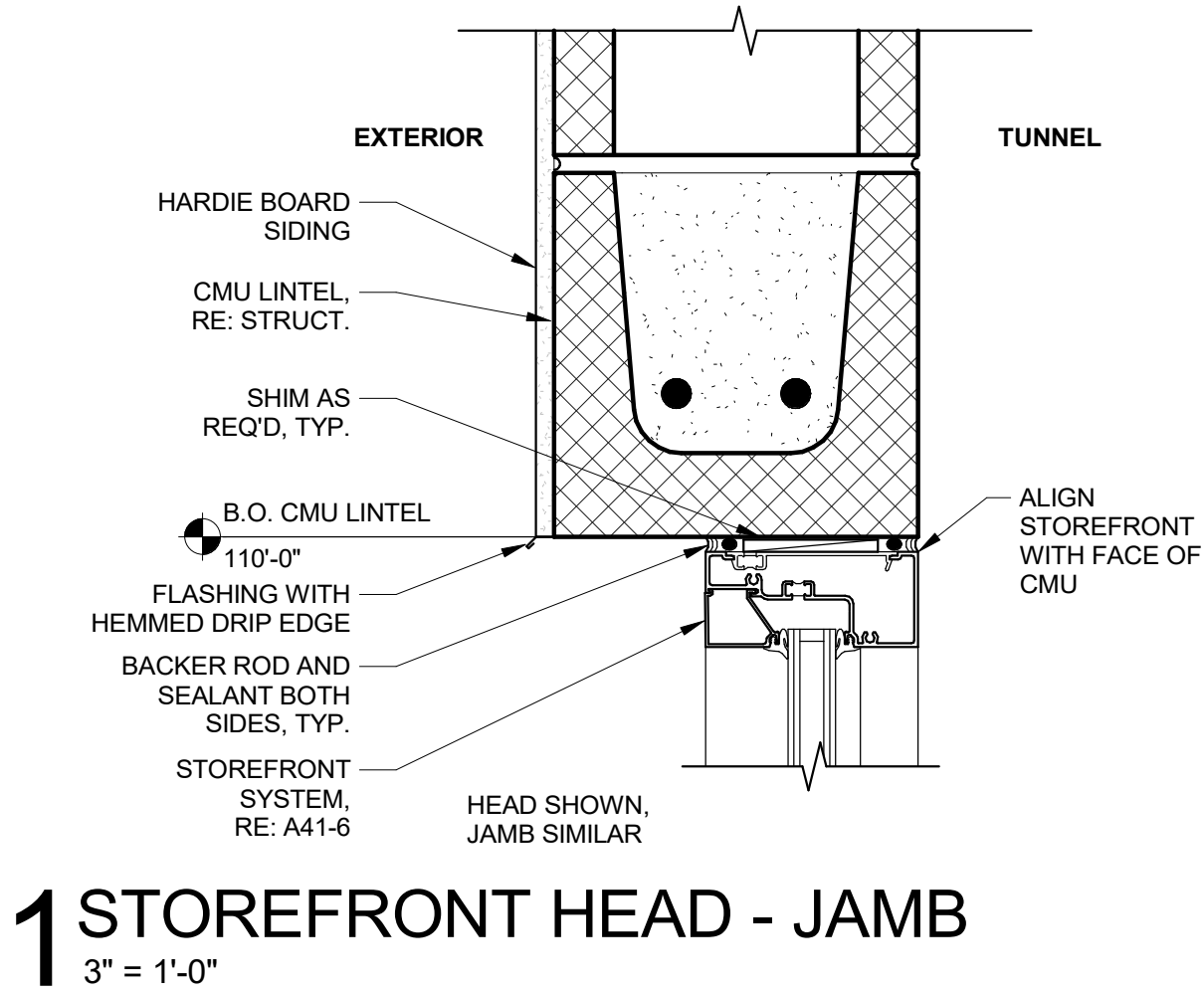


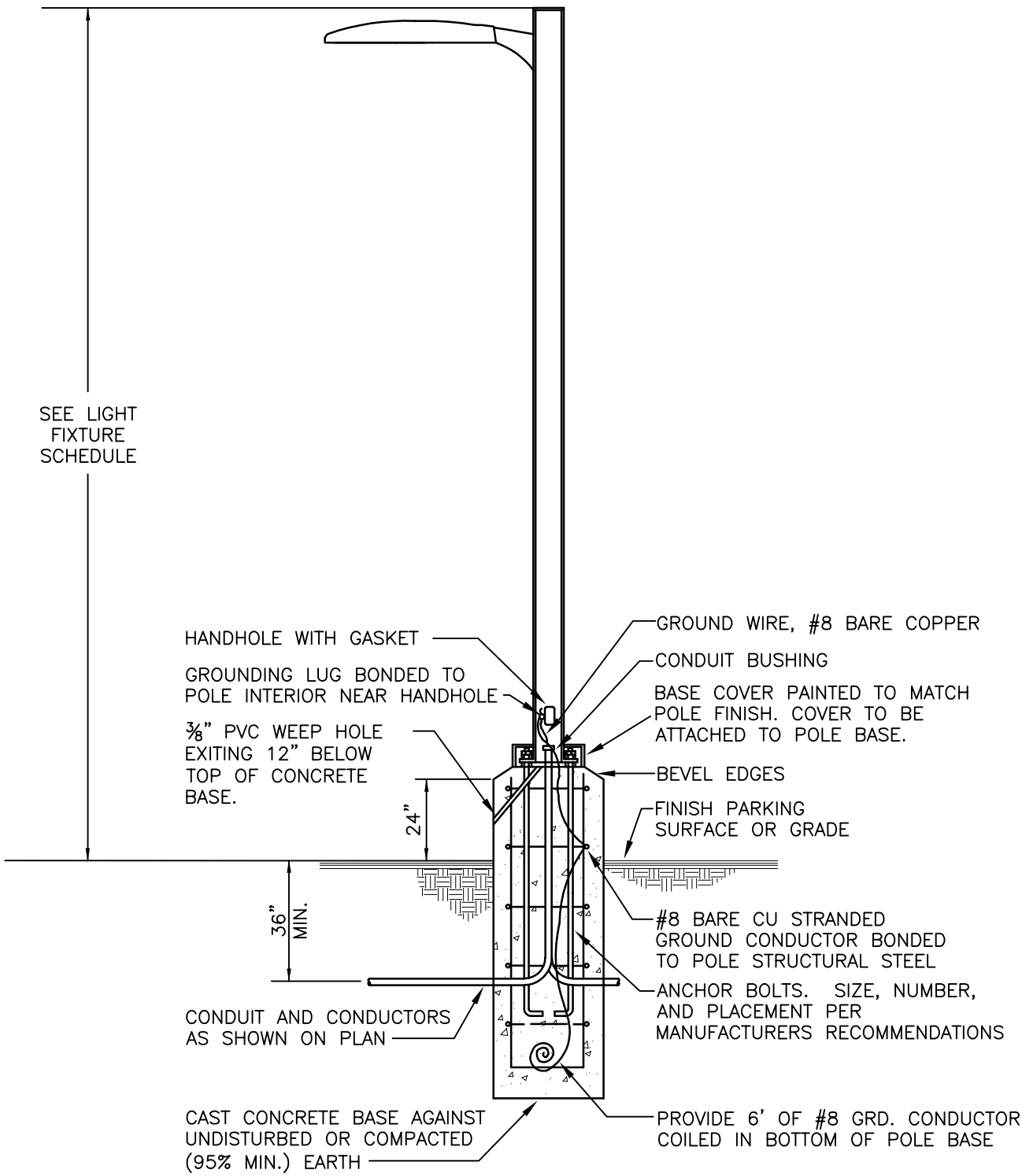
PARKER
COLORADO

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Subject To Conditions In Approval Letter

APPROVED DATE: 05/05/2023

Planning Approval By: J. Fetting





NOTE:
DIAMETER & DEPTH OF CONCRETE BASE TO BE DETERMINED ON A REGIONAL BASES.
STRUCTURAL ENGINEER SHALL SIZE REBAR AND CONCRETE BASED ON REGIONAL
WEATHER AND SOILS CONDITIONS.

NOTE:
CONTRACTOR TO INSTALL NON-SHRINK MOTAR
GROUT BETWEEN POLE BASE PLATE AND
CONCRETE FOUNDATION AS REQUIRED AND
SPECIFIED BY POLE MANUFACTURER.

02 POLE BASE DETAIL

NTS

LIGHTING CALCULATION SUMMARY

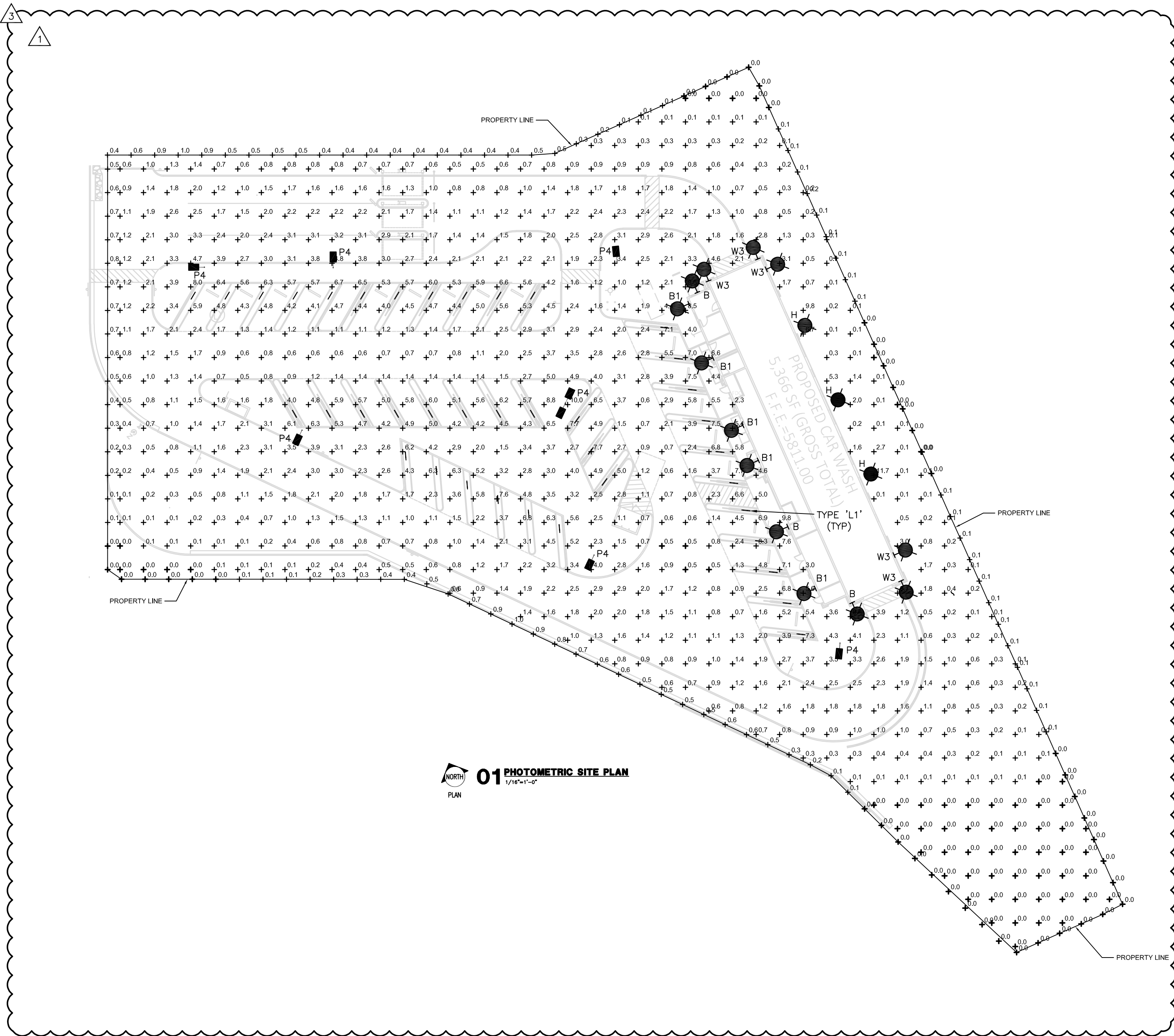
AREA	AVERAGE	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	1.7	3.9	0.5	3.4:1	7.8:1
PROPERTY LINE	0.3	1	0.0	NA	NA
SITE	2.0	11.7	0.0	NA	NA

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMPS & BALLAST	MOUNTING	VOLTS	WATTS	REMARKS
P4	SITE POLE	DSXO LED P4 40K T3M MVOLT / SSS 20\" W/2\" BASE	LED 10256 LUMENS	POLE MOUNT	277	92	
B	EXTERIOR DECORATIVE WALL MOUNT	ANP LIGHTING W520 M021LD D W 40K	LED 750 LUMENS	WALL MOUNT	277	41	
B1	EXTERIOR DECORATIVE WALL MOUNT	ANP LIGHTING W520 M009LD D W 40K	LED 850 LUMENS	WALL MOUNT	277	10	
W3	WIDE DITRIBUTION WALL LIGHT	LITHONIA DSXW1-LED-10C-350-40K-T2S	LED 1520 LUMENS	SURFACE	277	13.3	
L1	WET LOCATION LED STRIP	G&G LED: WPX2-SO-40K	LED 1900 LUMENS	SURFACE	277	15	
H	6\" DOWNLIGHT	HUBBELL: LC6SL-6LCSL-18L-40K-8	LED 1800 LUMENS	RECESSED	277	23	

01 PHOTOMETRIC SITE PLAN

PLAN
1/16\"=1'-0\"



Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 05/05/2023

Planning Approval By: J. Fettig

PRELIMINARY
NOT FOR
CONSTRUCTION

JESSE GOLDMAN, ARCHITECT
2886 S. COLORADO BLVD.,
DENVER, CO 80222
(303) 962-9164

PARKER, CO

2886 S. COLORADO BLVD., STE 525
DENVER, CO 80222
(303) 962-9164
www.cshqa.com

QNC CAR WASH
9572 TWENTY MILE ROAD

Customer Name: QNC Car Wash
Address: 9572 20th Mile Rd, Parker, CO 80134
Phone: (303) 962-9164
Email: info@qncwash.com

REVIEW SET
ONLY NOT FOR
CONSTRUCTION

PROJECT 20037	DATE 08-19-2020
DRAWN AAD	CHECKED EKZ

REVISED
1-CITY COMMENTS 05/13/21
2-OWNER UPDATE 05/02/22
3-CITY COMMENTS 10/20/22

SHEET TITLE
PHOTOMETRIC
SITE PLAN

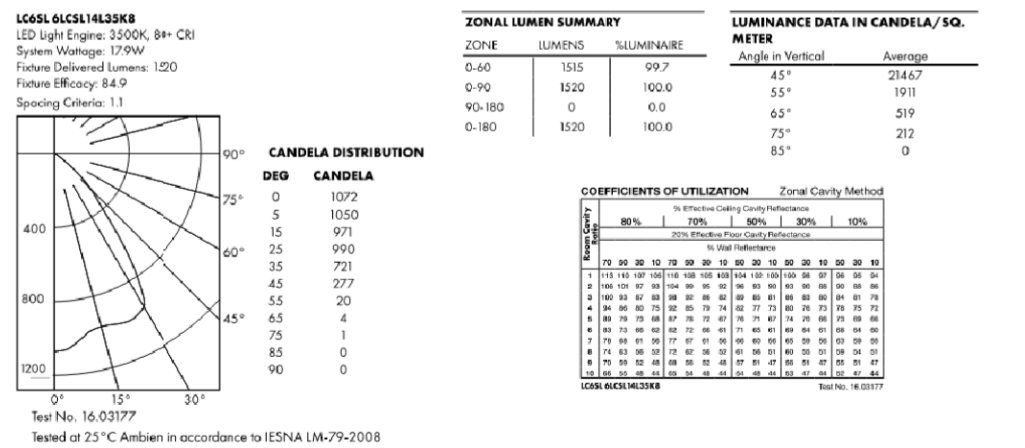
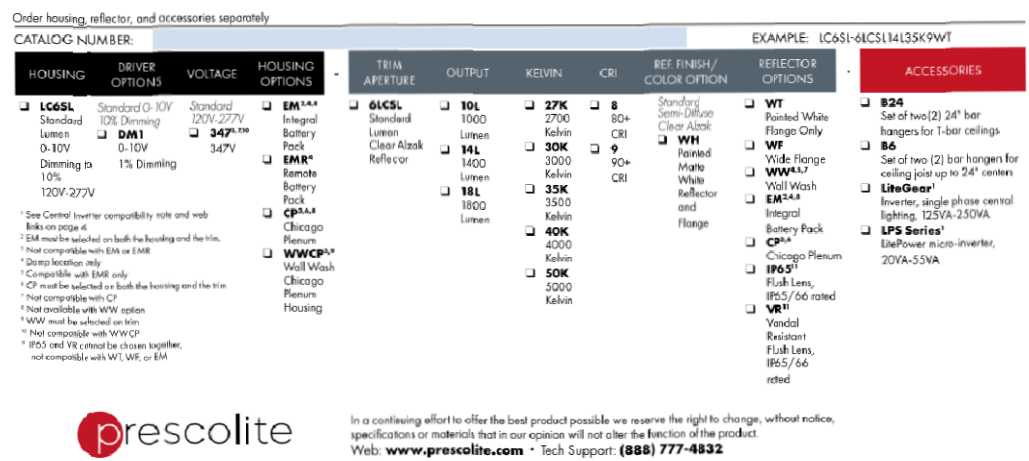
SHEET
ES1.0
ORIGINAL SHEET SIZE
24\" x 36\"

Dialectic

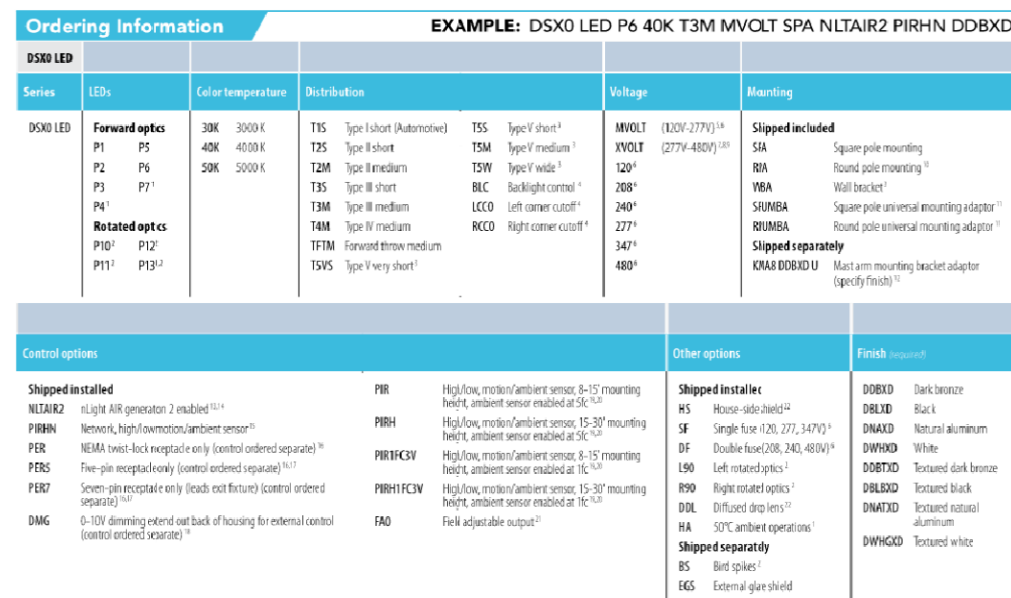
Dialectic Inc.
310 W 20th Street, Suite 200
Kansas City, MO 64108

T 816-997-9601
F 816-997-9602
DialecticEng.com

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FEATURES & SPECIFICATIONS

REINFORCED POLYESTER
The epoxy resin is an advanced liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

CONTINUATION
The epoxy resin is a two-part liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

ADVANTAGES
The epoxy resin is a two-part liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

APPLICATIONS
The epoxy resin is a two-part liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

TECHNICAL DATA
The epoxy resin is a two-part liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

INSTALLATION

The epoxy resin is a two-part liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

PREPARATION
The epoxy resin is a two-part liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

MIXING
The epoxy resin is a two-part liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

APPLICATION
The epoxy resin is a two-part liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

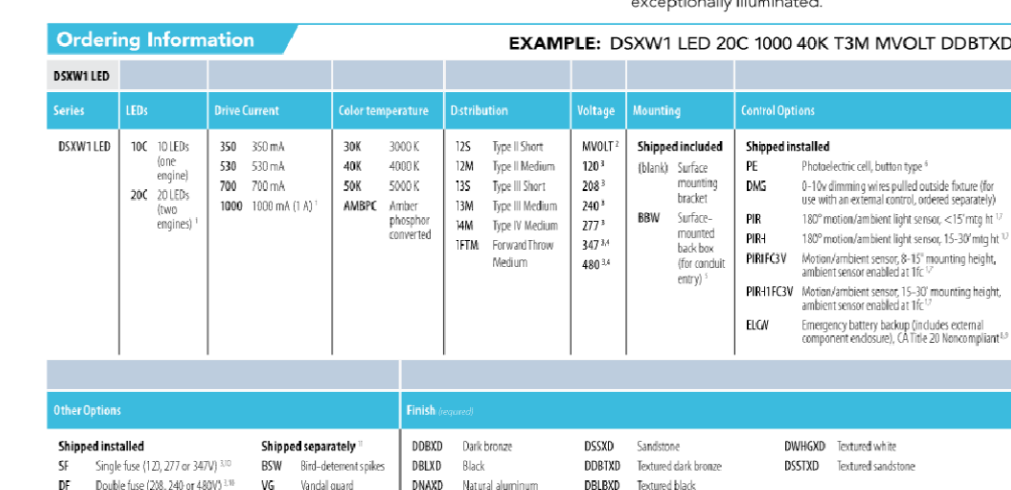
CURING
The epoxy resin is a two-part liquid resin that is reinforced with Kevlar® fibers. This makes the epoxy a very strong, tough material that is resistant to impact and abrasion. It is also resistant to acids, alkalis and solvents.

 **LITHONIA
LIGHTING**

One Lithonia Way • Corpes, Georgia 30017 • Phone 1-800-735-SERV (7378) • www.lit-lum.com

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E50911 LIT
Rev. 01/12



STRONG.	SIMPLE.	COMPACT.
		

LED MODULE SPECIFICATIONS				
		Typical Luminous Flux	System-Wedge	Optical Efficiency
180°	0707	850	1160	97
	3003P	850	1160	97
	4003P	850	1160	97
90°	0707	850	1160	97
	3003P	850	1160	97
	4003P	850	1160	97
120°	0707	1250	1250	125
	3003P	1250	1250	125
	4003P	1250	1250	125
150°	0707	1250	1250	125
	3003P	1250	1250	125
	4003P	1250	1250	125
180°	0707	1250	1250	125
	3003P	1250	1250	125
	4003P	1250	1250	125

[illegible]

W520			UNY		
1 LIGHT SOURCE & MATRICES			3 DRIVER HOUSINGS		
1.1	LED	LED	3.1	DRIVER	DRIVER
1.2	LED	LED	3.2	DRIVER	DRIVER
1.3	LED	LED	3.3	DRIVER	DRIVER
1.4	LED	LED	3.4	DRIVER	DRIVER
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1.99	LED	LED	3.99	DRIVER	DRIVER
1.100	LED	LED	3.100	DRIVER	DRIVER

☐ Accrue interest on the loan at the end of each year.

① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩ ⑪ ⑫ ⑬ ⑭ ⑮ ⑯ ⑰ ⑱ ⑲ ⑳ ㉑ ㉒ ㉓ ㉔ ㉕ ㉖ ㉗ ㉘ ㉙ ㉚ ㉛ ㉜ ㉝ ㉞ ㉟ ㊱ ㊲ ㊳ ㊴ ㊵ ㊶ ㊷ ㊸ ㊹ ㊺ ㊻ ㊼ ㊽ ㊾ ㊿	
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩ ⑪ ⑫ ⑬ ⑭ ⑮ ⑯ ⑰ ⑱ ⑲ ⑳ ㉑ ㉒ ㉓ ㉔ ㉕ ㉖ ㉗ ㉘ ㉙ ㉚ ㉛ ㉜ ㉝ ㉞ ㉟ ㊱ ㊲ ㊳ ㊴ ㊵ ㊶ ㊷ ㊸ ㊹ ㊺ ㊻ ㊼ ㊽ ㊾ ㊿	① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩ ⑪ ⑫ ⑬ ⑭ ⑮ ⑯ ⑰ ⑱ ⑲ ⑳ ㉑ ㉒ ㉓ ㉔ ㉕ ㉖ ㉗ ㉘ ㉙ ㉚ ㉛ ㉜ ㉝ ㉞ ㉟ ㊱ ㊲ ㊳ ㊴ ㊵ ㊶ ㊷ ㊸ ㊹ ㊺ ㊻ ㊼ ㊽ ㊾ ㊿

Dialectic

Dialectic Inc. T 816-997-
 310 W 20th Street, Suite 200 F 816-997-
 Chicago, IL 60604

Dialectic

Dialectic Inc. T 816-997-9601
310 W 20th Street, Suite 200 F 816-997-9602
Kansas City, MO 64108 DialecticEng.com

JESSE GOLDMAN, ARCHITECT

2696 S. COLORADO BLVD.,
STE 525
DENVER, CO 80222
(303) 962-9164

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PARKER, CO
2696 S. COLORADO BLVD., STE 525
DENVER, CO 80222

QNC CAR WASH
9572 TWENTY MILE ROAD

REVIEW SET
ONLY. NOT FOR
CONSTRUCTION

PROJECT 20037	DATE 08-19
DRAWN AAD	CHECK EKZ

REVISED

1-CITY COMMENTS 05/
2-OWNER UPDATE 05/

SHEET TITLE
**EXTERIOR
LIGHTING
SPEC SHEET**

SHEET

ES1.

ORIGINAL SHEET SIZE
24" x 36"