

# SITE DEVELOPMENT PLANS

# QUICK N CLEAN

## PARKER RD. & PINE LANE AVE.

## PARKER, COLORADO

**GENERAL NOTES:**

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:  
  
TOPOGRAPHY: RUBINOSURVEYING  
3312 AIRPORT ROAD  
BOULDER, COLORADO 80301  
BOB RUBINO  
303.464.9515  
  
CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS ON A TIME AND FREQUENCY BASIS ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.



**Vicinity Map**

Not to Scale

**PLAN INDEX:**

- 1 OF 3 COVER SHEET
- 2 OF 3 SITE PLAN
- 3 OF 3 LANDSCAPE PLAN

**APPROVED** \_\_\_\_\_ **DATE** \_\_\_\_\_

CITY OF \_\_\_\_\_

TELEPHONE CO. \_\_\_\_\_

ELECTRIC CO. \_\_\_\_\_

WATER AND POLLUTION CONTROL DEPARTMENT \_\_\_\_\_

\_\_\_\_\_ DEPARTMENT OF TRANSPORTATION \_\_\_\_\_

CORPS OF ENGINEERS \_\_\_\_\_

\_\_\_\_\_ DEPARTMENT OF NATURAL RESOURCES \_\_\_\_\_

**RESOURCE LIST:**

OWNER QUICK N CLEAN 7291 E. ADOBE DRIVE, SUITE 115 SCOTTSDALE, AZ 85255 480.707.3531	TOPOGRAPHY/BOUNDARY RUBINOSURVEYING 3312 AIRPORT ROAD BOULDER, COLORADO 80301 303.464.9515 BOB RUBINO
CIVIL ENGINEER CEI ENGINEERING ASSOCIATES, INC. 7543 N. INGRAM AVE., SUITE 107 FRESNO, CA 93711 559.447.3119 JASON HATWIG, PROGRAM MANAGER	

**NOTICE TO BIDDERS:**

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT AT (400) 000-0000. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

**WETLANDS CERTIFICATION:**

THIS PROJECT DOES NOT REQUIRE A DEPARTMENT OF THE ARMY SECTION 404 PERMIT PER A DETERMINATION ON \_\_\_\_\_ BY THE U.S. ARMY CORPS OF ENGINEERS DISTRICT, ANYTOWN, USA.



CEI ENGINEERING ASSOCIATES, INC.  
7543 N. INGRAM AVE., SUITE 107  
FRESNO, CA 93711  
PHONE: (559) 447-3119  
FAX: (559) 447-3129



CLIENT  
3K1 CONSULTING SERVICES, LLC.  
11811 N. TATUM BOULEVARD,  
PHOENIX, ARIZONA 85028  
PHONE: (602) 850-8101



PLANS PREPARED FOR  
QUICK N CLEAN  
7291 E. ADOBE DRIVE, SUITE 115  
SCOTTSDALE, AZ 85255  
PHONE: (480) 707-3531

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PARKER, COLORADO

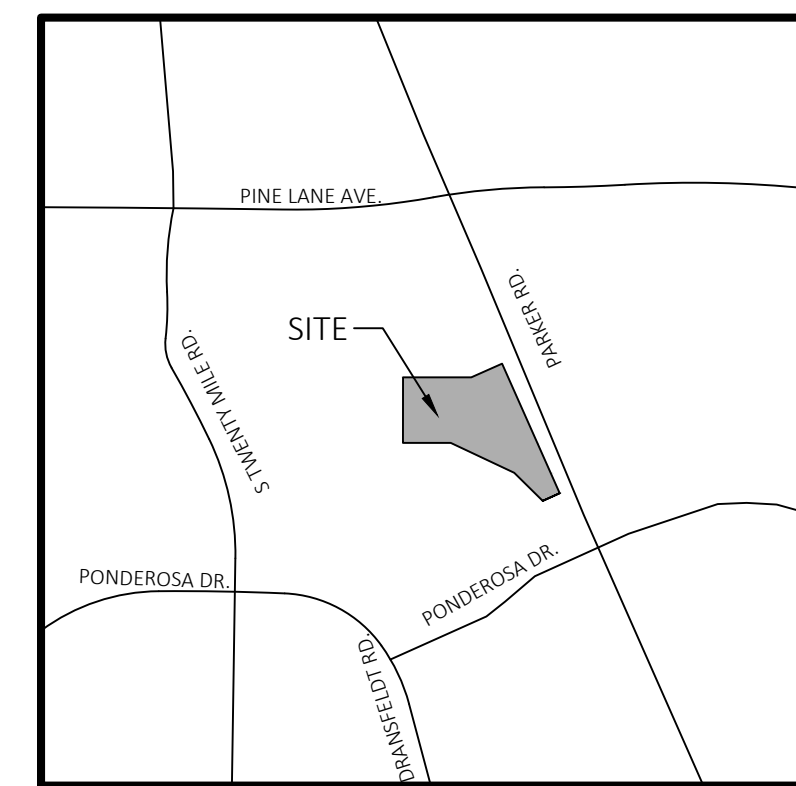
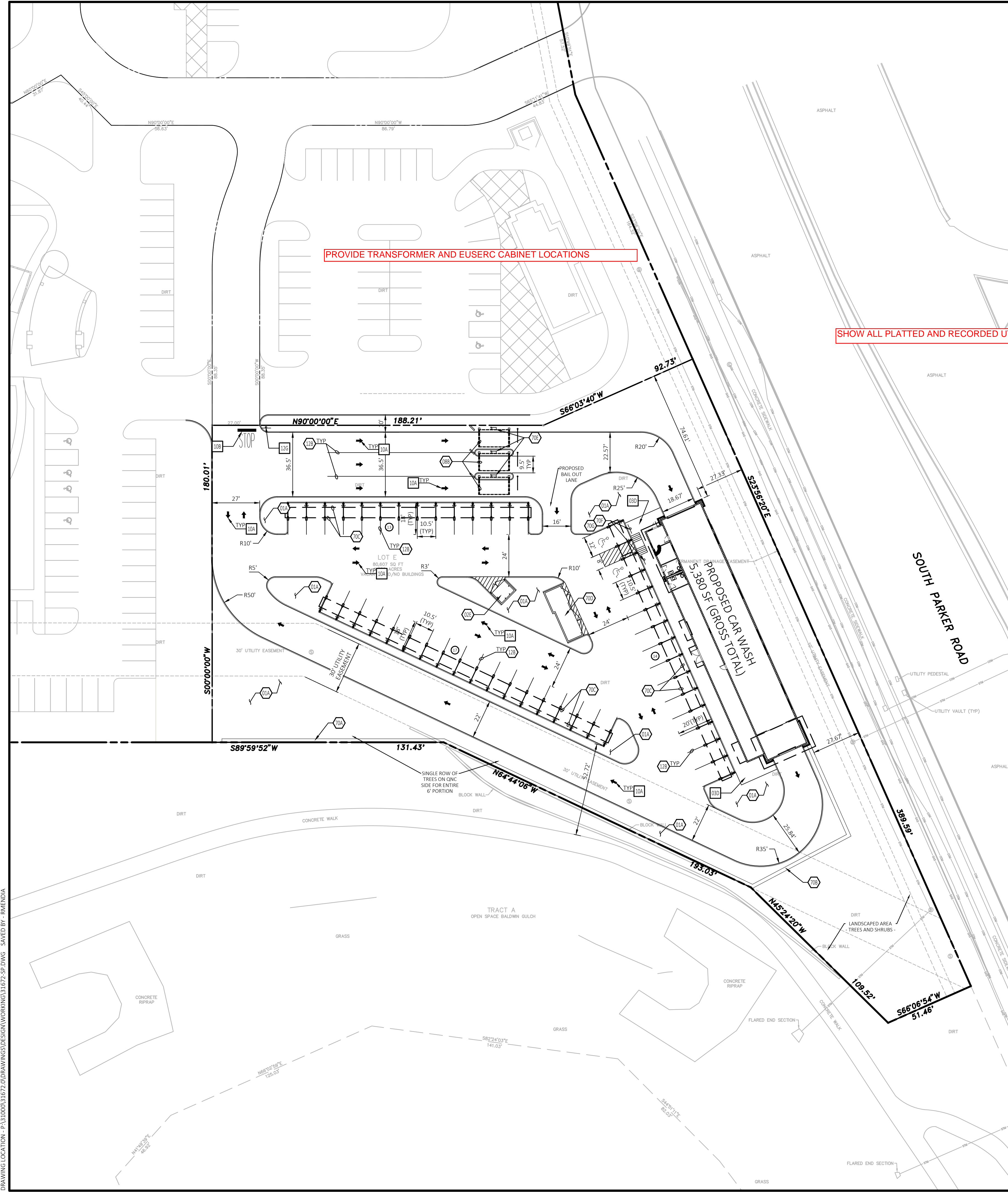
PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROFESSIONAL OF RECORD	N/A
PROJECT MANAGER	AD
DESIGNER	RM
CEI PROJECT NUMBER	31672
DATE	8/19/2020
REVISION	REV-0

COVER SHEET  
SHEET TITLE  
SHEET NUMBER



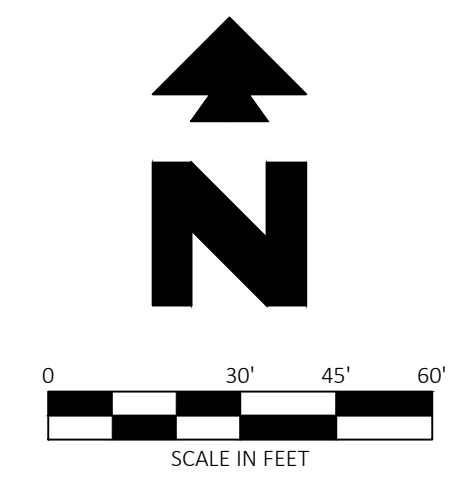
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND SURVEYING • PLANNING  
BENTONVILLE | DALLAS | FRESNO | HOUSTON | JACKSONVILLE | MINNEAPOLIS | PHILADELPHIA | PHOENIX



**Vicinity Map**  
Not to Scale



Know what's below.  
Call before you dig.



**PROPOSED**

- PROPERTY LINE/RIGHT OF WAY LINE
- CONCRETE CURB AND GUTTER, SEE DETAIL 01A/01B.
- PROPOSED PARKING SPACES

**GENERAL SITE NOTES**

A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

B. ALL CURB RETURN RADII SHALL BE 3' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.

**NOTE:**

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

PROJECT INFORMATION	
PROJECT NAME:	QUICK N CLEAN ( CAR WASH)
PROJECT ADDRESS:	PARKER RD. & PINE LANE AVE. PARKER, COLORADO
PROJECT DESCRIPTION:	DEVELOPMENT OF A FREE-STANDING EXPRESS CAR WASH BUILDING WITH ASSOCIATED VACUUM AND PAY STATION CANOPIES.
SITE INFORMATION	
PROPOSED PROPERTY:	1.85± AC. / 80,607± S.F.
BUILDING AREA:	5,380± S.F.
LANDSCAPE AREA (ONSITE & FRONTAGE):	0.73± AC. / 31,661± S.F.
SITE LANDSCAPE RATIO:	39.27%
ZONING INFORMATION	
JURISDICTION:	PARKER
EXISTING ZONING:	PLANNED DEVELOPMENT
PROPOSED ZONING:	COMMERCIAL
MAX. BUILDING HEIGHT ALLOWED:	2 STORIES, NOT TO EXCEED 25'-0"
PROPOSED BUILDING HEIGHT:	24'-0"
SETBACKS:	BUILDING: FRONT YARD: 40 FT SIDE YARD: 0 FT REAR YARD: 25 FT LANDSCAPE: FRONT YARD: TBD SIDE YARD: TBD REAR YARD: TBD
PARKING REQUIREMENTS	
PARKING REQUIRED:	CAR WASH: TBD
PARKING PROVIDED:	STANDARD: 42 (10.5' X 18') AND (10.5' X 20') ACCESSIBLE: 2 (12' X 20') (ACCESS AISLE) TOTAL PARKING: 44
BICYCLE PARKING REQUIRED:	0
BICYCLE PARKING PROVIDED:	0

- SITE NOTES**
- 01A SEEDED GREEN AREA.
  - 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
  - 08B OVERHEAD CANOPY - (TYP.-PER ARCH. PLANS).
  - 12B 4 INCH TRAFFIC YELLOW ALIGNMENT STRIPES (TYP.).
  - 70A SIX (6) FOOT SCREEN WALL WITH DECORATIVE PERGOLA TOP, REF ARCH PLANS
  - 70B THREE (3) FOOT SCREEN WALL WITH DECORATIVE PERGOLA TOP, REF ARCH PLANS
  - 70C "VACUTECH" SHADE CLOTH CANOPY, REF ARCHITECTURAL PLANS VACUUM CANOPY FOR OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
  - 70D "VACUTECH" VACUUM ENCLOSURE, REF ARCHITECTURAL PLANS VACUUM CANOPY BY OTHERS AND SHOWN ON THIS PLAN FOR REFERENCE. REFER TO VENDOR PLANS FOR FINAL PLACEMENT AND INSTALL REQUIREMENTS.
  - 70E PAY STATION (REF ARCH. PLANS)
  - 70F "UNAUTHORIZED VEHICLES" WARNING SIGN (PER ARCH. PLANS)
  - 70G ACCESSIBLE PARKING OFF-STREET (PER ARCH. PLANS)

- SITE DETAILS**
- 03D CONCRETE SIDEWALK
  - 10A TRAFFIC FLOW ARROW
  - 10B STOP BAR
  - 12G STOP SIGN



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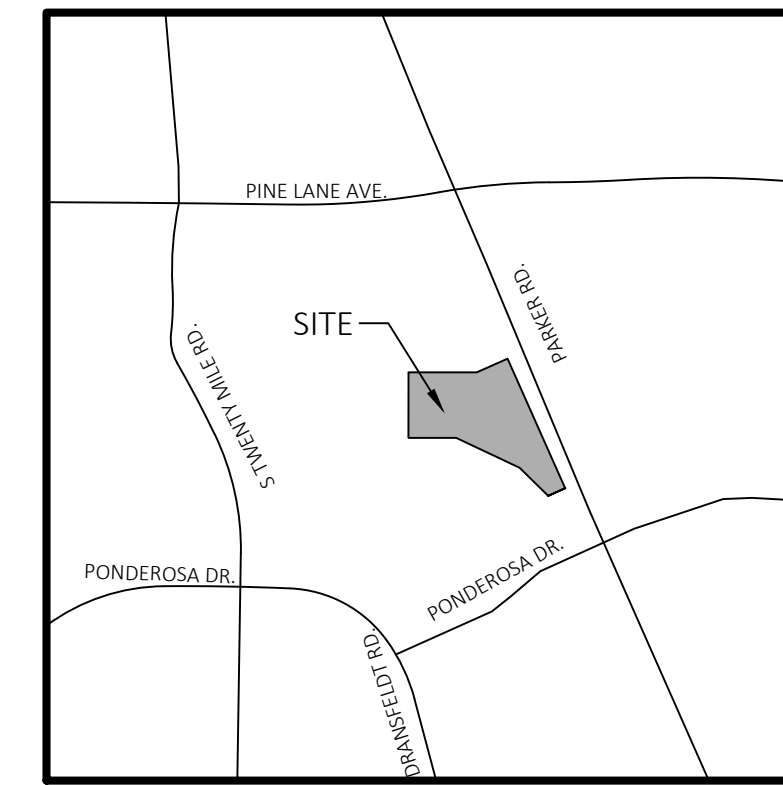
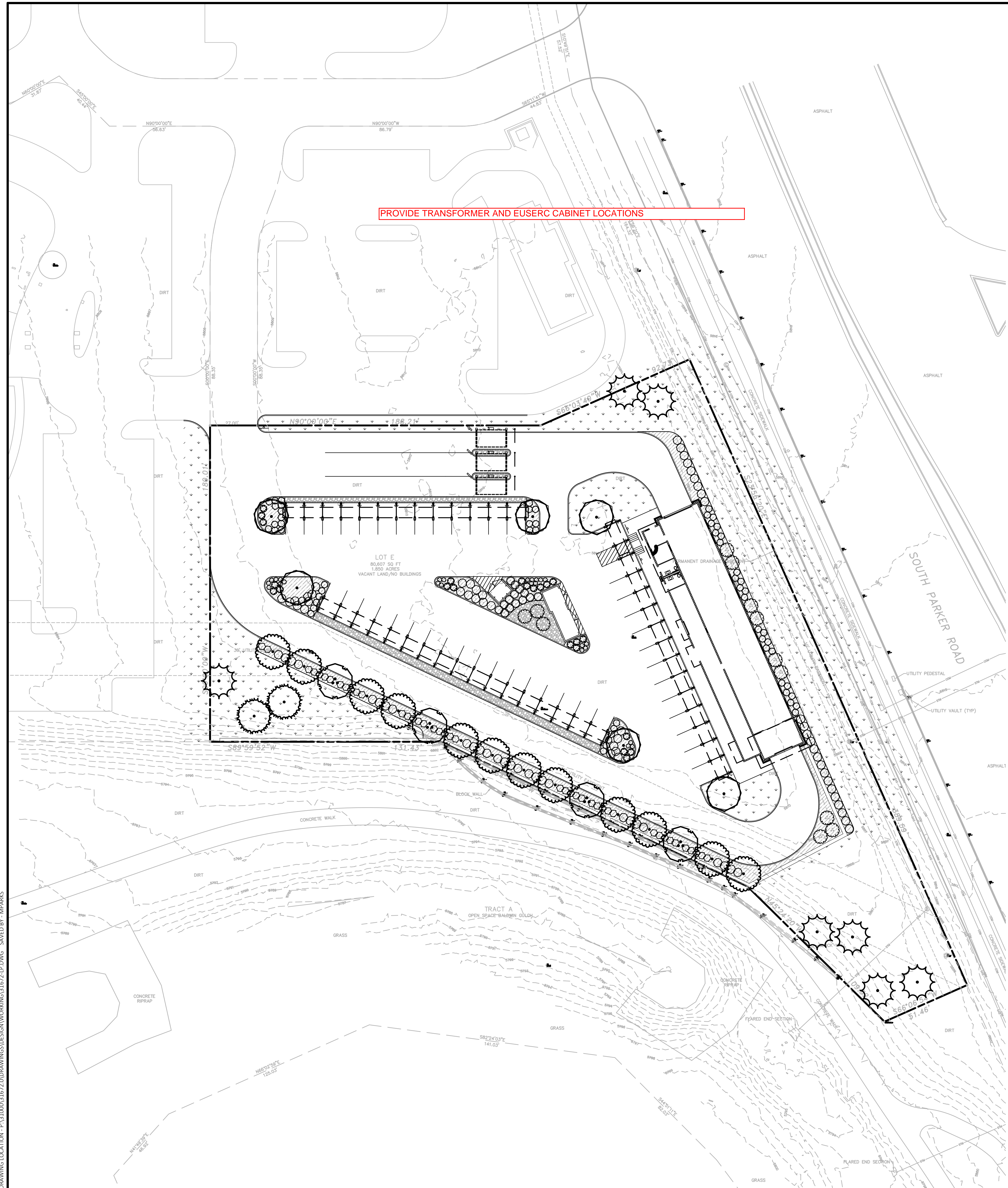
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SITE PLAN

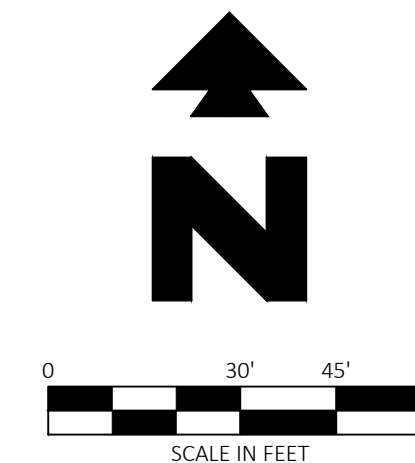
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**Vicinity Map**  
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Know what's below.  
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**PROPOSED LEGEND**

- BOUNDARY LINE
- - - - - RIGHT OF WAY LINE
- - - - - STORM DRAIN
- TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

**PROPOSED LEGEND**

- 50A TREE PLANTING DETAIL
- 50B SHRUB PLANTING DETAIL
- 50Q STEEL EDGING DETAIL

**LANDSCAPE REQUIREMENTS**

AREA	REQUIREMENT	REQUIRED	PROVIDED
LANDSCAPE AREA	A MIN OF 15% OF THE TOTAL DEVELOPED AREA SHALL BE DEDICATED TO LANDSCAPE	80,607 x 15% = 12,091 SF OF LANDSCAPE AREA REQUIRED	25,656 SF PROVIDED
	1 TREE AND 5 SHRUBS SHALL BE PLANTED PER 1,500 SF OF LANDSCAPED LOT AREA	12,091 / 1,500 = 8 TREES AND 40 SHRUBS REQUIRED	8 TREES AND 40 SHRUBS PROVIDED
	25% - 50% OF REQUIRED TREES SHALL BE EVERGREEN	2 - 4 TREES SHALL BE EVERGREEN	9 EVERGREEN TREES PROVIDED
PARKING LOT PERIMETER	A MIN 10' BUFFER SHALL BE PROVIDED ADJACENT TO ROADWAYS, RESIDENTIAL USES, NONCOMPATIBLE USES OR OPEN SPACE	REQUIRED	PROVIDED
PARKING LOT INTERIOR LANDSCAPE	AN AREA EQUAL TO 10% OF THE TOTAL PARKING AREA SHALL BE DEDICATED TO LANDSCAPE	45,364 SF x 10 = 4,536 SF OF LANDSCAPE AREA REQUIRED	5,648 SF PROVIDED
	1 TREE SHALL AND 5 SHRUBS SHALL BE PLANTED PER LANDSCAPE ISLAND 1 ADDITIONAL SHRUB SHALL BE PLANTED FOR EACH ADDITIONAL 15 SF ABOVE 162 SF IN EACH LANDSCAPE ISLAND	6 TREES AND 30 SHRUBS REQUIRED	6 TREES AND 30 SHRUBS PROVIDED
SITE PERIMETER LANDSCAPE	1 TREE AND 5 SHRUBS SHALL BE PLANTED PER 40 LF OF SITE PERIMETER	665 LF OF PERIMETER / 40 = 17 TREES AND 83 SHRUBS REQUIRED	17 TREES AND 83 SHRUBS PROVIDED

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	DETAIL	REMARKS
	4	BETULA OCCIDENTALIS / WATER BIRCH	15 GAL	2.5" MULTI TRUNK		50A	
	6	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER LOCUST	B & B	2.5" CAL		50A	WRAP TRUNK
	7	PICEA PUNGENS / COLORADO SPRUCE	B & B		6'-8" MIN	50A	
	2	PINUS EDULIS / PINON PINE	B & B		6'-8" MIN	50A	
	12	TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LINDEN	B & B	2.5" CAL		50A	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	REMARKS		
	42	CORNUS SERICEA 'ARCTIC FIRE' / ARCTIC FIRE DOGWOOD	5 GAL	50B			
	12	FORESTIERA NEOMEXICANA 'HAPPY BOY' / HAPPY BOY NEW MEXICO PRIVET	5 GAL	50B			
	14	JUNIPERUS CHINENSIS 'ARMSTRONGII' / ARMSTRONG JUNIPER	5 GAL	50B			
	58	JUNIPERUS HORIZONTALIS 'ANDORRA' / ANDORRA JUNIPER	5 GAL	50B			
	23	PEROVSKIA ABROTANOIDES / RUSSIAN SAGE	5 GAL	50B			
	77	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	50B			
	25	RUDBECKIA FULGIDA 'GOLDSTURM' / GOLDSTURM CONEFLOWER	5 GAL	50B			
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	TYPE				
	25,691 SF	BOUTELOUA DACTYLOIDES 'CODY' / CODY BUFFALO GRASS	SOD				

**GROUND PLANE LEGEND**

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	TYPE	SPACING
	6,587 SF	4" DEPTH DECOMPOSED GRANITE MULCH COLOR: BROWN/TAN		
	1,589 SF	2"-3" COLORADO RIVER ROCK (4" DEPTH) COLOR: BROWN/TAN	SOD	



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**LANDSCAPE PLAN**

SHEET TITLE  
SHEET NUMBER